

NORTHERN BEACHES
BASED ON
WARRINGAH DCP 2011

SITE AREA: 618.7 SQM

PROPOSED ROOF COVERAGE

ROOF COVERAGE AREA: 201.47 SQM

LANDSCAPED AREA

TOTAL LANDSCAPED AREA: 330.72 SQM
EXCL. ALL HARD SURFACES,
MINIMUM DIMENSION OF 2M 53.5%

MIN. REQUIRED BY COUNCIL: 40%

STORMWATER CALCULATION

HARD LANDSCAPE AREAS: 241.82 SQM
(INCL. ROOF/DRIVEWAY/PATHS ETC)

SITE COVERAGE RATIO: 39.09 %

MAX. ALLOWABLE SITE COVERAGE
PRIOR TO O.S.D. REQUIRED: 40 %

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE: 241.41 SQM

MIN. REQUIRED BY COUNCIL: 60 SQM
MINIMUM DIMENSION OF 5M

BUILDING ENVELOPE

PROVIDE 45 DEGREE PLANE
PROJECTED AT 4.0M HIGH ABOVE SIDE
BOUNDARY NATURAL GROUND LEVEL.

BUILDING HEIGHT RESTRICTION

MAXIMUM 8.5M RIDGE HEIGHT
MAXIMUM 7.2M CEILING HEIGHT
(F.F.L. MUST BE ACCURATE TO COMPLY)

MAXIMUM 100MM CUT
MAXIMUM 100MM FILL
DEEP EDGE BEAM TO NATURAL GROUND
NO EXPOSED FILL PERMITTED

EXISTING TREES TO BE
LOPPED/REMOVED BY OWNER

TREE REMOVAL REQUIREMENTS:

SITE TO BE CLEARED BY OWNER OF ANY EXISTING
TREES AND/OR PRUNE TREES WHICH WILL EFFECT
THE BUILDING AREA PRIOR TO CONSTRUCTION

IT IS THE RESPONSIBILITY OF THE OWNER TO
OBTAIN SEPARATE COUNCIL APPROVAL IF REQUIRED

DEMOLITION REQUIREMENTS:

SITE TO BE CLEARED OF ALL EXISTING
STRUCTURES, LEVELLED AND ALL SERVICES
RELOCATED BY THE OWNER TO THE SATISFACTION
OF METRICON HOMES P/L.

SURVEYORS NOTES

A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR
PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT
PROPERTY HAVE NOT BEEN INVESTIGATED AND THE
POSITION SHOWN IS APPROXIMATE ONLY.

B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.

C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL
EVIDENCE APPARENT AT THE TIME OF SURVEY. THE
RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED
TO VERIFY THE EXISTENCE AND POSITION OF ALL
SERVICES PRIOR TO THE COMMENCEMENT OF ANY
CONSTRUCTION OR EXCAVATION

D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY
ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES
TO BE RELIED ON FOR REDUCED LEVELS ON
PARTICULAR FEATURES

LOT 8
DP 7090 Sec D

TIMBER RETAINING
WALL BY
METRICON OFFSET
APPROX. 200MM
FROM BOUNDARY
SUBJECT TO
EXISTING SITE
CONDITIONS
(REFER TO ENGINEER'S
DETAILS)

SPLIT LEVEL
BRICK & CLAD
RESIDENCE
TILE ROOF
No 40

DRIVEWAY, GRATED DRAIN,
CROSSOVER AND FRONT
ENTRY PATH TO BE THE
RESPONSIBILITY OF THE
OWNER AFTER HANDOVER

DRIVEWAY GRADIENT PROFILE

SCALE - 1:200

NORTH

LOT NO:
7

DEPOSITED PLAN:
7090

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
H1

WIND SPEED:
N3

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
UPPER LEVEL
EXCAVATE APPROX. 700MM ON RL. 27.000
AND RETAIN FILL WITH DEEP EDGE BEAM
LOWER LEVEL
EXCAVATE APPROX. 1000MM ON RL. 25.968
AND RETAIN FILL WITH DEEP EDGE BEAM
EXCAVATIONS ARE TO START A MINIMUM OF
1200MM FROM THE EDGE OF THE BUILDING
AND ARE TO BE BATTERED BACK TO SUIT
IT IS THE RESPONSIBILITY OF THE OWNER TO
PROVIDE A GRATED DRAIN ACROSS GARAGE
OPENINGS (IF REQUIRED) DUE TO CONSTRUCTION
OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

STORMWATER TO DRAIN TO
FUTURE EASEMENT
VIA RAINWATER TANK(S)
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING
TO ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND
S U/GROUND SEWER MAINS W U/GROUND WATER MAINS T U/GROUND TELECOM LINE
G U/GROUND GAS MAINS OHP OHEAD POWER SUPPLY UGP U/GROUND POWER SUPPLY
TOP OF KERB EDGE OF BITUMEN
PP POWER POLE X SV STOP VALVE
PB POWER BOX SMH SEWER MAINTENANCE HOLE
SP SERVICE POLE SIO SEWER INSPECTION OPENING
LP LIGHT POLE CPT TELECOMMUNICATIONS PIT
HYD HYDRANT GPT GAS MARKER
WM WATER METER KIP KERB INLET
GRATED STORMWATER PIT BENCHMARK TREE

ASPECT SURVEY DATE: 12.08.20

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD DATUM

SITE PLAN

m

metricon

Build E, Level 4, 32 Lexington Dr, Bankham Hills NSW 2163
P.O. Box 7510, Norwest Business Park NSW 2163
Tel: 02 8887 9000 Fax: 02 8079 5901
Contractor Licence No: 174 699
A.C.N. 005 108 752 www.metricon.com.au

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MR. GREER & MRS. ROBERTSON
LOT 7 NO.38 LINDLEY AVENUE,
NARRABEEN


JOB No: 714763

DATE: 20.10.20 DRAWN: CADDRAFT

SCALE: 1:200 SHEET: 1 OF 12

UBD REF: N/A

PROVIDE JAMES HARDIES SCYON
AXON SHEET CLADDING
TO FIRST FLOOR ELEVATIONS
(UNLESS NOTED OTHERWISE)
REFER TO DETAIL: S-TYP-CLAD-07

BLUEBOARD & PLYWOOD SUBSTRATE
& FALL TO BE CONSIDERED IN THE
FRAME LAYOUT (BLUEBOARD &
RENDER TO BE BUILT UP TO
UNDERSIDE OF WINDOW ON SITE) 

METAL DECK ROOF @ MIN. 2 DEG. PITCH WITH
FALL TO BOX GUTTER BEHIND EPS PROJECTION.
ROOF TO SIT LOW TO REMAIN CONCEALED &
—ALLOW FLASHING ABOVE

 DENOTES WINDOWS/DOORS WITH 4MM
OBSCURE DECOR SATIN GLAZING

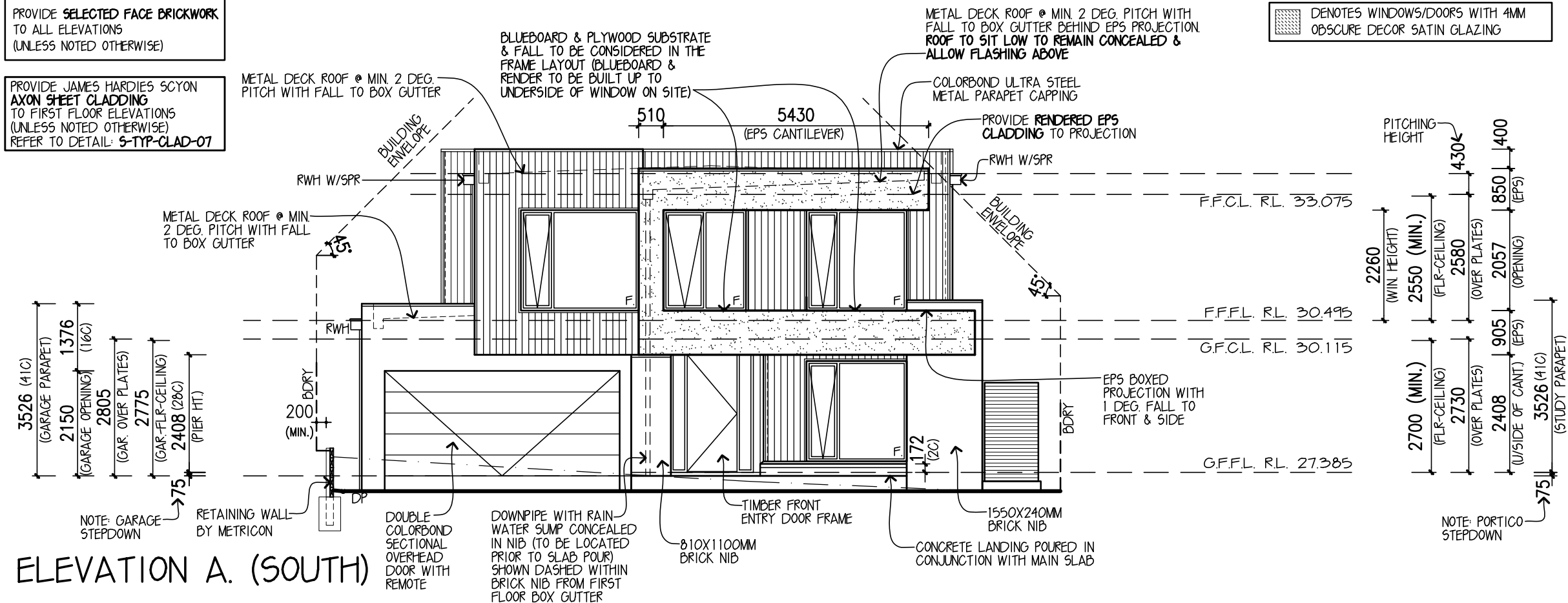
SYMBOL LEGEND

M/B RECESSED
ELECTRICITY
METER BOX

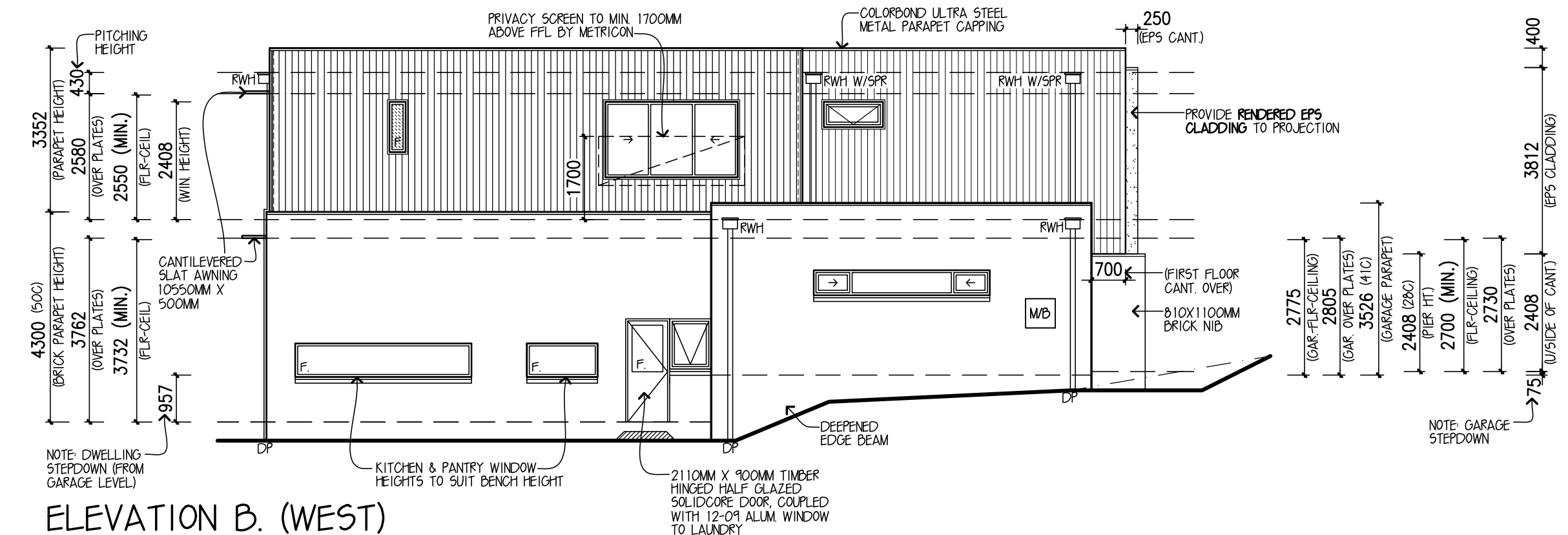
RWH
DP

 ROTATING ROOF VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION
JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL
ENGINEER'S DETAILS



ELEVATION A. (SOUTH)



ELEVATION B. (WEST)

DESIGN: PHOENIX 40MR

FACADE: **CUSTOM** CEILING: **27. L**

GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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DESIGNER  metricon

BY METRICON

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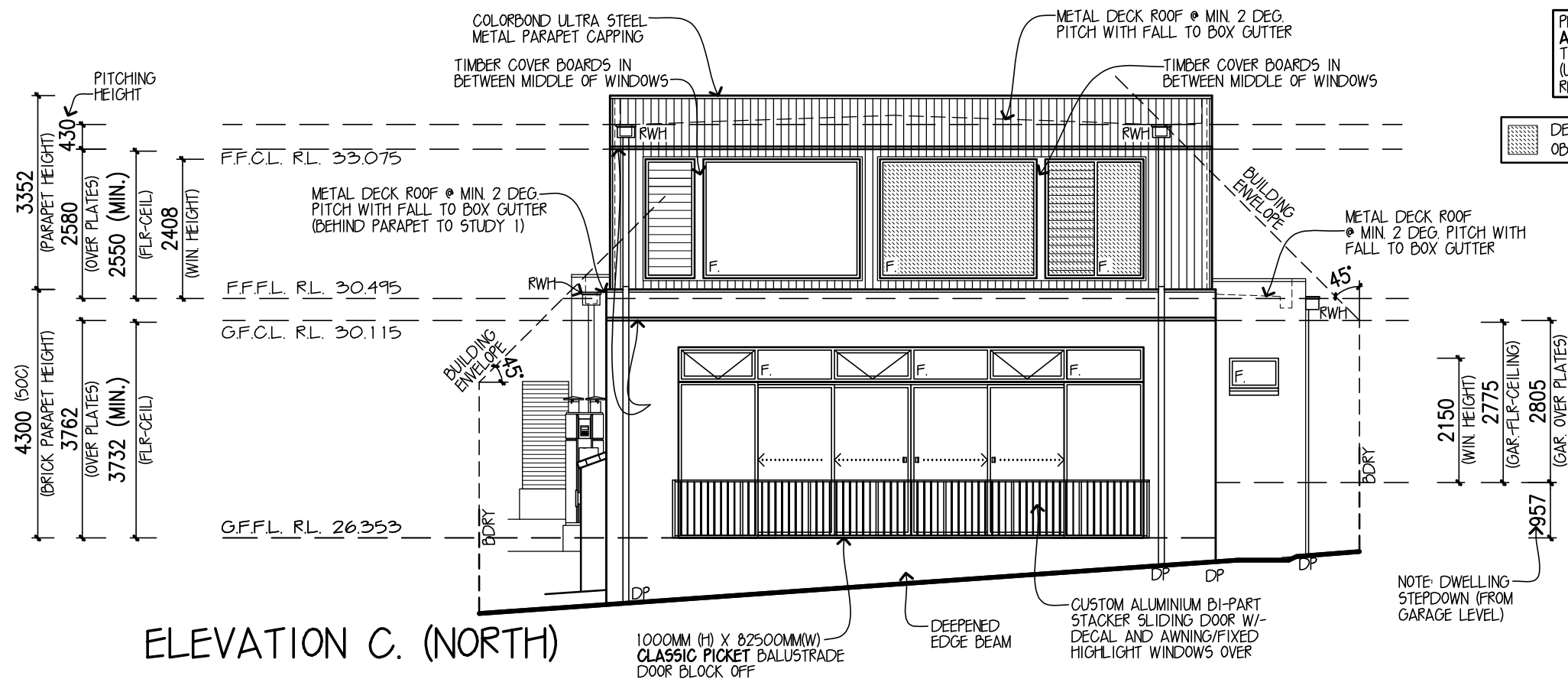
OWNER: MR. GREER & MRS. ROBERTSON
LOT 7 No.38 LINDLEY AVENUE,
NARRABEEN

JOB No: 714763	DATE: 16.10.2020
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FC DATE: DD.MM.YYYY	MST VER: 08.01.2019
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SCALE: 1:100 ON A3 SHEET	REVISION: H
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DRAWN: CAD01	CHECK: LN4	SHEET: 4 of 12
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PROVIDE **SELECTED FACE BRICKWORK** TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

PROVIDE **JAMES HARDIES SCYON AXON SHEET CLADDING** TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: **S-TYP-CLAD-01**

DENOTES WINDOWS/DOORS WITH 4MM OBSCURE DECOR SATIN GLAZING

SYMBOL LEGEND



RECESSED ELECTRICITY METER BOX



DOWNPIPE W/- RAINWATER HEAD



ROTATING ROOF VENTILATOR

ARTICULATION JOINT
WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS

DESIGN: **PHOENIX 40MR**

FACADE: **CUSTOM**

CEILING: **27, L**

GARAGE: **DOUBLE**

LOCATION: **F**

ELEVATIONS

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DESIGNER 

BY **METRICON**

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OWNER: **MR.GREER & MRS. ROBERTSON**
LOT 7 No.38 LINDLEY AVENUE, NARRABEEN

JOB No: **714763** DATE: **16.10.2020**

FC DATE: **DD.MM.YYYY** MST VER: **08.01.2019**

SCALE: **1:100 ON A3 SHEET** REVISION: **H**

DRAWN: **CAD01** CHECK: **LN4** SHEET: **5 of 12**

