

AMENDMENT C CHANGES. SHOWN CLOUDED.

VIEW FROM FISHERMANS BEACH UPDATED WITH NE PROPOSAL.  
DRAWING REGISTER UPDATED.



PHOTOMONTAGE - PROPOSED FRONT ELEVATION / STREETScape



PHOTOMONTAGE - PROPOSED VIEW FROM STANLEY AND FLORENCE TWIGHT RESERVE



PHOTOMONTAGE - PROPOSED VIEW FROM FISHERMANS BEACH

DEVELOPMENT APPLICATION SUBMISSION FOR:			
41 & 43 BEACH ROAD,COLLAROY, 2097 LOT 1 DP300846 & LOT 2 SEC 7 DP7391			
DRAWING REGISTER			
DWG NO.	DRAWING	SCALE	REVISION
DA 000	COVER + PHOTOMONTAGES	N/A	C
DA E 100	EXISTING SITE & ROOF PLAN	1:100	A
DA E 110	SITE ANALYSIS PLAN	1:100	A
DA E 120	LOT AMALGAMATION PLAN	1:250	A
DA E 130	DEMOLITION AND WASTE MANAGEMENT PLAN	1:100	A
DA E 140	EXCAVATION & FILL PLAN	1:100	C
DA E 200	EXISTING ELEVATIONS	1:200	A
DA 100	PROPOSED SITE & ROOF PLAN	1:100	A
DA 105	ANALYSIS AGAINST DCP-B1 "WALL HEIGHT CONTROL"	1:100	C
DA 106	ANALYSIS AGAINST DCP-B1 - SE AREA DETAIL	1:100	C
DA 107	ANALYSIS AGAINST DCP-B1 & DCP-B3 - SECTIONS	1:50	C
DA 108	ANALYSIS AGAINST DCP-B1 & DCP-B3 - SECTIONS	1:50	C
DA 110	PROPOSED BASEMENT PLAN	1:100	B
DA 120	PROPOSED GROUND FLOOR PLAN	1:100	B
DA 130	PROPOSED FIRST FLOOR PLAN	1:100	C
DA 150	PROPOSED GFA & FSR CALCULATIONS	1:200	C
DA 160	DESIGN AMENDMENTS - FIRST FLOOR PLAN	1:100	B
DA 200	PROPOSED NORTH & EAST ELEVATIONS	1:100	C
DA 210	PROPOSED SOUTH & WEST ELEVATIONS	1:100	C
DA 300	PROPOSED SECTIONS A-A' & B-B'	1:100	C
DA 310	PROPOSED SECTIONS C-C' & D-D'	1:100	C
DA 320	PROPOSED SECTION E-E' & F-F'	1:100	C
DA 330	PROPOSED SECTION H-H' & DESIGN AMENDMENTS	1:100	C
DA 400	PROPOSED MATERIALS & FINISHES SCHEDULE	1:200	C
DA 500	SHADOWS 9AM 21ST JUNE	1:200	B
DA 501	SHADOWS 12PM 21ST JUNE	1:200	B
DA 502	SHADOWS 3PM 21ST JUNE	1:50	B
DA 520	EX.ELEVATION SHADOWS 29 BEACH RD. NORTH FACADE	1:50	B
DA 521	PR.ELEVATION SHADOWS 29 BEACH RD. NORTH FACADE	1:50	B
DA 522	PR.ELEVATION SHADOWS 35 BEACH RD. EAST FACADE	1:50	A
DA 523	PRIVATE OPEN SPACE: 29 BEACH ROAD 01/02	1/200	A
DA 524	PRIVATE OPEN SPACE: 29 BEACH ROAD 02/02	1/200	A
DA 600	SWIMMING POOL PLANS	1/20	A
DA 800	EXISTING VIEW LOSS ANALYSIS	1/200	A
DA 810	PROPOSED VIEW LOSS ANALYSIS	1/200	A
DA 820	EX. & PR. VIEW LOSS ANALYSIS: 35 BEACH ROAD	1/200	A
DA 825	PR. VIEW LOSS ANALYSIS: 29 BEACH ROAD	N/A	C
NP 01	NOTIFICATION PLAN: SITE PLAN	1/200	A
NP 02	NOTIFICATION PLAN: ELEVATIONS	1/200	A

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016  
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626  
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES:

THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY

REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS.  
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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
03/07/2020	C	DA ISSUE - AMENDMENT C

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

COVER + PHOTOMONTAGES

DATE

03/07/2020

SCALE:

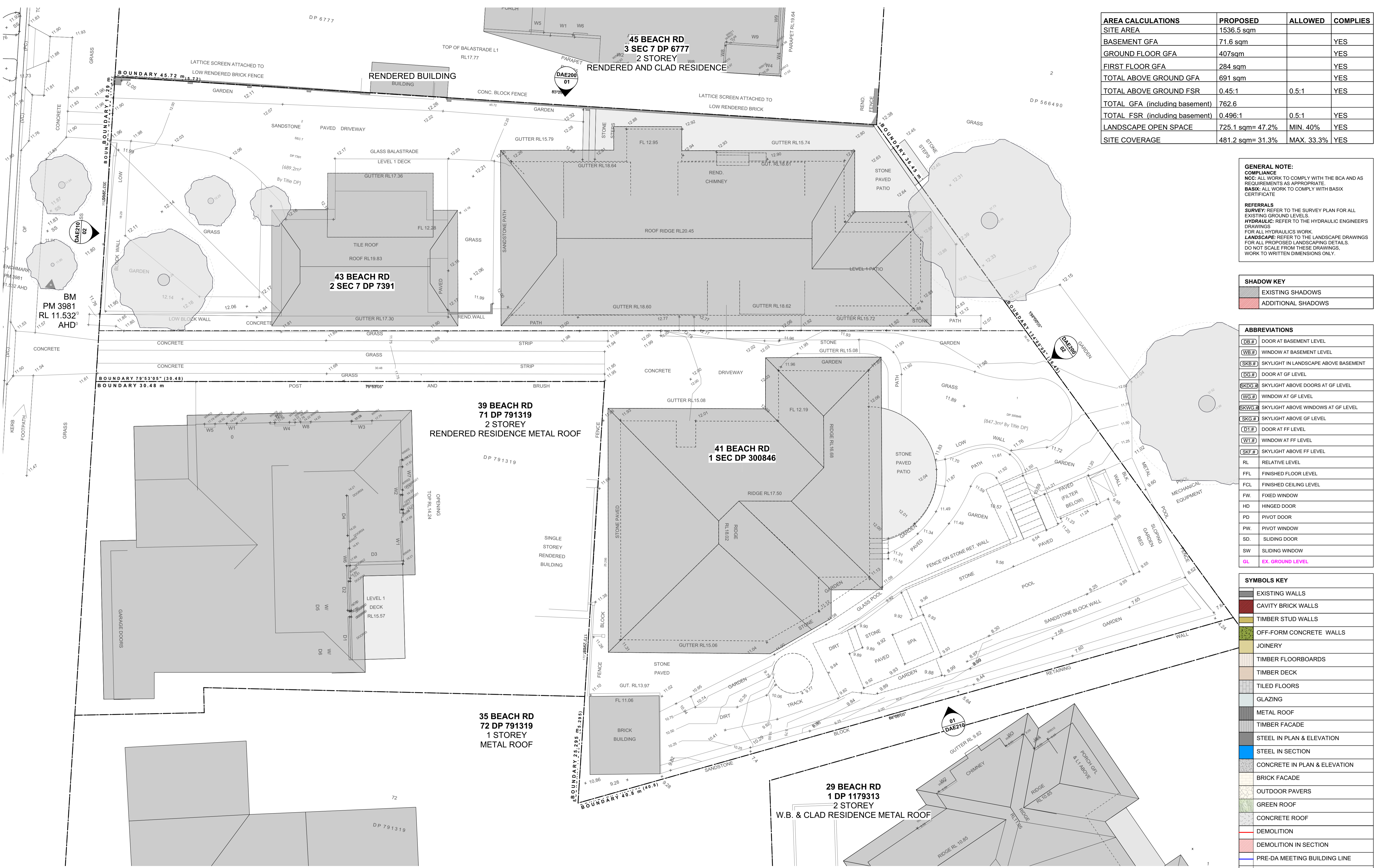
N/A

REVISION NUMBER

C

DRAWING NO.

DA 000



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
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FW	FIXED WINDOW
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SYMBOLS KEY	
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	CONCRETE ROOF
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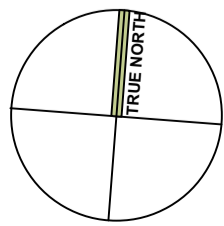
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12/12/2019	A	DA ISSUE

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

EXISTING SITE PLAN

DATE

12/12/2019

SCALE:

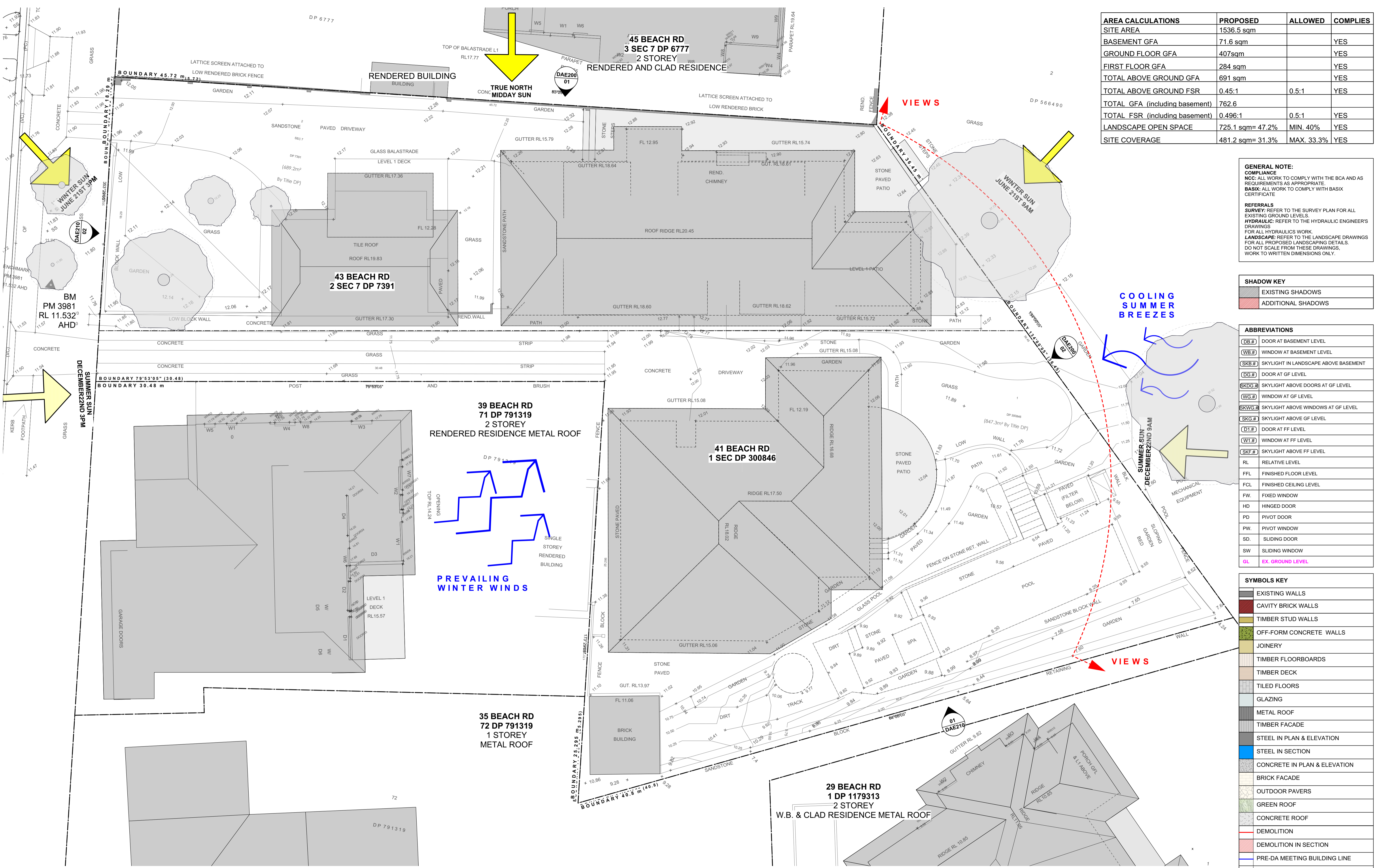
1:100 at A1 &  
1:200 at A3

REVISION NUMBER

A

DRAWING NO.

DA 100



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
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TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
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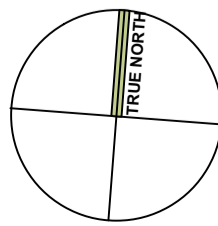
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12/12/2019	A	DA ISSUE

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

SITE ANALYSIS PLAN

DATE

12/12/2019

SCALE:

1:100 at A1 &  
1:200 at A3

REVISION NUMBER



A












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











DAE 110

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
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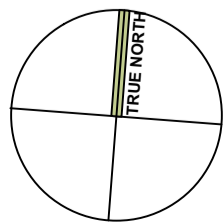
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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

PROPOSED LOT AMALGAMATION PLAN

DATE

12/12/2019

REVISION NUMBER

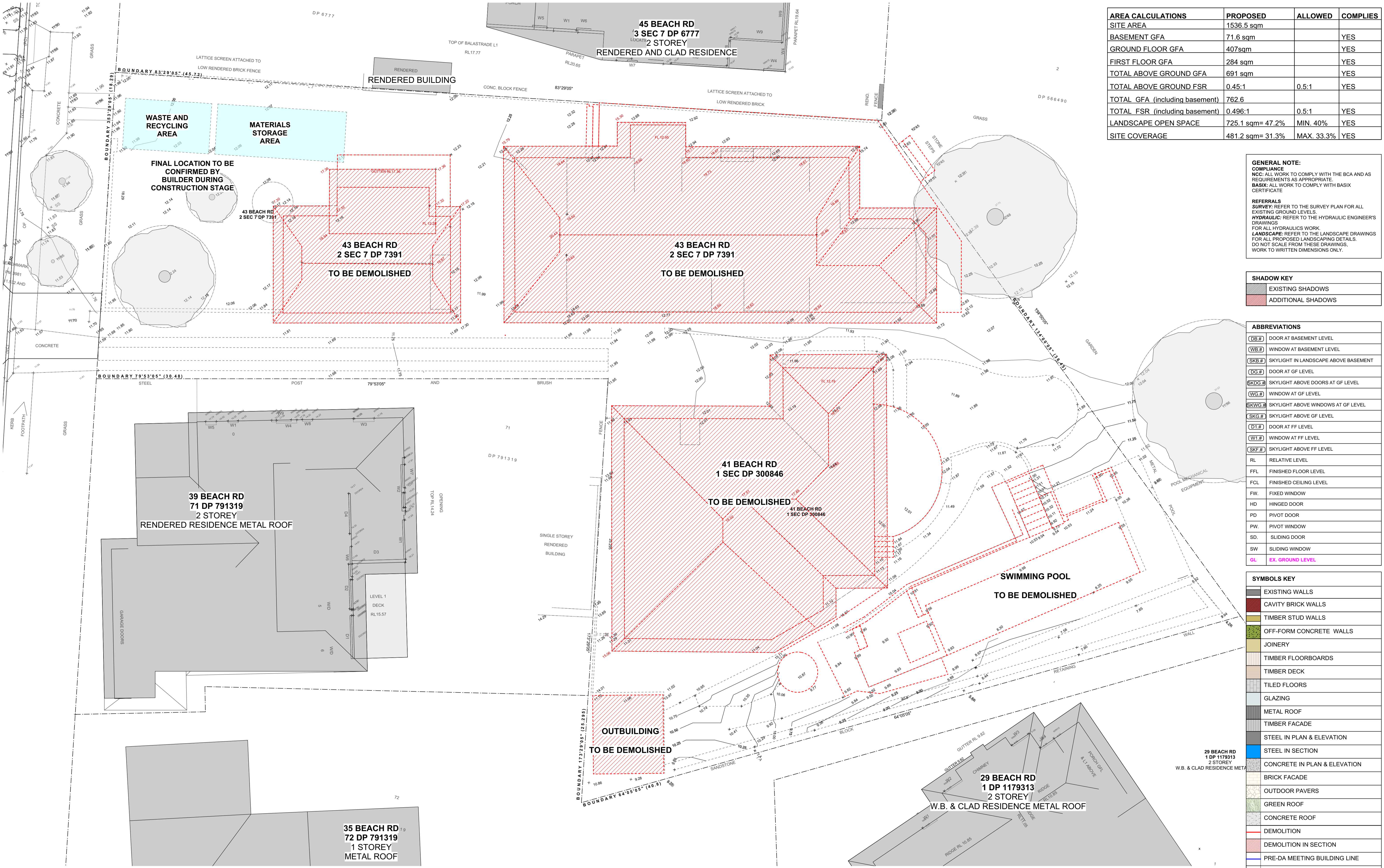
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SCALE:

1:250 at A1 &  
1:500 at A3

DRAWING NO.

DAE 120



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
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SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

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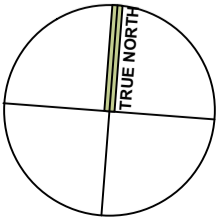
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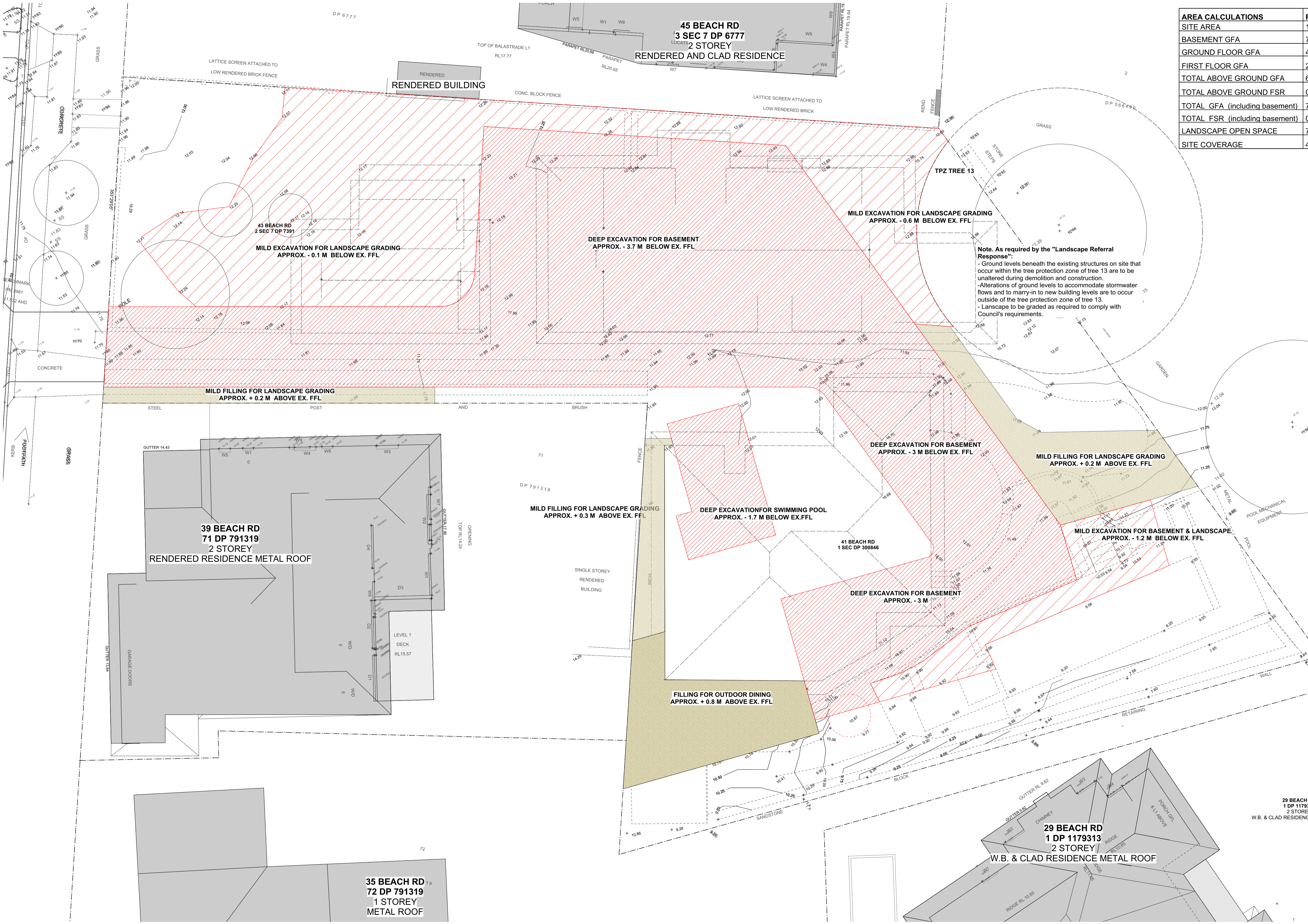


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			12/12/2019	A	

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41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391		12/12/2019	A
DRAWING TITLE		SCALE:	DRAWING NO.
DEMOLITION AND WASTE MANAGEMENT PLAN		1:100 at A1 & 1:200 at A3	DAE 130

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**LANDSCAPE:** REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SYMBOLS KEY	
	DEEP EXCAVATION
	MILD EXCAVATION FOR GRADING
	LAND FILLING FOR GRADING

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

**VIRGINIA KERRIDGE ARCHITECT**  
g 03 / 59 great buckingham street redfern nsw 2016  
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626  
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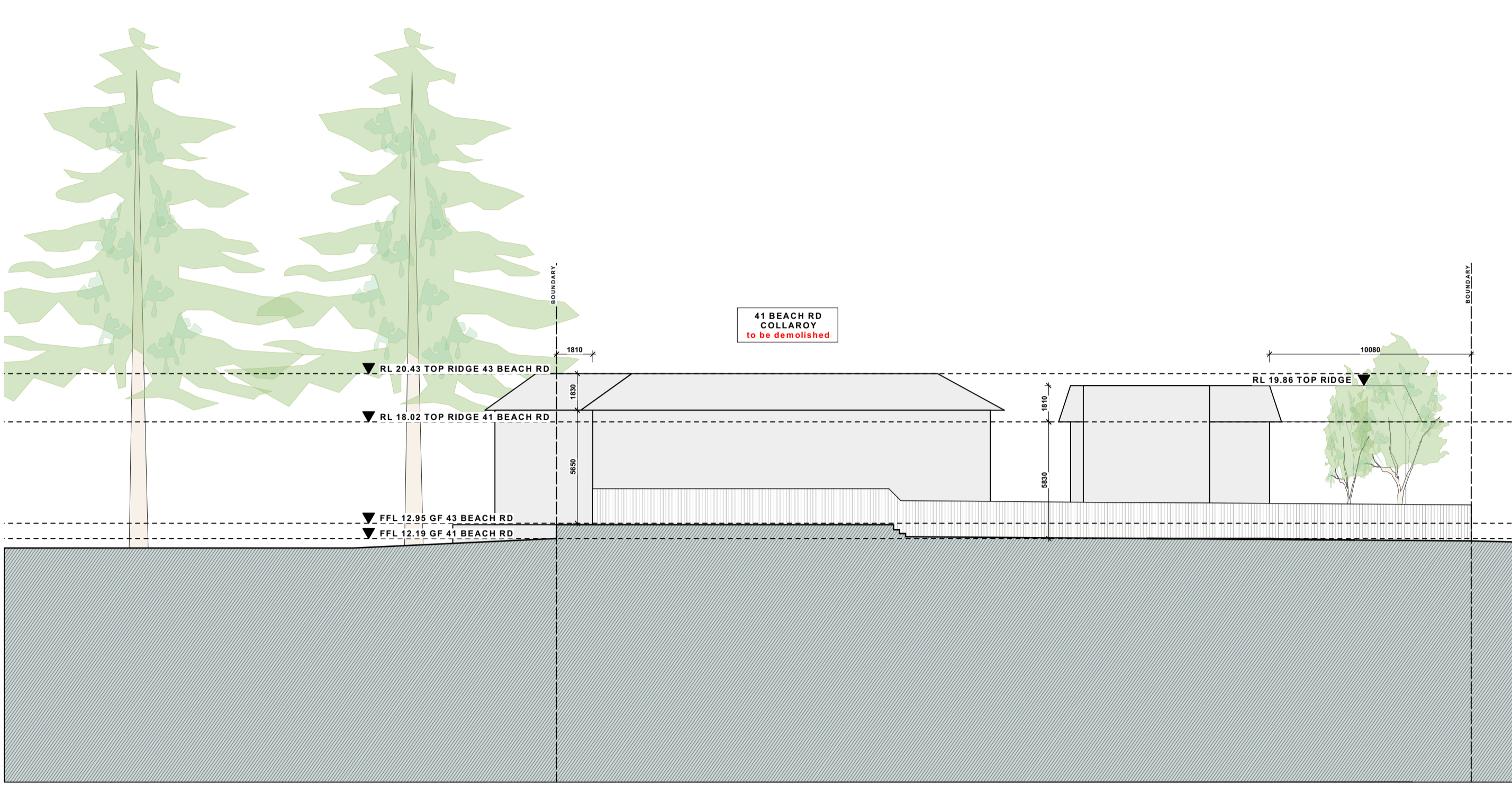
**NOTES:**  
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REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS.  
REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

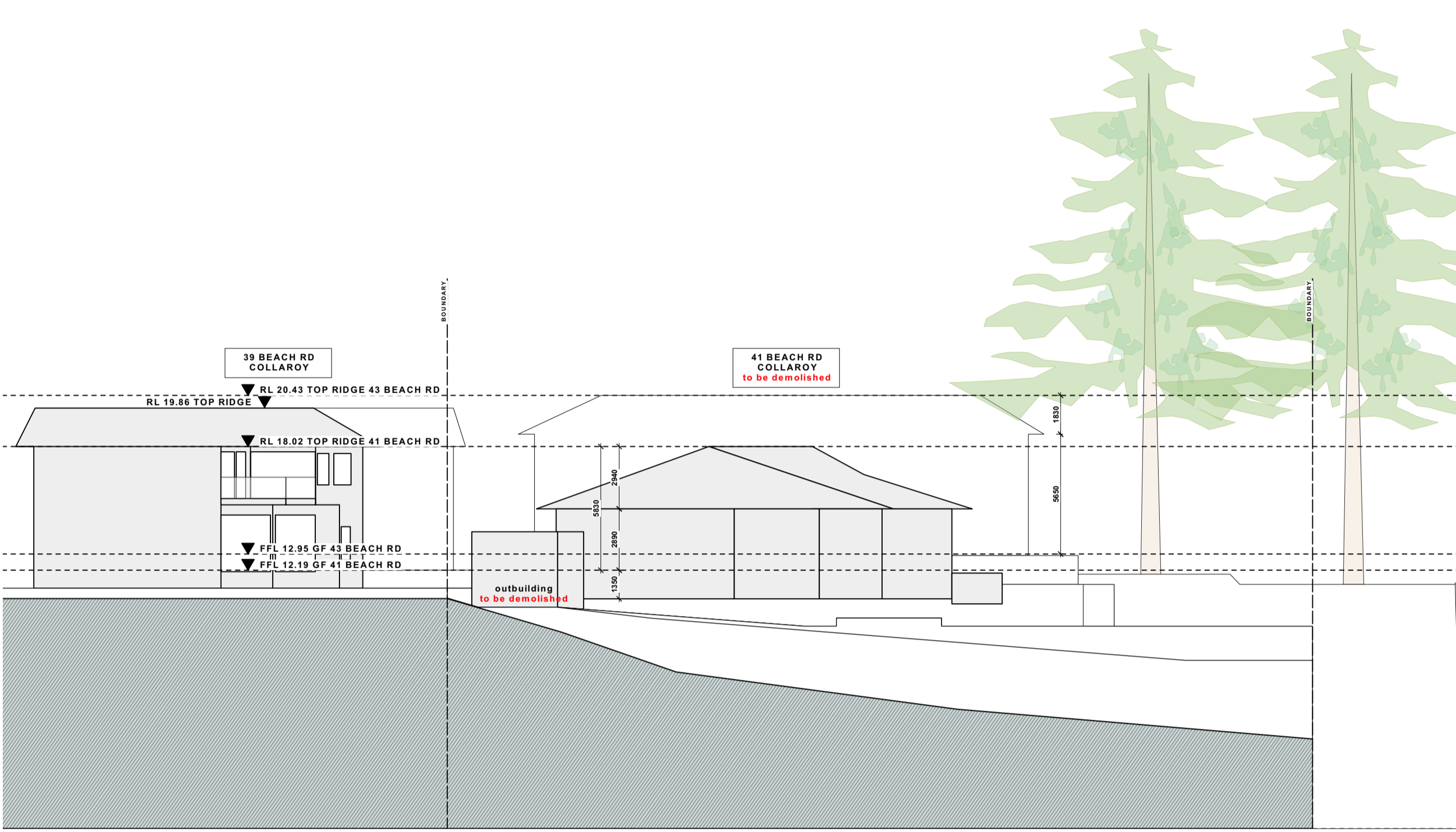
DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
03/07/2020	C	DA ISSUE - AMENDMENT C

PROJECT	DATE	REVISION NUMBER
41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	03/07/2020 03/07/2020	<b>C</b>
DRAWING TITLE	SCALE:	DRAWING NO.
EXCAVATION & FILL PLAN	1:100 at A1 & 1:200 at A3	<b>DAE 140</b>

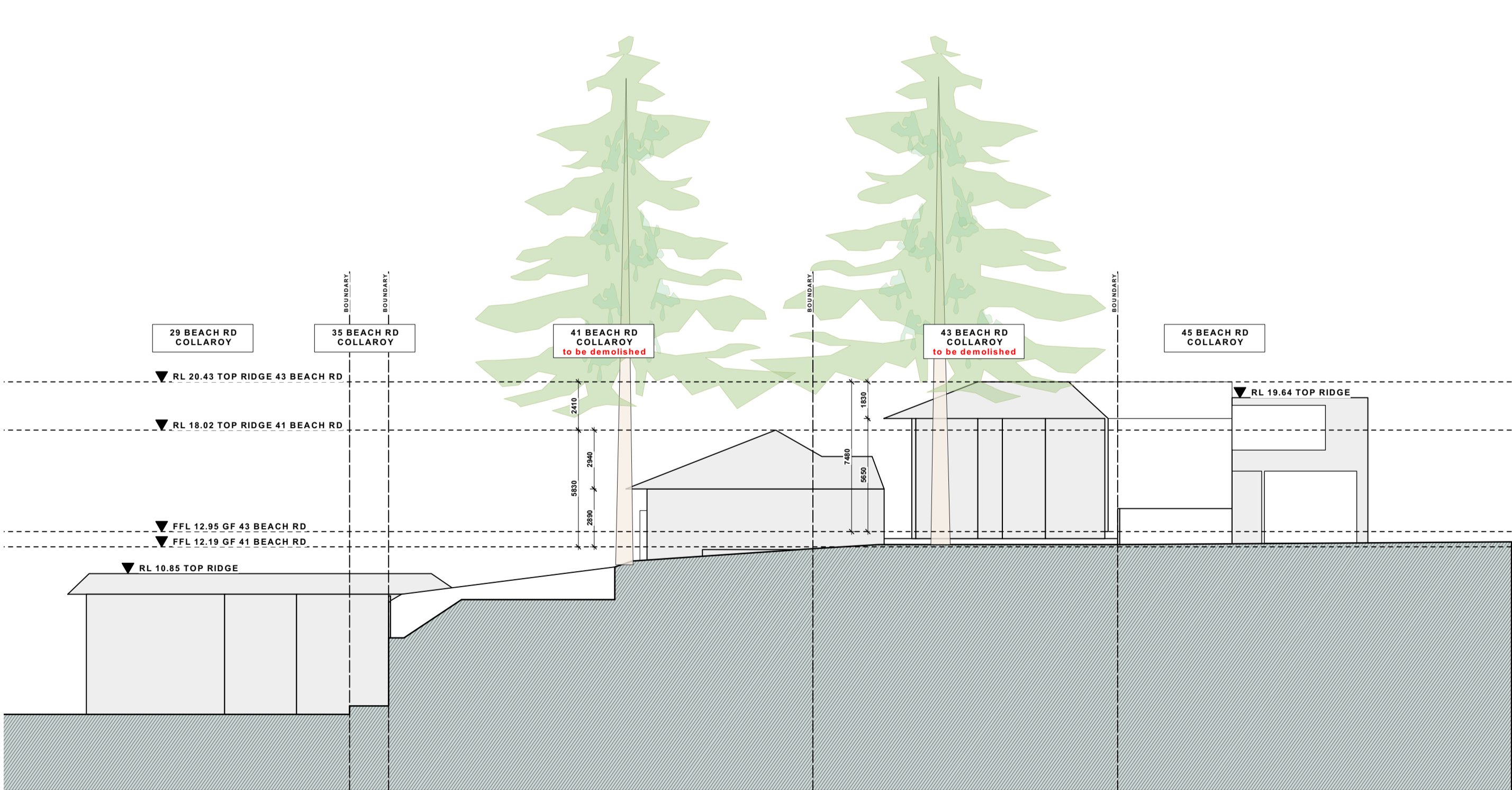
AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES



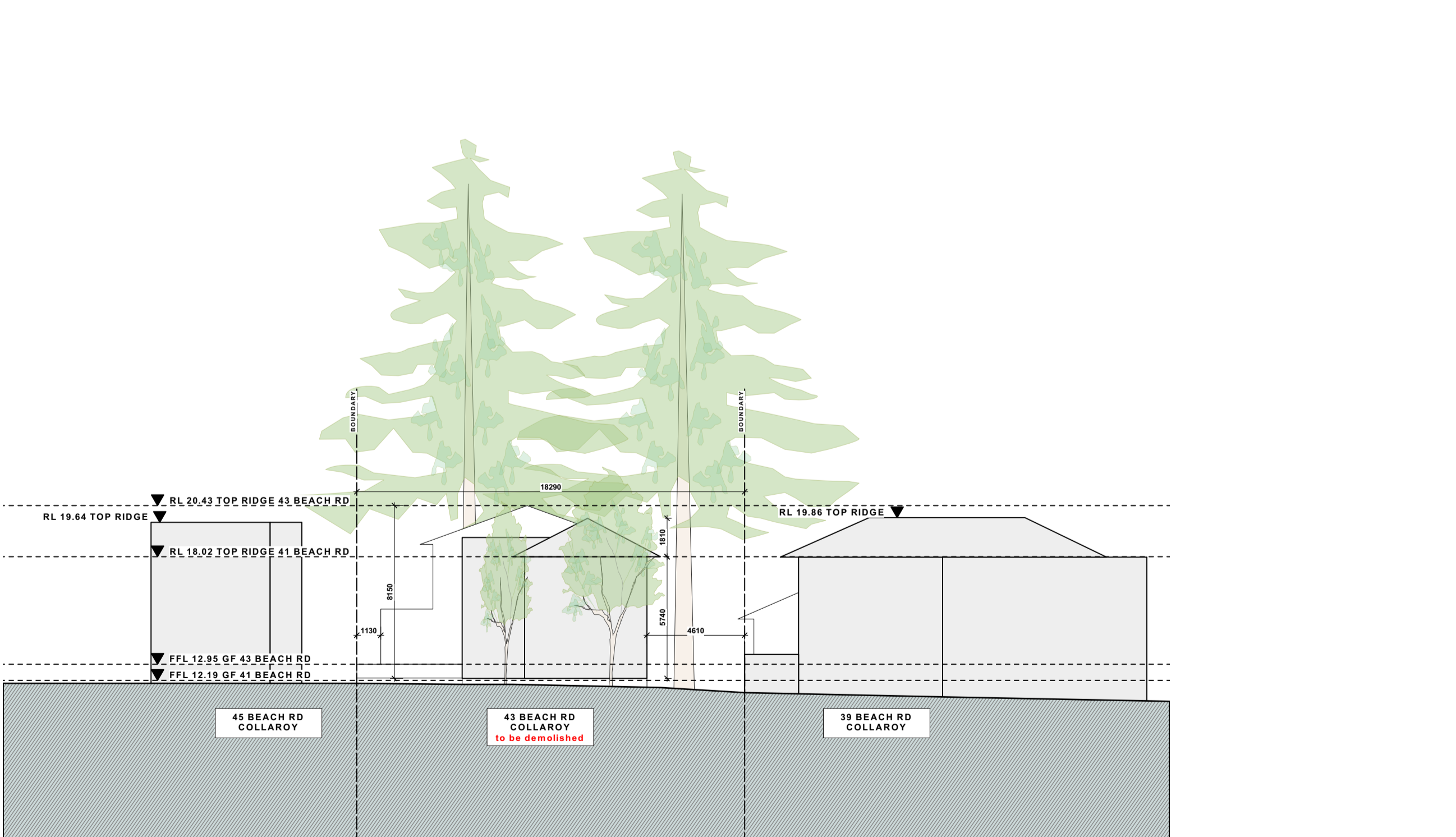
01 NORTH ELEVATION EXISTING



03 SOUTH ELEVATION EXISTING



02 EAST ELEVATION EXISTING



04 WEST- FRONT ELEVATION EXISTING

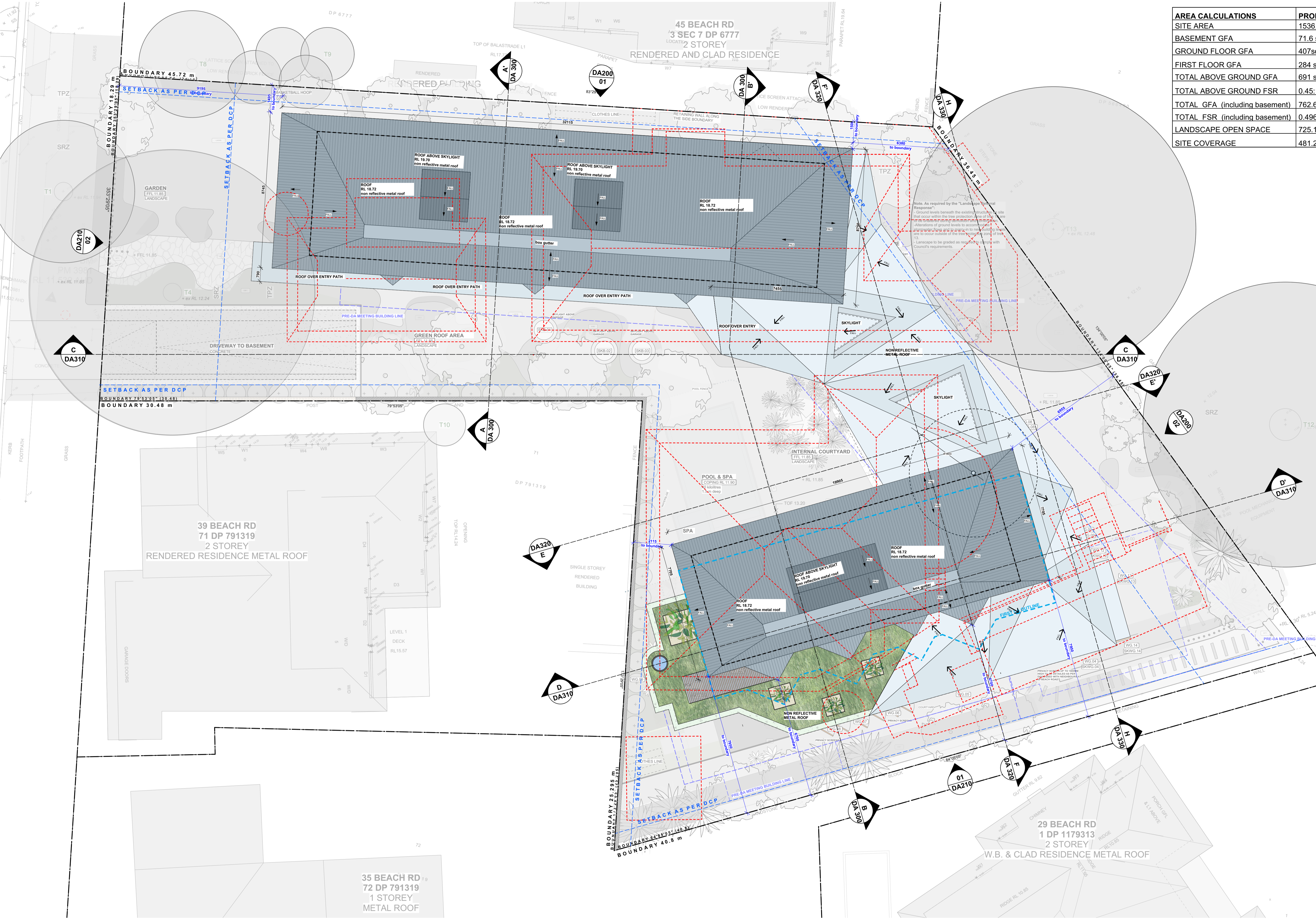
**GENERAL NOTE:**  
**COMPLIANCE**  
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.  
BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE  
**REFERRALS**  
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.  
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.  
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
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SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
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	TIMBER FLOORBOARDS
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	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
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	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

VIRGINIA KERRIDGE ARCHITECT  g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159	NOTES:  THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY  REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.					41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	12/12/2019	A
			DATE	REV	DESCRIPTION	DRAWING TITLE	SCALE	DRAWING NO.
			12/12/2019	A	DA ISSUE			
EXISTING ELEVATIONS							1:200 at A1 & 1:400 at A3	DAE 200



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE  
**REFERRALS**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
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FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
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HD	HINGED DOOR
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	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

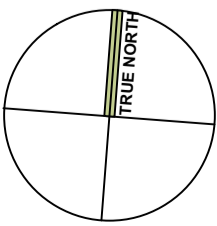
VIRGINIA KERRIDGE ARCHITECT

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info@vk.com.au www.vk.com.au abn 12 083 17 159

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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

SITE & ROOF PLAN

DATE

28/05/2020

SCALE:

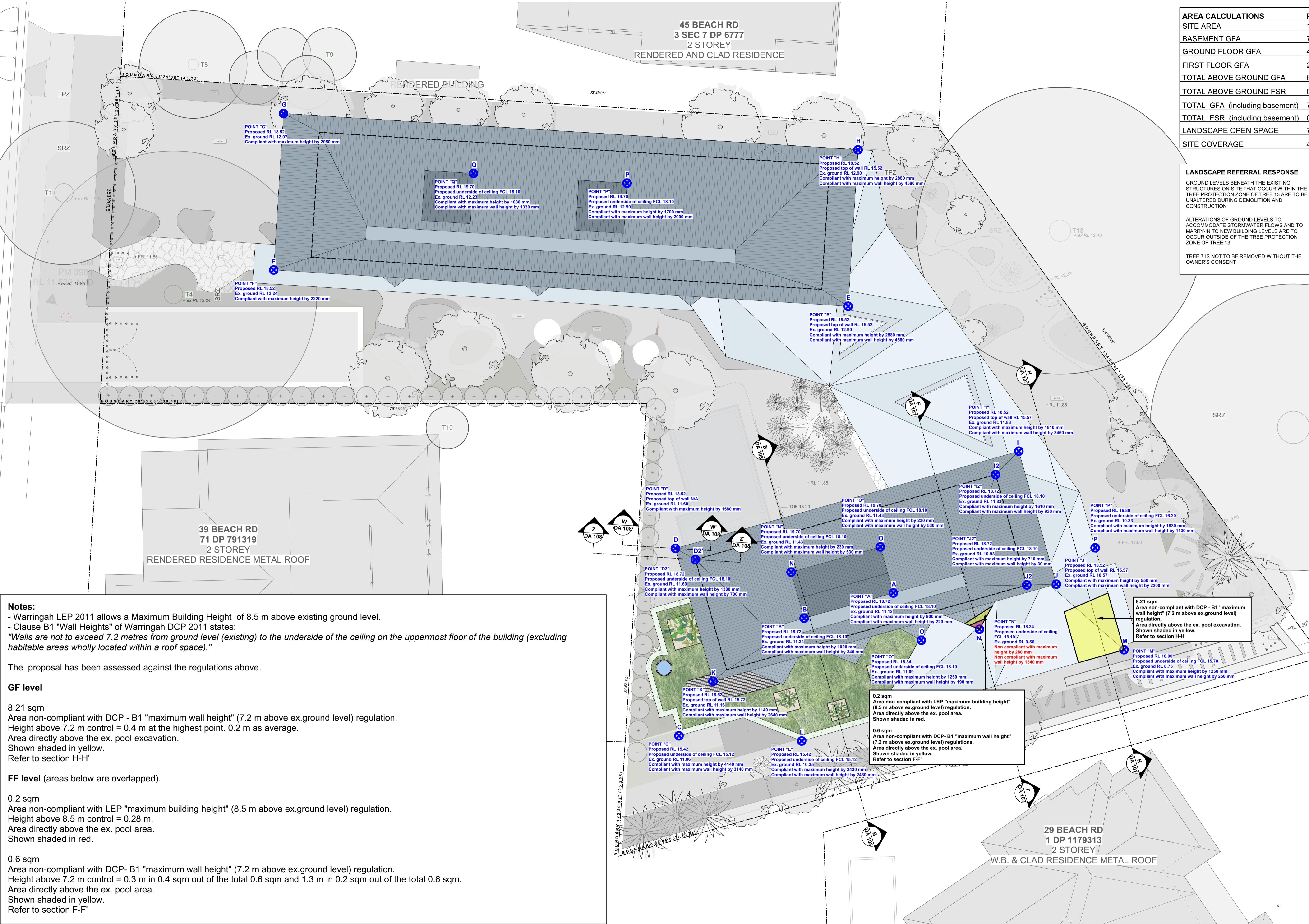
1:100 at A1 &  
1:200 at A3

REVISION NUMBER

B

DRAWING NO.

DA 100



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

LANDSCAPE REFERRAL RESPONSE	GENERAL NOTE:
GROUND LEVELS BENEATH THE EXISTING STRUCTURES ON SITE THAT OCCUR WITHIN THE TREE PROTECTION ZONE OF TREE 13 ARE TO BE UNALTERED DURING DEMOLITION AND CONSTRUCTION	<b>COMPLIANCE</b> NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE. BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE
ALTERATIONS OF GROUND LEVELS TO ACCOMMODATE STORMWATER FLOWS AND TO MARRY-IN TO NEW BUILDING LEVELS ARE TO OCCUR OUTSIDE OF THE TREE PROTECTION ZONE OF TREE 13	<b>REFERRALS</b> <b>SURVEY:</b> REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS <b>HYDRAULIC:</b> REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK <b>LANDSCAPE:</b> REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.
TREE 7 IS NOT TO BE REMOVED WITHOUT THE OWNER'S CONSENT	

SUMMARY KEY
EXISTING SHADOWS
ADDITIONAL SHADOWS

ABBREVIATIONS
DB.# DOOR AT BASEMENT LEVEL
WB.# WINDOW AT BASEMENT LEVEL
SKB.# SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
DG.# DOOR AT GF LEVEL
SKDG.# SKYLIGHT ABOVE DOORS AT GF LEVEL
WG.# WINDOW AT GF LEVEL
SKWG.# SKYLIGHT ABOVE WINDOWS AT GF LEVEL
SKG.# SKYLIGHT ABOVE GF LEVEL
DT.# DOOR AT FF LEVEL
WT.# WINDOW AT FF LEVEL
SKF.# SKYLIGHT ABOVE FF LEVEL
RL RELATIVE LEVEL
FFL FINISHED FLOOR LEVEL
FCL FINISHED CEILING LEVEL
FW FIXED WINDOW
HD HINGED DOOR
PD PIVOT DOOR
PW PIVOT WINDOW
SD SLIDING DOOR
SW SLIDING WINDOW
GL EX. GROUND LEVEL

SYMBOLS KEY
EXISTING WALLS
CAVITY BRICK WALLS
TIMBER STUD WALLS
OFF-FORM CONCRETE WALLS
JOINERY
TIMBER FLOORBOARDS
TIMBER DECK
TILED FLOORS
GLAZING
METAL ROOF
TIMBER FACADE
STEEL IN PLAN & ELEVATION
STEEL IN SECTION
CONCRETE IN PLAN & ELEVATION
BRICK FACADE
OUTDOOR PAVERS
GREEN ROOF
CONCRETE ROOF
DEMOLITION
DEMOLITION IN SECTION
PRE-DA MEETING BUILDING LINE
FIRST DA BUILDING LINE

**Notes:**

- Warringah LEP 2011 allows a Maximum Building Height of 8.5 m above existing ground level.
- Clause B1 "Wall Heights" of Warringah DCP 2011 states:  
"Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space)."

The proposal has been assessed against the regulations above.

**GF level**

8.21 sqm  
Area non-compliant with DCP - B1 "maximum wall height" (7.2 m above ex.ground level) regulation.  
Height above 7.2 m control = 0.4 m at the highest point. 0.2 m as average.  
Area directly above the ex. pool excavation.  
Shown shaded in yellow.  
Refer to section H-H'

**FF level (areas below are overlapped).**

0.2 sqm  
Area non-compliant with LEP "maximum building height" (8.5 m above ex.ground level) regulation.  
Height above 8.5 m control = 0.28 m.  
Area directly above the ex. pool area.  
Shown shaded in red.

0.6 sqm  
Area non-compliant with DCP- B1 "maximum wall height" (7.2 m above ex.ground level) regulation.  
Height above 7.2 m control = 0.3 m in 0.4 sqm out of the total 0.6 sqm and 1.3 m in 0.2 sqm out of the total 0.6 sqm.  
Area directly above the ex. pool area.  
Shown shaded in yellow.  
Refer to section F-F'

<div>VIRGINIA KERRIDGE ARCHITECT</div> <div>g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159</div>	<div>NOTES:</div> <div>THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY</div> <div>REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.</div>	<div><div>TRUE NORTH</div></div>	amendments:			PROJECT	DATE	REVISION NUMBER
			DATE	REV	DESCRIPTION	41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	03/07/2020	C
			30/07/2020	C	DA - AMENDMENT C			
						DRAWING TITLE	SCALE:	DRAWING NO.
						ANALYSIS OF PROPOSAL AGAINST DCP B1 "WALL HEIGHT" CONTROL	1:100 at A1 & 1:200 at A3	DA 105



Photo of existing pool, stone retaining walls and garden terraces

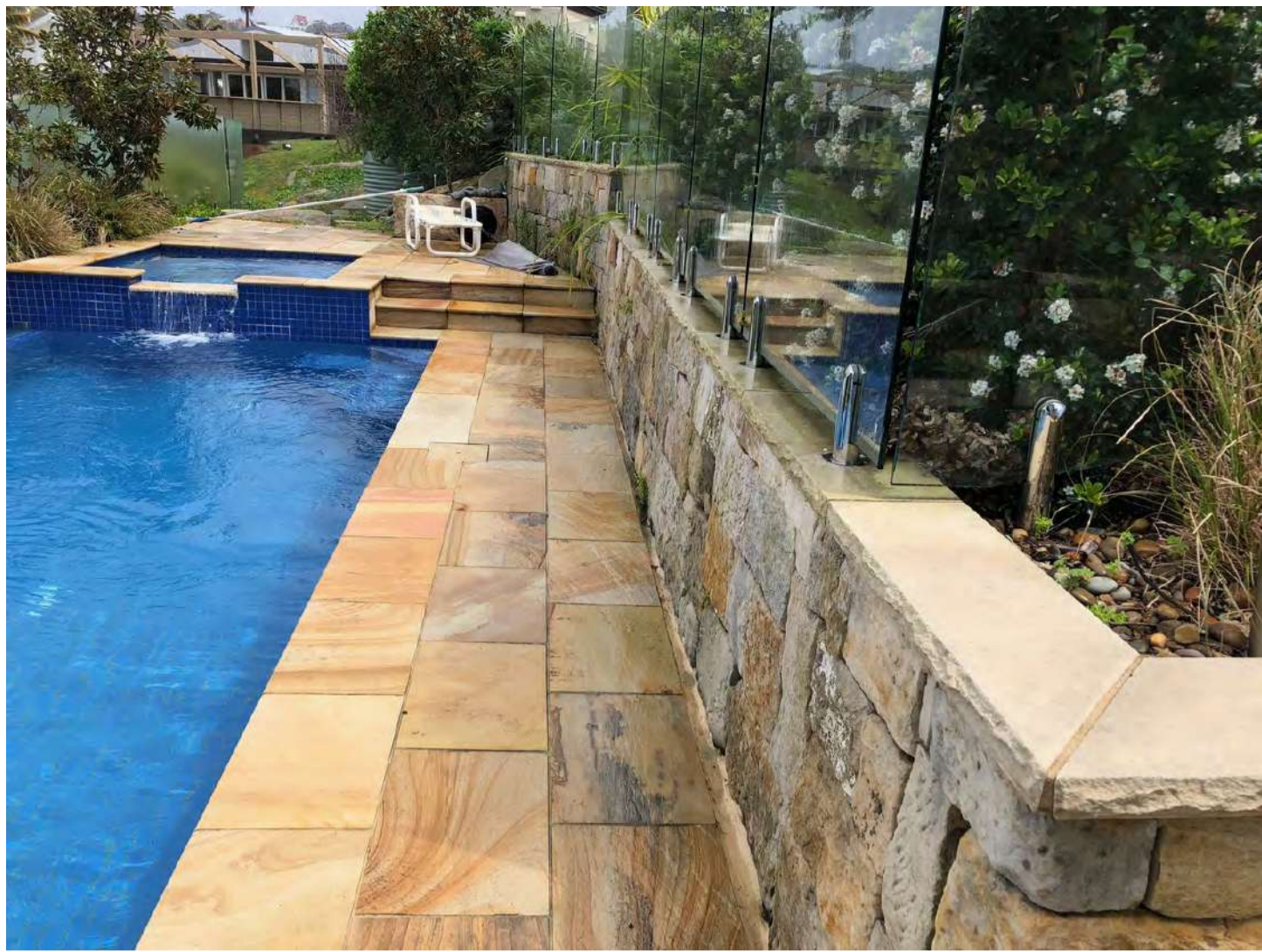


Photo of existing pool and stone retaining wall.

**Notes:**  
- Warringah LEP 2011 allows a Maximum Building Height of 8.5 m above existing ground level.  
- Clause B1 "Wall Heights" of Warringah DCP 2011 states:  
*"Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space)."*

The proposal has been assessed against the regulations above.

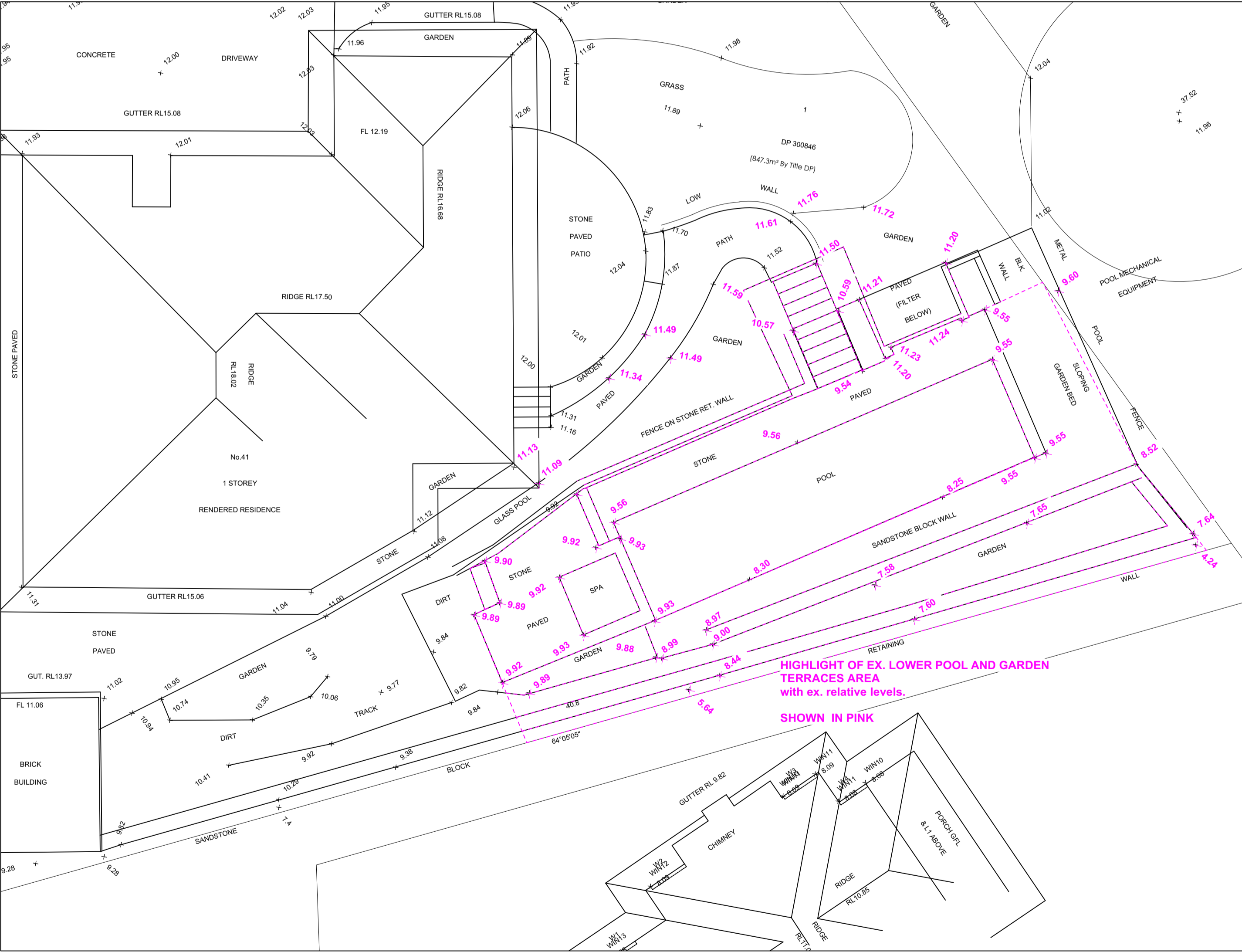
**GF level**

8.21 sqm  
Area non-compliant with DCP - B1 "maximum wall height" (7.2 m above ex.ground level) regulation.  
Height above 7.2 m control = 0.4 m at the highest point. 0.2 m as average.  
Area directly above the ex. pool excavation.  
Shown shaded in yellow.  
Refer to section H-H'

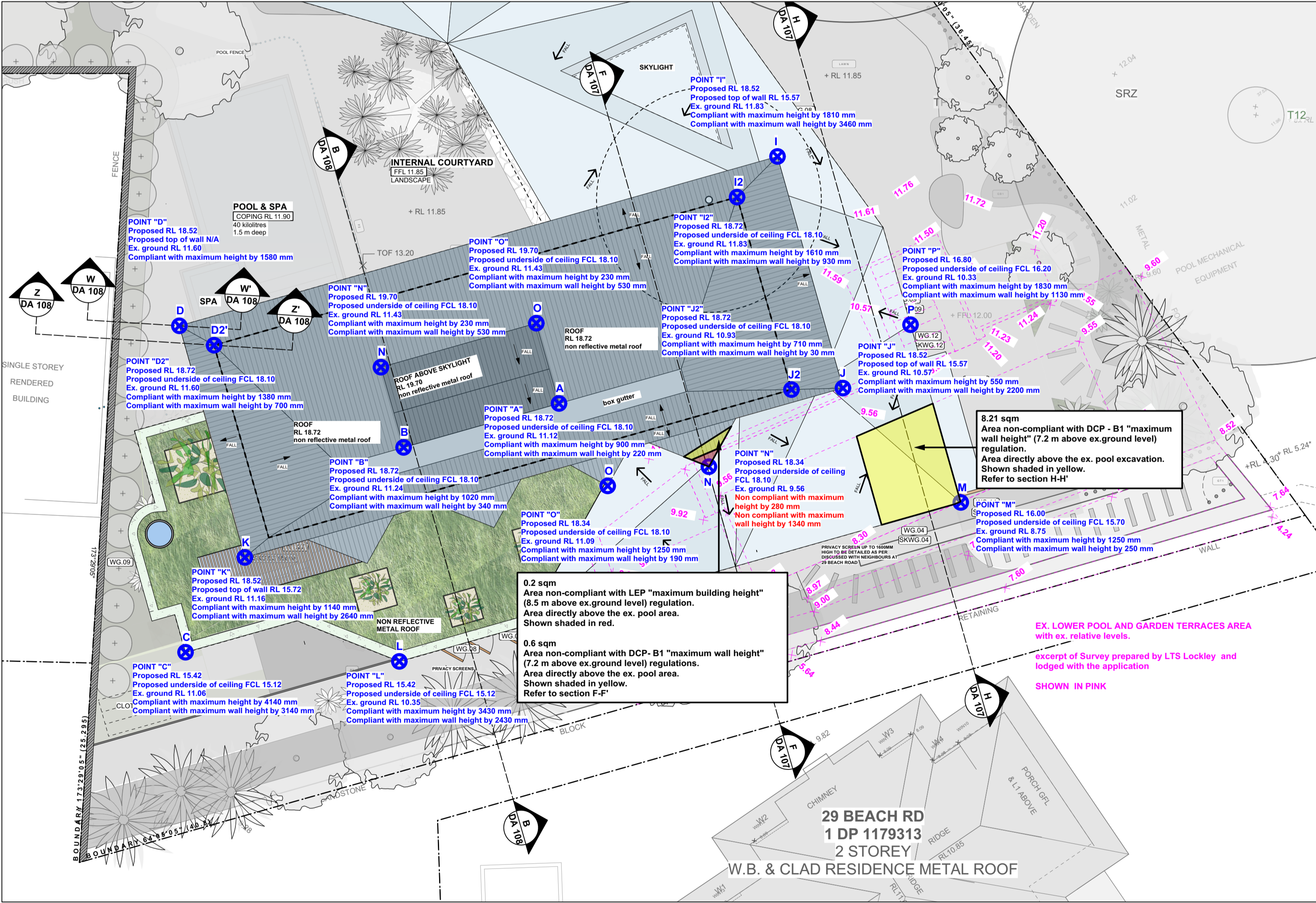
**FF level** (areas below are overlapped).

0.2 sqm  
Area non-compliant with LEP "maximum building height" (8.5 m above ex.ground level) regulation.  
Height above 8.5 m control = 0.28 m.  
Area directly above the ex. pool area.  
Shown shaded in red.

0.6 sqm  
Area non-compliant with DCP- B1 "maximum wall height" (7.2 m above ex.ground level) regulation.  
Height above 7.2 m control = 0.3 m in 0.4 sqm out of the total 0.6 sqm and 1.3 m in 0.2 sqm out of the total 0.6 sqm.  
Area directly above the ex. pool area.  
Shown shaded in yellow.  
Refer to section F-F'

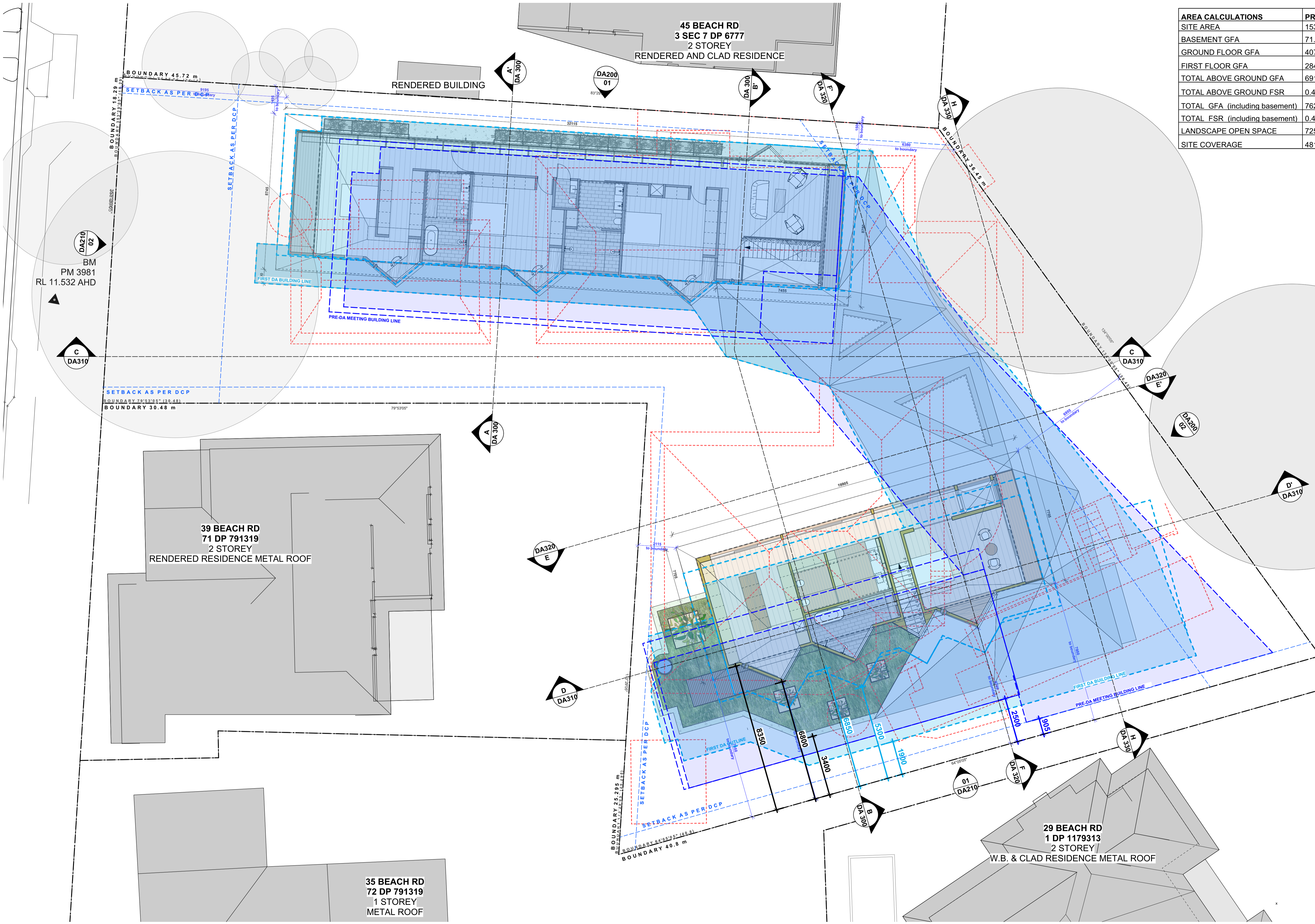


01 SURVEY. PARTIAL PLAN OF SOUTH EAST SECTION OF THE LOT.



02 ROOF PLAN / RL ANALYSIS. PARTIAL PLAN OF SOUTH EAST SECTION OF THE LOT.

<div>VIRGINIA KERRIDGE ARCHITECT</div> <div>g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159</div>	<div>NOTES:</div> <div>THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY</div> <div>REFER TO WRITTEN DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.</div>	<div><div></div><div>TRUE NORTH</div></div>	amendments:			PROJECT	DATE	REVISION NUMBER
			DATE	REV	DESCRIPTION	LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	03/07/2020	C
			30/07/2020	C	DA - AMENDMENT C	DRAWING TITLE	SCALE:	DRAWING NO.
						ANALYSIS OF PROPOSAL AGAINST DCP B1 "WALL HEIGHT" CONTROL SOUTH EAST AREA DETAIL	1:100 at A1 & 1:200 at A3	DA 106



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
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	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
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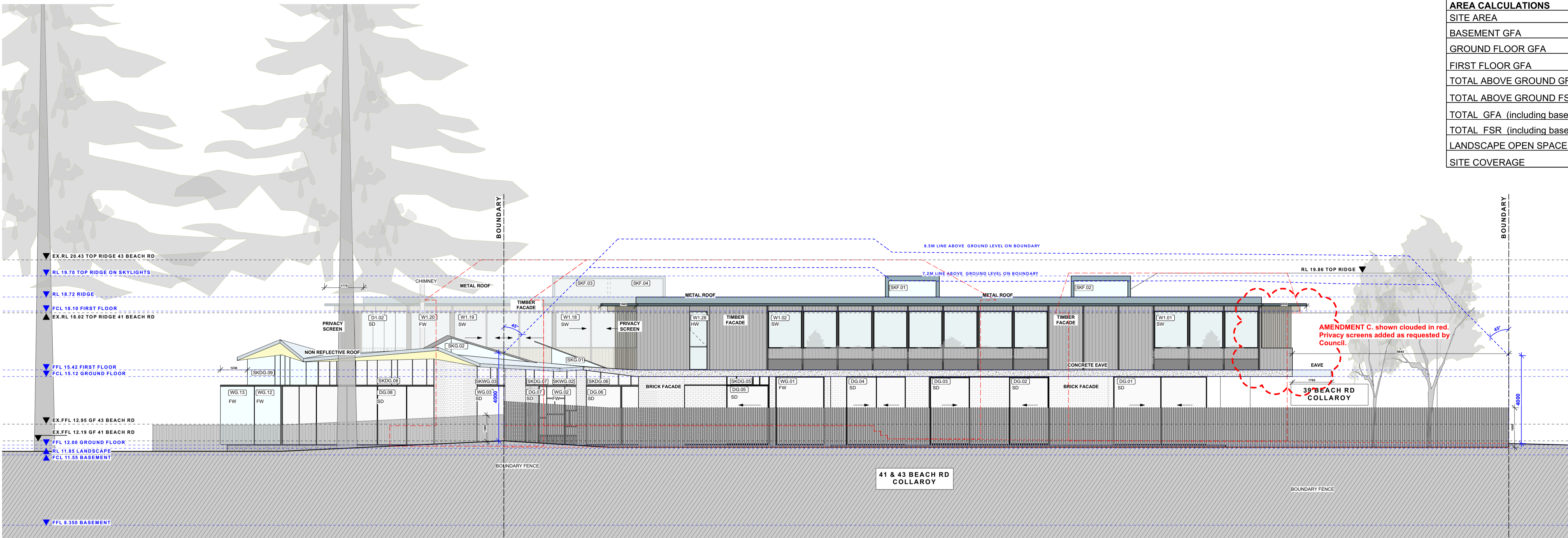
**NOTES:**  
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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

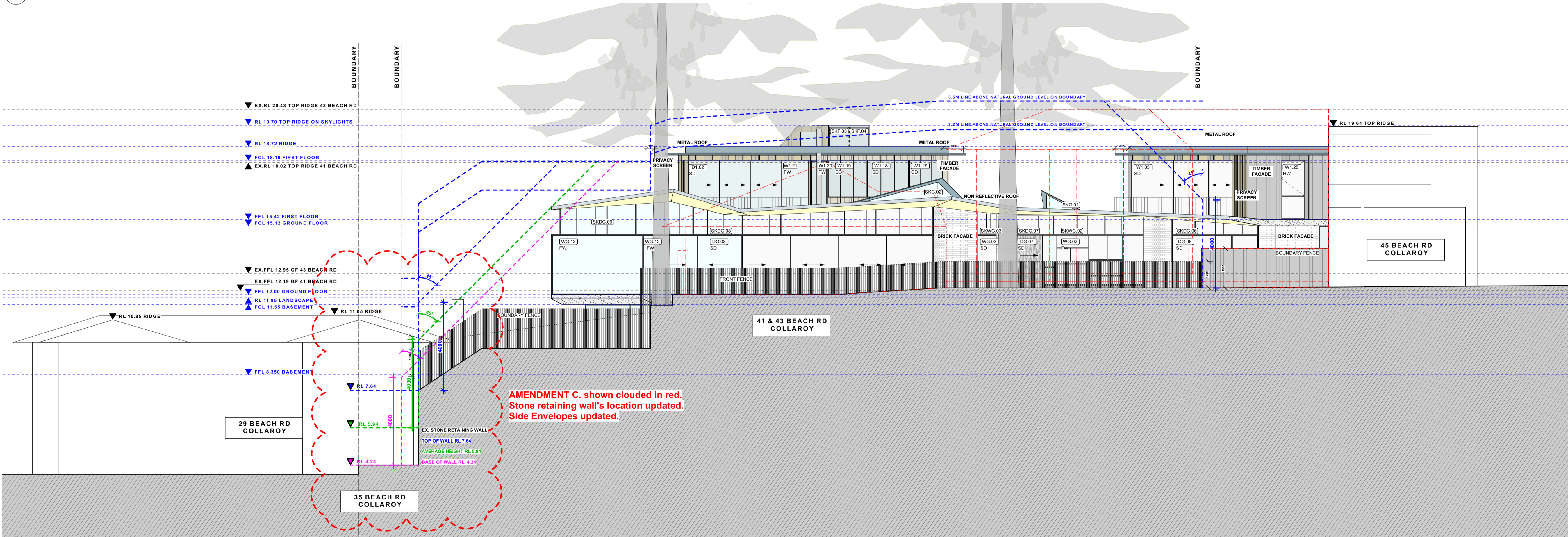
DATE	REV	DESCRIPTION
28/05/2020	B	DA ISSUE - AMENDMENT B

PROJECT	41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391
DRAWING TITLE	DESIGN AMENDMENTS - PLAN

DATE	28/05/2020	REVISION NUMBER	<b>B</b>
SCALE:	1:100 at A1 & 1:200 at A3	DRAWING NO.	<b>DA 160</b>



01 NORTH ELEVATION PROPOSED



02 EAST ELEVATION PROPOSED

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.  
BASIX: ALL WORK TO COMPLY WITH BASIX CERTIFICATE  
**REFERRALS**  
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS.  
HYDRAULIC: REFER TO THE HYDRAULIC ENGINEER'S DRAWINGS FOR ALL HYDRAULICS WORK.  
LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SKG.#)	SKYLIGHT ABOVE GF LEVEL
(DT.#)	DOOR AT FF LEVEL
(WT.#)	WINDOW AT FF LEVEL
(SKF.#)	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE

VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016  
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info@vk.com.au www.vk.com.au abn 12 083 17 159

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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
25/05/2020	B	DA ISSUE - EX. GROUND LEVEL INFORMATION ENHANCED AS REQUIRED BY COUNCIL
03/07/2020	C	DA AMENDMENT C - STONE RETAINING WALL UPDATED. SIDE ENVELOPES UPDATED.

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE  
NORTH & EAST ELEVATIONS  
PROPOSED

03/07/2020

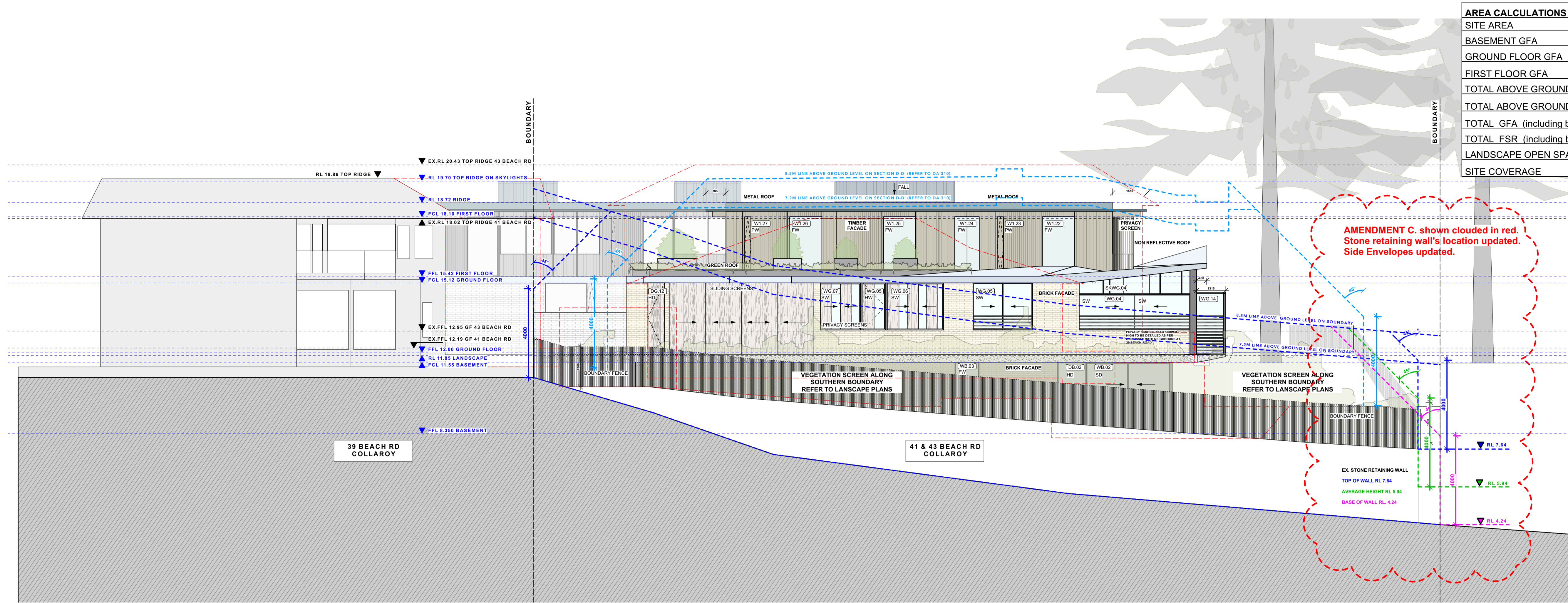
SCALE:

1:100 at A1 &  
1:200 at A3

C

DRAWING NO.

DA 200



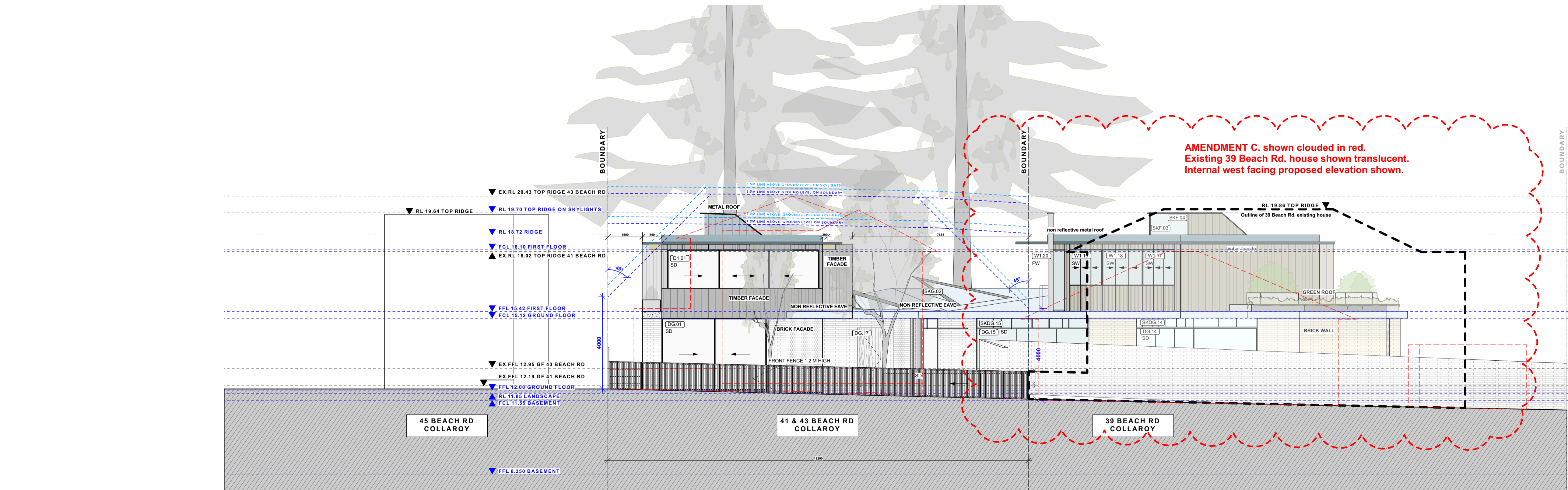
AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.  
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**REFERRALS**  
SURVEY: REFER TO THE SURVEY PLAN FOR ALL EXISTING GROUND LEVELS  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
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(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
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SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
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	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE
	FIRST DA BUILDING LINE



02 WEST ELEVATION PROPOSED (FRONT ELEVATION)

VIRGINIA KERRIDGE ARCHITECT

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03/07/2020	C	DA AMENDMENT C - STONE RETAINING WALL UPDATED. SIDE ENVELOPES UPDATED.

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE  
SOUTH & WEST ELEVATIONS  
PROPOSED

03/07/2020

SCALE:  
1:100 at A1 &  
1:200 at A3

C

DRAWING NO.  
DA 210



TIMBER PRIVACY SCREENS



NON-REFLECTIVE METAL  
ROOF



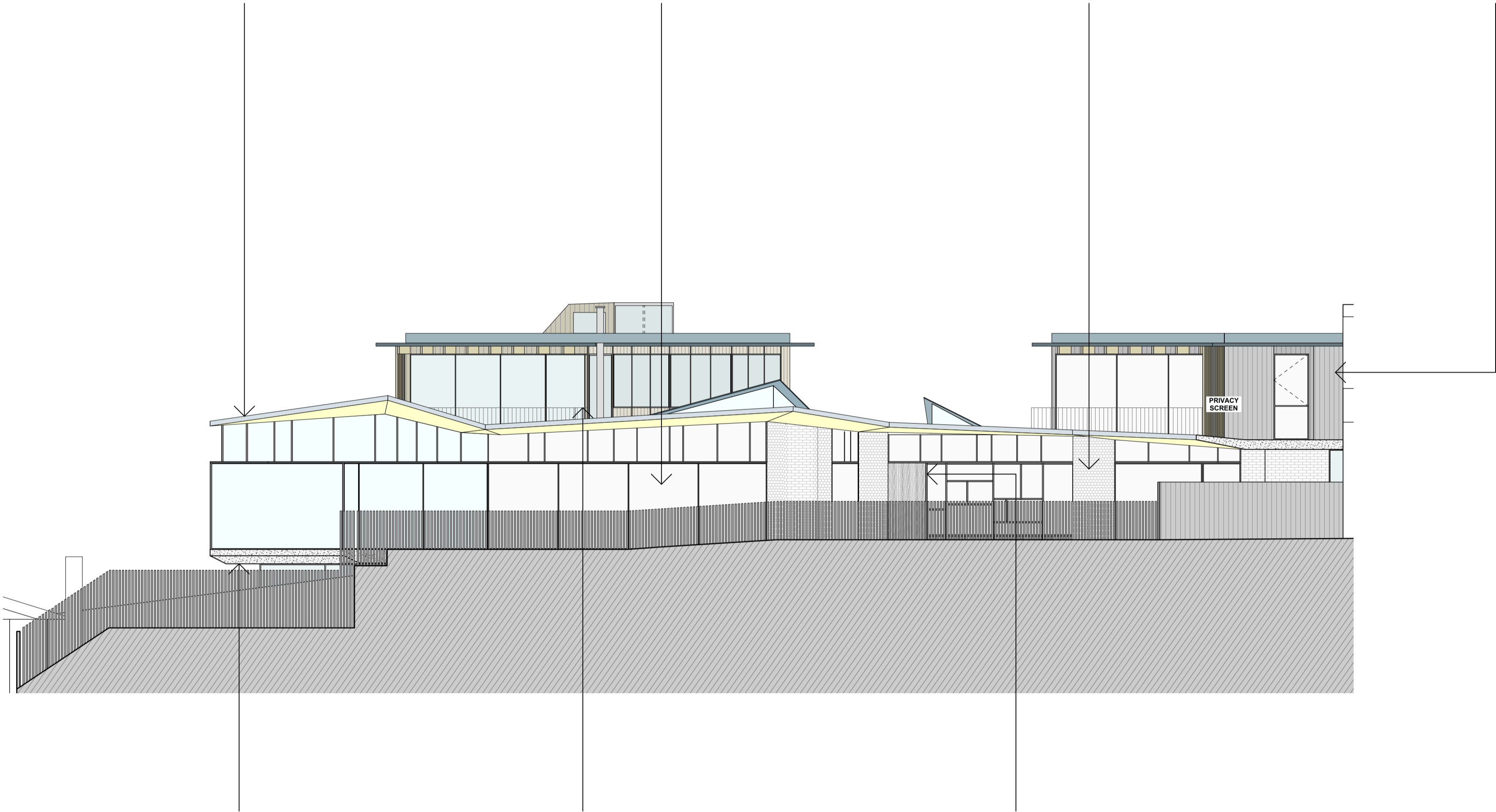
WINDOWS / DOORS -  
ALUMINIUM FRAME



BRICK WALLS / STRUCTURE



TIMBER CLADDING



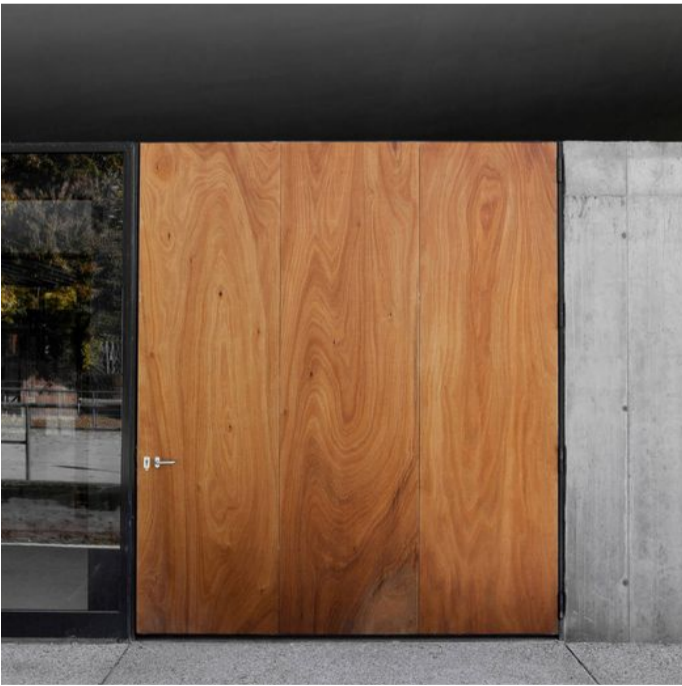
TIMBER DECK



CONCRETE



STEEL / TIMBER  
BALUSTRADE



TIMBER DOOR



WINDOWS - EXTERNAL  
BLINDS

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
	WINDOW AT FF LEVEL
	SKYLIGHT ABOVE FF LEVEL
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	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
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	STEEL IN SECTION
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	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
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VIRGINIA KERRIDGE ARCHITECT

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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
03/07/2020	C	DA ISSUE - AMENDMENT C

PROJECT  
41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE  
MATERIALS AND FINISHES SCHEDULE

DATE  
03/07/2020

SCALE:

N/A

REVISION NUMBER:



C

DRAWING NO.

DA 400

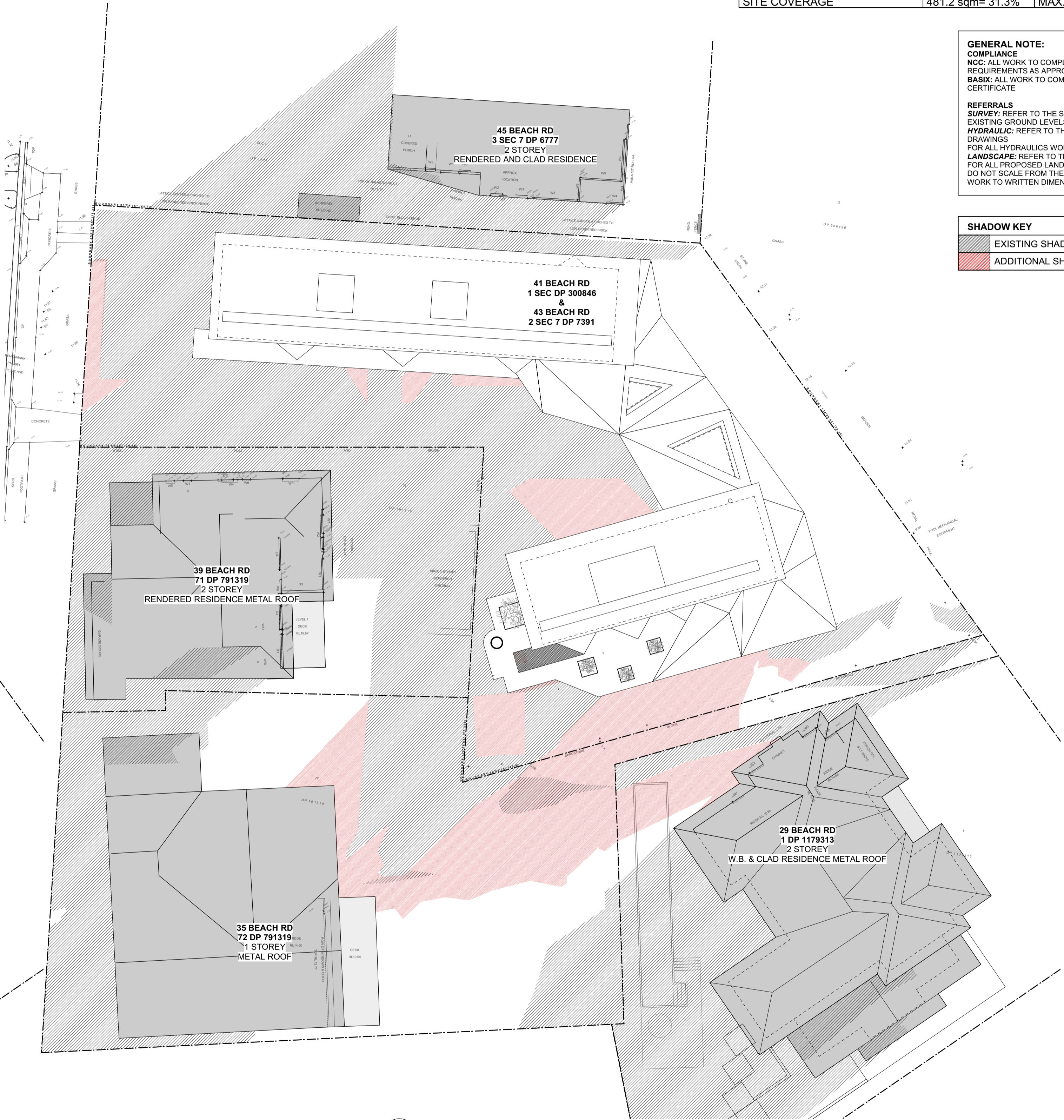
AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS



1 Existing Shadows 9AM 21st June  
Scale: 1:200



2 Proposed Shadows 9AM 21st June  
Scale: 1:200

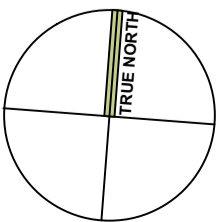
VIRGINIA KERRIDGE ARCHITECT

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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.



amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B

PROJECT  
41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DATE  
28/05/2020

REVISION NUMBER:  
B



DRAWING TITLE  
EXISTING AND PROPOSED  
SHADOW DIAGRAMS AT 9AM-21ST JUNE

SCALE:  
1:200 at A1 &  
1:400 at A3

DRAWING NO.  
DA 500

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

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LANDSCAPE: REFER TO THE LANDSCAPE DRAWINGS FOR ALL PROPOSED LANDSCAPING DETAILS. DO NOT SCALE FROM THESE DRAWINGS. WORK TO WRITTEN DIMENSIONS ONLY.

SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS



1 Existing Shadows 12PM 21st June  
Scale: 1:200



2 Proposed Shadows 12PM 21st June  
Scale: 1:200

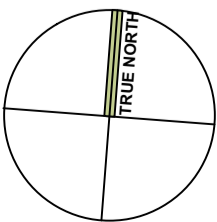
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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B

PROJECT  
41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DATE  
28/05/2020

REVISION NUMBER:  
**B**



DRAWING TITLE  
EXISTING AND PROPOSED  
SHADOW DIAGRAMS 12PM-21ST JUNE

SCALE:  
1:200 at A1 &  
1:400 at A3

DRAWING NO.  
**DA 501**

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES
SITE COVERAGE	481.2 sqm= 31.3%	MAX. 33.3%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS



1 Existing Shadows 3PM 21st June  
Scale: 1:200



2 Proposed Shadows 3PM 21st June  
Scale: 1:200

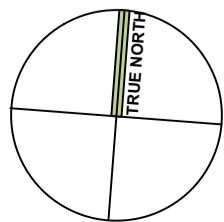
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amendments:

DATE	REV	DESCRIPTION
12/12/2019	A	DA ISSUE
28/05/2020	B	DA ISSUE - AMENDMENT B

PROJECT  
41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

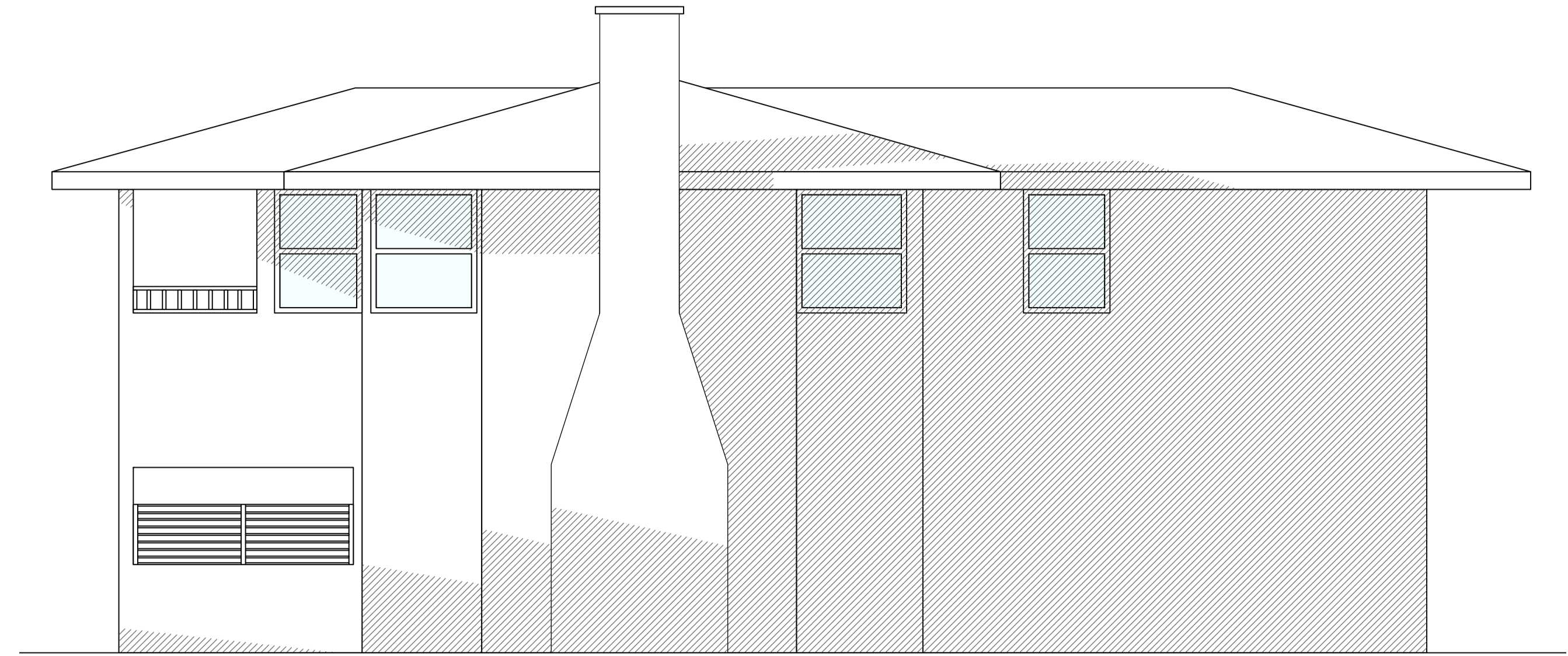
DATE  
28/05/2020

REVISION NUMBER:  
**B**

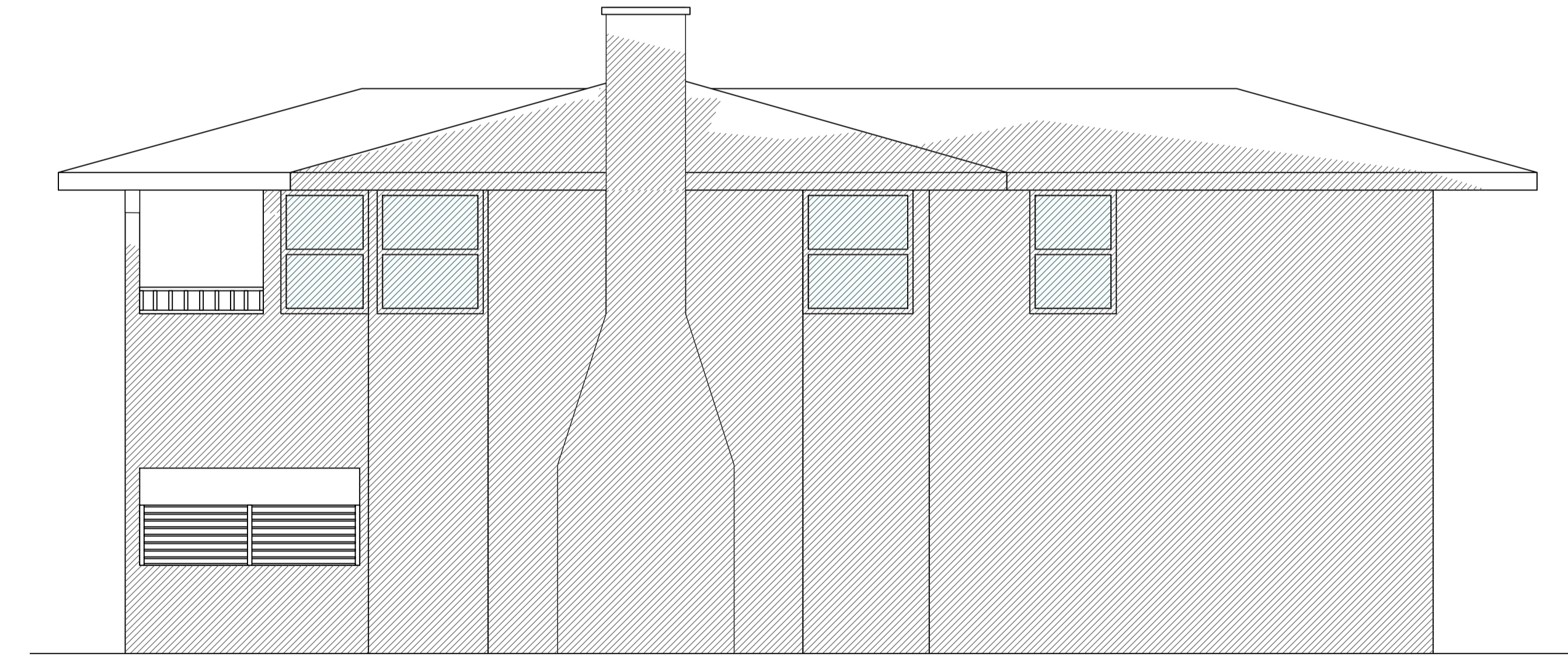
DRAWING TITLE  
EXISTING AND PROPOSED  
SHADOW DIAGRAMS AT 3PM -21ST JUNE

SCALE:  
1:200 at A1 &  
1:400 at A3

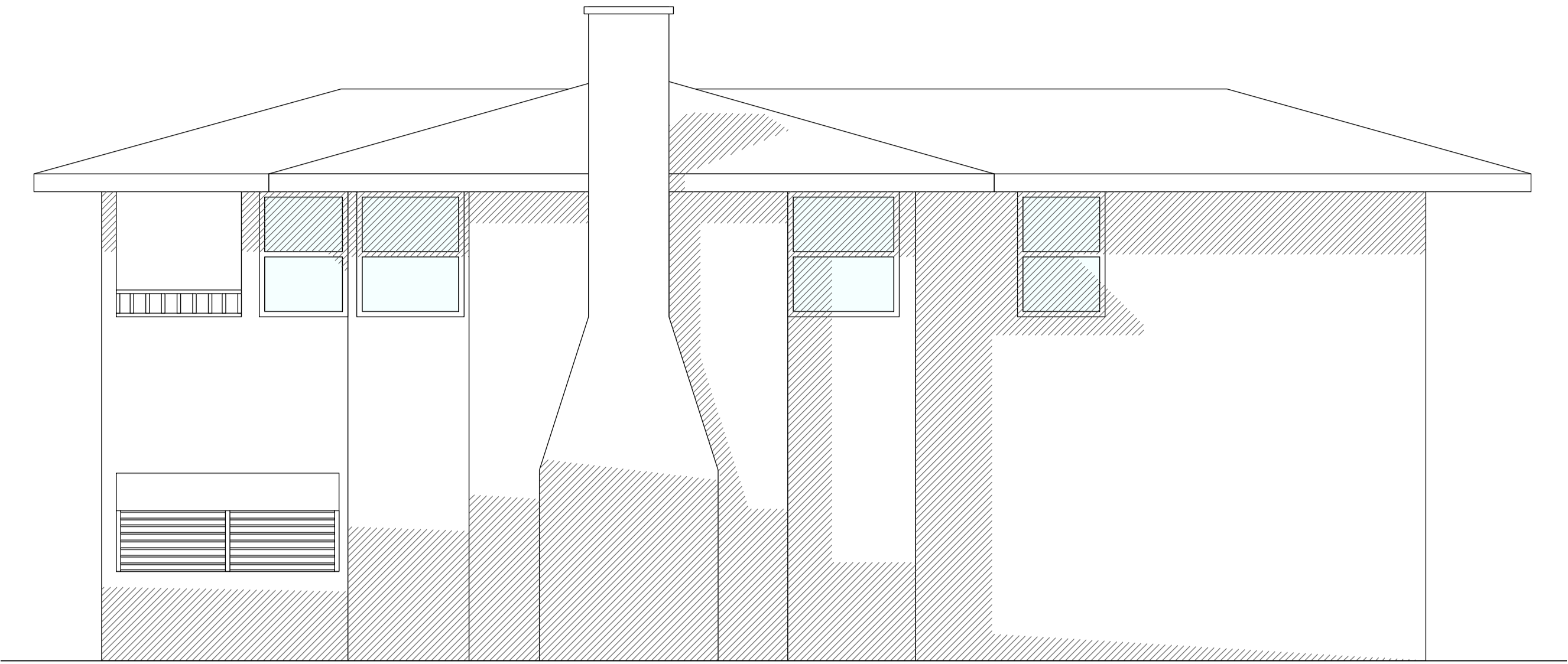
DRAWING NO.  
**DA 502**



**01**    **EXISTING ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE**  
**9 AM - 21st June**



**03**    **EXISTING ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE**  
**3 PM - 21st June**



**02**    **EXISTING ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE**  
**12 PM - 21st June**

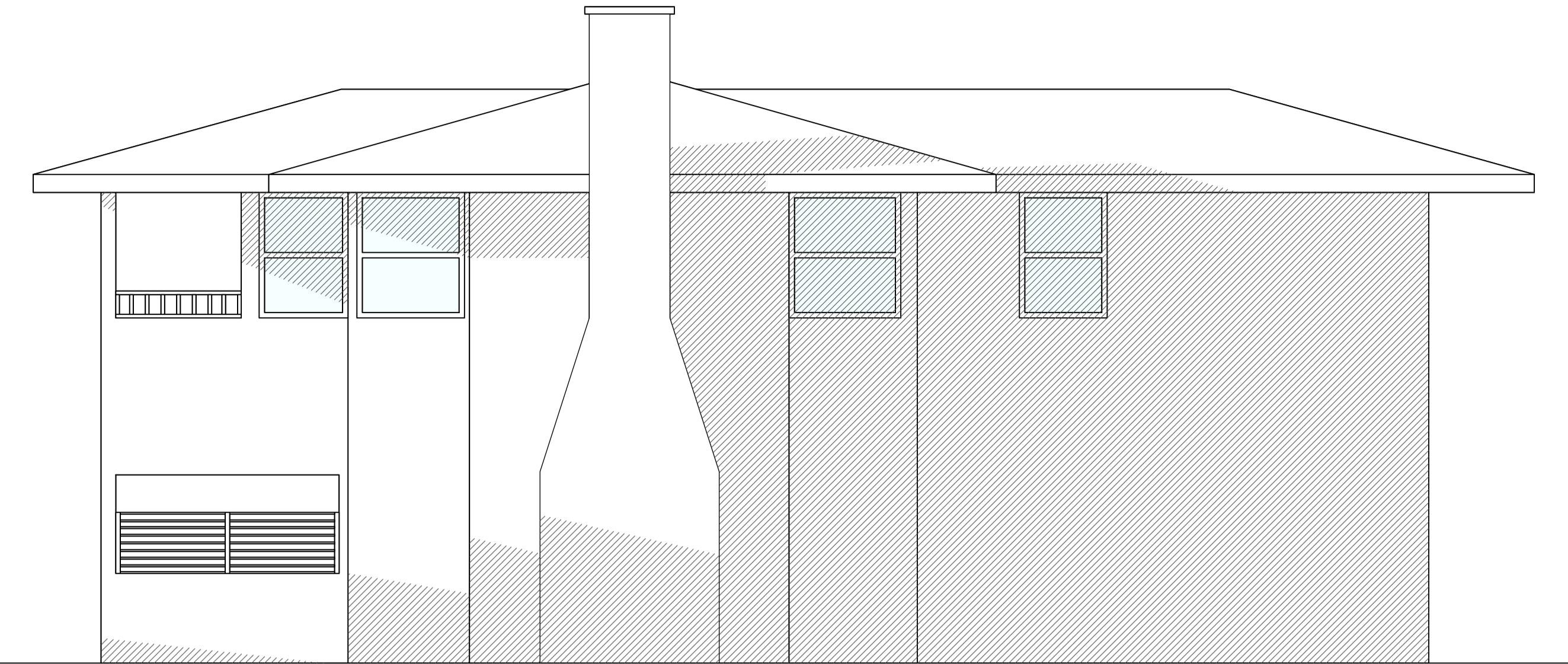
**GENERAL NOTE:**  
**COMPLIANCE**  
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**BASIX:** ALL WORK TO COMPLY WITH BASIX CERTIFICATE  
**REFERRALS**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

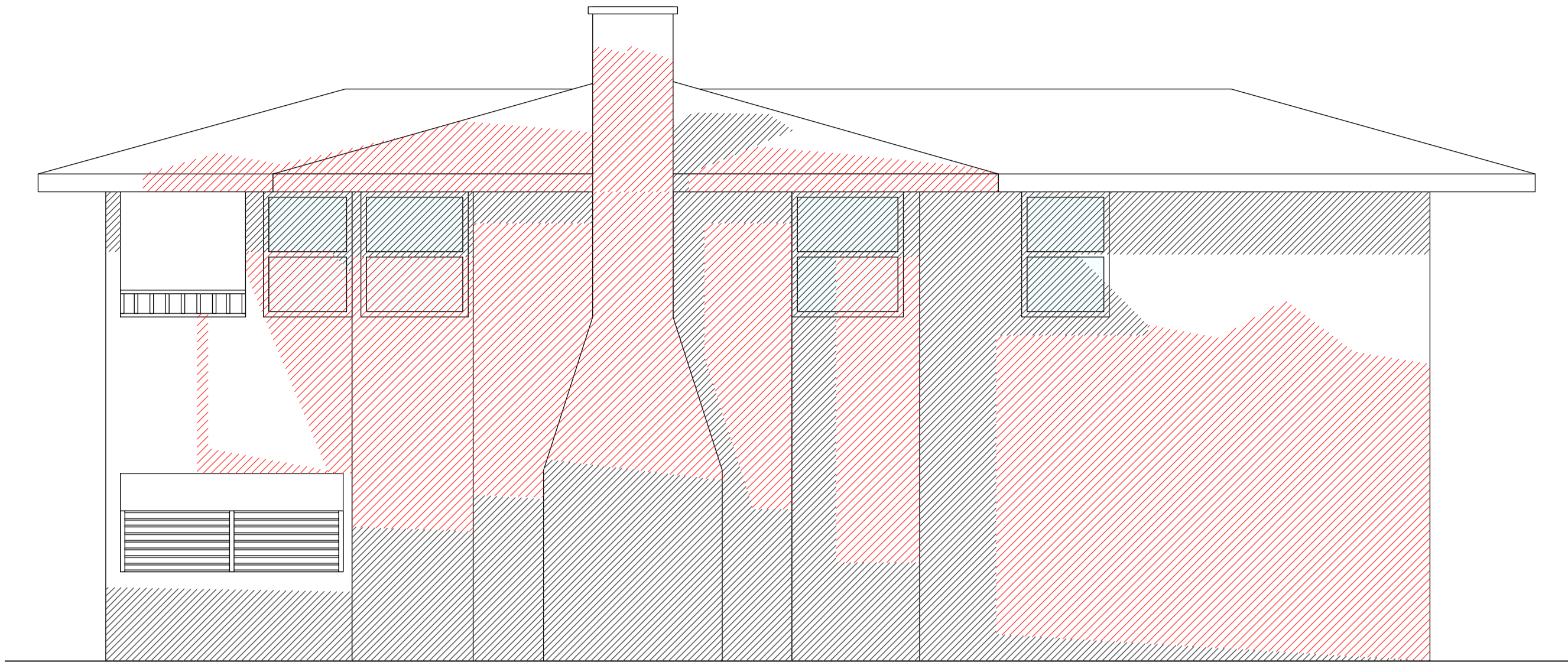
ABBREVIATIONS	
<b>(DB.#)</b>	DOOR AT BASEMENT LEVEL
<b>(WB.#)</b>	WINDOW AT BASEMENT LEVEL
<b>(SKB.#)</b>	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
<b>(DG.#)</b>	DOOR AT GF LEVEL
<b>(SKDG.#)</b>	SKYLIGHT ABOVE DOORS AT GF LEVEL
<b>(WG.#)</b>	WINDOW AT GF LEVEL
<b>(SKWG.#)</b>	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
<b>(SKG.#)</b>	SKYLIGHT ABOVE GF LEVEL
<b>(DT.#)</b>	DOOR AT FF LEVEL
<b>(WT.#)</b>	WINDOW AT FF LEVEL
<b>(SKF.#)</b>	SKYLIGHT ABOVE FF LEVEL
RL	RELATIVE LEVEL
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE

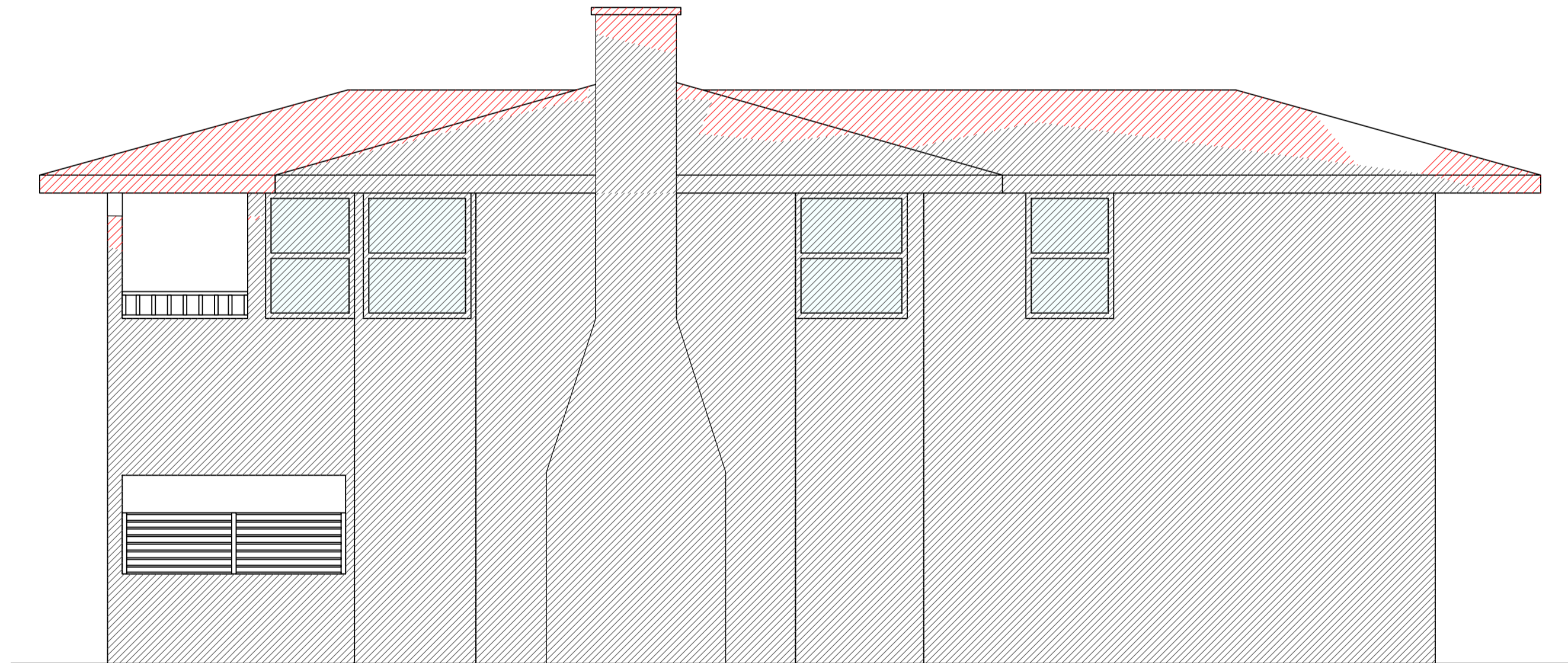
<div>VIRGINIA KERRIDGE ARCHITECT</div> <div>g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159</div>	<div>NOTES:</div> <div>THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY</div> <div>REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.</div>		amendments:			PROJECT	DATE	REVISION NUMBER
			DATE	REV	DESCRIPTION	41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391	28/05/2020	B
			12/12/2019 28/05/2020	A B	DA ISSUE DA ISSUE - AMENDMENT B	DRAWING TITLE	SCALE:	DRAWING NO:
				EXISTING ELEVATION SHADOWS OVER 29 BEACH RD. NORTHERN FACADE SHADOW DIAGRAMS AT 9AM, 12PM & 3PM-21ST JUNE	1:50 at A1 & 1:100 at A3	DA 520		



01 PROPOSED ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE  
9 AM - 21st June



02 PROPOSED ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE  
12 PM - 21st June



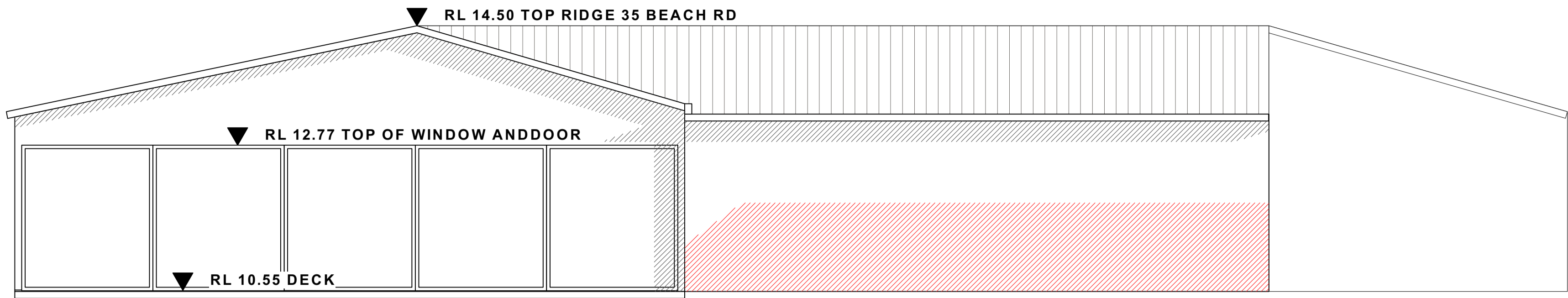
03 PROPOSED ELEVATION SHADOWS - 29 BEACH RD. NORTHERN FACADE  
3 PM - 21st June

**GENERAL NOTE:**  
**COMPLIANCE**  
NCC: ALL WORK TO COMPLY WITH THE BCA AND AS REQUIREMENTS AS APPROPRIATE.  
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**REFERRALS**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
	DOOR AT GF LEVEL
	SKYLIGHT ABOVE DOORS AT GF LEVEL
	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
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	SKYLIGHT ABOVE FF LEVEL
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FW	FIXED WINDOW
HD	HINGED DOOR
PD	PIVOT DOOR
PW	PIVOT WINDOW
SD	SLIDING DOOR
SW	SLIDING WINDOW
GL	EX. GROUND LEVEL

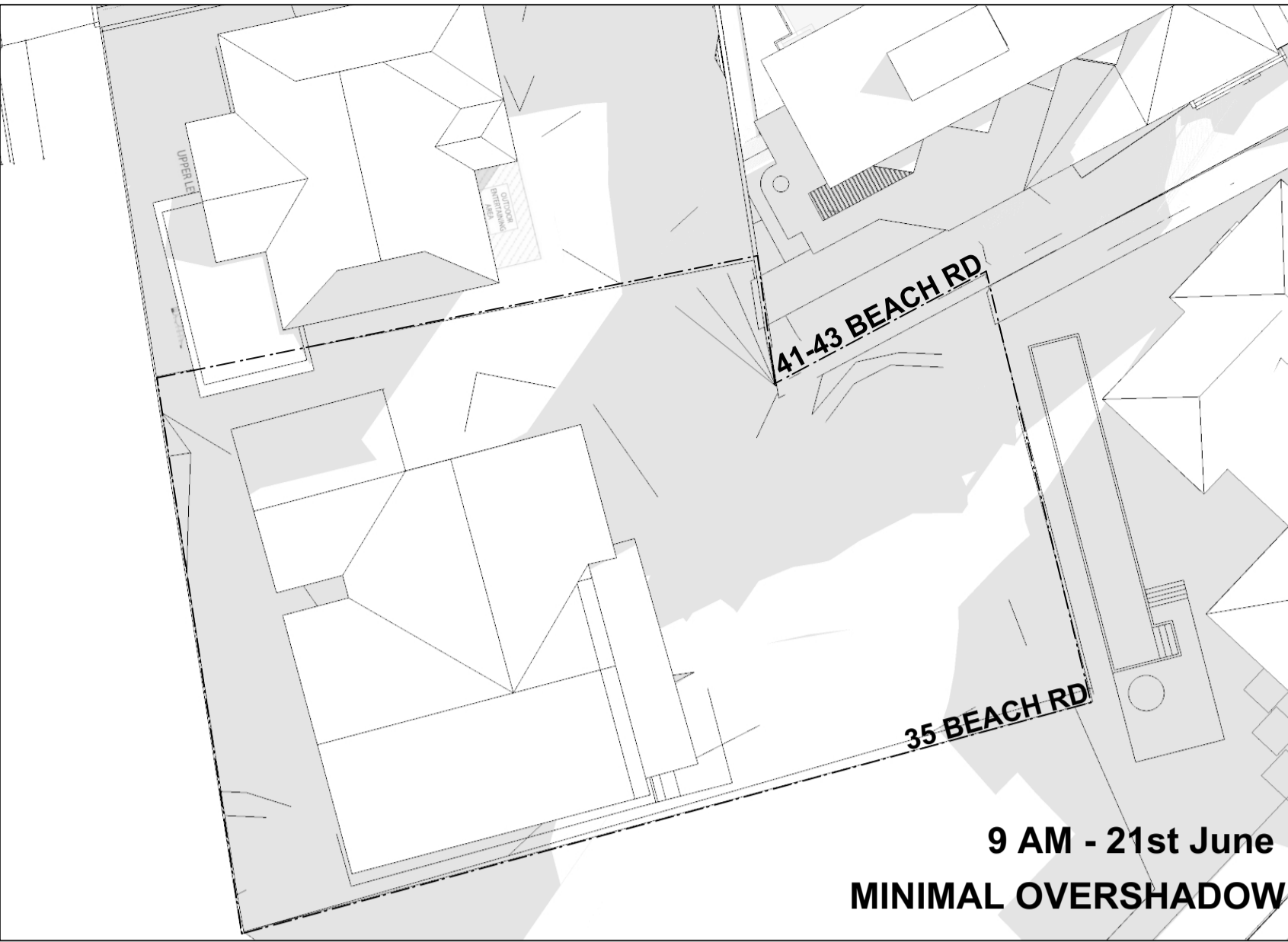
SYMBOLS KEY	
	EXISTING WALLS
	CAVITY BRICK WALLS
	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
	JOINERY
	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE



ELEVATION DRAWN WITH LIMITED SURVEY INFORMATION  
LEVELS SHOWN ARE TAKEN FROM THE SURVEY BY LTS LOCKLEYS  
TO DO MORE SHADOW DIAGRAMS MORE DETAILED INFORMATION IS NEEDED

01 PROPOSED ELEVATION SHADOWS - 35 BEACH RD. EASTERN FACADE  
9 AM - 21st June

SHADOW DIAGRAMS SHOW THAT THERE IS  
NO OVERSHADOWING ON 35 BEACH ROAD  
FROM THE PROPOSED DEVELOPMENT  
EXCEPT FOR 9AM ON 21ST JUNE



**GENERAL NOTE:**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
(DB.#)	DOOR AT BASEMENT LEVEL
(WB.#)	WINDOW AT BASEMENT LEVEL
(SKB.#)	SKYLIGHT IN LANDSCAPE ABOVE BASEMENT
(DG.#)	DOOR AT GF LEVEL
(SKDG.#)	SKYLIGHT ABOVE DOORS AT GF LEVEL
(WG.#)	WINDOW AT GF LEVEL
(SKWG.#)	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
(SKG.#)	SKYLIGHT ABOVE GF LEVEL
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SYMBOLS KEY	
	EXISTING WALLS
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	CONCRETE IN PLAN & ELEVATION
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	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE



VIRGINIA KERRIDGE ARCHITECT

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ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626  
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES:

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REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.

amendments:

DATE	REV	DESCRIPTION
28/05/2020	A	DA ISSUE - AMENDMENT B

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 SEC 7 DP7391

DRAWING TITLE

PROPOSED ELEVATION SHADOWS OVER 35 BEACH  
RD. EASTERN FACADE  
SHADOW DIAGRAM AT 9AM -21ST JUNE

DATE

28/05/2020

SCALE

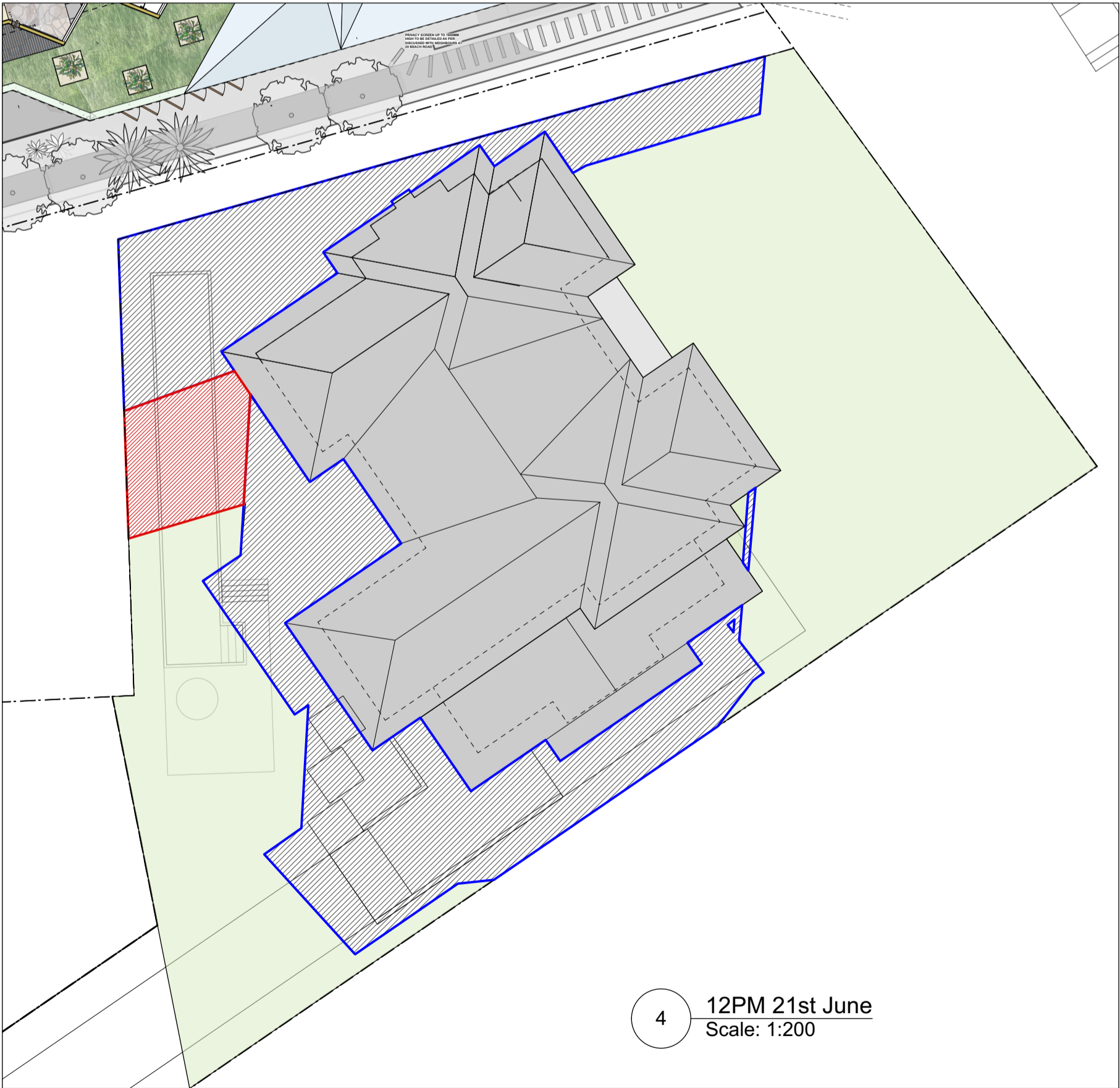
1:50 at A1 &  
1:100 at A3

REVISION NUMBER:

A

DRAWING NO.

DA 522



AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
FIRST FLOOR GFA	284 sqm		YES
TOTAL ABOVE GROUND GFA	691 sqm		YES
TOTAL ABOVE GROUND FSR	0.45:1	0.5:1	YES
TOTAL GFA (including basement)	762.6		
TOTAL FSR (including basement)	0.496:1	0.5:1	YES
LANDSCAPE OPEN SPACE	725.1 sqm= 47.2%	MIN. 40%	YES

**GENERAL NOTE:**  
**COMPLIANCE**  
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

CALCULATIONS SHOW THAT AT LEAST 50% OF PRIVATE OPEN SPACE RECEIVE A MINIMUM OF 3 HOURS SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21.

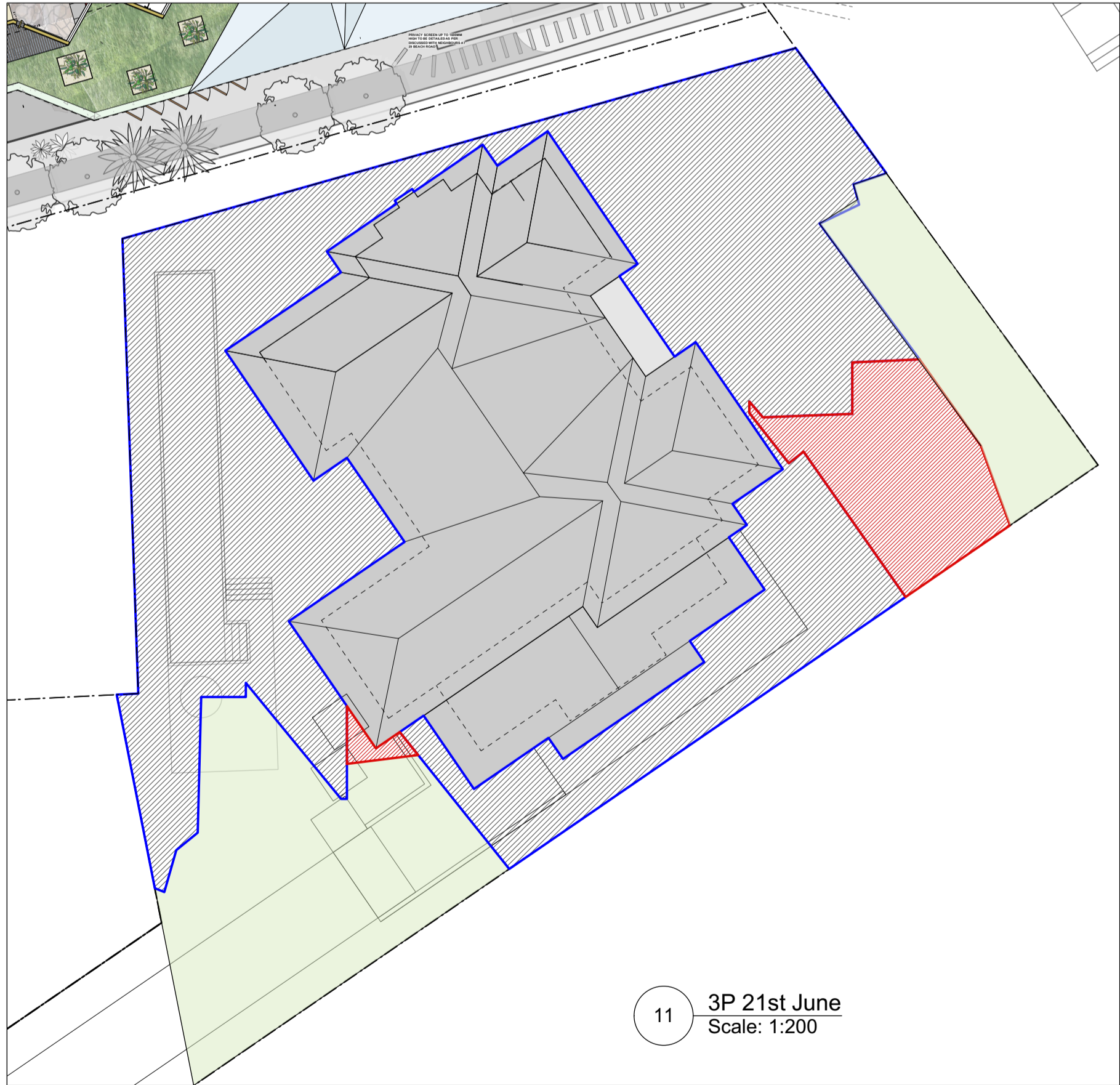
29 BEACH ROAD	
PRIVATE OPEN SPACE WITH SOLAR ACCESS (21 JUNE)	% OF TOTAL PRIVATE OPEN SPACE
9:00 am	55.9
10:00 am	54.9
11:00 am	54.8
12:00 pm	61.0
1:00 pm	61.6
2:00 pm	55.3
3:00 pm	28.0



9 1PM 21st June  
Scale: 1:200



10 2PM 21st June  
Scale: 1:200



11 3P 21st June  
Scale: 1:200

AREA CALCULATIONS	PROPOSED	ALLOWED	COMPLIES
SITE AREA	1536.5 sqm		
BASEMENT GFA	71.6 sqm		YES
GROUND FLOOR GFA	407sqm		YES
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SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

CALCULATIONS SHOW THAT AT LEAST 50% OF PRIVATE OPEN SPACE RECEIVE A MINIMUM OF 3 HOURS SUNLIGHT BETWEEN 9AM AND 3PM ON JUNE 21.

29 BEACH ROAD	
PRIVATE OPEN SPACE WITH SOLAR ACCESS (21 JUNE)	% OF TOTAL PRIVATE OPEN SPACE
9:00 am	55.9
10:00 am	54.9
11:00 am	54.8
12:00 pm	61.0
1:00 pm	61.6
2:00 pm	55.3
3:00 pm	28.0

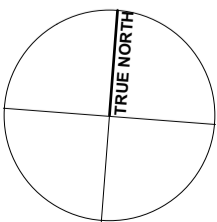
VIRGINIA KERRIDGE ARCHITECT

g 03 / 59 great buckingham street redfern nsw 2016  
ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626  
info@vk.com.au www.vk.com.au abn 12 083 17 159

NOTES

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amendments:

DATE	REV	DESCRIPTION
28/05/2020	A	DA ISSUE - AMENDMENT B

PROJECT

41 & 43 BEACH ROAD COLLAROY  
LO1 1 DP300846 AND LOT 2 DP7391

DATE

28/05/2020

REVISION NUMBER:

A

DRAWING TITLE

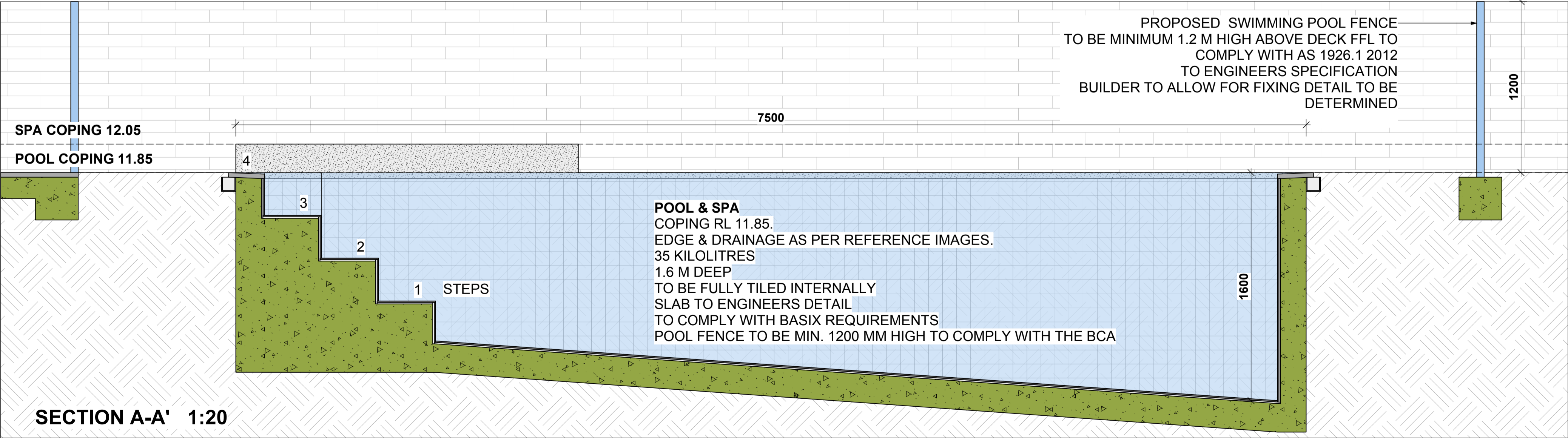
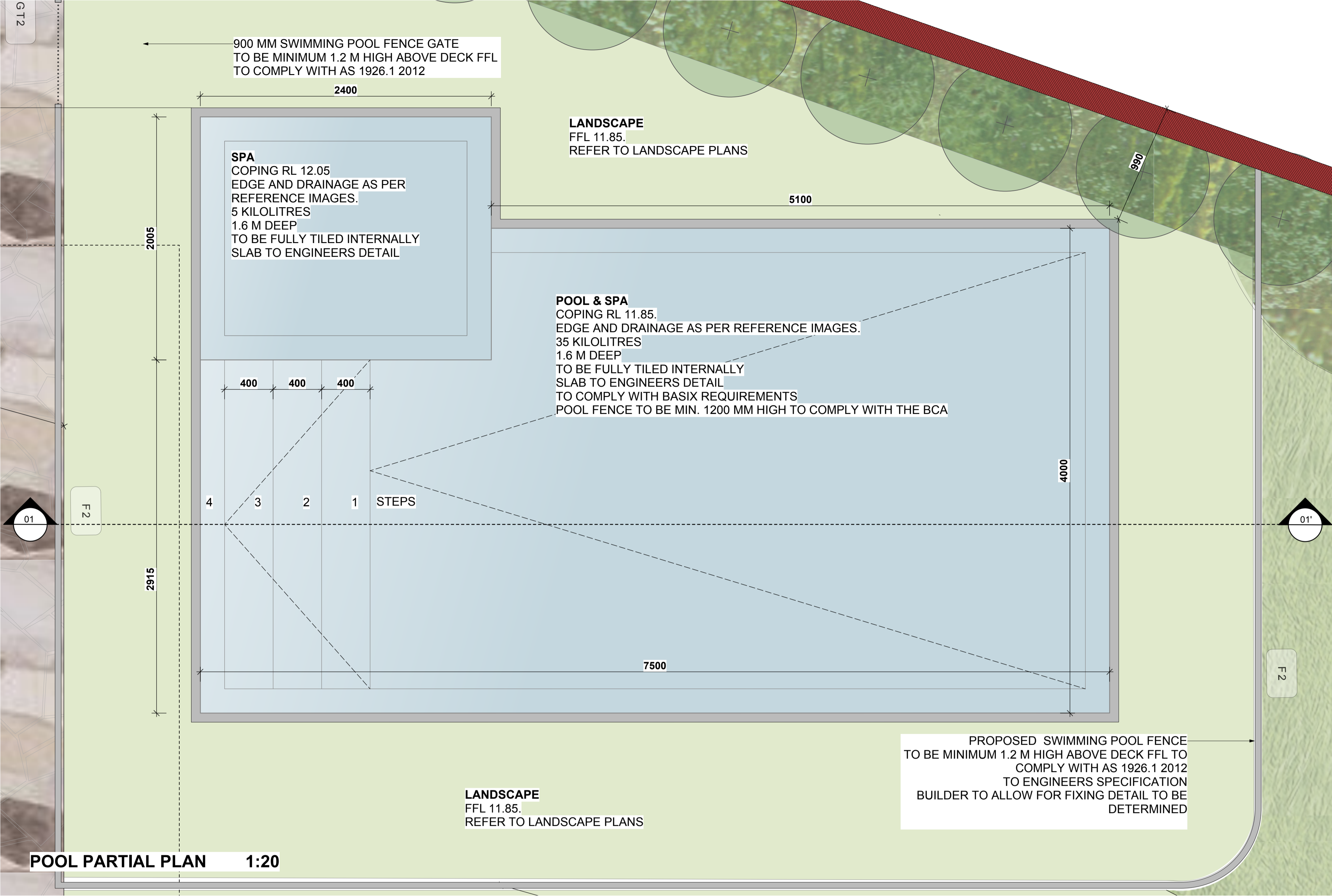
29 BEACH ROAD  
PRIVATE OPEN SPACE SOLAR ACCESS  
SHADOW DIAGRAMS

SCALE

1:200 at A1 &  
1:400 at A3

DRAWING NO.

DA 524



**GENERAL NOTE:**  
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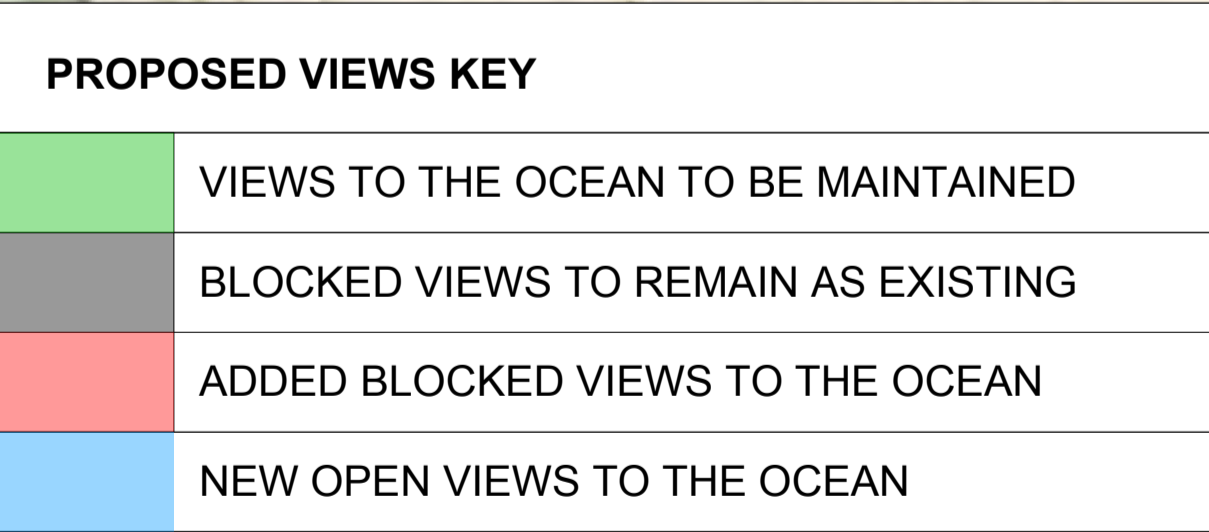
SHADOW KEY	
	EXISTING SHADOWS
	ADDITIONAL SHADOWS

ABBREVIATIONS	
	DOOR AT BASEMENT LEVEL
	WINDOW AT BASEMENT LEVEL
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	WINDOW AT GF LEVEL
	SKYLIGHT ABOVE WINDOWS AT GF LEVEL
	SKYLIGHT ABOVE GF LEVEL
	DOOR AT FF LEVEL
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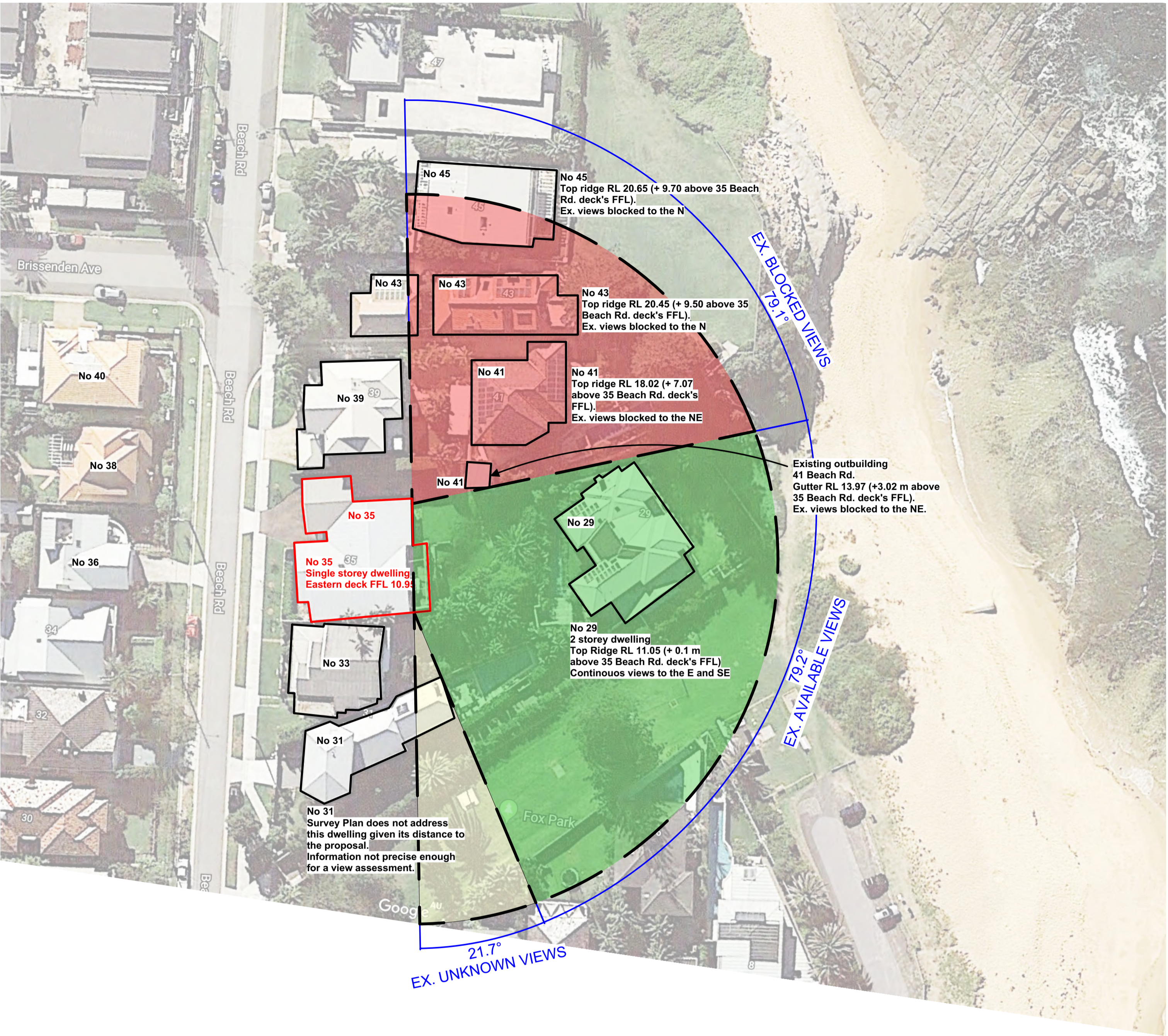
SYMBOLS KEY	
	EXISTING WALLS
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	TIMBER STUD WALLS
	OFF-FORM CONCRETE WALLS
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	TIMBER FLOORBOARDS
	TIMBER DECK
	TILED FLOORS
	GLAZING
	METAL ROOF
	TIMBER FACADE
	STEEL IN PLAN & ELEVATION
	STEEL IN SECTION
	CONCRETE IN PLAN & ELEVATION
	BRICK FACADE
	OUTDOOR PAVERS
	GREEN ROOF
	CONCRETE ROOF
	DEMOLITION
	DEMOLITION IN SECTION
	PRE-DA MEETING BUILDING LINE

<div>VIRGINIA KERRIDGE ARCHITECT</div> <div>g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159</div>	<div>NOTES:</div> <div>THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY</div> <div>REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.</div>		amendments:			PROJECT		DATE	REVISION NUMBER
			DATE	REV	DESCRIPTION	LO1 1 DP300846 AND LOT 2 SEC 7 DP7391		12/12/2019	A
			12/12/2019	A	DA ISSUE	DRAWING TITLE		SCALE:	DRAWING NO:
					SWIMMING POOL PLANS		1:20 at A1 & 1:40 at A3	DA 600	



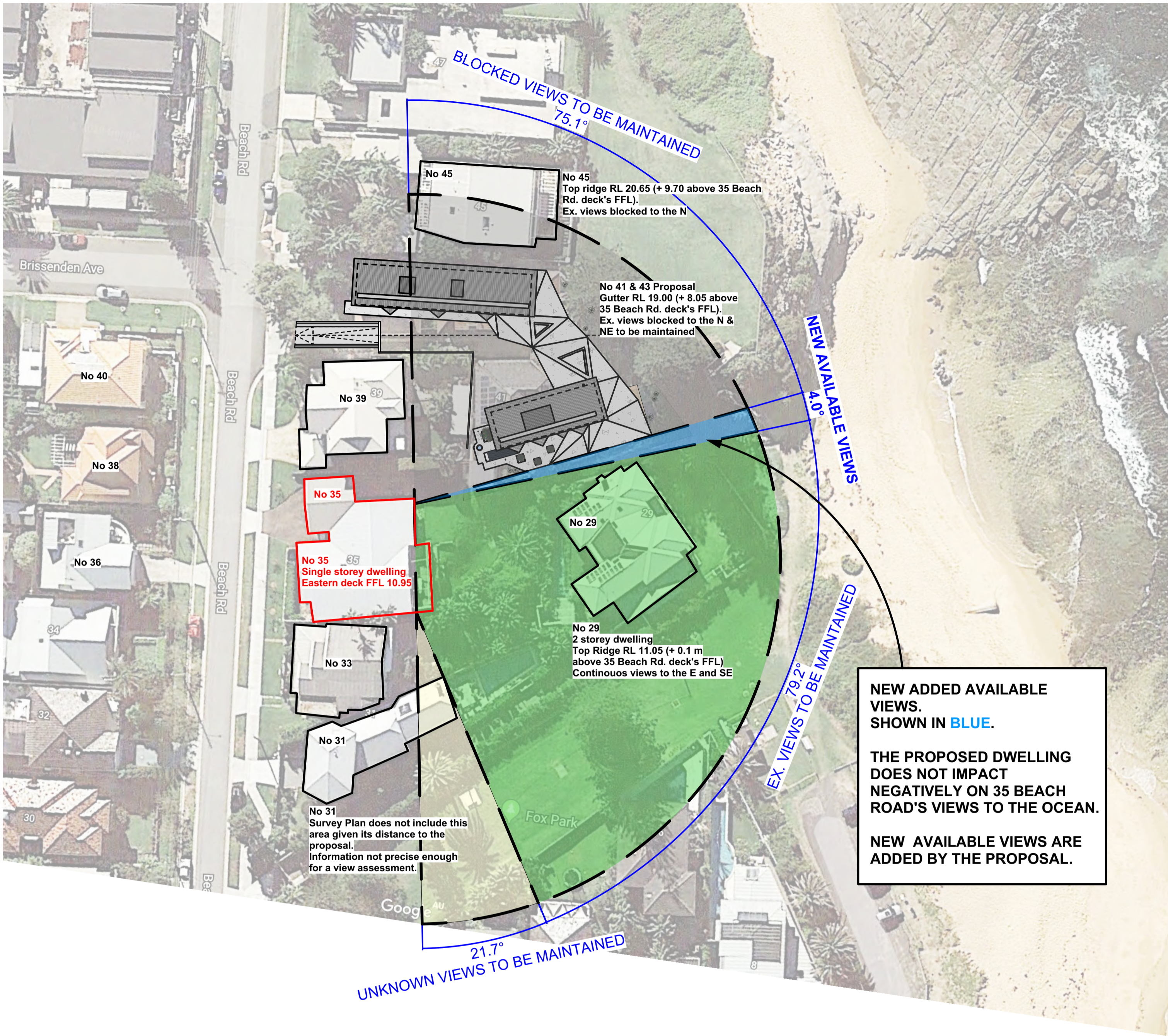


NOTE: ALL USED RELATIVE LEVELS HAVE BEEN TAKEN FROM THE SURVEY PLAN PREPARED BY "LOCKLEY REGISTERED SURVEYORS" AND LODGED WITH THE ORIGINAL DEVELOPMENT APPLICATION. REFER TO SURVEY PLAN.



01 EX. VIEWS TO THE OCEAN ANALYSIS. 35 BEACH ROAD  
1/500 AT A1

EXISTING VIEWS KEY	
<div></div>	EX. VIEWS TO THE OCEAN
<div></div>	UNKNOWN VIEWS. LACK OF PRECISE INFORMATION.
<div></div>	EX. BLOCKED VIEWS TO THE OCEAN



02 PROPOSED VIEWS TO THE OCEAN ANALYSIS. 35 BEACH ROAD  
1/500 AT A1

PROPOSED VIEWS KEY	
<div></div>	EX. VIEWS TO THE OCEAN TO BE MAINTAINED
<div></div>	UNKNOWN VIEWS TO BE MAINTAINED. LACK OF PRECISE INFORMATION.
<div></div>	EX. BLOCKED VIEWS TO THE OCEAN TO BE MAINTAINED
<div></div>	NEW ADDED OPEN VIEWS TO THE OCEAN



ORIGINAL PHOTO TAKEN BY NICK JURADOWITCH, TOWNPLANNER, DIRECTOR OF INGHAM PLANNING  
PHOTO TAKEN ON 25 JUNE 2020

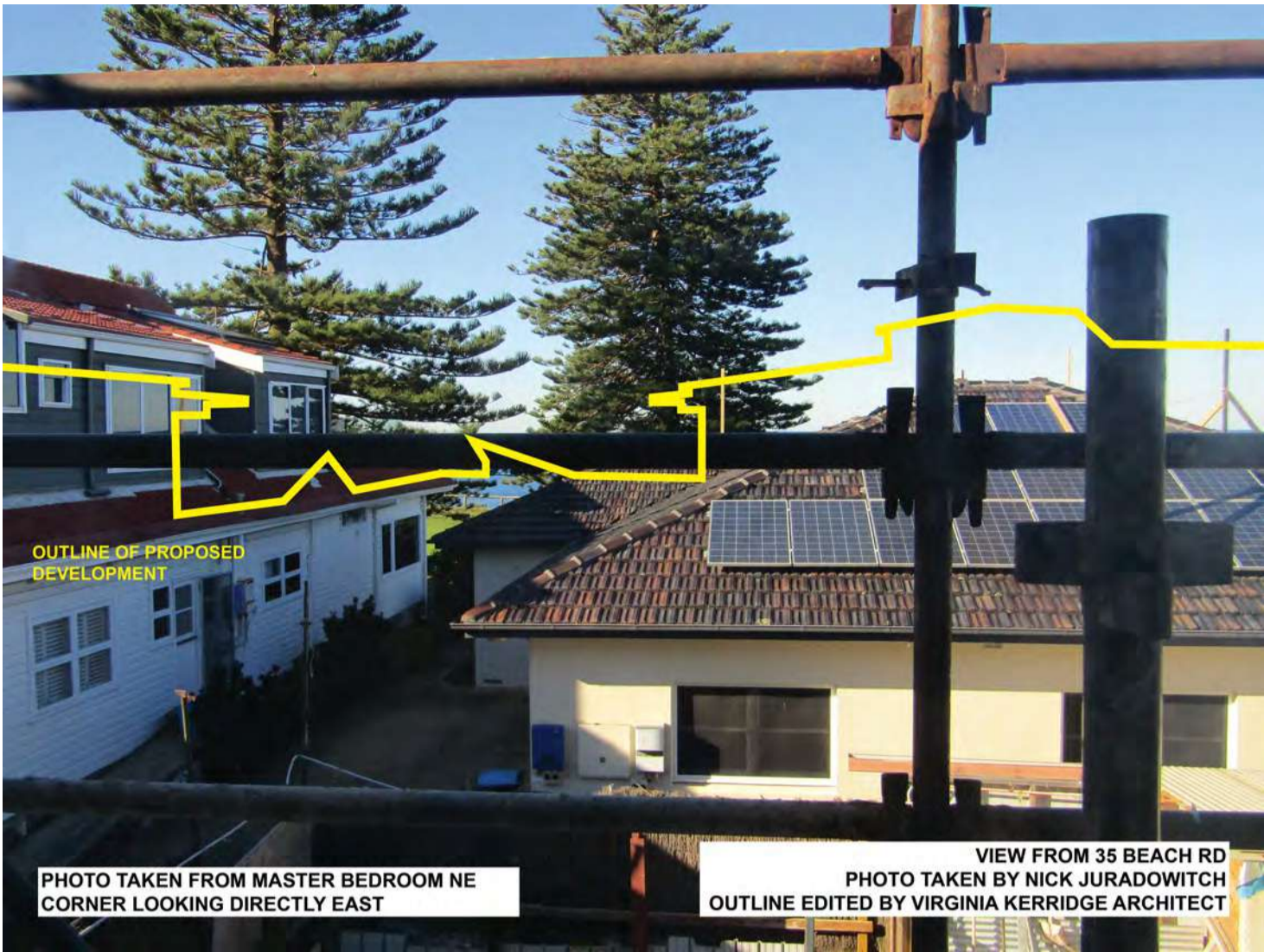


PHOTO EDITED BY VIRGINIA KERRIDGE ARCHITECT.  
OUTLINE OF PROPOSED DEVELOPMENT SHOWN AS A YELLOW LINE.



ORIGINAL PHOTO TAKEN BY NICK JURADOWITCH, TOWNPLANNER, DIRECTOR OF INGHAM PLANNING  
PHOTO TAKEN ON 25 JUNE 2020

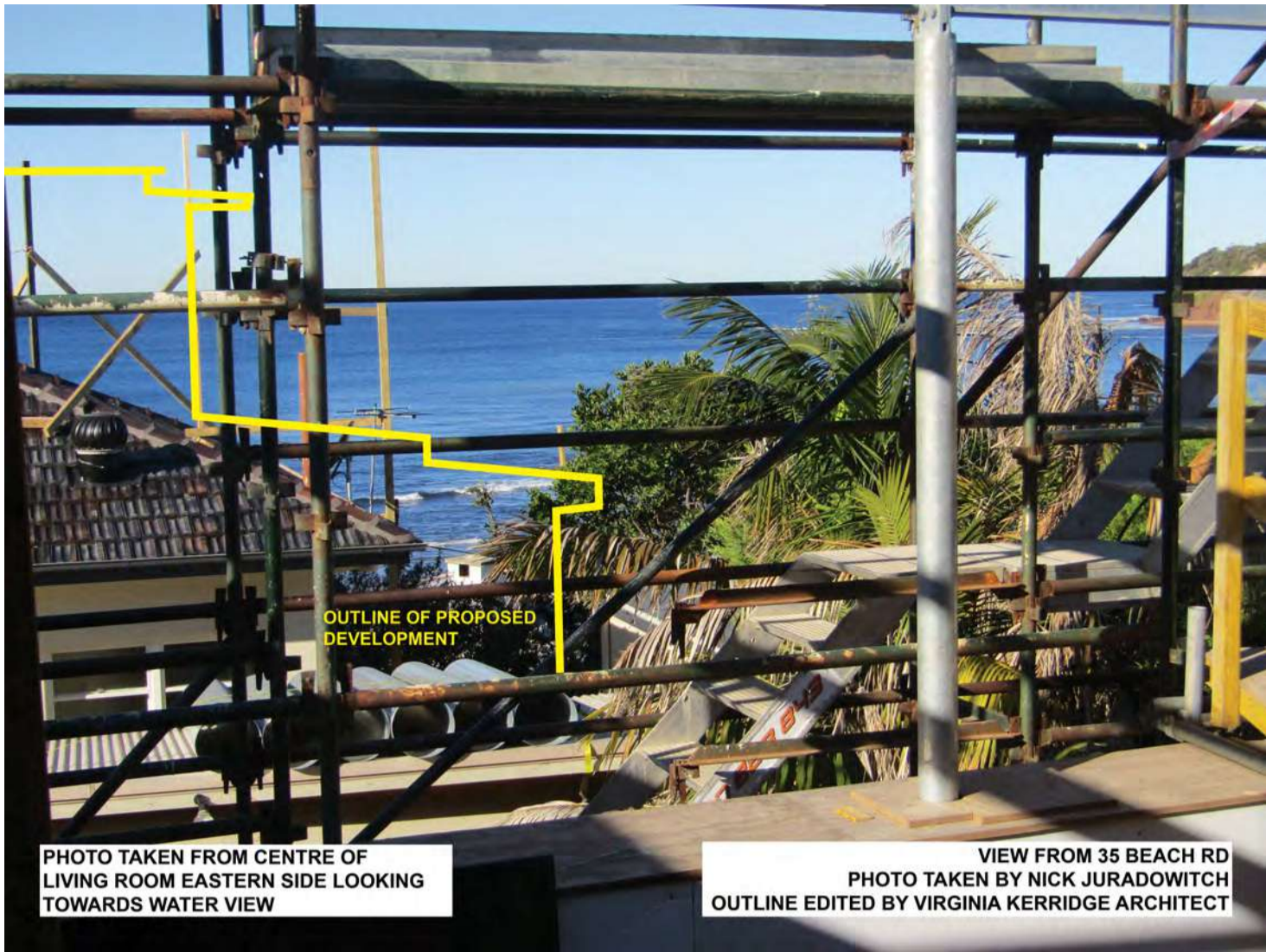


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PHOTO TAKEN ON 25 JUNE 2020



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OUTLINE OF PROPOSED DEVELOPMENT SHOWN AS A YELLOW LINE.



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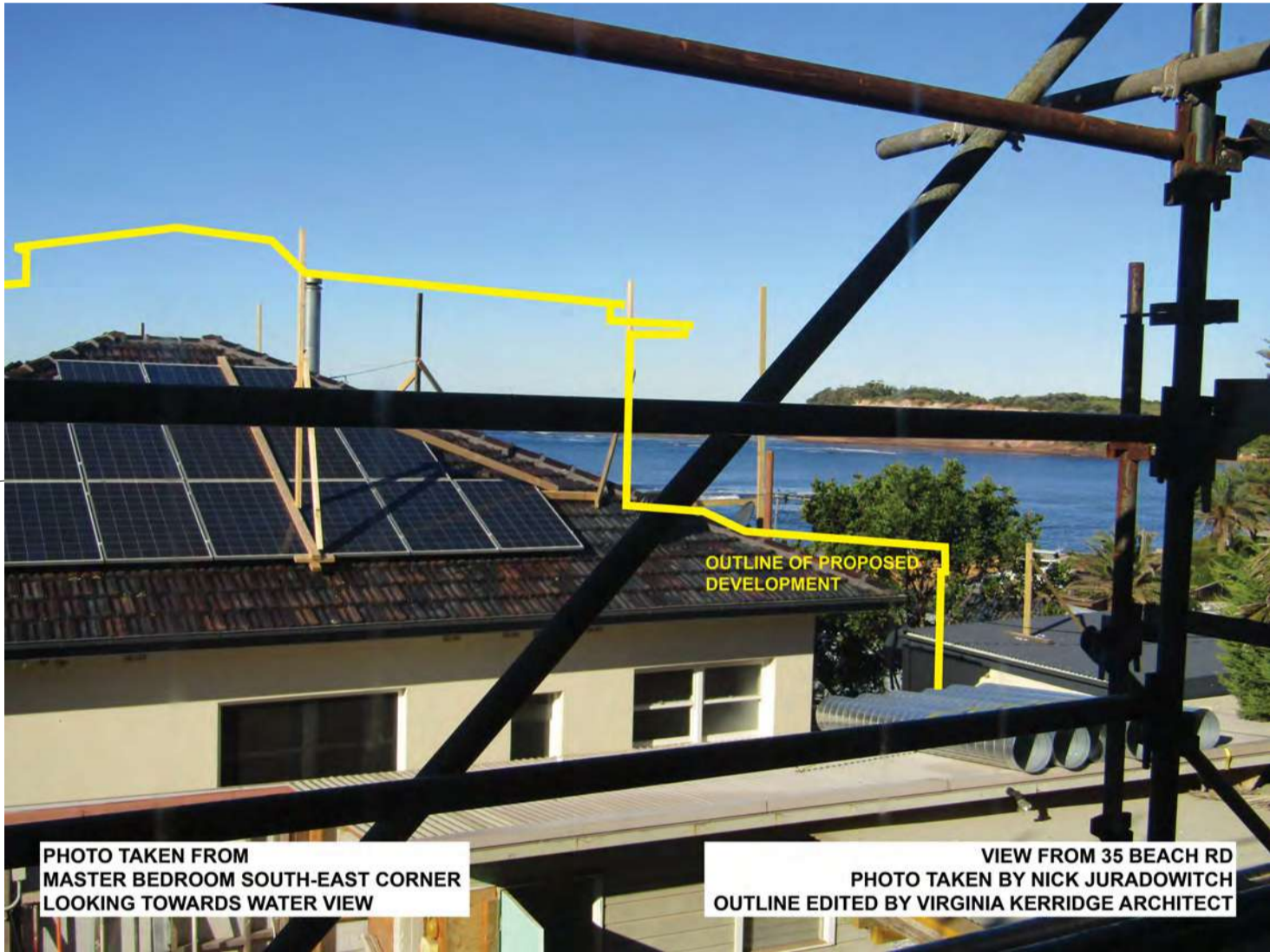


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OUTLINE OF PROPOSED DEVELOPMENT SHOWN AS A YELLOW LINE.



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ORIGINAL PHOTO TAKEN BY NICK JURADOWITCH, TOWNPLANNER, DIRECTOR OF INGHAM PLANNING  
PHOTO TAKEN ON 25 JUNE 2020



PHOTO EDITED BY VIRGINIA KERRIDGE ARCHITECT.  
OUTLINE OF PROPOSED DEVELOPMENT SHOWN AS A YELLOW LINE.

<div>VIRGINIA KERRIDGE ARCHITECT</div> <div>g 03 / 59 great buckingham street redfern nsw 2016 ph 02 9699 3487 ph 02 9699 8527 fax 02 9699 4626 info@vk.com.au www.vk.com.au abn 12 083 17 159</div>	<div>NOTES:</div> <div>THIS IS FOR THE PURPOSE OF DEVELOPMENT APPLICATION TO COUNCIL ONLY</div> <div>REFER TO WRITTEN DIMENSIONS ONLY, DO NOT SCALE FROM DRAWINGS. REFER TO ARCHITECTS SPECIFICATION AND SCHEDULES IN RELATION TO THESE DRAWINGS. REFER ALL DISCREPANCIES TO THE ARCHITECT IMMEDIATELY BEFORE PROCEEDING. REFER TO ALL CONSULTANTS DRAWINGS AND SPECIFICATIONS FOR ALL SPECIALIST INFORMATION AND DETAILS. REFER TO SURVEY DRAWING FOR ALL EXISTING GROUND LEVELS.</div>		amendments:			PROJECT		DATE	REVISION NUMBER
			DATE	REV	DESCRIPTION	41 & 43 BEACH ROAD COLLAROY LO1 1 DP300846 AND LOT 2 SEC 7 DP7391		03/07/2020	C
			30/07/2020	C	DA ISSUE C - ADDITIONAL INFORMATION	DRAWING TITLE		SCALE:	DRAWING NO.
				VIEW LOSS ANALYSIS FROM 39 BEACH ROAD, COLLAROY		N/A	DA 825		

41 & 43 BEACH ROAD  
COLLAROY

# LANDSCAPE DOCUMENTATION

## DEVELOPMENT APPLICATION

## DRAWING REGISTER

Dwg No.	Drawing Title	Scale	Size
<b>General</b>			
LA-DA-00	Cover Page & Drawing Schedule	N/A	A
LA-DA-01	Landscape Schedules & Notes	N/A	A
LA-DA-02	Landscape Statement & Precedents	N/A	A
<b>Plans</b>			
LA-DA-03	Tree Removal Plan	1:100	A
LA-DA-04	Landscape Plan - Ground Floor	1:100	A
LA-DA-05	Landscape Plan - Basement	1:100	A
LA-DA-06	Landscape Plan - Roof	1:100	A
<b>Sections</b>			
LA-DA-07	Landscape Sections 1	1:50	A
LA-DA-08	Landscape Sections 2	1:50	A
<b>Palettes</b>			
LA-DA-09	Planting Palette	N/A	A

## SITE RENDER



## LOCATION PLAN



Rev	Amendment	Date	By
A	Draft DA for Co-ordination	12.12.19	KR
B	DA	18.12.19	KR

**IMPORTANT NOTES:**  
Do not scale from drawings.  
All discrepancies to be brought to the attention of the Project Landscape Architect.  
Dimensions take precedence over dimensions take preference. All dimensions in millimeters otherwise stated.  
All dimensions and R/Ls in meters.  
Verify all dimensions on site before commencement of any works.  
Corrections shall be made and agreed at the time prior to construction.  
All work shall be carried out in accordance with the relevant Government Regulations.  
Structure Details shall be subject to Engineer's Specifications.  
Roofs & Floor Finish Details shall be subject to Hydraulic Engineer's Specifications.  
All work shall be carried out in a professional manner by Qualified Tradesmen according to Landscape Drawings and Specifications.  
No responsibility will be taken by 3RD Degree Landscape Architects Pty Ltd for any variations in design, construction or materials used without written approval from the project Engineer or Landscape Architect.  
This document is registered by 3RD Degree Landscape Architects Pty Ltd.

CLIENT	Jennifer & Russell Staley
ARCHITECT	Virginia Kerridge Architects

SCALE  
N/A @ A1

CHECKED	GD
DRAWN	KR

ISSUED FOR  
DA

DWG. TITLE	<b>Cover Page &amp; Drawing Schedule</b>
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PROJECT  
**41 & 43 BEACH ROAD COLLAROY**

## LANDSCAPE STATEMENT

The proposed DA Landscape Drawings for 41 - 43 Beach Road Collaroy have been designed and set out in accordance with;

- The Client's Brief
- The Northern Beaches Council (Warringah DCP Documents)
- Architectural plans by Virginia Kerridge Architects

As part of a collaborative design team, 360 Degrees Landscape Architects propose to support clients requirements, architectural function and character through considered and refined landscape design, while also responding to the Northern Beaches Council (Warringah) Development Control Guidelines and the residences context within the coastal headland and beachfront Reserve of Stanley Florence Twight Reserve.

The proposed landscape increases the sites existing landscape offerings while maintaining deep soil zones for all proposed tree and palms to provide useable and attractive garden spaces for the residents.

The ground level landscape consists of three primary garden zones;

- Entry garden & Kids freeplay area
- Protected central pool garden and outdoor dining space
- Coastal bushland garden with pocketed lawn spaces to address Stanley & Florence Twight Reserve.

Level 1 Roof Gardens will provide screening and privacy planting along the sites Northern boundary, while the green roof to the Southern wing will provide a green outlook for the Western neighbours will maintaining view lines.

The gardens will consist of primarily native plantings complemented with hardy exotic species suitable to the sites frontline coastal position.

Native Tree and Palm plantings will frame views lines and settle the building within the natural bushland reserve landscape.

## LANDSCAPE PRECEDENTS

## Landscape Character



**Protected Central Garden with Pool, Spa & Entertaining Area**



Pocketed Lawn spaces ensconced in garden



Connection to beach & surrounding coastal landscape character

## Planting Character



Native Coastal planting palette which extends the surrounding reserve and coastal landscape



### Intergration of hardy low water succulents suitable for coastal landscapes



### Feature plants to compliment Architecture

## Materiality



### Granite pool tiling with flush wet edge coping



Entry pathway - Mixed stone crazy pave



### Decking & Crushed granite informal pathways

[illegible]





GROUND FLOOR PLANTING PALETTE

TREES & PALMS



*Dracaena draco*  
Dragon Tree



*Howea forsteriana*  
Kentia Palm



*Robinia pseudoacacia* 'Frisia'  
Golden Robinia



*Tristaniaopsis laurina* 'Luscious'  
Luscious Water Gum



*Waterhousea floribunda* 'Sweeper'  
Sweeper Waterhousea



*Elaeocarpus eumundii*  
Quandong

GRASSES, SUCCLENTS, FERNS & GROUNDCOVERS



*Carpobrotus glaucescens*  
Angular Pig Face



*Casuarina* 'Cousin It'  
Trailing SheOak



*Rosmarinus* 'Irene'  
Trailing Rosemary



*Viola hederacea*  
Native Violet



*Zoysia tenuifolia*  
Velvet Grass



*Aeonium arboreum*  
Tree Houseleek



*Liriope muscari* 'Just Right'  
Just Right Lily Turf



*Poa labillardieri* 'Eskdale'  
Eskdale Tussock Grass



*Dianella* 'Little Jess'  
Little Jess Flax Lily



*Diets robinsoniana*  
Lord Howe Wedding Lily



*Doodia aspera*  
Rasp Fern



*Lomandra* 'Verday'  
Verday Mat Rush

SHRUBS & PERENNIALS



*Acmena smithii* 'Sublime'  
Sublime Lilly Pilly



*Alyxia buxifolia*  
Sea Box



*Alpinia nutans*  
Dwarf Cardamon Ginger



*Banksia ericifolia*  
Heathleafed Banksia



*Casuarina* 'Green Wave'  
Green Wave Dwarf SheOak



*Correa alba*  
White Correa



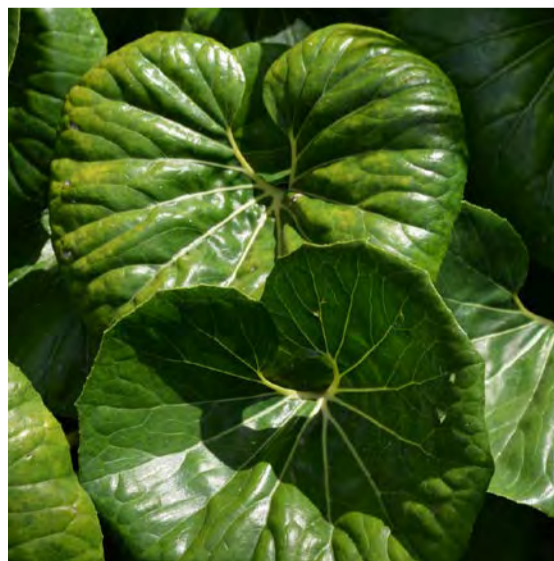
*Fatsia japonica*  
Aralia



*Gardenia augusta* 'Florida'  
Fragrant Gardenia



*Leptospermum laevigatum* 'Foreshore'  
Fore Shore Dwarf Coastal Tea Tree



*Ligularia tussilaginea*  
Leopard Plant



*Rhapiolepis indica* 'Oriental Pearl'  
Oriental Pearl



*Telopea* 'Wirrimbia White'  
White Waratah



*Westringia fruticosa* 'Blue Gem'  
Coastal Rosemary Blue Gem



*Westringia fruticosa* 'Mundi'  
Coastal Rosemary Mundi

LEVEL 1 PLANTING PALETTE

SCREENING SHRUBS



*Rhapiolepis* 'Snow Maiden'  
Snow Maiden Indian Hawthorn



*Fatsia japonica*  
Aralia

GRASSES, SUCCULENTS & GROUNDCOVERS



*Crassula ovata*  
Jade



*Crassula undulatum* 'Max Cook'  
Wavy Jade



*Lomandra* 'Verday'  
Verday Mat Rush



*Lampranthus* 'Pink Explosion'  
Pink Explosion Dewplant



*Rosmarinus* 'Irene'  
Trailing Rosemary



*Yucca filamentosa*  
Adam's Needle

Rev	Amendment	Date	By
A	Draft DA for Co-ordination	12.12.19	KR
B	DA	18.12.19	KR

IMPORTANT NOTES:  
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CLIENT  
Jennifer & Russell Staley  
ARCHITECT  
Virginia Kerridge Architect  
SCALE  
N/A @ A1

CHECKED  
GD  
DRAWN  
KR  
ISSUED FOR  
DA

DWG. TITLE  
**Planting Palette**  
PROJECT  
**41 & 43 BEACH ROAD COLLARROY**

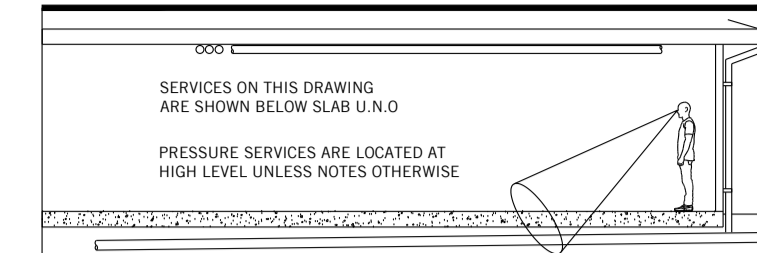
360b  
Level 1, 1 Mary's Place  
Surry Hills, 2010  
P 02 9332 3601  
W 360.net.au  
ABN 90 146 901 322

L-DA-09



NEW RESIDENCE  
AT  
41 & 43 BEACH ROAD  
COLLARROY  
FOR  
RUSSELL STALEY  
JENNIFER STALEY

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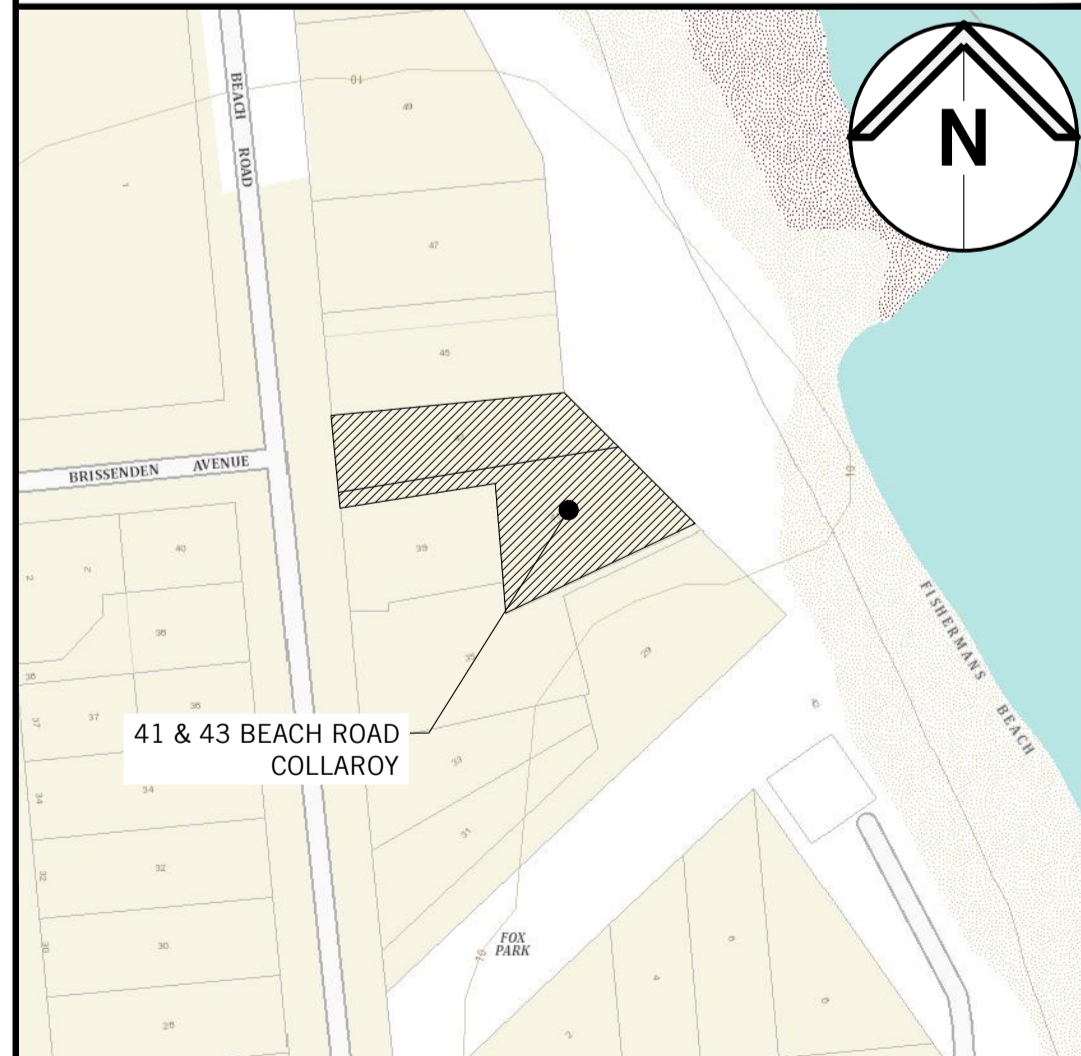
LEGEND

PIPEWORK		MISCELLANEOUS	
	RAINWATER DRAINAGE		SERVICE / SERVICE NUMBER
	RAINWATER CHARGED		PIPE SIZE
	STORMWATER DRAINAGE		FOR CONTINUATION REFER DRG No
	STORMWATER RISING MAIN		FOR SECTION VIEW REFER TO DRAWING
	SUBSOIL DRAINAGE		AHD
	BARRIER FENCE		AP
	EXISTING PIPE		BG
	EXISTING PIPE MADE REDUNDANT		DP
	SEDIMENT FENCE LINE		e
	PROPERTY BOUNDARY		FFL
	SWALE		GIP
	DROPPER		HED
	RISER		HFB
	TURBIDITY BARRIER		HL
	DIRECTION OF FALL OR FLOW		HP
	PBO		IL
	RAIN WATER OUTLET / BALCONY OUTLET		INT
	STORMWATER PIT (GRATE)		KIP
	STORMWATER PIT (RWO IN BASE)		OVERFLOW
	SEALED PIT COVER		ON SITE DETENTION
	GULLY PIT		RECTANGULAR HOLLOW SECTION
	REFLUX VALVE		RELATIVE LEVEL
	PIPE CONNECTION POINT		RAINWATER HEAD
	PIPE PENETRATING		RAINWATER TANK
	PIPE NOT PENETRATING		SLAB RELATIVE LEVEL
	PUMP		STRUCTURAL ROOT ZONE
	OVERLAND FLOW PATH		TO BE ADVISED
	CLEAR OUT		TOP KERB LEVEL
	TUNDISH		TREE ROOT ZONE
	TRENCH GRATE		TOP WATER LEVEL
	DOWNPIPE SPREADER		UNLESS NOTED OTHERWISE

DRAWING LIST

DRAWING No.	TITLE
SWDA 1.1	COVERSHEET AND DRAWING LEGEND
SWDA 1.2	GROUND FLOOR LAYOUT
SWDA 1.3	BASEMENT FLOOR LAYOUT
SWDA 1.4	DETAILS SHEET
SWDA 1.5	EROSION & SEDIMENT CONTROL PLAN AND DETAILS

LOCALITY PLAN



NOTES

- ALL DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH AS/NZS 3500 - STORMWATER DRAINAGE, WARRINGAH COUNCIL DEVELOPMENT CONTROL PLAN FOR ON-SITE STORMWATER MANAGEMENT AND THE LATEST BASIX CERTIFICATE.
- SITE AREA = 1536m<sup>2</sup>
- DUE TO THE PRESENCE OF A SILTY CLAY LAYER INVESTIGATED BY TAYLOR GEOTECHNICAL ENGINEERING REPORT DATED ON 15/06/2019, IT IS CONCLUDED THAT A STORMWATER ABSORPTION TRENCH IS NOT SUITABLE FOR THE DEVELOPMENT. A STORMWATER DISPERSAL TRENCH AND LEVEL SPREADER IS PROPOSED DOWNSTREAM OF THE DEVELOPMENT IN LIEU OF A STORMWATER ABSORPTION TRENCH IN ACCORDANCE WITH COUNCIL PRE-DA MEETING MINUTES ADVICE NUMBER PLM2019/0024 - DATED ON 26/02/2019.
- A SILT TRAP PIT IS TO BE INCORPORATED WITHIN THE DOWNSTREAM END OF THE EXISTING STORMWATER SYSTEM SERVING THE SITE IN ACCORDANCE WITH WARRINGAH COUNCIL REQUIREMENTS. THIS IS TO BE REGULARLY MAINTAINED AND CLEARED OF ALL DEBRIS.
- IN ACCORDANCE WITH THE BASIX CERTIFICATE A RAINWATER TANK WITH A MIN CAPACITY OF 6000L IS PROPOSED. THIS IS TO COLLECT A MINIMUM ROOF AREA OF 370m<sup>2</sup>.

P2	ISSUED FOR DA	DH	GB	17.12.19
P1	95% PRELIMINARY ISSUE	DH	GB	16.12.19
Rev.	Issue / Amendment	By	App.	Date



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JENNIFER STALEY**

Architect  
**VIRGINIA KERRIDGE ARCHITECT**  
03/59 GREAT BUCKINGHAM STREET, REDFERN  
TEL: 02 3699 8527 EMAIL: info@vk.com.au

Project  
**NEW RESIDENCE  
41 & 43 BEACH ROAD  
COLLARROY**

Title  
**STORMWATER DRAINAGE SERVICES  
COVERSHEET AND DRAWING LEGEND**

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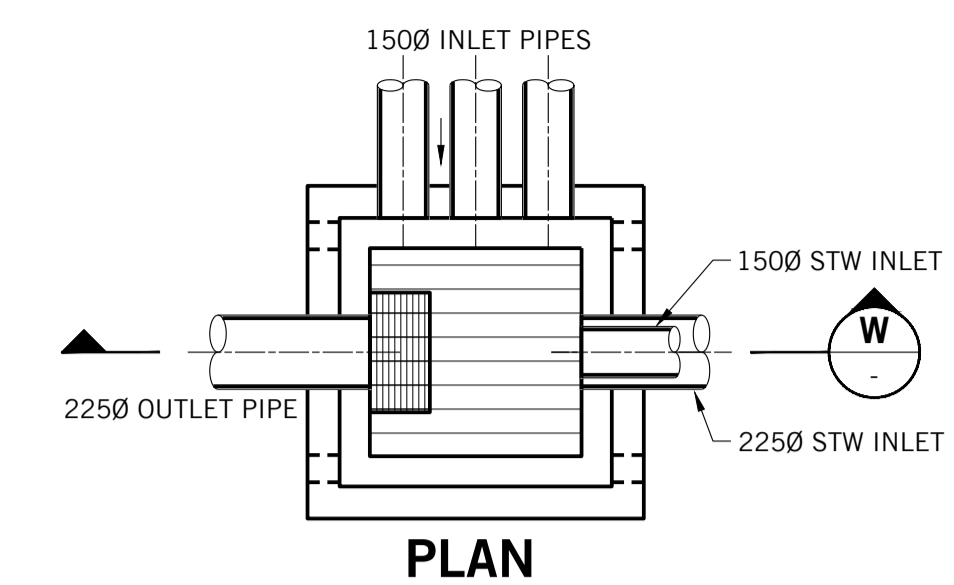
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Electronic Code	Signature Date	Designed
*		<b>D.H</b>

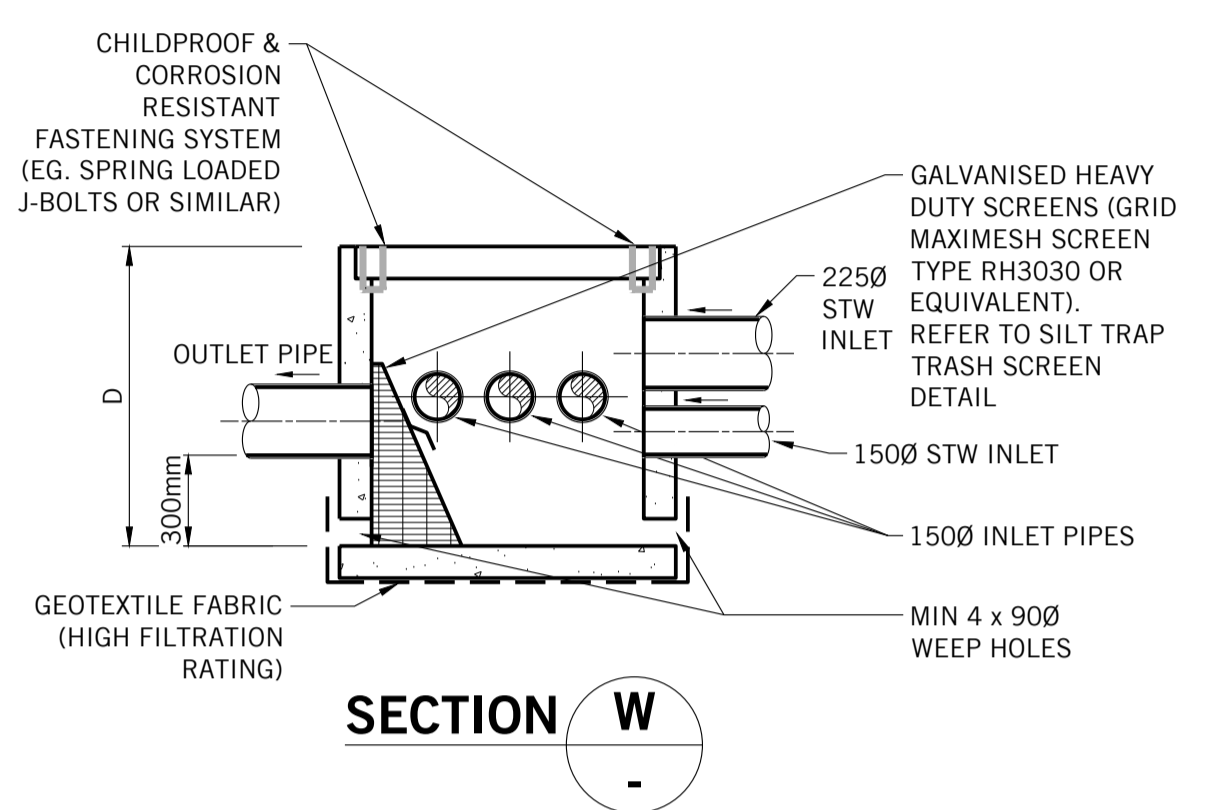
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Job No.	Drawing No.	Revision
<b>2019H0087</b>	<b>SWDA 1.1</b>	<b>P2</b>

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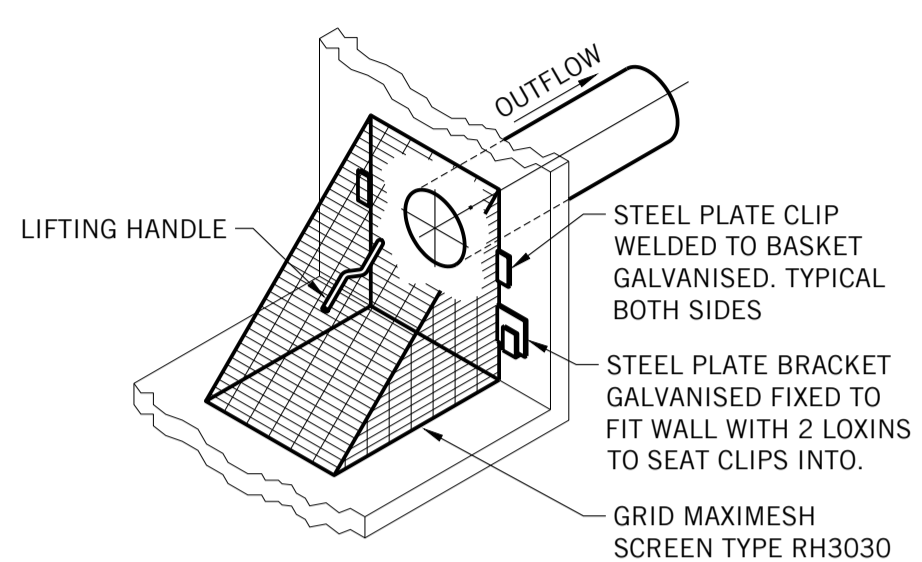
PLAN



SECTION W

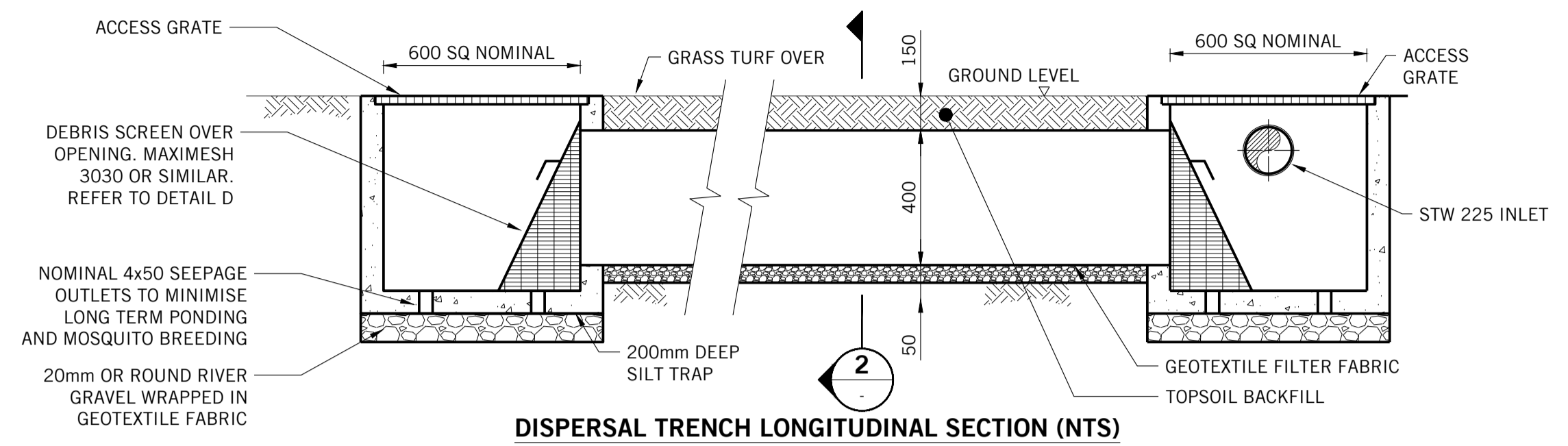
SILT TRAP PIT  
N.T.S

MAINTENANCE ACTION	FREQUENCY	RESPONSIBILITY	PROCEDURE
SILT TRAP PIT	MONTHLY AND AFTER HEAVY RAINFALL EVENTS	PROPERTY OWNER	OPEN GRATE AND REMOVE TRASH OR LEAF LITTER THAT HAS BEEN CAPTURED BY THE TRASH SCREEN. REMOVE ALL SILT IN SUMP AND DISPOSE IN GARDEN WASTE BIN. REMOVE ANY BLOCKAGES OVER WEEP HOLES IN BASE. ENSURE TRASH SCREEN IS SECURELY FIXED AND REPLACE GRATE CORRECTLY.

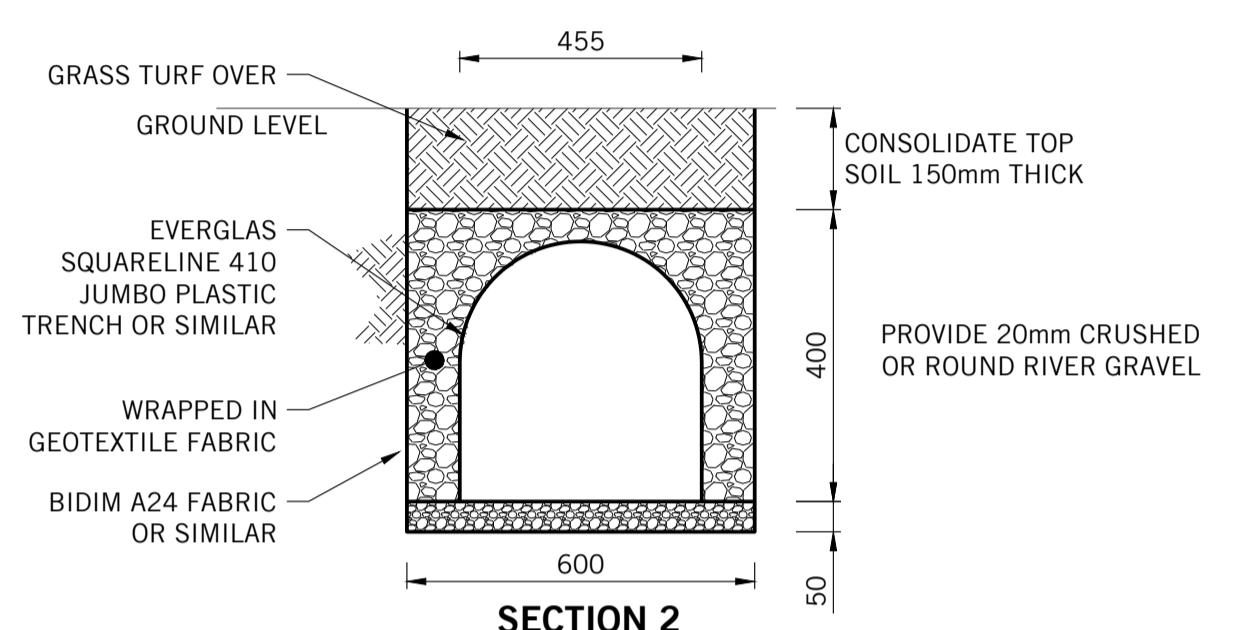


SILT TRAP TRASH SCREEN DETAIL  
N.T.S.

- NOTES
- 1) PIT DIMENSIONS:  
600 x 600 FOR < D ≤ 0.9  
600 x 900 FOR 0.9 < D ≤ 1.2  
900 x 900 FOR 1.2 < D (AS SHOWN ON PLAN)
  - 2) PITS TO BE CONSTRUCTED FROM - CAST IN-SITU CONCRETE, PRECAST CONCRETE OF DOUBLE BRICK.
  - 3) A SIGN SHALL BE CONSTRUCTED ADJACENT TO THE PIT STATING: "THIS SEDIMENT / SILT ARRESTOR PIT SHALL BE REGULARLY INSPECTED AND CLEANED".

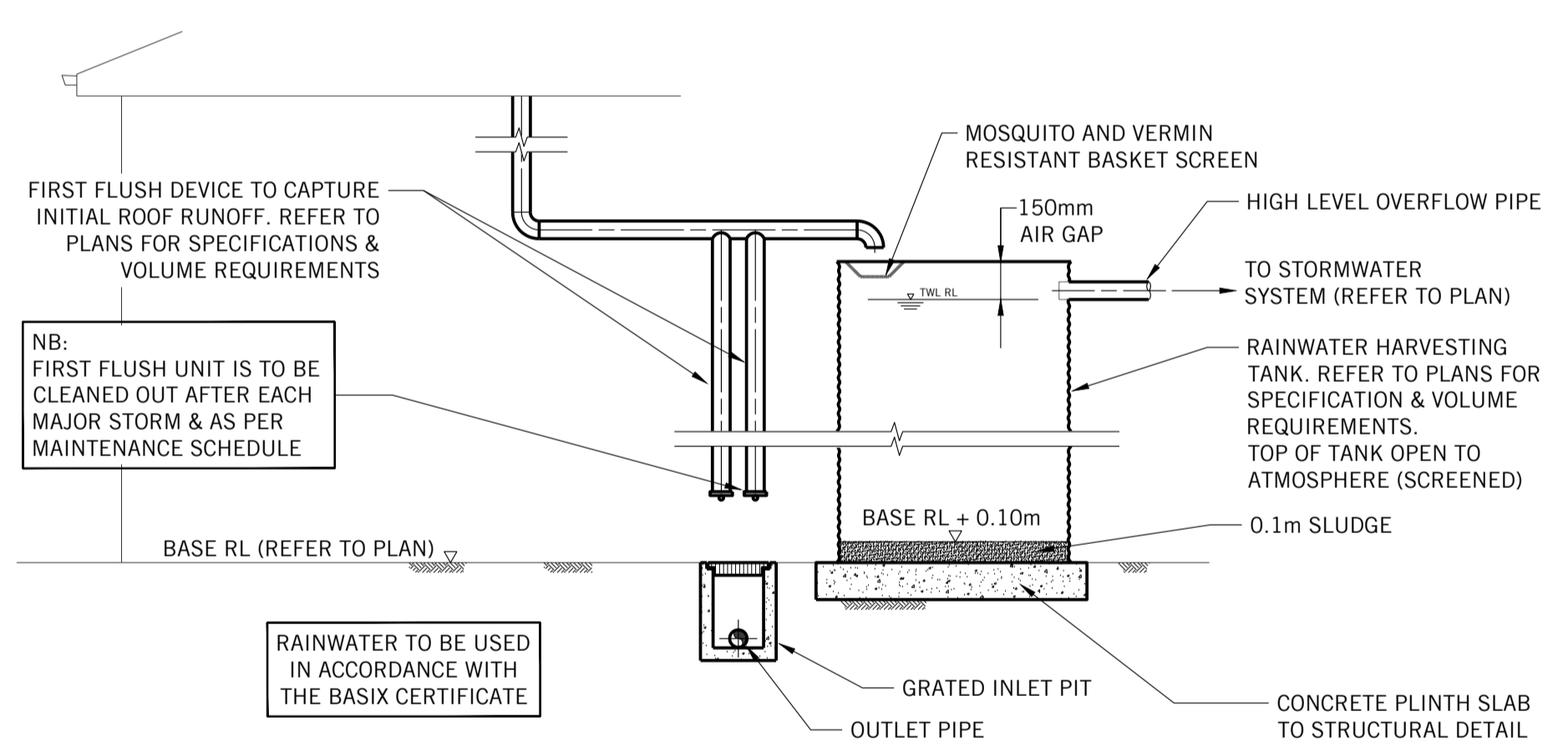


DISPERSAL TRENCH LONGITUDINAL SECTION (NTS)

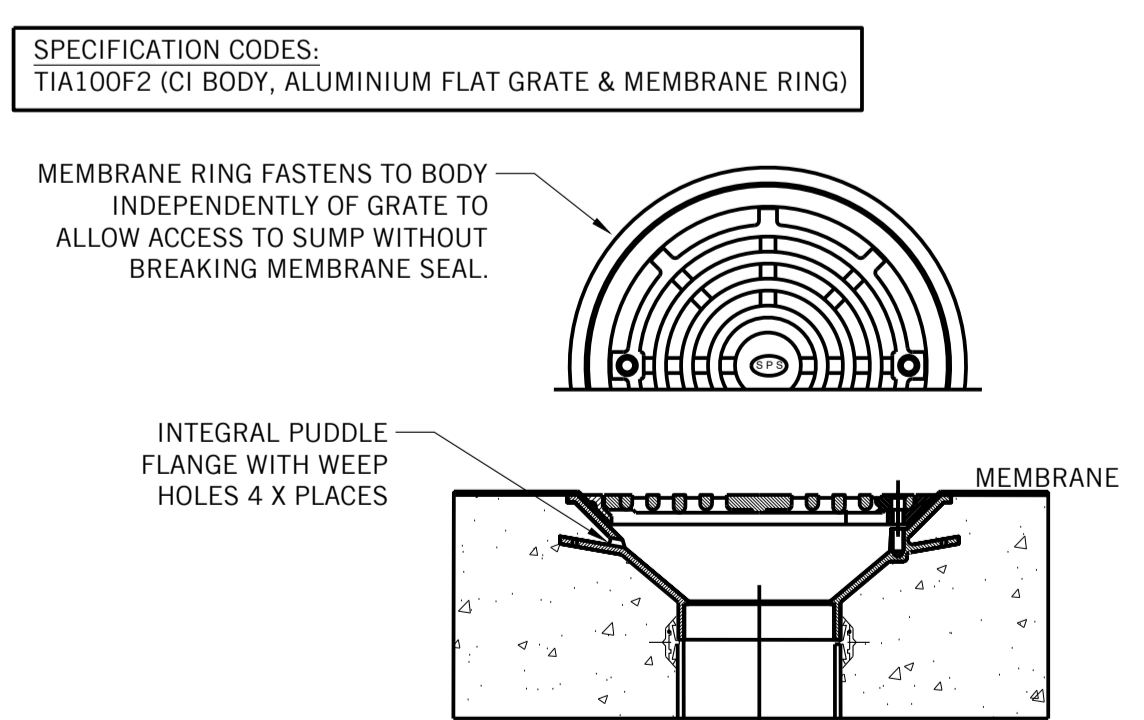


SECTION 2

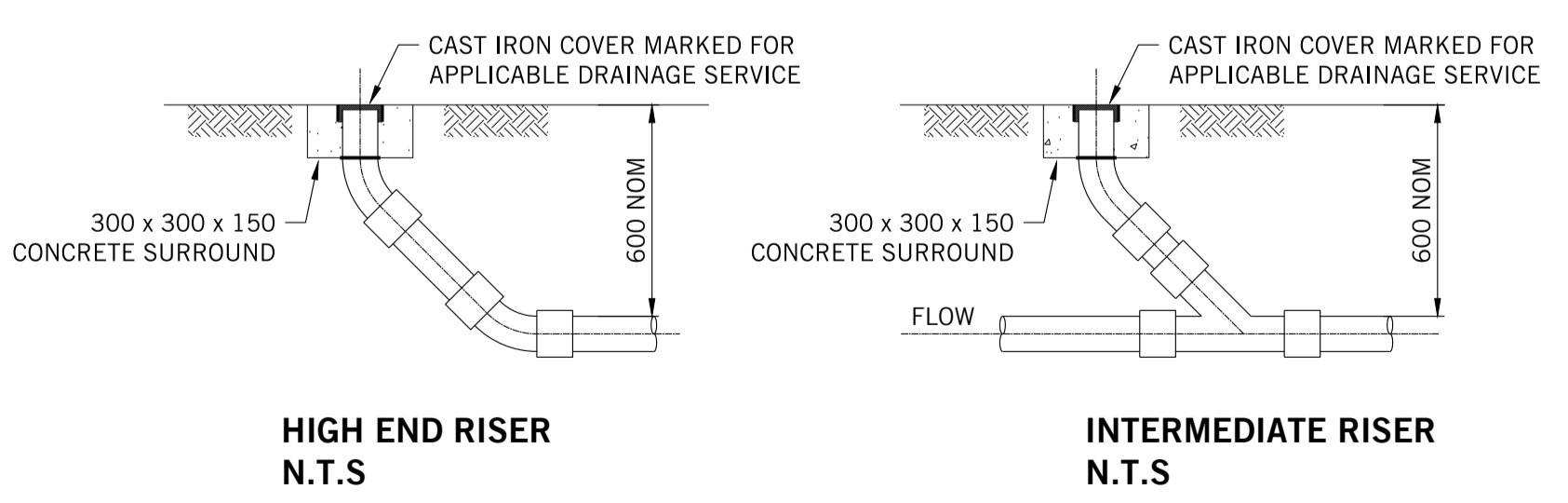
TYPICAL STORMWATER DISPERSAL TRENCH  
N.T.S



TYPICAL ABOVE GROUND RAINWATER STORAGE TANK  
N.T.S



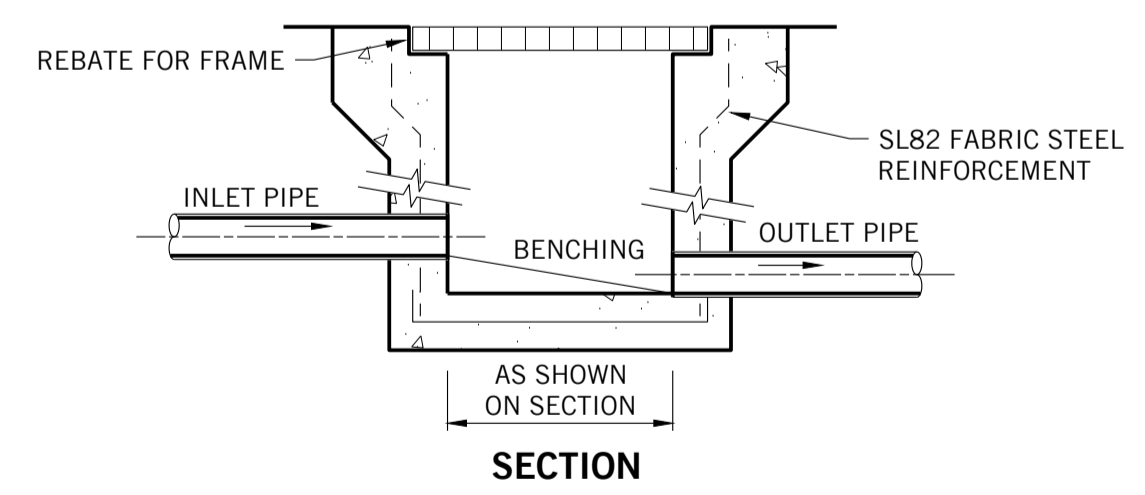
SPS TRUFLO 100mm RWO WITH  
FLAT GRATE & MEMBRANE CLAMP  
N.T.S  
(SPS REF 1.03)



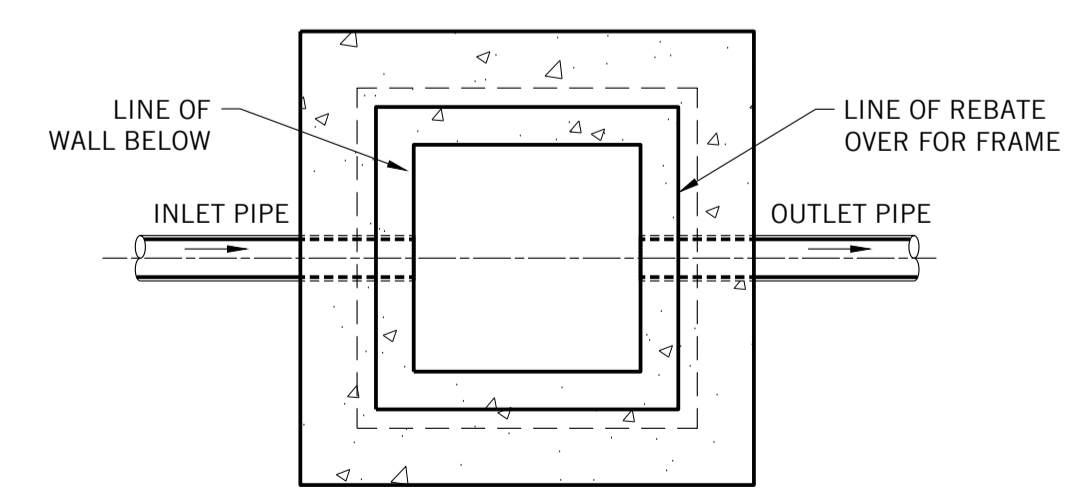
HIGH END RISER  
N.T.S

INTERMEDIATE RISER  
N.T.S

PROVIDE CLEAR OUTS INSTALLED IN ACCORDANCE WITH  
A.S. 3500 AT LOCATIONS WHERE NOTED C.O. ON PLAN  
TYPICAL DRAINAGE CLEAR OUT (INSPECTION OPENING)  
N.T.S



SECTION



PLAN WITHOUT GRATE

TYPICAL GRATED INLET PIT  
N.T.S

P2	ISSUED FOR DA	DH	GB	17.12.19
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 Project  
**NEW RESIDENCE**  
**41 & 43 BEACH ROAD**  
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 Title  
**STORMWATER DRAINAGE SERVICES**  
**DETAILS SHEET**  
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**AS SHOWN** **DECEMBER 2019** **S.P**  
 Job No. Drawing No. Revision  
**2019H0087 SWDA 1.4** **P2**  
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