

PROPOSED NEW 2 UNIT STRATA PLAN CONCEPT SET

CLIENT: E & C MACINDOE

SITE DETAILS

ADDRESS	93 CROWN ROAD, QUEENSCLIFF, NSW 2096
LOT/DP	LOT 1, D.P. 17127
COUNCIL	NORTHERN BEACHES COUNCIL
SITE AREA	466.5m ²
FRONTAGE	13.31m (CROWN RD.), 13.31m (HIGHVIEW AV.)

CONTROLS

LAND ZONING	R2 LOW DENSITY RESIDENTIAL
LAND SLIP	LANDSLIP RISK MAP - AREA A
L.O.S.	40%
MAX. BUILD HEIGHT	8.5m

DCP REQUIREMENTS

WALL HEIGHT	7.2m
NO. OF STOREYS	2
SITE BOUNDARY ENVELOPE	5m
SIDE BOUNDARY SETBACKS	0.9m
FRONT BOUNDARY SETBACK	6.5m
REAR BOUNDARY SETBACK	6.0m

L.O.S. CALCULATIONS	REQUIREMENT	PROPOSED
L.O.S. (TOTAL)	186.6m ² (40% of 466.5m ²)	187.97m ² (40.29% of 466.5m ²)
L.O.S. (LOT A)	94m ² (40% of 235m ²)	94.30m ² (40.13%)
L.O.S. (LOT B)	92.6m ² (40% of 231.5m ²)	93.67m ² (40.46%)
NO. OF STOREYS	2	2
SITE BOUNDARY ENVELOPE	5m	5m
SIDE BOUNDARY SETBACKS	6.5m	6.5m
REAR BOUNDARY SETBACK	6.0m	6.0m

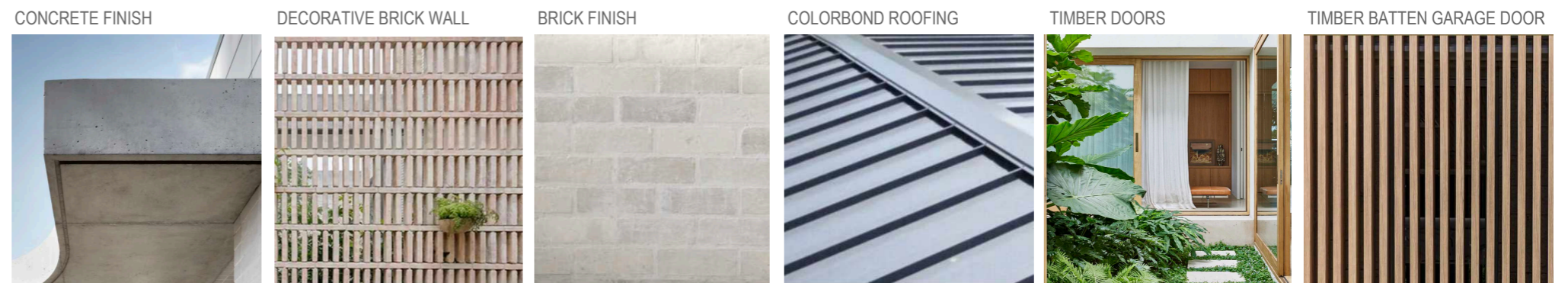
FLOOR AREA CALCULATIONS*	UNIT A	UNIT B
GROUND FLOOR HABITABLE AREA	88.5m ²	88.5m ²
FIRST FLOOR HABITABLE AREA	83.0m ²	85.0m ²
TOTAL HABITABLE AREA	170.5m²	172.5m²
GARAGE AREA	51.0m	51.0m

* Habitable area does not include external walls, vertical circulation, or garage.

NO.	PAGE TITLE
DA00	COVER PAGE
DA01	NOTATION
DA02	SURVEY
DA03	LOT DIVISION PLAN
DA04	SITE ANALYSIS
DA05	SITE / SEDIMENT EROSION / WASTE MGMT
DA06	STORMWATER PLAN (BY OTHERS)
DA07	EXISTING GROUND FLOOR PLAN
DA08	PROPOSED DRIVEWAY & STREET PARKING PLAN
DA10	BASEMENT PLAN
DA11	GROUND FLOOR PLAN
DA12	FIRST FLOOR PLAN
DA13	ROOF PLAN
DA14	EAST ELEVATION
DA15	WEST ELEVATION
DA16	NORTH & SOUTH ELEVATIONS
DA17	SECTION A1 & B1
DA18	SECTION A2 & B2
DA30	LANDSCAPING PLAN
DA31	WINDOW SCHEDULE
DA32	SHADOW DIAGRAM - 9AM
DA33	SHADOW DIAGRAM - NOON
DA34	SHADOW DIAGRAM - 3PM



FINISHES



mac2mac atelier
design & interiors
0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING
CLIENT: E & C MACINDOE

TITLE: SITE & ANALYSIS PLAN
ADDRESS: 93 CROWN ROAD, QUEENSCLIFF NSW 2096

FINISHES SCHEDULE

(MS1) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MS2) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(DB1) EXPOSED DECORATIVE BRICK WALL	(CCR) EXPOSED CONCRETE FINISH
(DB2) HIT-AND-MISS DECORATIVE BRICK WALL	(SKY) SKYLIGHT (REF. WINDOW SCHEDULE)

GENERAL NOTES

- All works to be in accordance with Australian Standards, The Building Code of Australia, other relevant codes and with manufacturers' instructions.
- This drawing is copyright and may not be used without consent.
- Do not scale off drawing. Verify all dimensions on site prior to construction.
- To be read in conjunction with all other consultants' drawings.
- The designer to be immediately notified of any discrepancies.

DRAWING	ISSUE	SCALE
DA00	1.7	1:200 @ A3
DATE	DRAWN BY	
26/02/2025	FG	

IMPORTANT NOTATION FOR BUILDERS

- All dimensions are to be confirmed on-site by the builder/subcontractor, any incongruencies must be reported to the Designer in writing before the commencement of any work.
- No Survey has been made on the boundaries. All bearings, distances, and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.
- No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the approved boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor.
- In the event of encountering any discrepancies on these drawings, specification, or subsequent instructions issued, the Builder/Subcontractor shall contact the designer in writing before proceeding further with any work. The builder/subcontractor is responsible to ensure that all materials installed on-site are fit for purpose and comply with the NCC and relevant Australian Standards. The builder is to obtain written confirmation of material selection by the Client prior to ordering.
- All construction, control joints, and expansion joints in the walls, floors, and other locations shall be in strict accordance with the structural engineering details. No joints or breaks other than specified are allowed without written permission from the Engineer.
- Measurements for the fabrication of secondary components such as windows, doors, internal frames, structural steel components, and the like, are not to be taken from these documents. Measurements must be taken on-site to suit the work as constructed.
- All structural components shall be in strict accordance with details and specifications as prepared by a suitably qualified structural engineer.
- All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

SPECIFICATION

- "Approval" - obtained by either an 'Accredited Certifying Authority' or 'Local Council
- The Owner will directly pay all fees associated with the following: Building approval from council or accredited certifier, any footpath and kerb deposits with the local council, insurance fees to Building Services Corporation, Long Service Leave levy fees and approval fees by water and sewerage authority. All other fees are to be paid by the builder. The amount of any local authority deposits which are forfeited due to damage or other causes, will be deducted from payments due to the builder.
- The Builder is to provide at his/her own expense adequate Public Risk Insurance and arrange indemnification under the Workers Compensation Act. Works insurance to be as stated in the contract conditions.
- All tenderers are to visit the site to satisfy themselves as to the nature and extent of the Works, facilities available and difficulties entailed in the works as Variations will not be allowed due to work arising owing to neglect of this clause.
- These drawings shall be read in conjunction with all structural and other consultant's drawings and specifications and with any such written instructions as may be issued during the course of the contract.
- Set out dimensions shown on this drawing shall be verified by the builder on site before commencement of any work. Dimensions shall not be obtained by scaling the drawings, use figured dimensions. All dimensions are in millimetres.
- The Builder is to ensure all construction, levels and other items comply with the conditions of the Building Approval.
- Any detailing additional to that which is supplied shall be resolved between the Owner and the Builder, to the Owner's approval. Except for any structural details or design, which is to be supplied by the Engineer.
- All work to be carried out in a tradesman like manner and in accordance with the standards, codes and regulations of Standards Australia, the National Construction Code and any statutory authority having jurisdiction over the works.
- All structural work is to be in accordance with the structural details prepared by a suitably qualified structural engineer, including but not limited to all piers, footings, concrete slabs, retaining walls, steelworks, formwork, underpinning, additional structural loads, timber framing, wind bracing and associated connections. Builder to obtain prior to finalising the tender, unless previously obtained by owners.
- All brickwork is to be selected by the Owner, and is to comply with AS 1640.
- All masonry is to comply with AS 3700.
- Provide all metalwork and flashings necessary to satisfactorily complete the works.
- All timber construction to be in accordance with AS 1684 - Residential timber-framed construction. Level and grade where necessary under timber floors to provide a minimum clearance of 300mm under bearers or 400mm under joists. Adequate precautions shall be taken to ensure that the surface and/or seepage water does not collect or remain under floor area.
- Sustainable timbers, and not rainforest or old growth timber will be used. Recycled timber or second-hand timbers are to be sourced and used in preference to plantation timbers, if available and suitable.
- All glazing installation is to comply with AS 1288, AS 2047 and in accordance with manufacturers recommendations.
- All wall and ceiling linings in wet areas to be plasterboard and villaboard, or equal. A breathable wall wrap is to be provided to all external walls. Timber cladding is to be battened out from timber frame to provide an 'air' gap to prevent condensation. Workmanship is to comply with the relevant Australian Standards or installed in accordance with manufacturer's specifications. All bathrooms and wet areas to be waterproofed with a flexible membrane to manufacturer's specifications and to AS 3740, Part H4D2 and Section 10; Part 10.2 of the 2022 NCC.
- All Architraves and skirtings to the profile as selected by owner and painted or stain finish as selected.
- All plumbing and drainage work to be installed and completed by a licensed tradesman and in accordance with the statutory body having authority over the works. Connect all waste to Sydney Water sewer line.
- Connect all stormwater to existing system or street drainage system in accordance with AS 3500, Part H2D2 and Section 3; Part 3.3 of the 2022 NCC.
- Smoke detector alarms are to be installed in accordance with AS 3786, Part H3D6 and Section 9; Part 9.5 of the 2022 NCC.
- If a member which provides structural support to the works is subject to termite attack, management measures are to comply with AS 3660 and Section 3; Part 3.4 of the 2022 NCC. Termite management system to be installed to manufacturer's specifications.
- Stairs and Balustrades to comply with Part H5D2, H5D3 and Section 11; Part 11.2 and 11.3 of the 2022 NCC. Provide a handrail along the full length of the flight and a slip resistant finish to the edge of the nosings to comply with 3.9.1 and 3.9.2 of the NCC. No horizontal elements to facilitate climbing between 150mm and 760mm where floor to level below is more than 4m.
- Electrical works to be in accordance with SAA wiring rules and be done by a licenced tradesperson. Obtain electrical layout prior to proceeding. All electrical power (GPO's) and light outlets to be determined by the owner.
- Painting: All paints or other coatings shall be of the best quality materials & of approved manufacture. All priming materials shall be of an approved brand acceptable to the manufacturer of the finishing coats to be used. External joinery intended to be painted shall be primed on all faces at the place of assembly. Where new work or alteration work adjoins existing painted surfaces allow for repainting existing surfaces to provide uniform appearance.
- ZERO-VOC or LOW-VOC paints and primers only are to be used.
- Any work indicated on the plans but not specified and any item not shown on the plans which is obviously necessary as part of proper construction and/or finish, is to be considered as shown and specified and is to be undertaken as part of the contract. Variations will not be permitted without prior written approval by the owners.
- The Builder shall provide sediment and siltation control measures as required by Council and maintain them throughout the duration of the works
- A legible copy of the plans bearing approval stamps must be always maintained on the job site. Hours of construction shall be restricted to the times as required by the building approval.
- The Builder is to arrange for all inspections required by the relevant authorities and/or lending institutions, to their requirements.
- The Builder is to comply with all ordinances, local authority regulations and the requirements of all services supply authorities having jurisdiction over the works.
- All new downpipes are to be connected to the existing stormwater system.
- All timber sizes and concrete details to be confirmed by the builder prior to commencement of any work.- All gutters, downpipes to be colorbond.
- All wall and ceiling linings to be plasterboard or cement render as selected, and villa board in wet areas. To comply with relevant Australian standards, and installed in accordance with manufacturers specification.

NCC 2022 & AS COMPLIANCES SPECIFICATIONS

- Structure - Part H1 & Section 2 of NCC
- Structural Provisions - PART H1D2 & PART 2.2 of NCC
- Site Preparation - Part H1D3 & Section 3 of NCC
- Earthworks - Part 3.2 of NCC
- Drainage - Part 3.3 of NCC
- Termite Risk Management - Part 3.4 of NCC
- Footings & Slabs - Part H1D4 & Section 4 of NCC
- Footings, Slabs & Associated Elements - Part 4.2 of NCC
- Masonry - Part H1D5 & Section 5 of NCC
- Masonry Veneer - Part 5.2 of NCC
- Cavity Masonry - Part 5.3 of NCC
- Unreinforced Single Leaf Masonry - Part 5.4 of NCC
- Isolated Piers - Part 5.5 of NCC
- Masonry Components & Accessories - Part 5.6 of NCC
- Weatherproofing of Masonry - Part 5.7 of NCC
- Framing - Part H1D6 & Section 6 of NCC
- Sub Floor Ventilation - Part 6.2 of NCC
- Structural Steel Members - Part 6.3 of NCC
- Roof & Wall Cladding - Part H1D7 & Section 7 of NCC
- Sheet Roofing - Part 7.2 of NCC
- Roof Tiles & Shingles - Part 7.3 of NCC
- Gutters & Downpipes - Part 7.4 of NCC
- Timber & Composite Wall Cladding - Part 7.5 of NCC
- Glazing - Part H1D8 & Section 8 of NCC
- Windows & External Glazed Doors - Part 8.2 of NCC
- Glass - Part 8.3 of NCC
- Glazing Human Impact - Part 8.4 of NCC
- Damp & Weatherproofing - Part H2 of NCC
- Fire Safety - Part H3 & Section 9 of NCC
- Fire Separation of External Walls - Part 9.2 of NCC
- Fire Protection of Separating Walls & Floors - Part 9.3 of NCC
- Fire Protection of Garage Top Dwellings - Part 9.4 of NCC
- Smoke Alarms & Evacuation Lighting - Part 9.5 of NCC
- Health & Amenity - Part H4 & Section 10 of NCC
- Wet Area Waterproofing - Part 10.2 of NCC
- Room Heights - Part 10.3 of NCC
- Facilities - Part 10.4 of NCC
- Light - Part 10.5 of NCC
- Ventilation - Part 10.6 of NCC
- Sound Insulation - Part 10.7 of NCC
- Condensation Management - Part 10.8 of NCC
- Safe Movement & Access - Part H5 & Section 11 of NCC
- Stairway & Ramp Construction - Part 11.2 of NCC
- Barriers & Handrails - Part 11.3 of NCC
- Ancillary Provisions - Part H7 & Section 12 of NCC
- Construction in Alpine Areas - Part 12.2 of NCC
- Attachment of Framed Decks & Balconies to External Walls of Buildings Using a Waling Plate - Part 12.3 of NCC
- Heating Appliances, Fireplaces, Chimneys & Flues - Part 12.4 of NCC
- Swimming Pools - Part H7P1 & NSW H7D2 of NCC
- Construction in Bushfire Prone Areas - Part NSW H7D4 of NCC
- Energy Efficiency - Part H6 & Section 13 of NCC
- Building Fabric - Part 13.2 of NCC
- External Glazing - Part 13.3 of NCC
- Building Sealing - Part 13.4 of NCC
- Ceiling Fans - Part 13.5 of NCC
- Whole of Home Energy Usage - Part 13.6 of NCC
- Services - Part 13.7 of NCC
- Pool Fencing & other provisions - Regulations & AS 1926
- Demolition Works to comply with AS 2601-2001 The Demolition of Structures.
- Waterproofing of Wet Areas to comply with AS 3740:2021
- All plumbing & drainage work to comply with AS 3500:2021
- All plasterboard work to comply with AS 2588:2018
- All structural steel work to comply with AS 4100:2020 & AS 1554.1:2014
- All concrete work to comply with AS 3600:2018
- All roof sheeting work to comply with AS 1562.1:2018
- All skylights to comply with AS 4285:2019
- All ceramic tiling to comply with AS 3958.1-2007 & 3958.2-1992
- All glazing assemblies to comply with AS 2047-2014 & AS 1288:2021
- All timber retaining walls to comply with AS 1720, AS 1170
- All retaining walls to comply with AS 3700:2018 & AS 3600:2018
- All construction in bushfire-prone areas to comply with AS 3959:20

THIS SET OF DRAWING SHOULD BE READ & KEPT IN ITS ENTIRETY. NO INDIVIDUAL PAGE SHOULD BE SEPARATED FROM THE REST OF THE SET. EACH NOTATION LISTED ON THIS PAGE APPLY TO ALL PAGES OF THIS SET.

mac2mac atelier

design & interiors

0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING

TITLE

NOTES









CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|--|---|
|  METAL SHEETING - WALL |  RENDERED FINISH |
|  METAL SHEETING - ROOF |  BRICK FINISH |
|  EXPOSED DECORATIVE BRICK WALL |  EXPOSED CONCRETE FINISH |
|  HIT-AND-MISS DECORATIVE BRICK WALL |  SKYLIGHT (REF. WINDOW SCHEDULE) |

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DRAWING

DA01

ISSUE 1.7

DATE

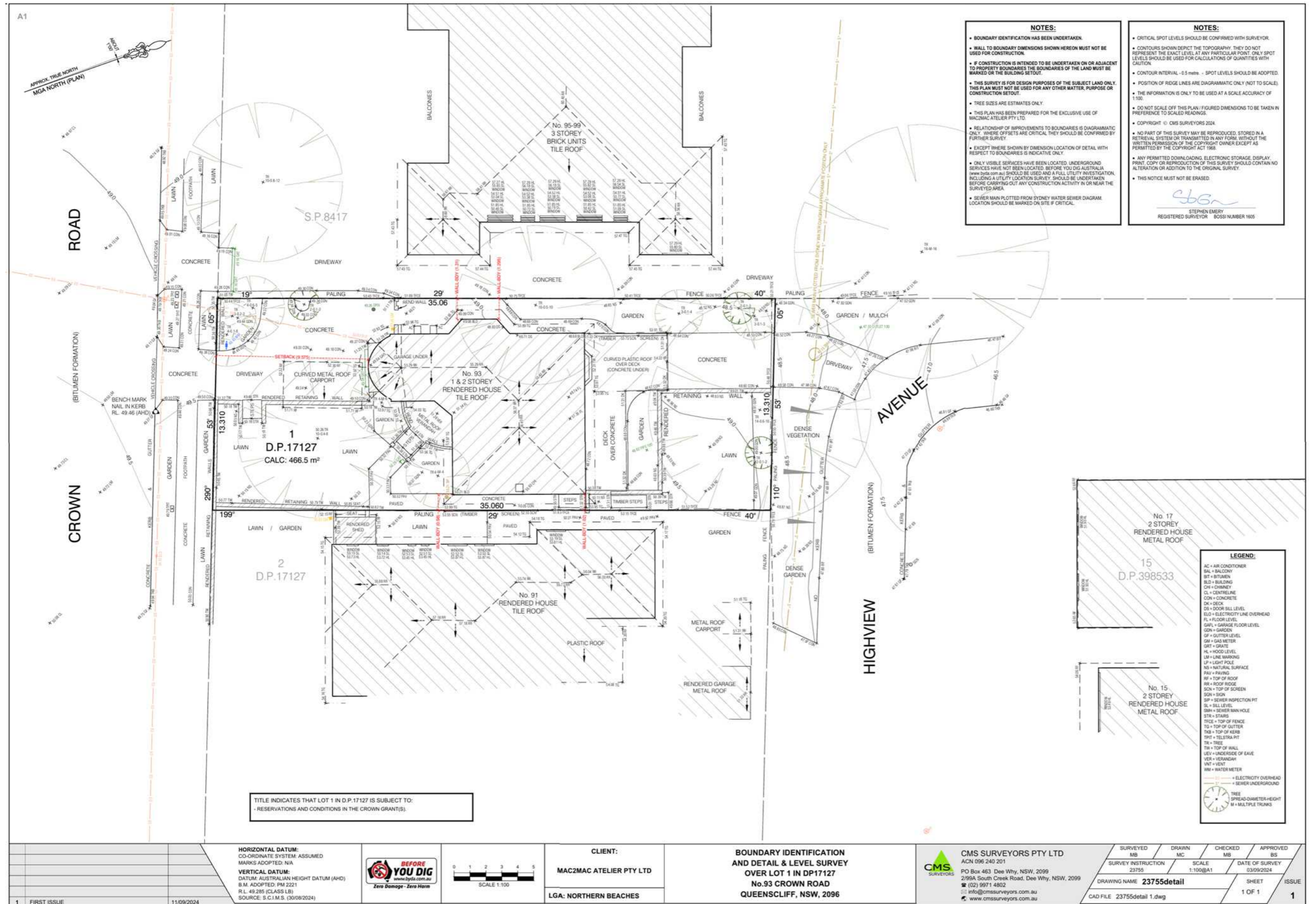
26/02/2025

SCALE

1:200 @ A3

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FG



mac2mac atelier
design & interiors
0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING

TITLE SURVEY (BY OTHERS)

CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MS2) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(DBT) EXPOSED DECORATIVE BRICK WALL	(CON) EXPOSED CONCRETE FINISH
(DB2) HIT-AND-MISS DECORATIVE BRICK WALL	(SKY) SKYLIGHT (REF. WINDOW SCHEDULE)

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DRAWING

DA02

ISSUE

1.7
DATE 26/02/2025

SCALE

NTS
DRAWN BY FG

CROWN ROAD



57.27 HL 55.85 SL WINDOW	57.29 HL 56.18 SL WINDOW	57.29 HL 56.18 SL WINDOW	57.29 HL 55.82 SL WINDOW	57.29 HL 56.54 SL WINDOW	
54.51 HL 53.04 SL WINDOW	54.52 HL 53.38 SL WINDOW	54.52 HL 53.38 SL WINDOW	54.52 HL 53.08 SL WINDOW	54.51 HL 53.77 SL WINDOW	
51.85 HL 50.40 SL WINDOW	51.85 HL 50.72 SL WINDOW	51.85 HL 50.76 SL WINDOW	51.85 HL 50.42 SL WINDOW	51.85 HL 51.09 SL WINDOW	57.29 HL 55.80 SL WINDOW

BOUNDARY 35.06m

LOT A

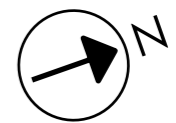
235.0 m2

LOT B

231.5 m2

BOUNDARY 35.06m

WINDOW 53.15 SL 53.73 HL	WINDOW 53.14 SL 53.72 HL	WINDOW 52.53 SL 53.45 HL	WINDOW 52.51 SL 53.45 HL	WINDOW 52.52 SL 53.87 HL	WINDOW 52.53 SL 53.87 HL	WINDOW 53.19 SL 53.81 HL
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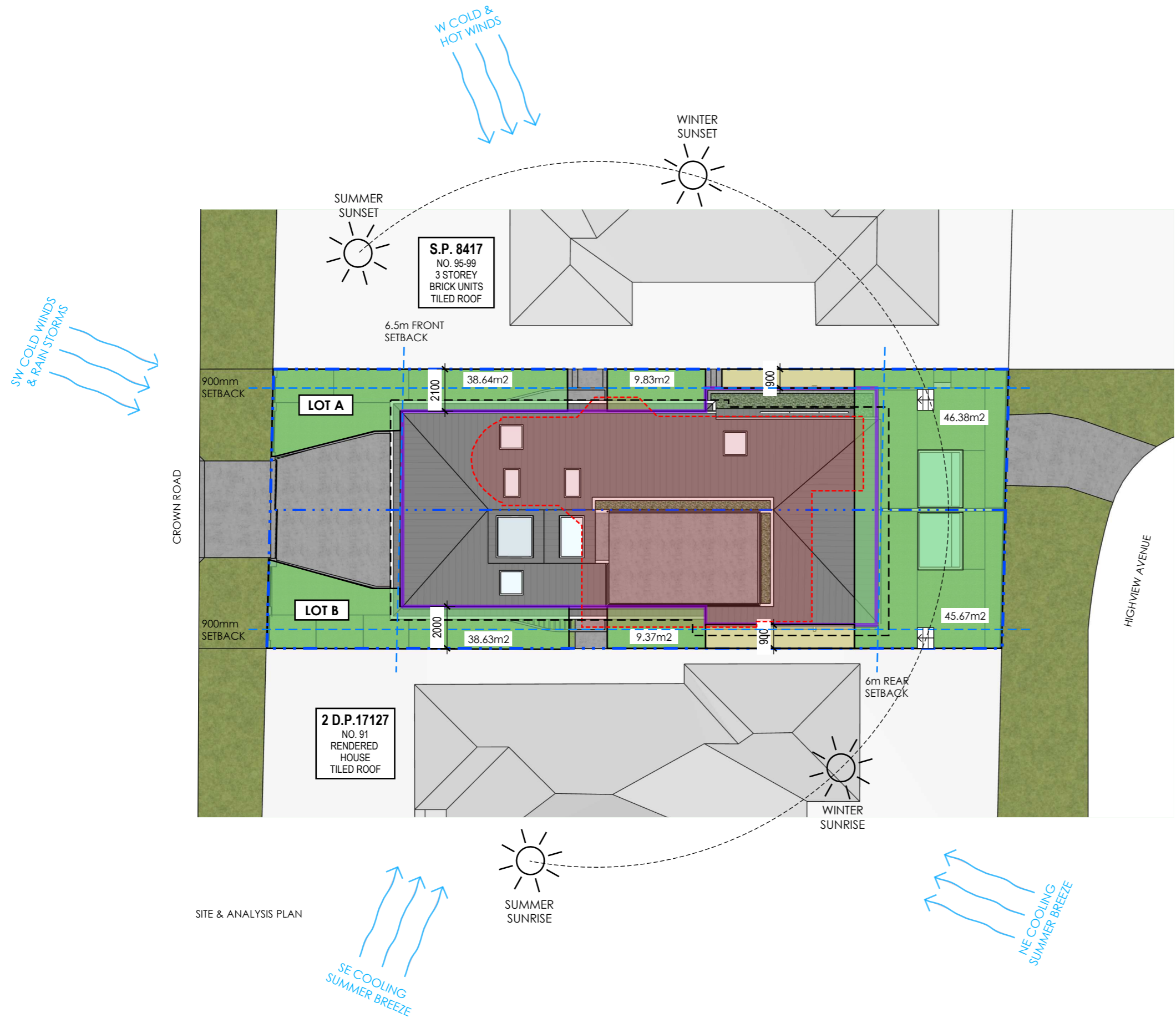
mac2mac atelier
design & interiors
0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING	TITLE	LOT DIVISION
E & C MACINDOE	CLIENT	93 CROWN ROAD, QUEENSCLIFF NSW 2096
	ADDRESS	

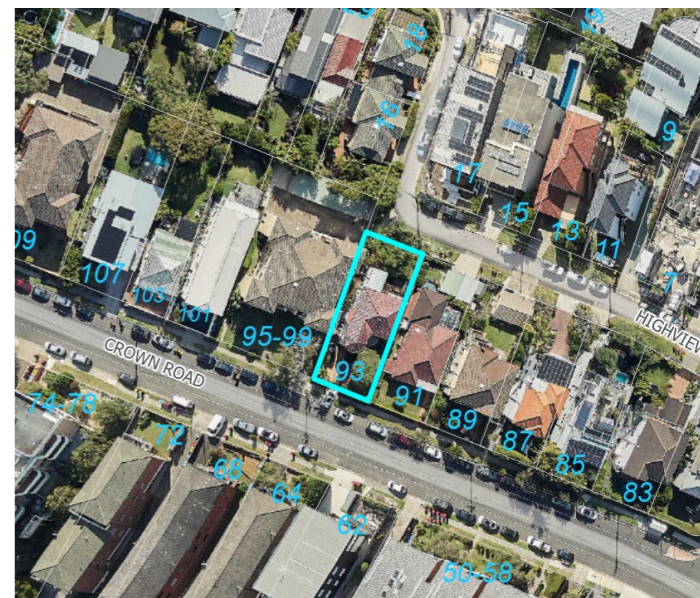
FINISHES SCHEDULE	
(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MSZ) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(CBT) EXPOSED DECORATIVE BRICK WALL	(CCF) EXPOSED CONCRETE FINISH
(CBZ) HIT-AND-MISS DECORATIVE BRICK WALL	(SKYL) SKYLIGHT (REF. WINDOW SCHEDULE)

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DRAWING	ISSUE	SCALE
DA03	1.7	1:100 @ A3
	DATE	DRAWN BY
	26/02/2025	FG



CROWN STREET VIEW



LOCATION PLAN (NTS, NORTH FACING UP)

KEY

- L.O.S. > 2m WIDE
- L.O.S. < 2m WIDE
- EXISTING HOUSE TO BE DEMOLISHED
- PROPOSED CONSTRUCTION (NOT INCLUDING EVES)
- SITE BOUNDARY



mac2mac atelier
design & interiors
0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING

TITLE SITE ANALYSIS

CLIENT E & C MACINDOE

ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|---|---|
| MS1 METAL SHEETING - WALL | RFT RENDERED FINISH |
| MS2 METAL SHEETING - ROOF | PBT BRICK FINISH |
| CB1 EXPOSED DECORATIVE BRICK WALL | CCF EXPOSED CONCRETE FINISH |
| CB2 HIT-AND-MISS DECORATIVE BRICK WALL | SKY1 SKYLIGHT (REF. WINDOW SCHEDULE) |

GENERAL NOTES

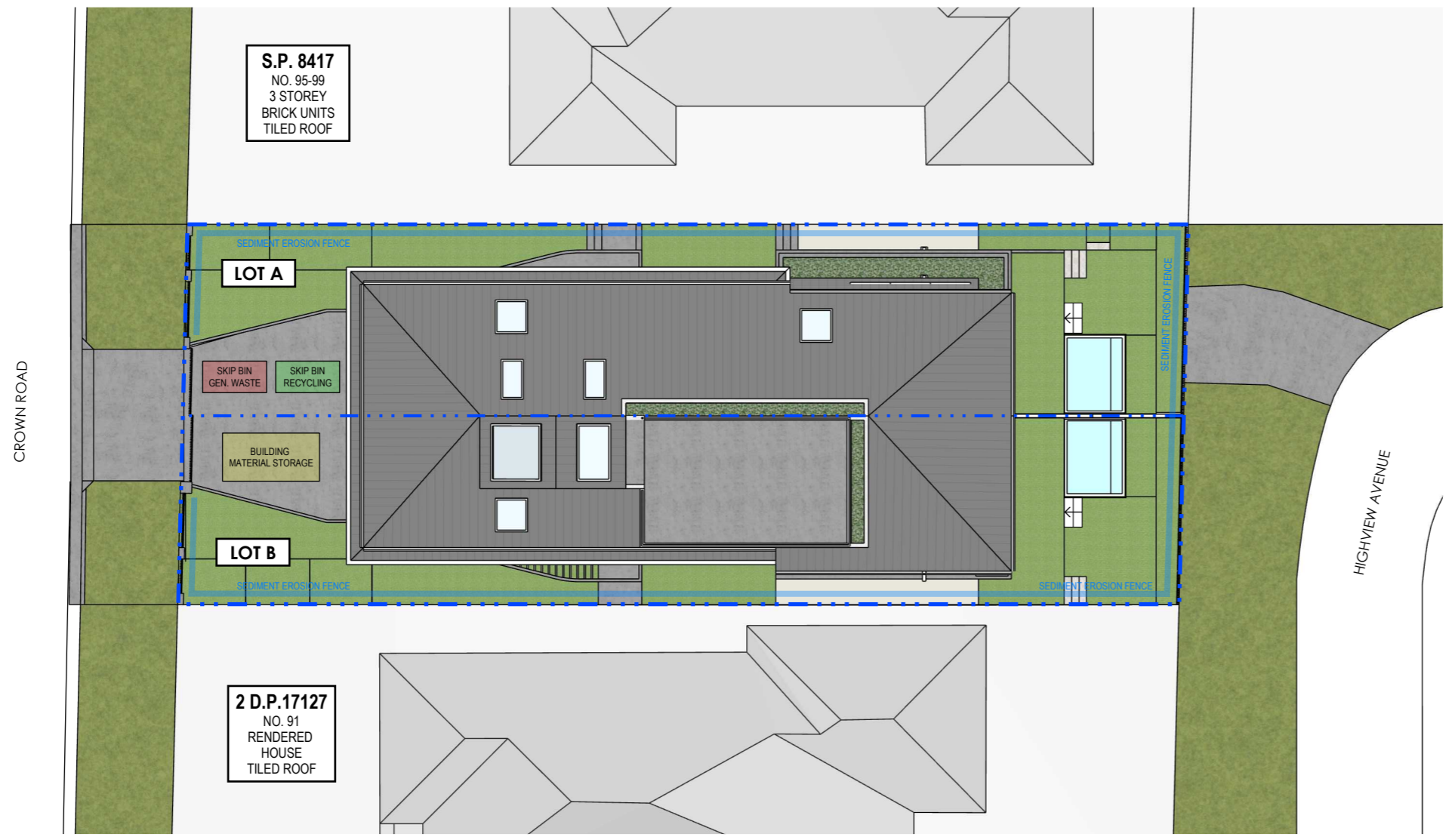
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DRAWING

DA04

ISSUE 1.7
DATE 26/02/2025

SCALE 1:200 @ A3
DRAWN BY FG



NOTES REGARDING BOUNDARY
 THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.

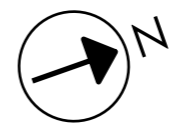
DUST CONTROL
 TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE
 1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES
 ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
 ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
 IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION
 PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

STORMWATER
 ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING. REFER TO STORMWATER PLAN BY OTHERS.



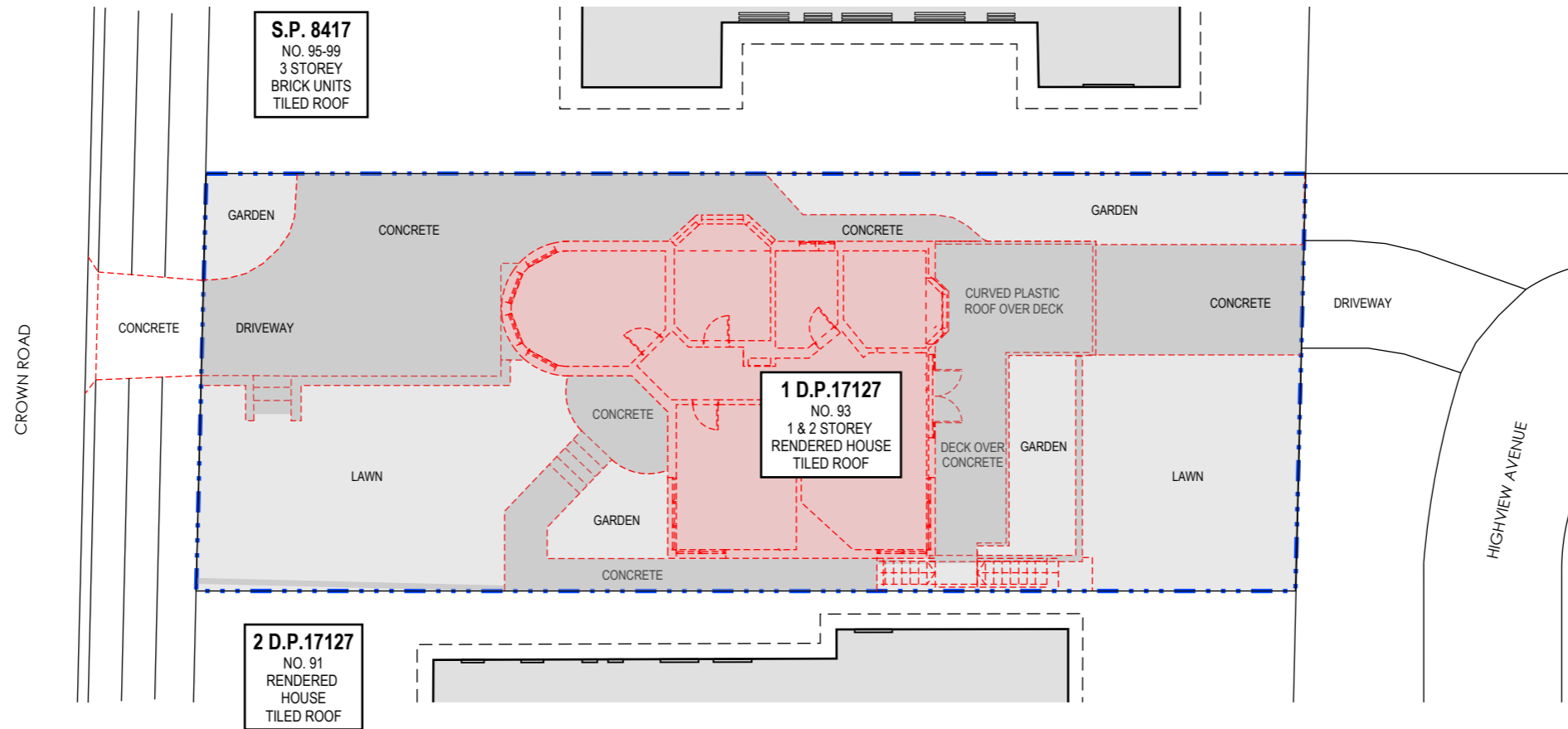
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CLIENT	E & C MACINDOE	TITLE	NEW STRATA DWELLING	ADDRESS	93 CROWN ROAD, QUEENSLIFF NSW 2096
TITLE	SITE / SEDIMENT / EROSION / WASTE MGMT PLAN				

FINISHES SCHEDULE	
(MS1) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MS2) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(DB1) EXPOSED DECORATIVE BRICK WALL	(CON) EXPOSED CONCRETE FINISH
(DB2) HIT-AND-MISS DECORATIVE BRICK WALL	(SKYL) SKYLIGHT (REF. WINDOW SCHEDULE)

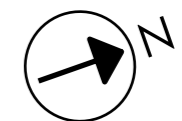
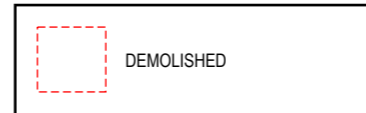
GENERAL NOTES
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 -The designer to be immediately notified of any discrepancies.

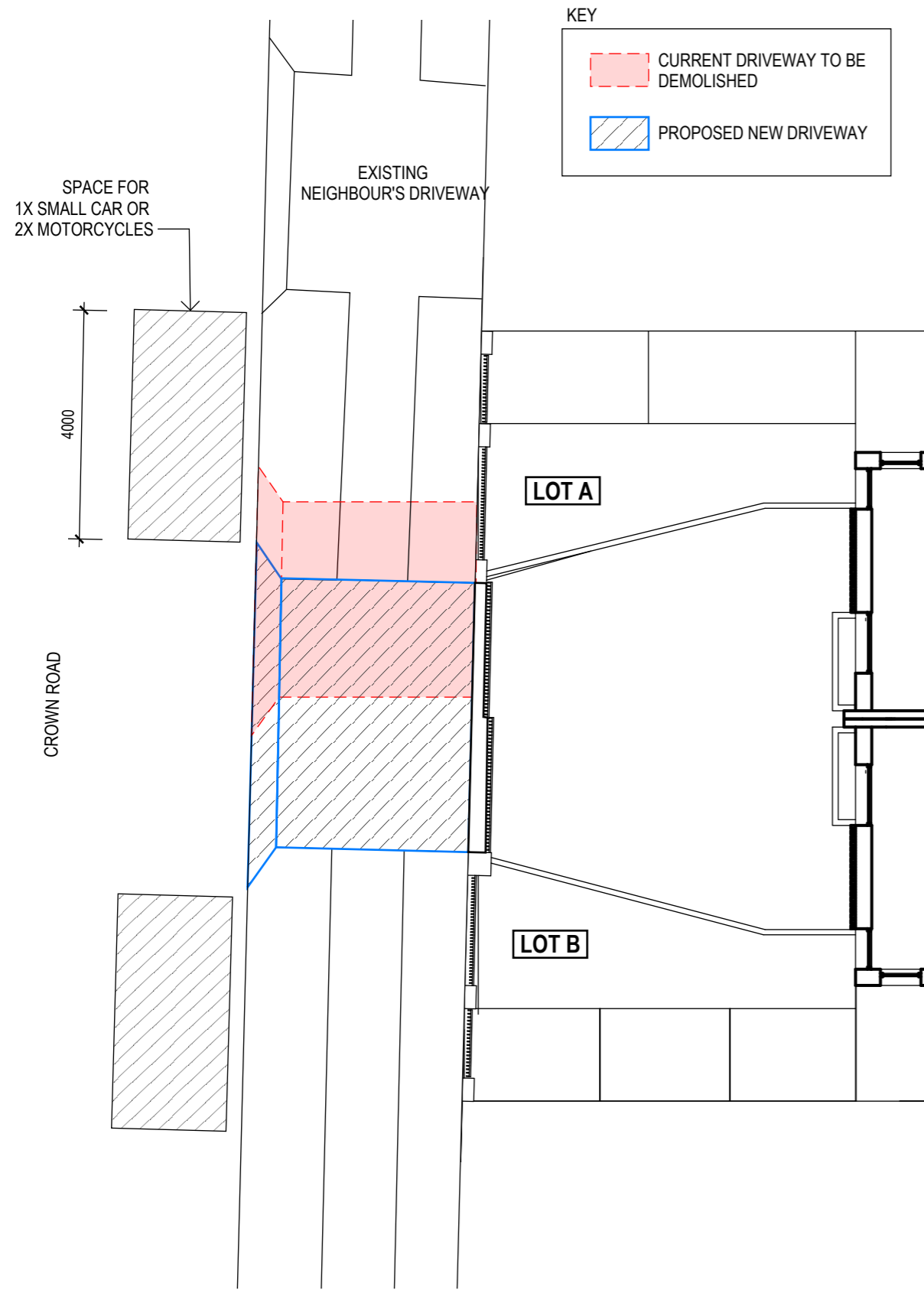
DRAWING	ISSUE	SCALE
DA05	1.7	1:200 @ A3
	DATE	DRAWN BY
	26/02/2025	FG



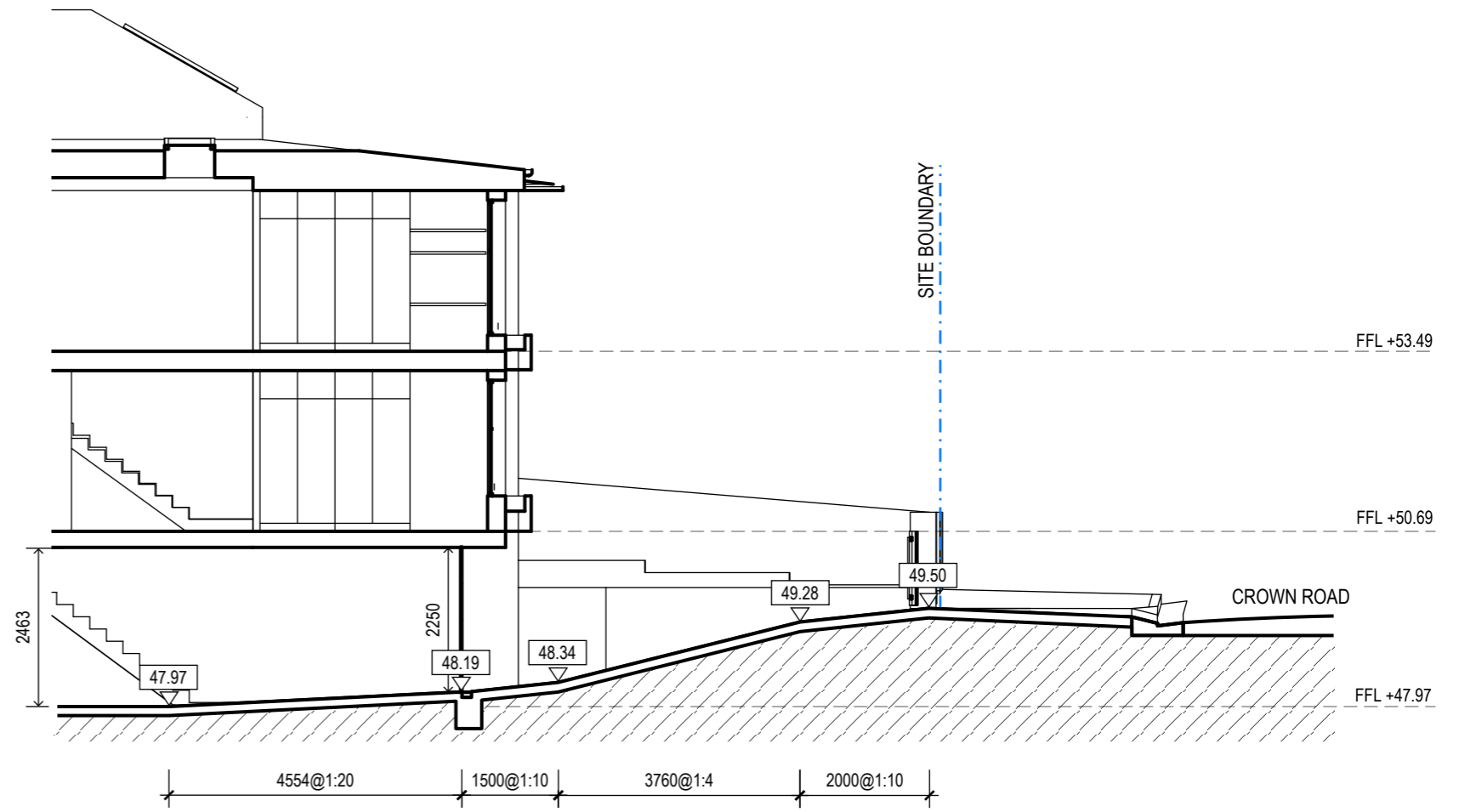
EXISTING AND DEMOLITION PLAN

KEY





PROPOSED DRIVEWAY FLOORPLAN



PROPOSED DRIVEWAY SECTION

mac2mac atelier
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0413069379 emmacdesigns@gmail.com

NEW STRATA DWELLING
CLIENT E & C MACINDOE

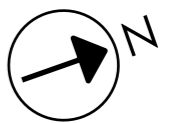
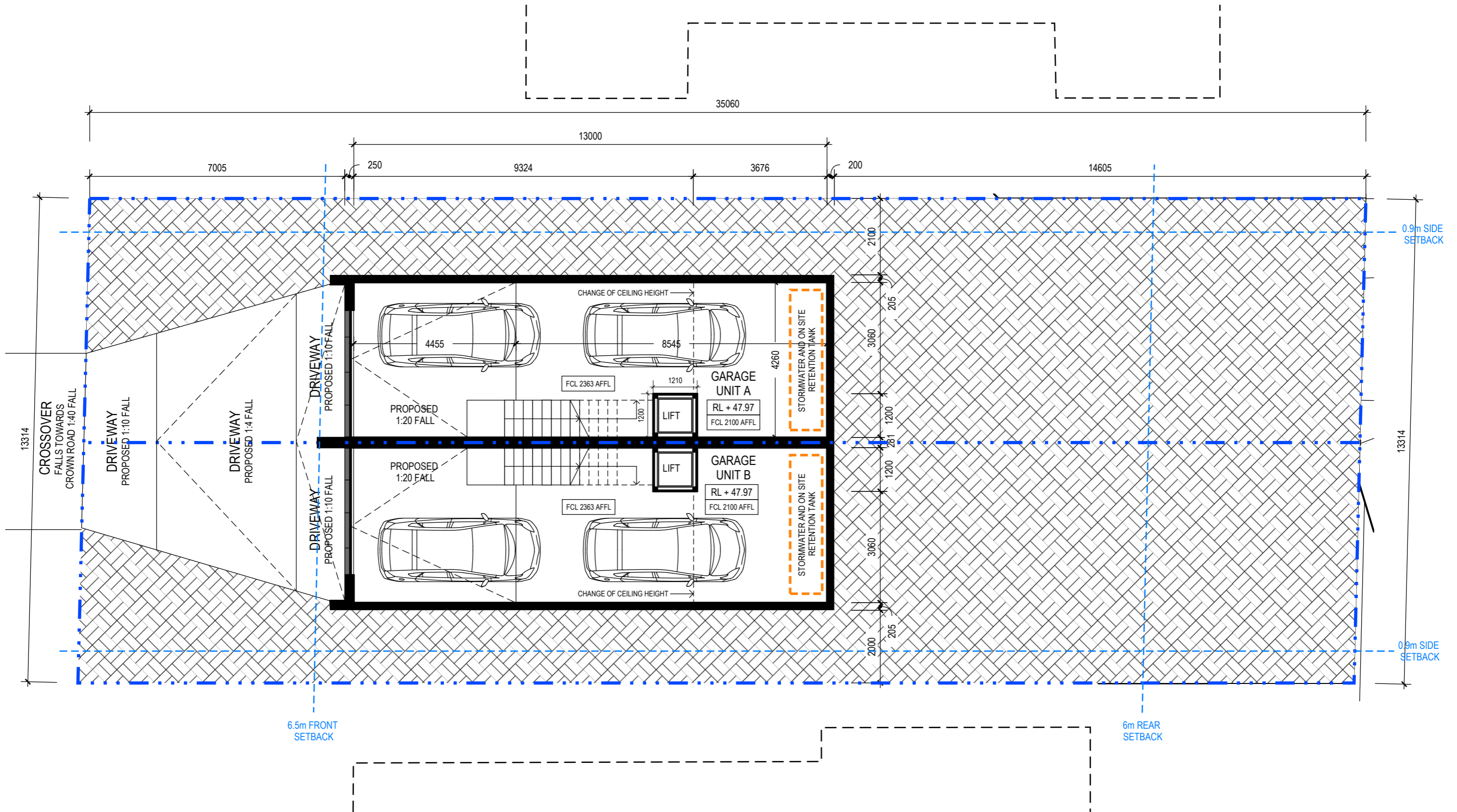
TITLE PROPOSED DRIVEWAY & STREET PARKING PLAN
ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE	
(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MSZ) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(CBT) EXPOSED DECORATIVE BRICK WALL	(CON) EXPOSED CONCRETE FINISH
(BZ) HIT-AND-MISS DECORATIVE BRICK WALL	(SKYL) SKYLIGHT (REF. WINDOW SCHEDULE)

GENERAL NOTES

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DRAWING	ISSUE	SCALE
DA08	1.7	1:100 @ A3
	DATE	DRAWN BY
	26/02/2025	FG



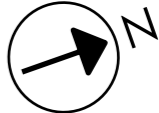
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CLIENT	E & C MACINDOE	TITLE	PROPOSED BASEMENT
ADDRESS	93 CROWN ROAD, QUEENSLIFF NSW 2096		

FINISHES SCHEDULE			
(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH	(CBT) BRICK FINISH	
(MSZ) METAL SHEETING - ROOF	(CGR) EXPOSED CONCRETE FINISH	(SKY) SKYLIGHT (REF. WINDOW SCHEDULE)	
(CBI) EXPOSED DECORATIVE BRICK WALL			
(CBB) HIT-AND-MISS DECORATIVE BRICK WALL			

GENERAL NOTES
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DRAWING	ISSUE	SCALE
DA10	1.7	1:100 @ A3
DATE	DRAWN BY	
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NEW STRATA DWELLING
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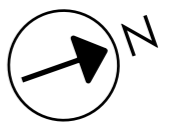
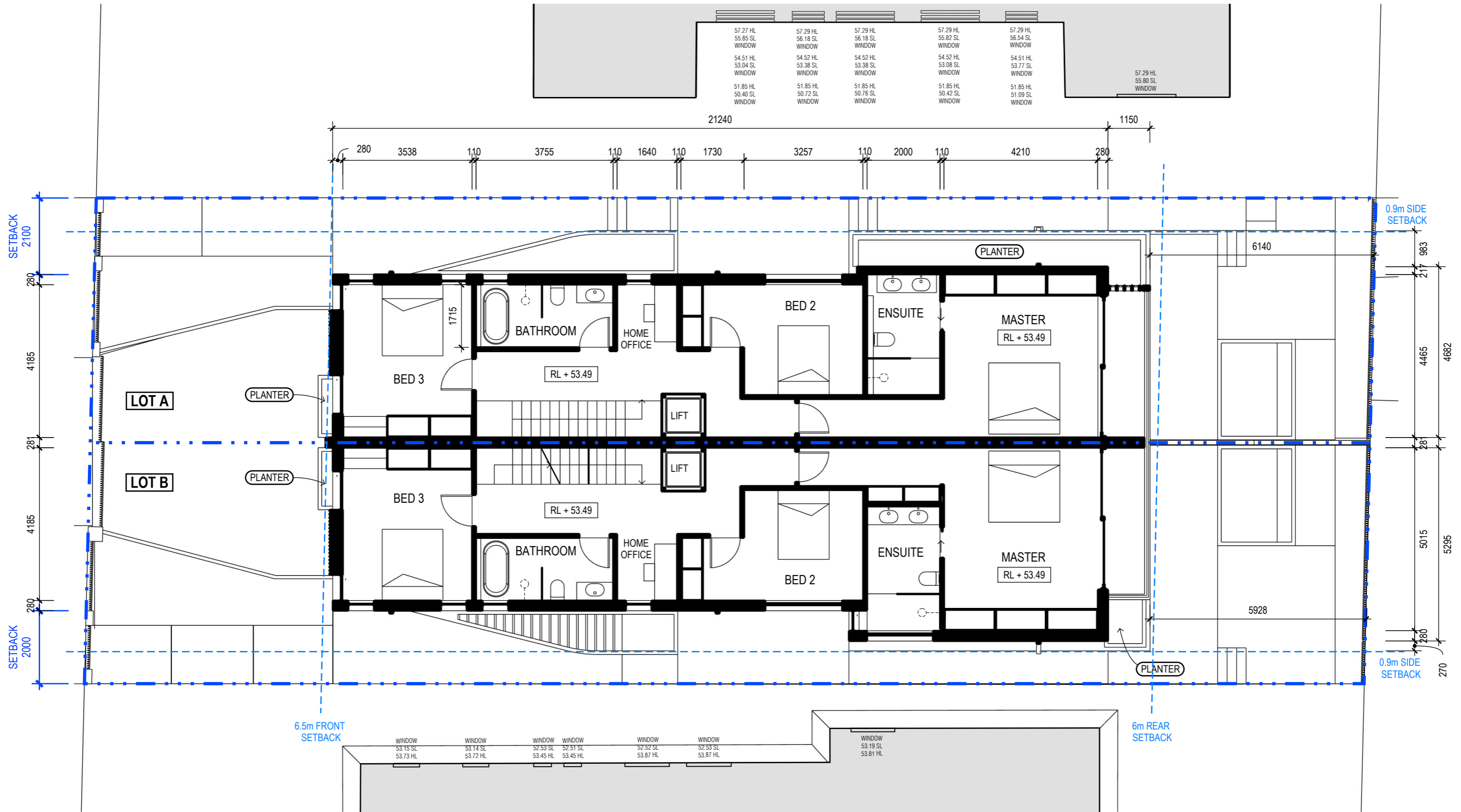
TITLE: PROPOSED GROUND FLOOR
ADDRESS: 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MS2) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(EBT) EXPOSED DECORATIVE BRICK WALL	(CCF) EXPOSED CONCRETE FINISH
(B22) HIT-AND-MISS DECORATIVE BRICK WALL	(SKY) SKYLIGHT (REF. WINDOW SCHEDULE)

GENERAL NOTES
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DRAWING: DA11	ISSUE: 1.7	SCALE: 1:100 @ A3
DATE: 26/02/2025	DRAWN BY: FG	



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NEW STRATA DWELLING
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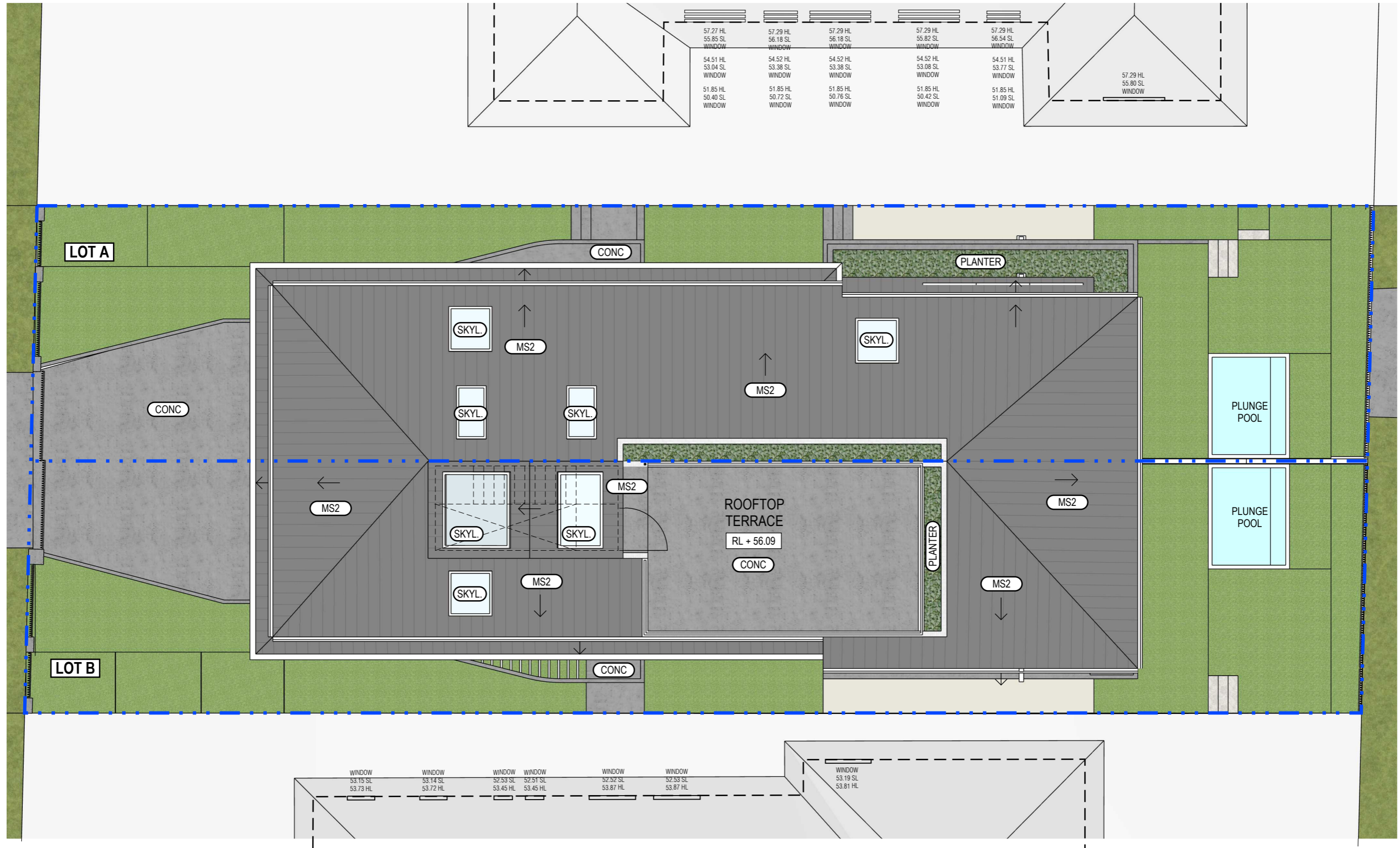
TITLE: PROPOSED FIRST FLOOR
ADDRESS: 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

(MST) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MSZ) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(EBT) EXPOSED DECORATIVE BRICK WALL	(CON) EXPOSED CONCRETE FINISH
(BZ) HIT-AND-MISS DECORATIVE BRICK WALL	(SKY) SKYLIGHT (REF. WINDOW SCHEDULE)

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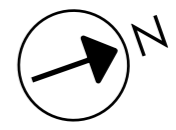
DRAWING: DA12	ISSUE: 1.7	SCALE: 1:100 @ A3
	DATE: 26/02/2025	DRAWN BY: FG



57.27 HL 55.85 SL WINDOW	57.29 HL 56.18 SL WINDOW	57.29 HL 56.18 SL WINDOW	57.29 HL 55.82 SL WINDOW	57.29 HL 56.54 SL WINDOW
54.51 HL 53.04 SL WINDOW	54.52 HL 53.38 SL WINDOW	54.52 HL 53.38 SL WINDOW	54.52 HL 53.08 SL WINDOW	54.51 HL 53.77 SL WINDOW
51.85 HL 50.40 SL WINDOW	51.85 HL 50.72 SL WINDOW	51.85 HL 50.76 SL WINDOW	51.85 HL 50.42 SL WINDOW	51.85 HL 51.09 SL WINDOW

WINDOW 53.15 SL 53.73 HL	WINDOW 53.14 SL 53.72 HL	WINDOW 52.53 SL 53.45 HL	WINDOW 52.51 SL 53.45 HL	WINDOW 52.52 SL 53.87 HL	WINDOW 52.53 SL 53.87 HL
--------------------------------	--------------------------------	--------------------------------	--------------------------------	--------------------------------	--------------------------------

WINDOW 53.19 SL 53.81 HL



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NEW STRATA DWELLING

PROPOSED ROOF

CLIENT
E & C MACINDOE

ADDRESS
93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

(MS1) METAL SHEETING - WALL	(RFT) RENDERED FINISH
(MS2) METAL SHEETING - ROOF	(PBT) BRICK FINISH
(EBT) EXPOSED DECORATIVE BRICK WALL	(CON) EXPOSED CONCRETE FINISH
(BMT) HIT-AND-MISS DECORATIVE BRICK WALL	(SKYL) SKYLIGHT (REF. WINDOW SCHEDULE)

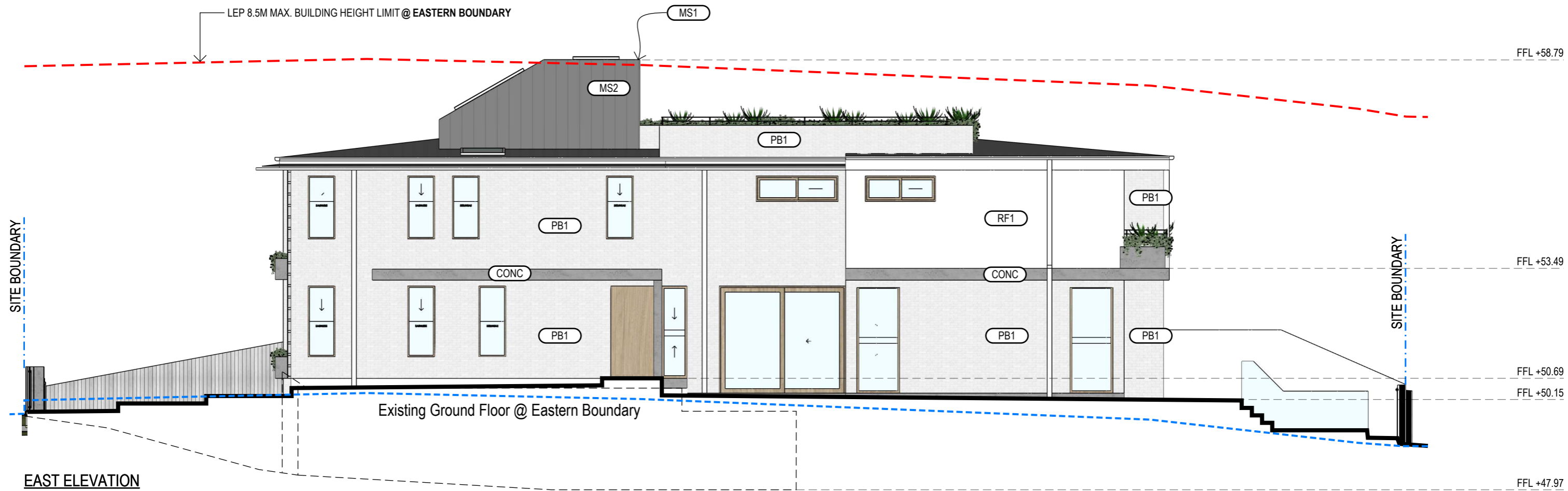
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DRAWING
DA13

ISSUE
1.7
DATE
26/02/2025

SCALE
1:100 @ A3
DRAWN BY
FG



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NEW STRATA DWELLING

TITLE EAST ELEVATION

CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

MS1	METAL SHEETING - WALL	RF1	RENDERED FINISH
MS2	METAL SHEETING - ROOF	PB1	BRICK FINISH
DB1	EXPOSED DECORATIVE BRICK WALL	CONC	EXPOSED CONCRETE FINISH
DB2	HIT-AND-MISS DECORATIVE BRICK WALL	SKYL	SKYLIGHT (REF. WINDOW SCHEDULE)

GENERAL NOTES

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DRAWING

DA14

ISSUE 1.7
DATE 26/02/2025

SCALE 1:100 @ A3
DRAWN BY FG



WEST ELEVATION

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NEW STRATA DWELLING

TITLE WEST ELEVATION

CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

MS1	METAL SHEETING - WALL	RF1	RENDERED FINISH
MS2	METAL SHEETING - ROOF	PB1	BRICK FINISH
DB1	EXPOSED DECORATIVE BRICK WALL	CONC	EXPOSED CONCRETE FINISH
DB2	HIT-AND-MISS DECORATIVE BRICK WALL	SKYL	SKYLIGHT (REF. WINDOW SCHEDULE)

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DRAWING

DA15

ISSUE

1.7

DATE

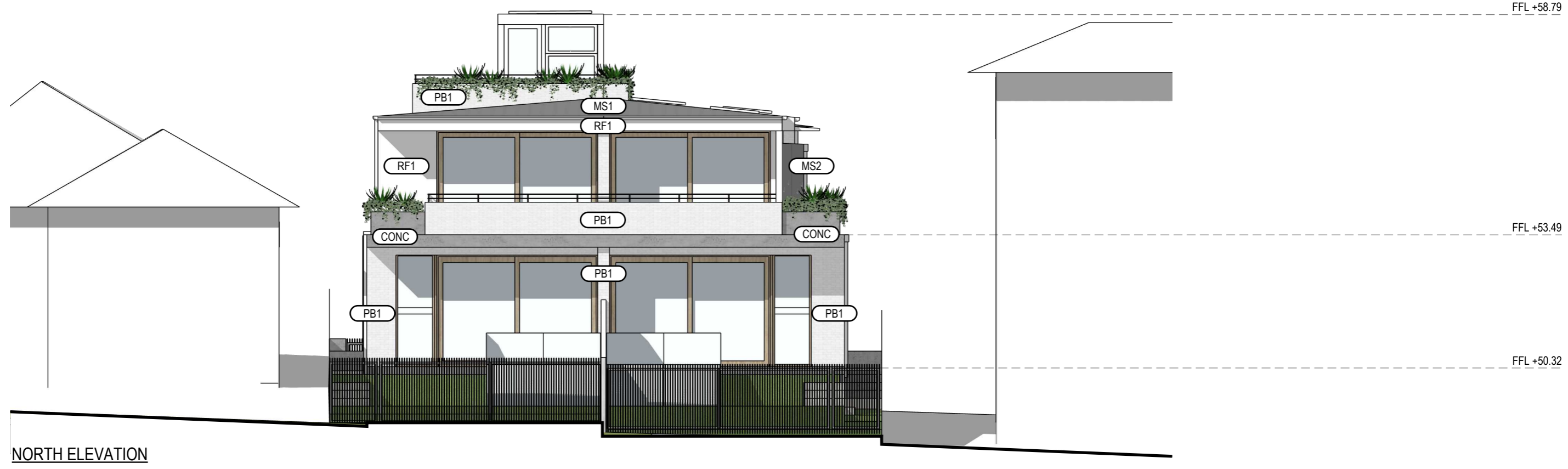
26/02/2025

SCALE

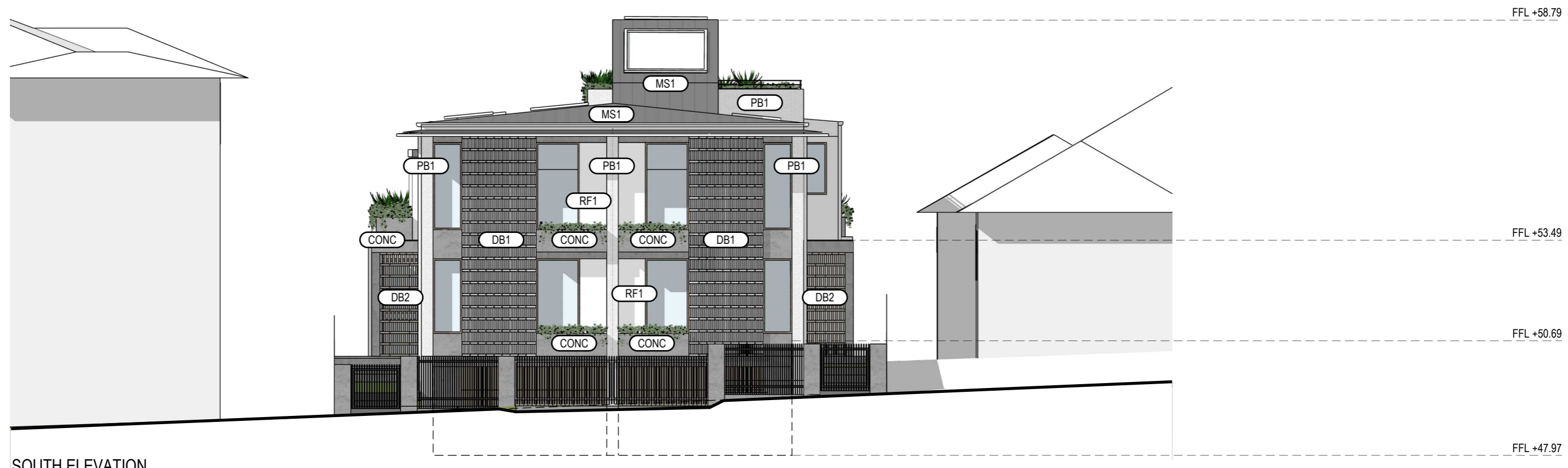
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DRAWN BY

FG



NORTH ELEVATION



SOUTH ELEVATION

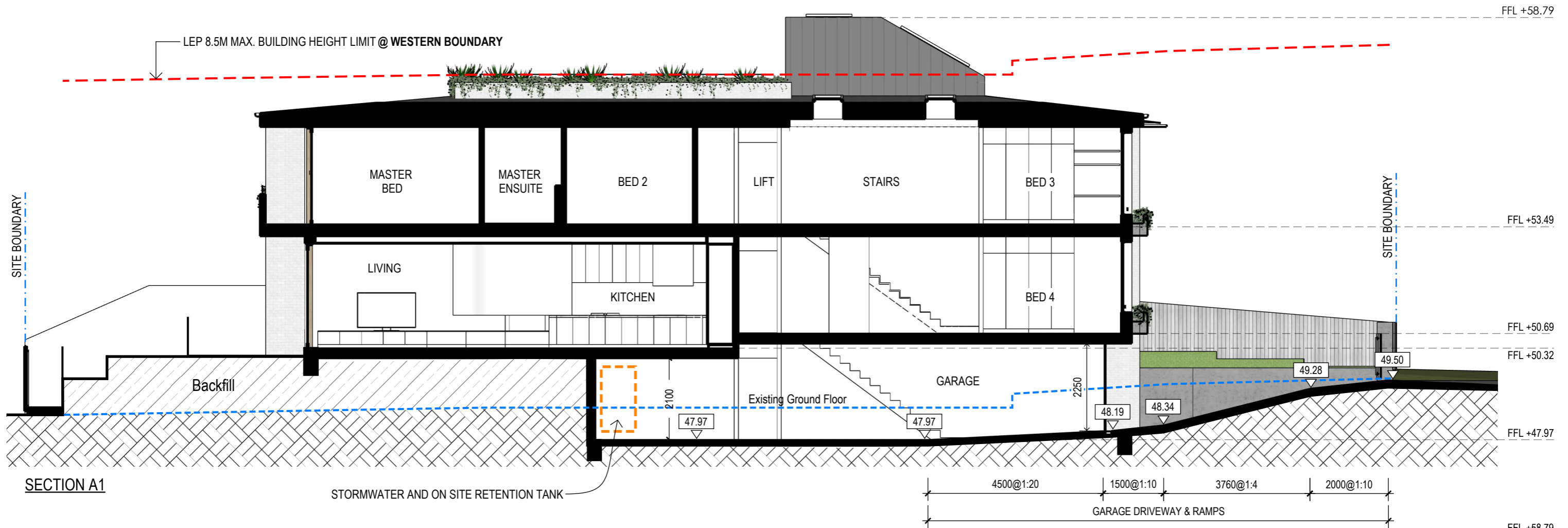
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TITLE	NEW STRATA DWELLING NORTH & SOUTH ELEVATIONS	
CLIENT	E & C MACINDOE	
ADDRESS	93 CROWN ROAD, QUEENSLIFF NSW 2096	

FINISHES SCHEDULE	
MS1	METAL SHEETING - WALL
MS2	METAL SHEETING - ROOF
DB1	EXPOSED DECORATIVE BRICK WALL
DB2	HIT-AND-MISS DECORATIVE BRICK WALL
RF1	RENDERED FINISH
PB1	BRICK FINISH
CONC	EXPOSED CONCRETE FINISH
SKYT	SKYLIGHT (REF. WINDOW SCHEDULE)

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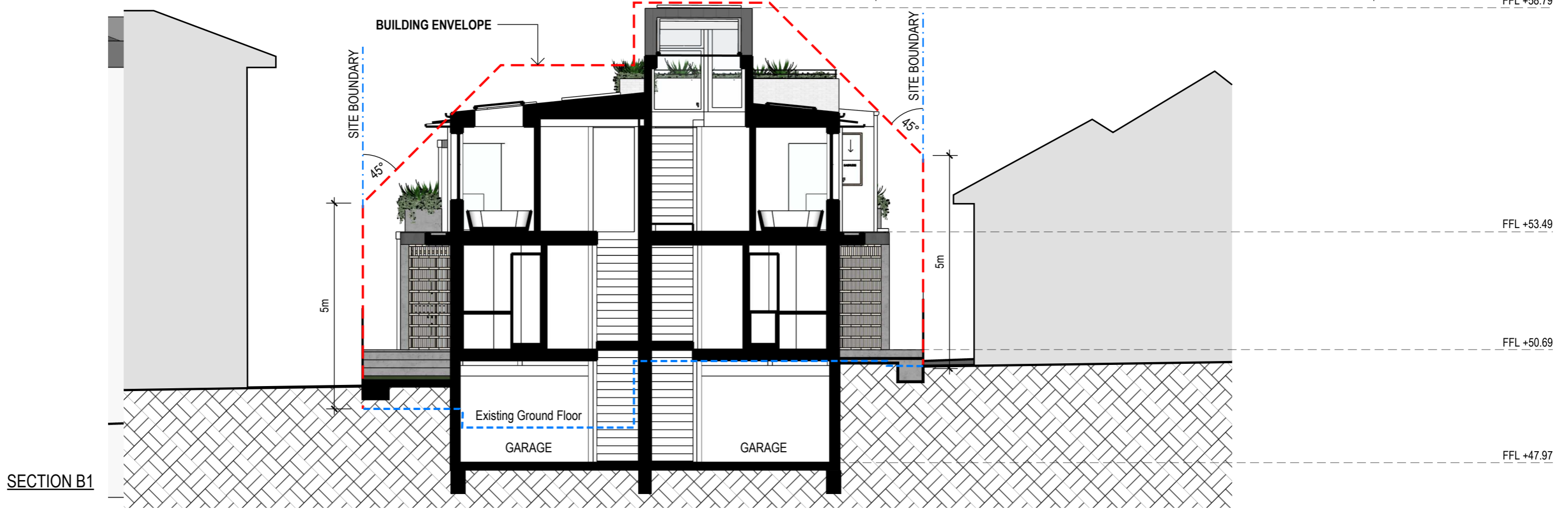
DRAWING	ISSUE	SCALE
DA16	1.7	1:100 @ A3
DATE	DRAWN BY	
26/02/2025	FG	



SECTION A1

STORMWATER AND ON SITE RETENTION TANK

GARAGE DRIVEWAY & RAMPS



SECTION B1

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NEW STRATA DWELLING

SECTIONS

CLIENT

E & C MACINDOE

TITLE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|--|--|
| (MST) METAL SHEETING - WALL | (RFT) RENDERED FINISH |
| (MSZ) METAL SHEETING - ROOF | (PBT) BRICK FINISH |
| (DBT) EXPOSED DECORATIVE BRICK WALL | (CON) EXPOSED CONCRETE FINISH |
| (DBZ) HIT-AND-MISS DECORATIVE BRICK WALL | (SKYL) SKYLIGHT (REF. WINDOW SCHEDULE) |

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DRAWING

DA17

ISSUE

1.7

DATE

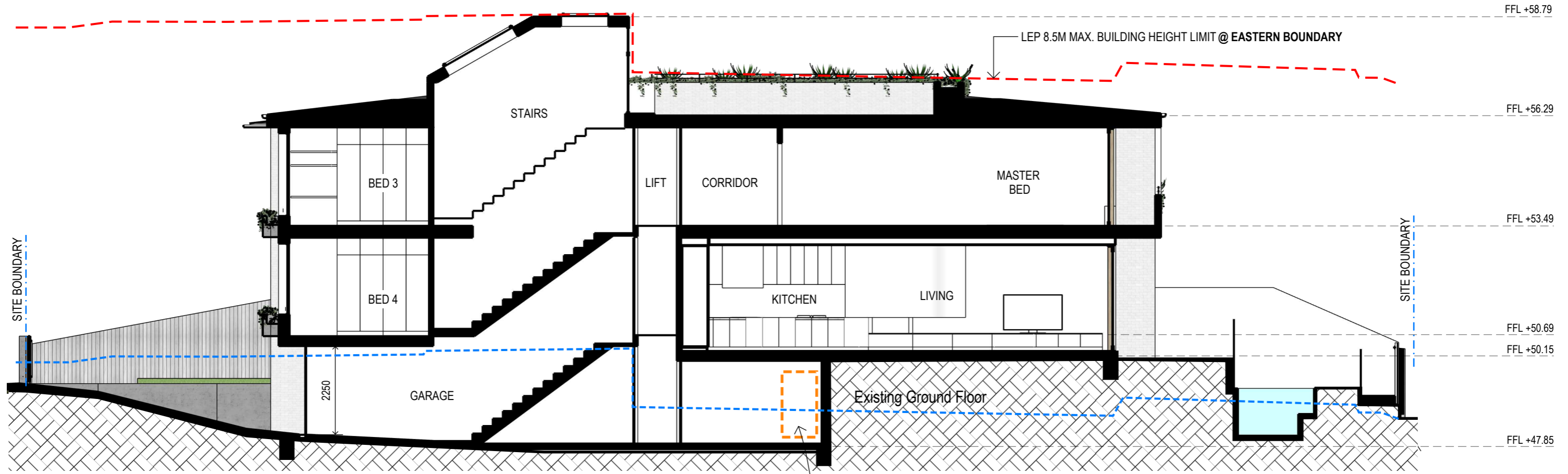
26/02/2025

SCALE

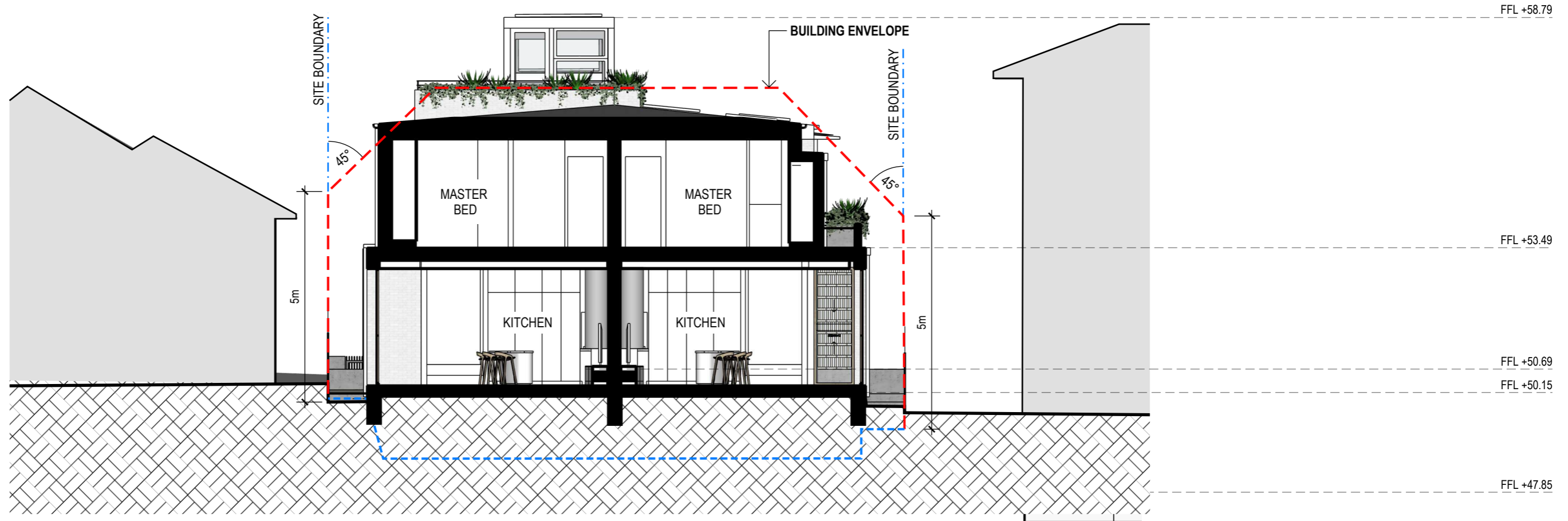
1:100 @ A3

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SECTION A2



SECTION B2

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NEW STRATA DWELLING

TITLE SECTIONS

CLIENT

E & C MACINDOE

ADDRESS

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FINISHES SCHEDULE

- | | |
|--|--|
| (MST) METAL SHEETING - WALL | (RFT) RENDERED FINISH |
| (MSZ) METAL SHEETING - ROOF | (PBT) BRICK FINISH |
| (DBT) EXPOSED DECORATIVE BRICK WALL | (CON) EXPOSED CONCRETE FINISH |
| (DBZ) HIT-AND-MISS DECORATIVE BRICK WALL | (SKYL) SKYLIGHT (REF. WINDOW SCHEDULE) |

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DRAWING

DA18

ISSUE

1.7

DATE

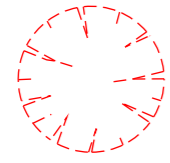
26/02/2025

SCALE

1:100 @ A3

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FG



Existing tree(s) to be removed

SHRUBS

- Westringia Fruticosa
- Crassula Max Cook
- Agave Tennyson
- Alocasia Macrorrhiza
- Euforbia Firestix
- Lomandra Longifolia

TREES

- Frangipani
- Tristaniopsis Laurina
- Syzygium Australe "Resilience"

GROUND COVER/CREEPERS

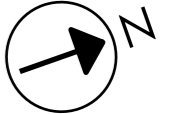
- Ligularia Reniformis
- Senecio SP.
- Dichondra Silver Falls
- Ficus Pumila

SURFACES

- PEBBLED MULCH
- PROPOSED COLOURED CONCRETE
- LAWN AREA
- STEPPING STONES

POOL FENCING

- POOL SAFETY FENCE
- NOTE:**
All pool fencing, including glass fencing and boundary fencing adjacent to pool, to comply with AS 1926.1 and BCA



Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

STEPPING STONES IN LAWN AREA

NEW FRANGIPANI TREE

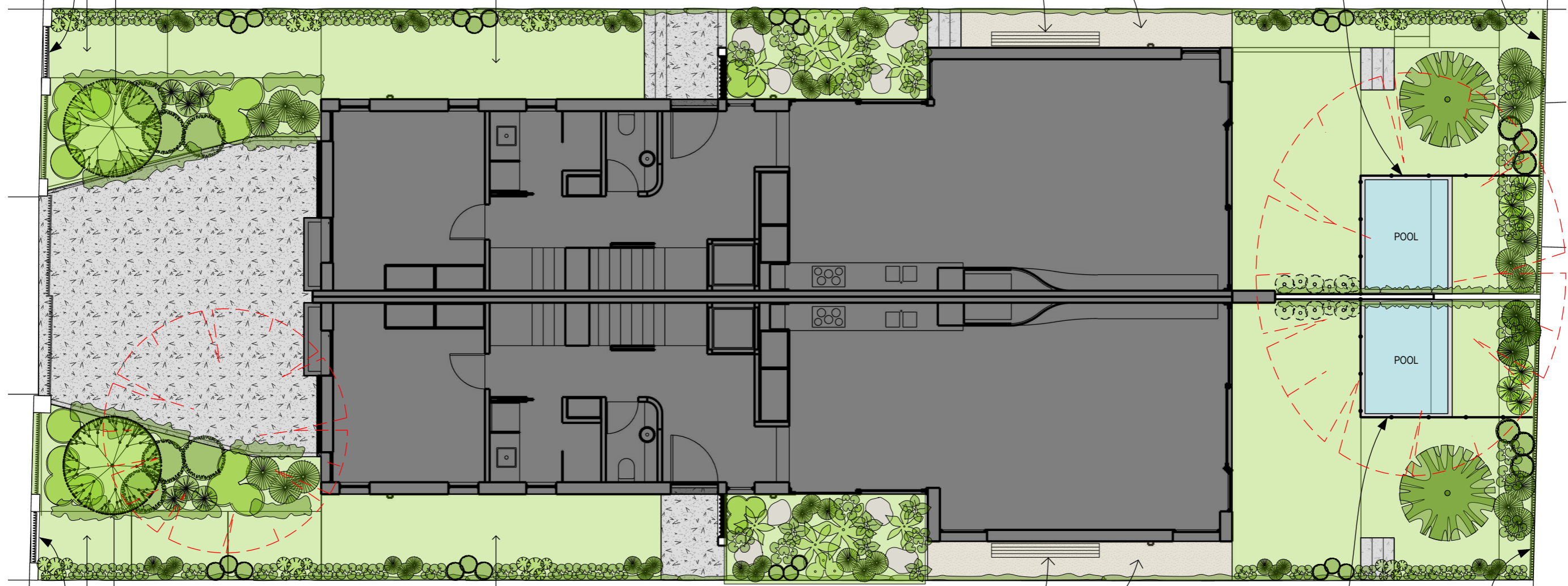
STEPPING STONES IN LAWN AREA

Pebbled Mulch

Washing line

Proposed 1200mm high glass pool safety fence and gate to comply with AS 1926.1 and BCA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail



EXISTING FRANGIPANI TREE

STEPPING STONES IN LAWN AREA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

STEPPING STONES IN LAWN AREA

Washing line

Pebbled Mulch

Proposed 1200mm high glass pool safety fence and gate to comply with AS 1926.1 and BCA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

FINISHES SCHEDULE

- | | |
|------------------------------------|---------------------------------|
| METAL SHEETING - WALL | RENDERED FINISH |
| METAL SHEETING - ROOF | BRICK FINISH |
| EXPOSED DECORATIVE BRICK WALL | EXPOSED CONCRETE FINISH |
| HIT-AND-MISS DECORATIVE BRICK WALL | SKYLIGHT (REF. WINDOW SCHEDULE) |

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DRAWING

DA30

ISSUE

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DATE

26/02/2025

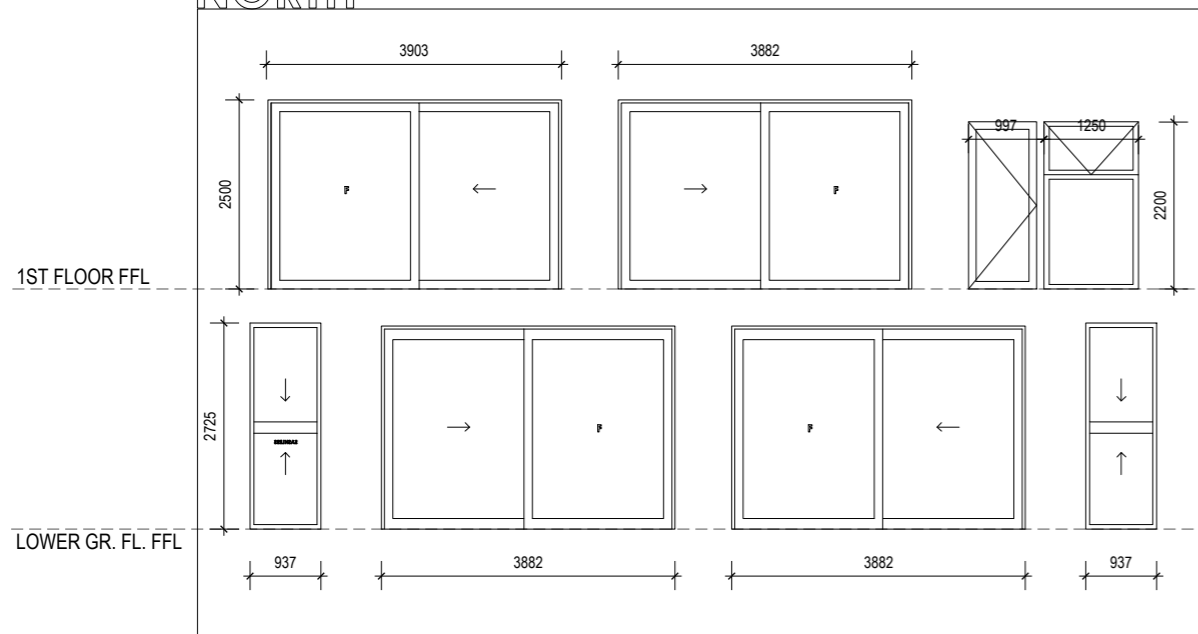
SCALE

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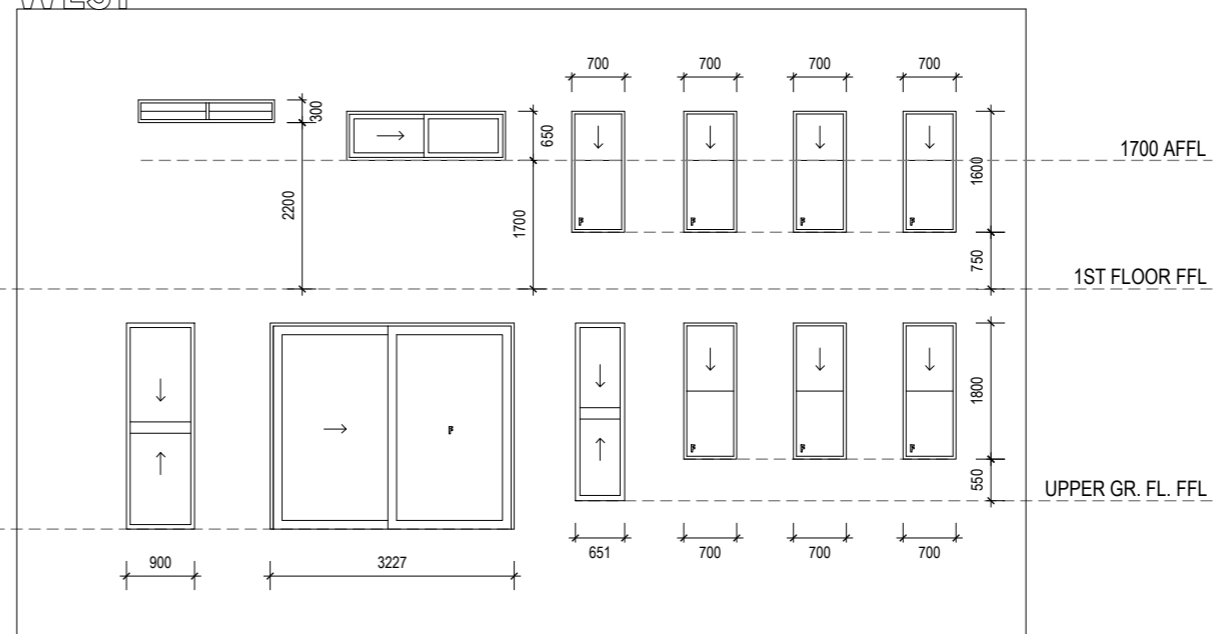
DRAWN BY

FG

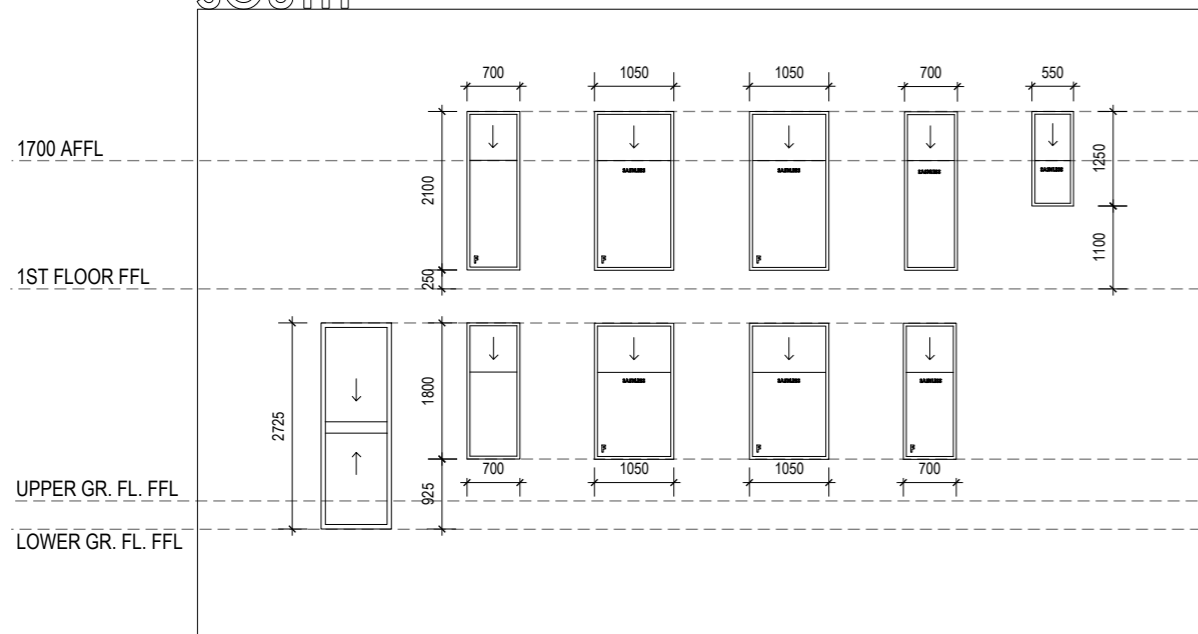
NORTH



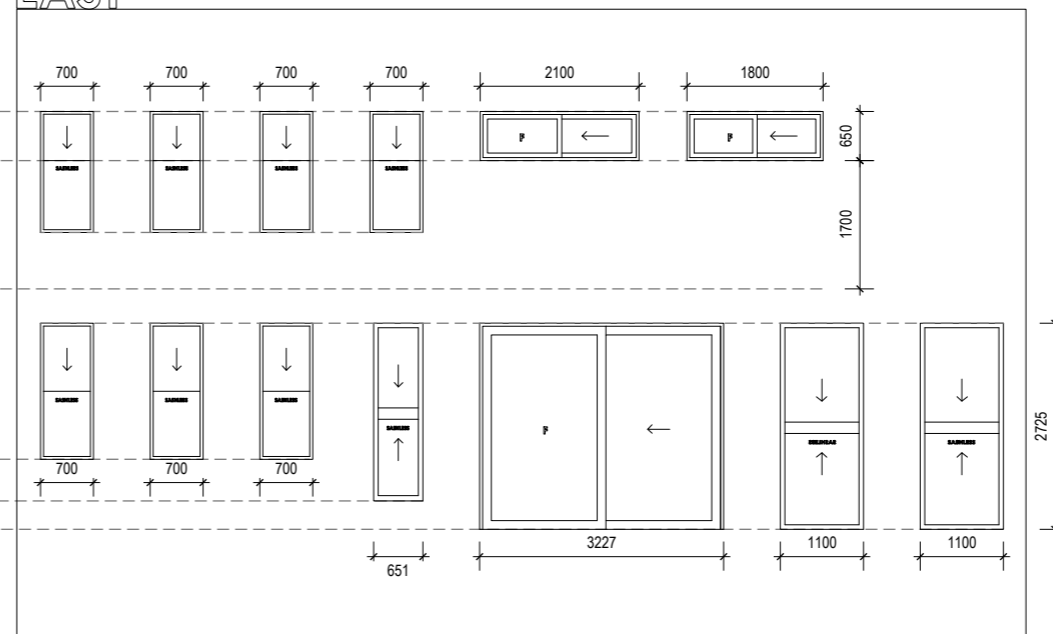
WEST



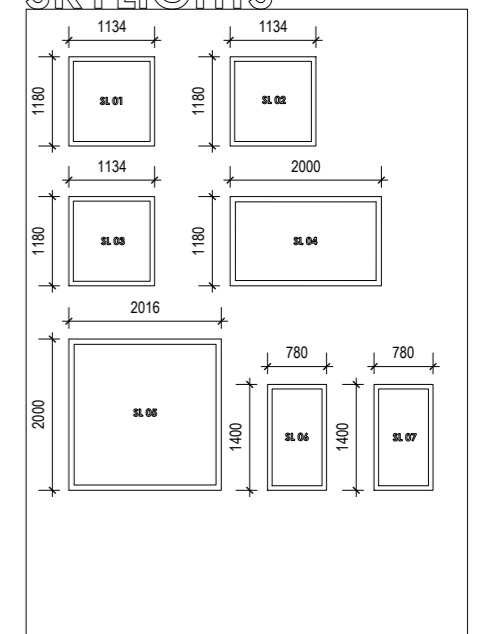
SOUTH



EAST



SKYLIGHTS



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design & interiors
0413069379 emmamacdesigns@gmail.com

NEW STRATA DWELLING

TITLE WINDOW SCHEDULE

CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- MS1 METAL SHEETING - WALL
- MS2 METAL SHEETING - ROOF
- CB1 EXPOSED DECORATIVE BRICK WALL
- CB2 HIT-AND-MISS DECORATIVE BRICK WALL
- RFT RENDERED FINISH
- PBT BRICK FINISH
- CCF EXPOSED CONCRETE FINISH
- SKYL SKYLIGHT (REF. WINDOW SCHEDULE)

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DRAWING

DA31

ISSUE

1.7

DATE

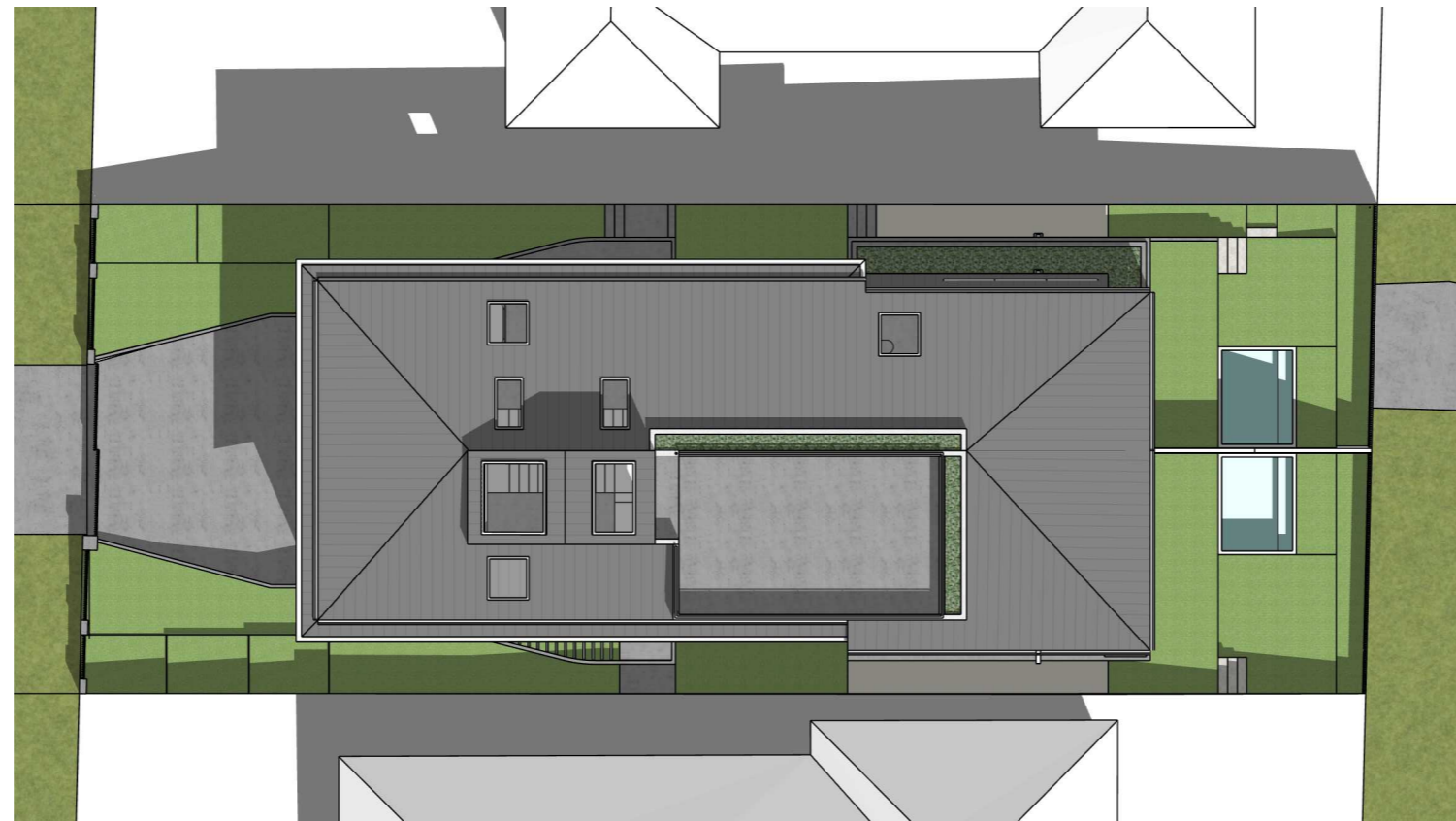
26/02/2025

SCALE

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DRAWN BY

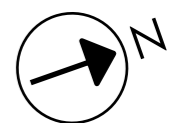
FG



SUMMER SOLSTICE - 9AM



WINTER SOLSTICE - 9AM



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NEW STRATA DWELLING

TITLE SHADOW DIAGRAM - 9AM

CLIENT E & C MACINDOE

ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|---|---|
| (MST) METAL SHEETING - WALL | (RFT) RENDERED FINISH |
| (MSZ) METAL SHEETING - ROOF | (PBT) BRICK FINISH |
| (CBT) EXPOSED DECORATIVE BRICK WALL | (CCF) EXPOSED CONCRETE FINISH |
| (CBZ) HIT-AND-MISS DECORATIVE BRICK WALL | (SKYL) SKYLIGHT (REF. WINDOW SCHEDULE) |

GENERAL NOTES

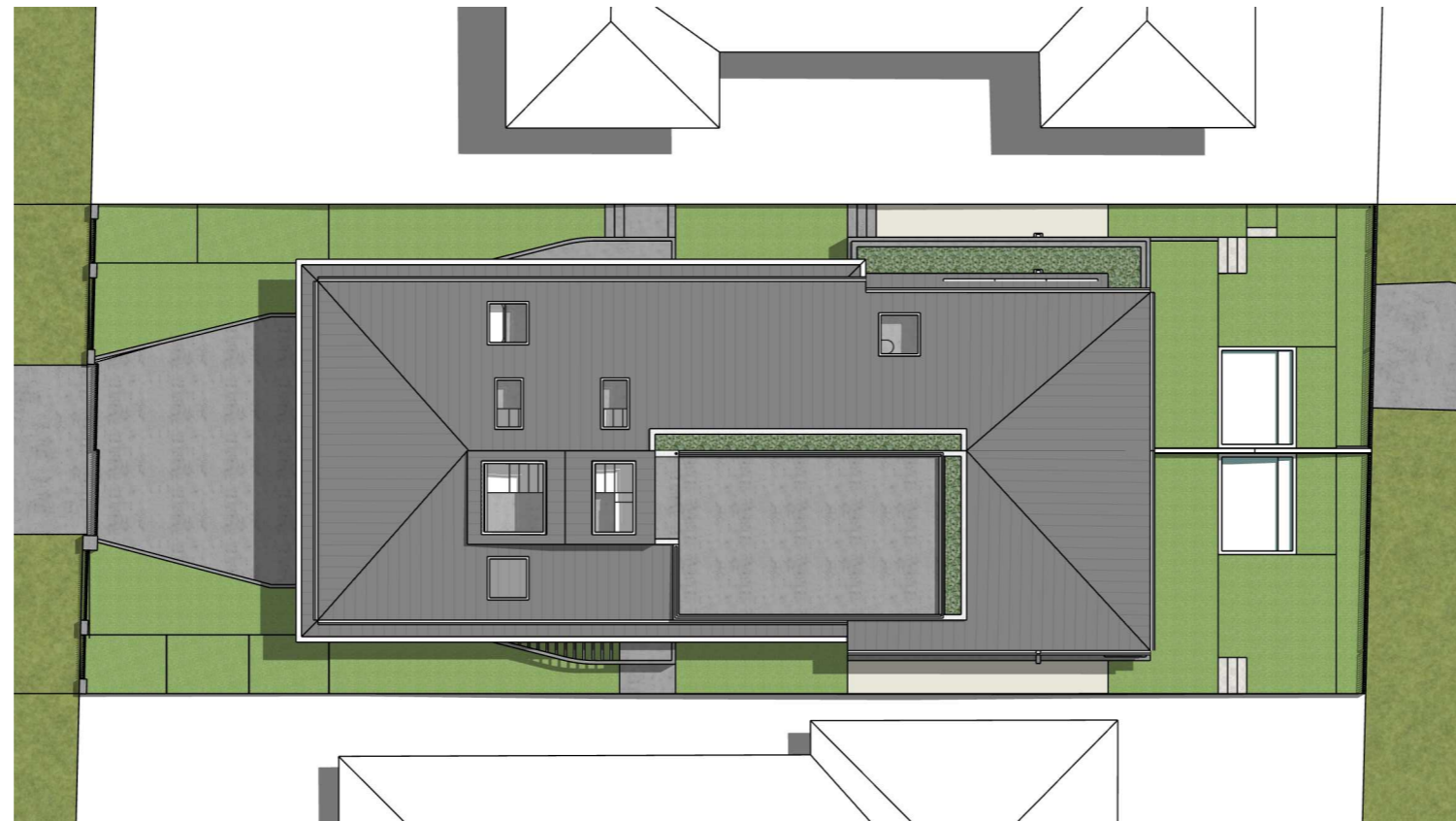
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DRAWING

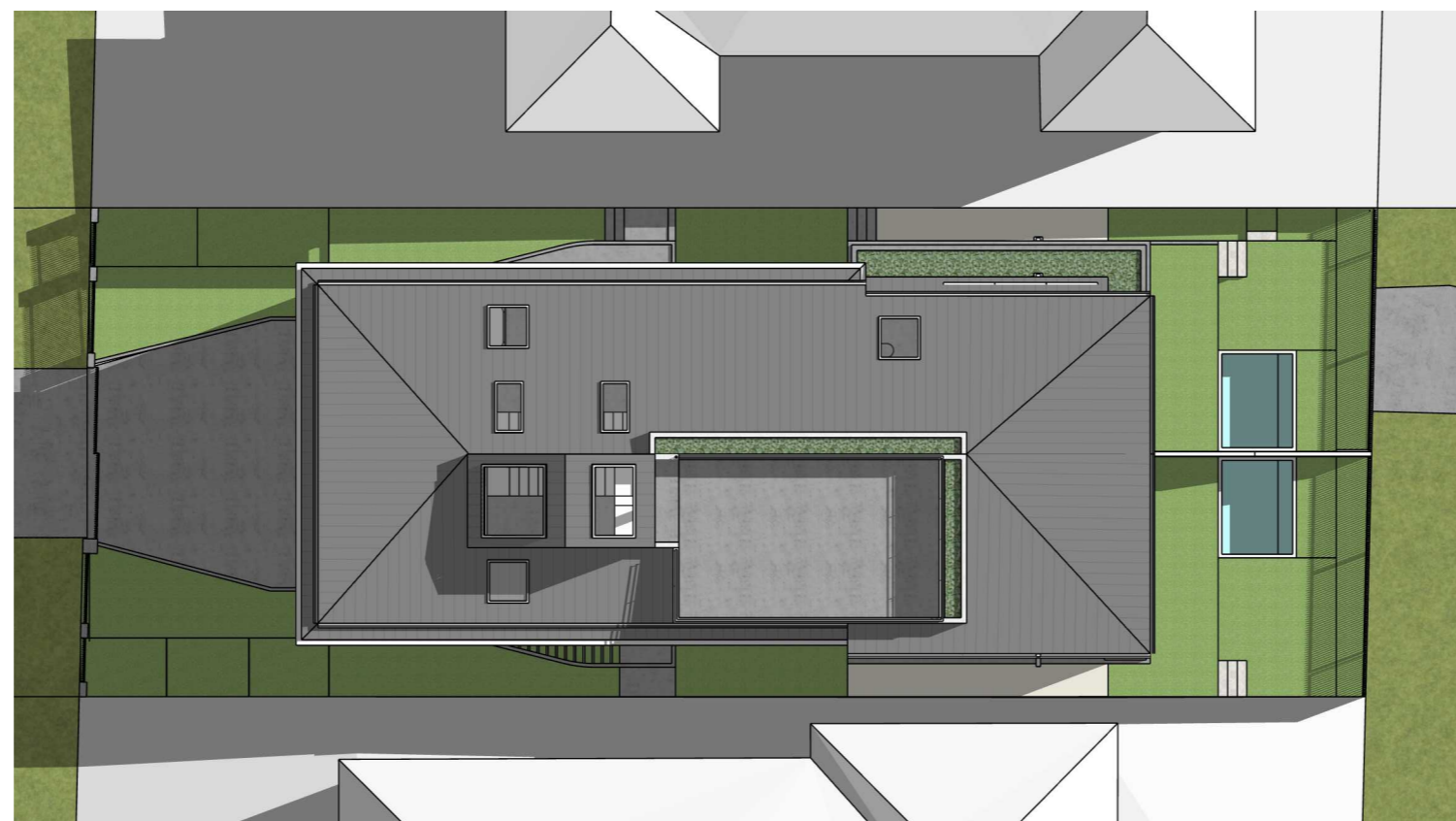
DA32

ISSUE 1.7
DATE 26/02/2025

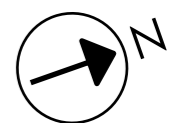
SCALE 1:200 @ A3
DRAWN BY FG



SUMMER SOLSTICE - NOON



WINTER SOLSTICE - NOON



mac2mac atelier
design & interiors

0413069379 emmacdesigns@gmail.com

NEW STRATA DWELLING

TITLE SHADOW DIAGRAM - NOON

CLIENT E & C MACINDOE

ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|---|---|
| MS1 METAL SHEETING - WALL | RFT RENDERED FINISH |
| MS2 METAL SHEETING - ROOF | PBT BRICK FINISH |
| CB1 EXPOSED DECORATIVE BRICK WALL | CCF EXPOSED CONCRETE FINISH |
| CB2 HIT-AND-MISS DECORATIVE BRICK WALL | SKYL SKYLIGHT (REF. WINDOW SCHEDULE) |

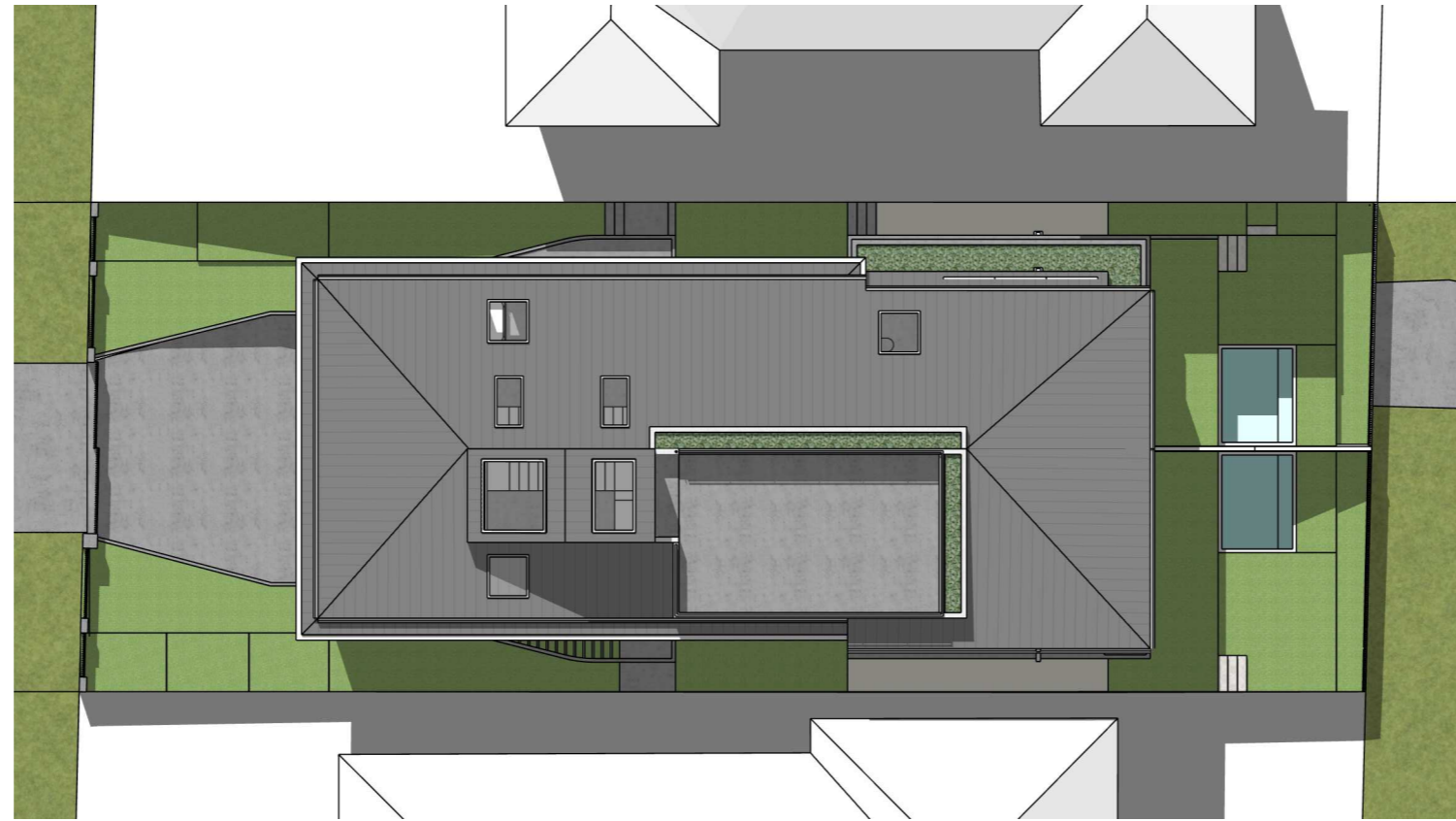
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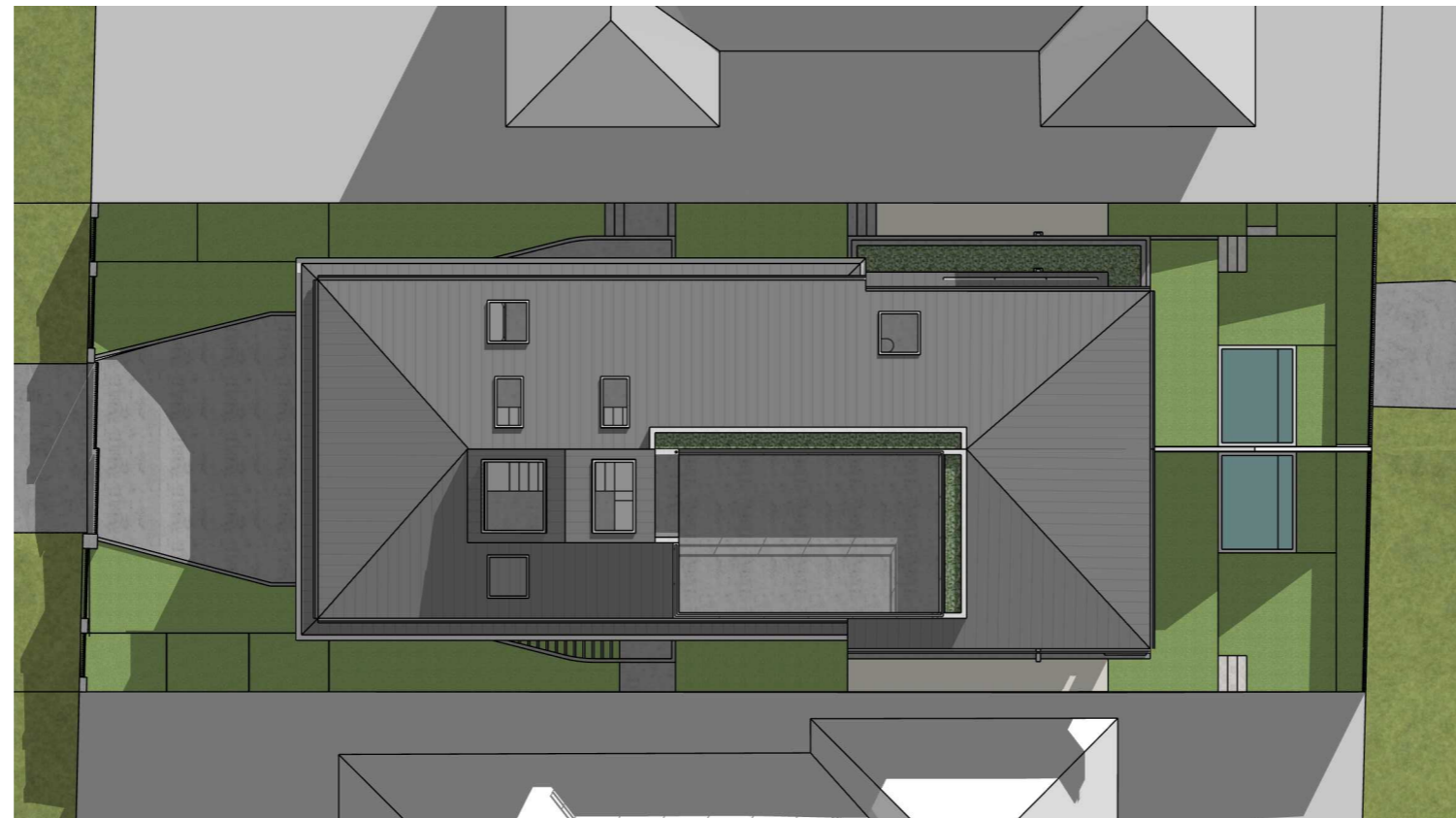
DRAWING
DA33

ISSUE 1.7
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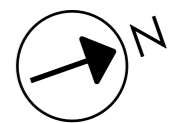
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SUMMER SOLSTICE - 3PM



WINTER SOLSTICE - 3PM



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0413069379 emmacdesigns@gmail.com

NEW STRATA DWELLING

TITLE SHADOW DIAGRAM - 3PM

CLIENT E & C MACINDOE

ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- | | |
|---|---|
| (MST) METAL SHEETING - WALL | (RFT) RENDERED FINISH |
| (MSZ) METAL SHEETING - ROOF | (PBT) BRICK FINISH |
| (CBT) EXPOSED DECORATIVE BRICK WALL | (CON) EXPOSED CONCRETE FINISH |
| (BSZ) HIT-AND-MISS DECORATIVE BRICK WALL | (SKYL) SKYLIGHT (REF. WINDOW SCHEDULE) |

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NEW STRATA DWELLING

TITLE

CLIENT

E & C MACINDOE

ADDRESS

93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- MS1 METAL SHEETING - WALL
- MS2 METAL SHEETING - ROOF
- CB1 EXPOSED DECORATIVE BRICK WALL
- CB2 HIT-AND-MISS DECORATIVE BRICK WALL
- RFT RENDERED FINISH
- PBT BRICK FINISH
- CCF EXPOSED CONCRETE FINISH
- SKYL SKYLIGHT (REF. WINDOW SCHEDULE)

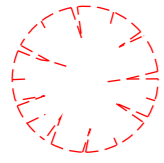
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SCALE
DRAWN BY FG



Existing tree(s) to be removed

SHRUBS

- Westringia Fruticosa
- Crassula Max Cook
- Agave Tennyson
- Alocasia Macrorrhiza
- Euforbia Firestix
- Lomandra Longifolia

TREES

- Frangipani
- Tristaniopsis Laurina
- Syzygium Australe "Resilience"

GROUND COVER/CREEPERS

- Ligularia Reniformis
- Senecio SP.
- Dichondra Silver Falls
- Ficus Pumila

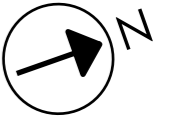
SURFACES

- PEBBLED MULCH
- PROPOSED COLOURED CONCRETE
- LAWN AREA
- STEPPING STONES

POOL FENCING

- POOL SAFETY FENCE

NOTE:
All pool fencing, including glass fencing and boundary fencing adjacent to pool, to comply with AS 1926.1 and BCA



Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

STEPPING STONES IN LAWN AREA

NEW FRANGIPANI TREE

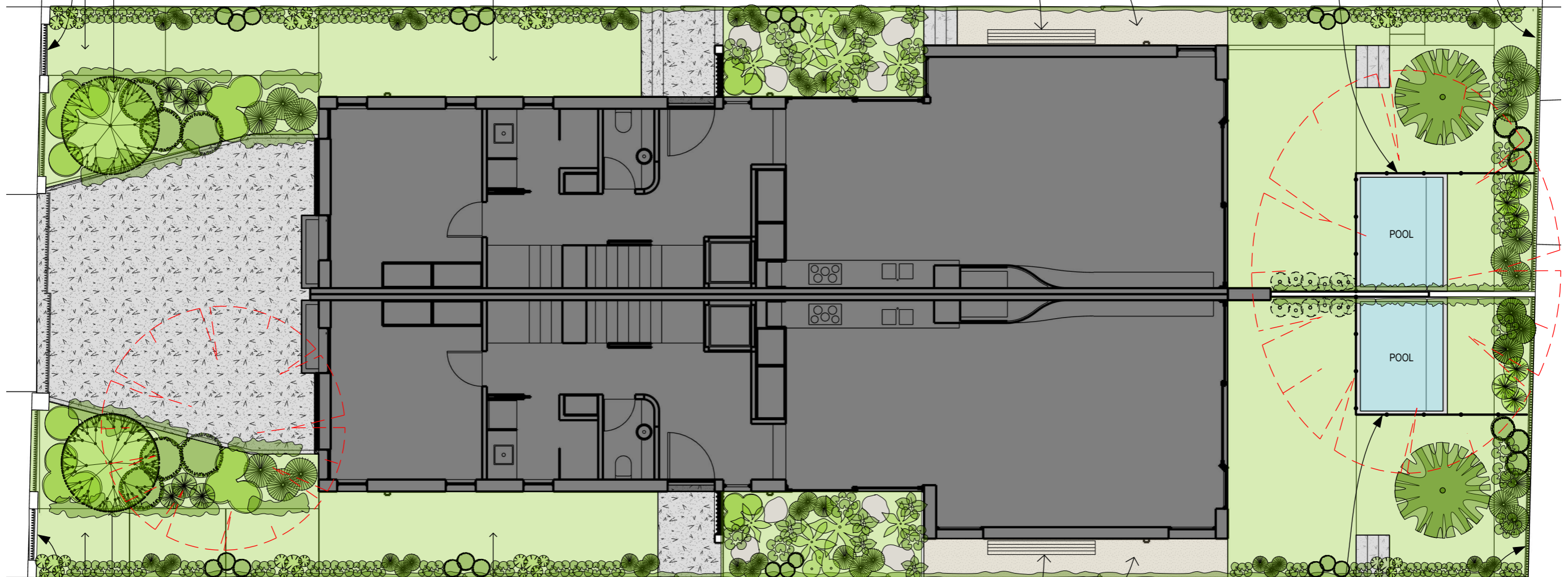
STEPPING STONES IN LAWN AREA

Pebbled Mulch

Washing line

Proposed 1200mm high glass pool safety fence and gate to comply with AS 1926.1 and BCA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail



EXISTING FRANGIPANI TREE

STEPPING STONES IN LAWN AREA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

STEPPING STONES IN LAWN AREA

Washing line

Pebbled Mulch

Proposed 1200mm high glass pool safety fence and gate to comply with AS 1926.1 and BCA

Proposed powdercoated steel boundary fencing to council requirement as per architect's detail

mac2mac atelier
design & interiors
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NEW STRATA DWELLING

LANDSCAPING PLAN

CLIENT E & C MACINDOE

ADDRESS 93 CROWN ROAD, QUEENSLIFF NSW 2096

FINISHES SCHEDULE

- METAL SHEETING - WALL
- METAL SHEETING - ROOF
- EXPOSED DECORATIVE BRICK WALL
- HIT-AND-MISS DECORATIVE BRICK WALL
- RENDERED FINISH
- BRICK FINISH
- EXPOSED CONCRETE FINISH
- SKYLIGHT (REF. WINDOW SCHEDULE)

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SCALE

1:100 @ A3

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