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Alterations/Additions Two Storey House
16 Mulawa Pl Frenchs Forest NSW 2086

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1/26 Station St Arncliffe NSW 2205
info@vndraft.com 0451318888
ABN : 87625554252 VNdraft.com



BASIX®Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A358789

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 23, October 2019
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	VCARA3102_Michael_15-16 Mulawa Pl Frenchs Forest NSW 2086
Street address	15-16 Mulawa Place Frenchs Forest 2086
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 224872
Lot number	17-18
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)
Name / Company Name: VNdraft PTY LTD
ABN (if applicable): 87625554252

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting		✓	✓
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.			
Fixtures		✓	✓
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.			
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.			
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.			

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements		✓	✓
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
Construction	Additional insulation required (R-value)	Other specifications	
floor above existing dwelling or building.	nil		
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
flat ceiling, pitched roof	ceiling: R0.95 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	
raked ceiling, pitched/skillion roof: framed	ceiling: R1.24 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
D2	NE	7.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W2	NE	1.54	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W1	NE	1.54	0	0	eave/verandah/pergola/balcony >=450 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type		
			Height (m)	Distance (m)				
W9	SE	0.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	SE	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
W6	SW	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
W7	SW	0.72	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57)		
W3	SW	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W4	SW	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W5	SW	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
D1	NW	7.56	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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Issue	Date	Amendment	D	15.10.19	Issued for client	Project: Alterations/Additions Two Storey House
A	16.08.19	Issued for client	E	24.10.19	Issued for client	Address: 16 Mulawa Pl Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	...	...	Client: Michael
C	11.09.19	Issued for client	G	Drawing: Basix Requirements
						Project no: VCARA3102
						Sheet no: 02
						Drawn: Author A3

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info@vndraft.com 0451318888
ABN : 87625554252 VNdraft.com



BCA Compliance

Section a general provisions
Vol. 2 part 1.3, clause 1.3.2 classifications:
Class 1: One or more buildings which in association constitute - (a) class 1a - a single dwelling, being - (i) a detached house, or (ii) one or more attached dwellings, each being a building, separated by a fireresisting wall, including a row house, terrace house, town house or villa unit;
Class 10: A non-habitable building being a private garage, carport, shed, or the like.
Section c fire separation
Part 3.7.1 fire separation 3.7.1.1 Applicationcompliance with this part satisfies performance requirement p2.3.1 for fire separation.
3.7.1.2 General concession - non-combustible materials The following materials, though combustible or containing combustible fibtres, may be used wherever a non-combustible is required in the housing provisions: (a) Plasterboard, and (b) perforated gypsum lath with a normal paper finish, and (c) fibrous-plaster sheet, and (d) fibre-reinforced cement sheeting, and (e) pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thick and where the spread-of-flame index of the product is not more than 0; and (f) bonded laminated materials, where - (i) each laminate is non-combustible; and (ii) each adhesive layer is not more than 1mm thick; and (iii) the total thickness of adhesive layers is not more than 2mm; and (iv) the spread-of-flame index and the smoke-development index of the laminated material as a whole does not exceed 0 and 3 respectively.
3.7.1.3 External walls of class 1 buildings an external wall of a class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than- (a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or otherpublic space; or (b) 1.8m from another building on the same allotment other than appurtenant class 10 building or a detached part of the same class 1 building.
3.7.1.4 Measurement of distances (a) The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5. (b) Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in that manner.
3.7.1.5 Construction of external walls (a) external walls (including gables) required to be fire-resisting [referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must- (i) have an frl of not less than 60/60/60 when tested from the outside; or (ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or (iii) be of masonry construction not less than 90mm thick. (b) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or 3.7.1.6] must be protected by- (i) non-operable fire-windows or other construction with an frl of not less than ~/60/- ; or (ii) self-closing solid-core doors not less than 35mm thick. (c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above. (d) Concessions for non-habitable room windows, conduits and the like- despite the requirements in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same allotment, not less than 1.2m from that building; providing that- (i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm; or (ii) in a room other than referred to in (i), opening has an area of not more than 0.54sqm; and- (a) the window is steel-framed, there are no opening sashes and it is glazed in wire glass; or (b) he opening is enclosed with hollow glass blocks.
3.7.1.8 Separating walls (a) A wall that separates class 1 dwellings, or separates a class 1 building from a class 10a building which is not appurtenant to that class 1 building, must have an frl of not less than 60/60/60, and- (i) commence at the footings or ground slab; and (ii)extend- (a)if the building has a non-comustible roof covering, to the underside of the roof covering; or (b)if the building has a combustible roof covering, to not less than 450mm above the roof covering.
Specification c1.10 fire hazard properties Materials used in the building having flamability, smoke developed and spread-of-flame indices as set-out in spec. c1.10.
Section f health and amenity
Part f1: Damp and weatherproofing -Stormwater drainage must comply with as/nzs 3500.3.2 -Roof covering to comply with f1.5 -Sarking must comply with as/nzs 4200, parts 1 and 2 -Water proofing of wet areas in buildings to comply with f1.7 -Damp-proofing of floors on ground to comply with f1.11

Part f3.7: Fire safety -Automatic fire detection system to be provided in accordance with part. 3.7.2 general concession:
Part 3.7.2: Smoke alarms - requirements for smoke alarms:
(a) Smoke alarms must be installed in: (i) any storey containing bedrooms.
Part 3.8: Health and amenity -Wet areas within the building must comply with the requirements of part
3.8.1 Wet areas. Part 3.8.6: Sound insulation requirements 3.8.6.1 Application - compliance with this part satisfies performance requirement p2.4.6 for sound insulation. 3.8.6.2 Sound insulation requirements (a) To provide insulation from air-born and impact sound, a separating wall between two or more class 1 buildings, must- (i)achieve the weighted sound reduction with spectrum adaption term [rw+ctr] and discontinuous construction requirements, as required by table 3.8.6.1; and (ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4. (b) for the purpose of this part, the rw+ctr must be determined in accordance with as/nzs 1276.2 or iso 717.1, using results from laboratory measurements. Part 3.9: Safe movement and access -The treads and risers of the proposed stairs are to comply with part 3.9.1.2 general requirements.

1. Falls, slips, trips a) Working at heights during construction Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. however, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. the builder should provide a suitable barrier wherever a person is equired to work in a situation where falling more than two metres is a possibility. During operation or maintenance For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice,regulations or legislation. b) Slippery or uneven surfaces floor finishes by owner Designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. surfaces should be selected in accordance with as hb 197:1999 and as/nz 4586:2004. Steps, loose objects and uneven surfaces Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance,demolition and at all times when the building operates as a workplace. building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.
2. Falling objects loose materials or small objects Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below: 1. Prevent or restrict access to areas below where the work is being carried out. 2. Provide toeboards to scaffolding or work platforms. 3. Provide protective structure below the work area. 4. Ensure that all persons below the work area have personal protective equipment (ppe), during construction, renovation or demolition of this building, parts of the structure including fabicated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Building components Mechanical lifting of materials and components during construction,maintenance or demolition presents a risk of falling objects.contractors should ensure that appropriate lifting devices are used,that loads are properly secured and that access to areas below the load is prevented or restricted
3. Traffic management For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. during construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on theroadway. deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. for all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. a traffic management plan supervised by trained traffic management personnel should be adopted for the work site.
4. Services Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as dial before you dig),appropriate excavation practice should be used and, where necessary, specialist contractors should be used. Locations with underground power:Underground power lines may be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing. Locations with overhead power lines: Overhead power lines may be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical,disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.
5. Manual tasks Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance withmanufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and personal protective equipment should be used in accordance with manufacturer's specification.

6. Hazardous substances asbestos For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may contain asbestos 1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure. Powdered materials Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear personal protective equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material. Treated timber The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear personal protective equipment including protection against inhalation of harmful material when sanding,drilling, cutting or using treated timber in any way that may cause harmful material to be released. do not burn treated timber. Volatile organic compounds Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal protective equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times. Synthetic mineral fibre Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal protective equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material. Timber floors This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal protective equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times
7. Confined spaces excavation Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where racial, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided. Enclosed spaces For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and personal protective equipment should be provided.
Small spaces For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction ormaintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.
8. Public access Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.
9. Operational use of building residential buildings This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the work health and safety act 2011 or subsequent replacement act should be applied to the new use.
10. Other high risk activity All electrical work should be carried out in accordance with code of practice: Managing electrical risks at the workplace, as/nz 3012 and all licensing requirements. All work using plant should be carried out in accordance with code of practice: Managing risks of plant at the workplace. All work should be carried out in accordance with code of practice: Managing noise and preventing hearing loss at work. Due to the history of serious incidents it isrecommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

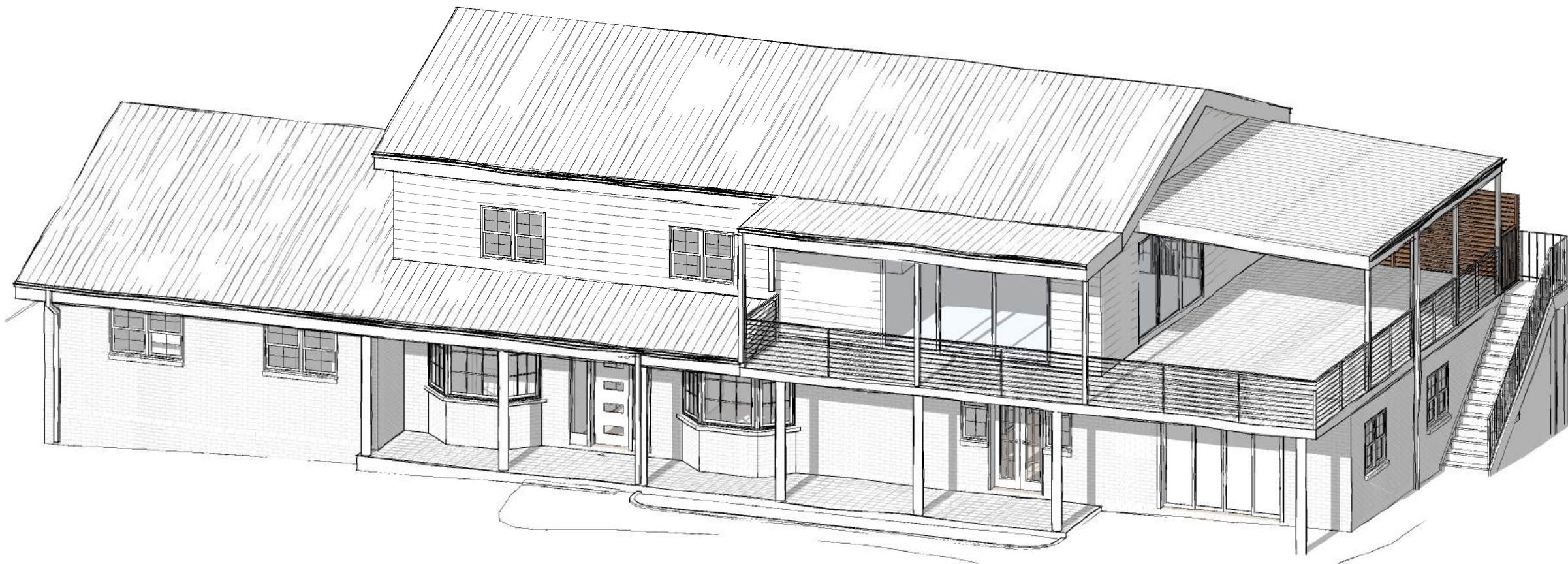
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Issue	Date	Amendment	D	15.10.19 Issued for client	Project: Alterations/Additions Two Storey House
A	16.08.19	Issued for client	E	24.10.19 Issued for client	Address: 16 Mulawa PI Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	...	Client: Michael
C	11.09.19	Issued for client	G	...	Drawing: BCA Compliance & Safety Report

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1/26 Station St Arncliffe NSW 2205
info@vndraft.com 0451318888
ABN : 87625554252 VNdraft.com





Existing Images



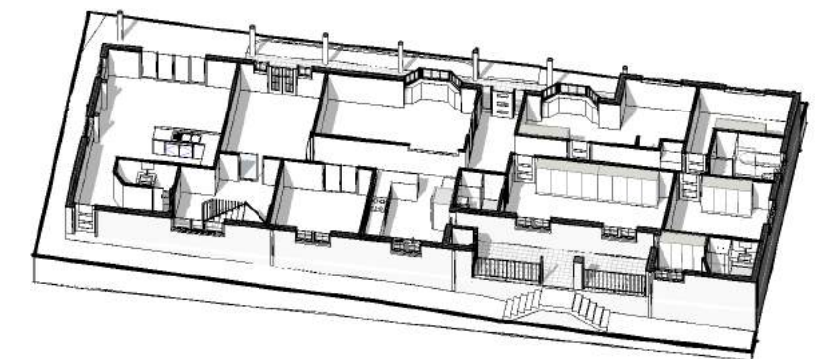
Overview Perspective

1



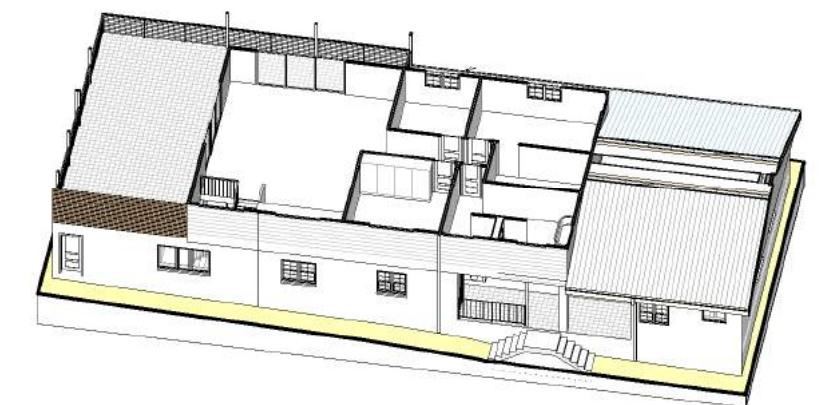
Facade Perspective

2



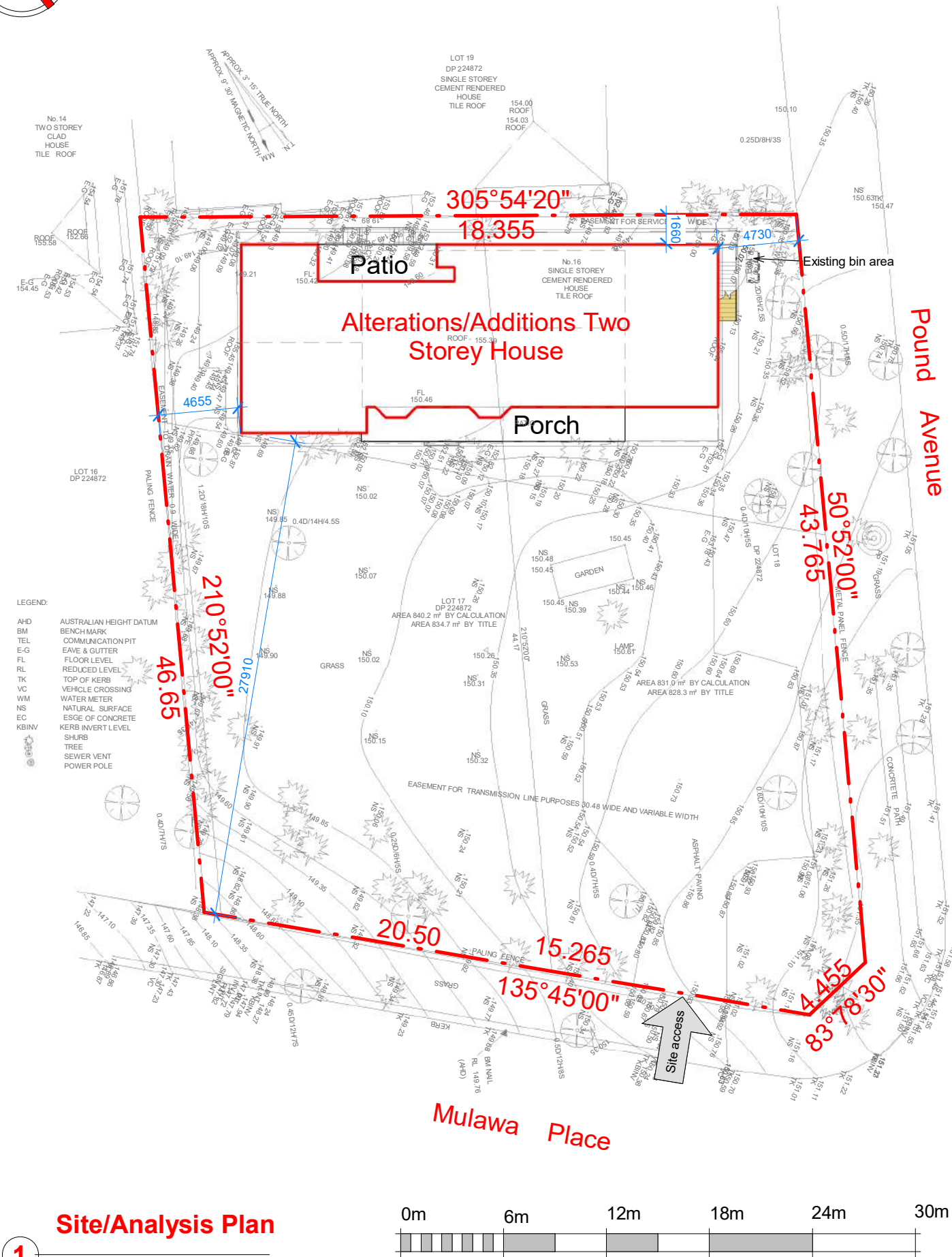
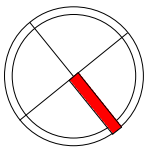
Ground Floor Interior Perspective

3



First Floor Interior Perspective

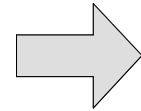
4



Site/Analysis Plan

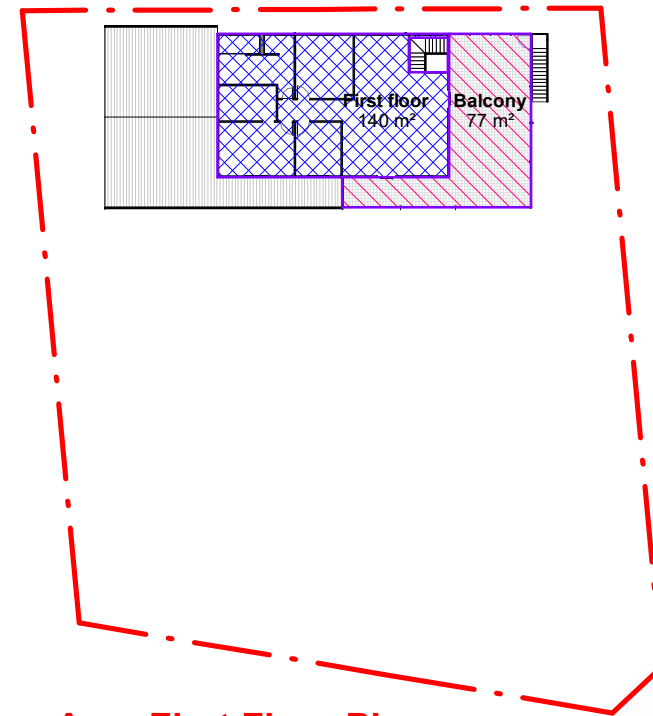
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Legend



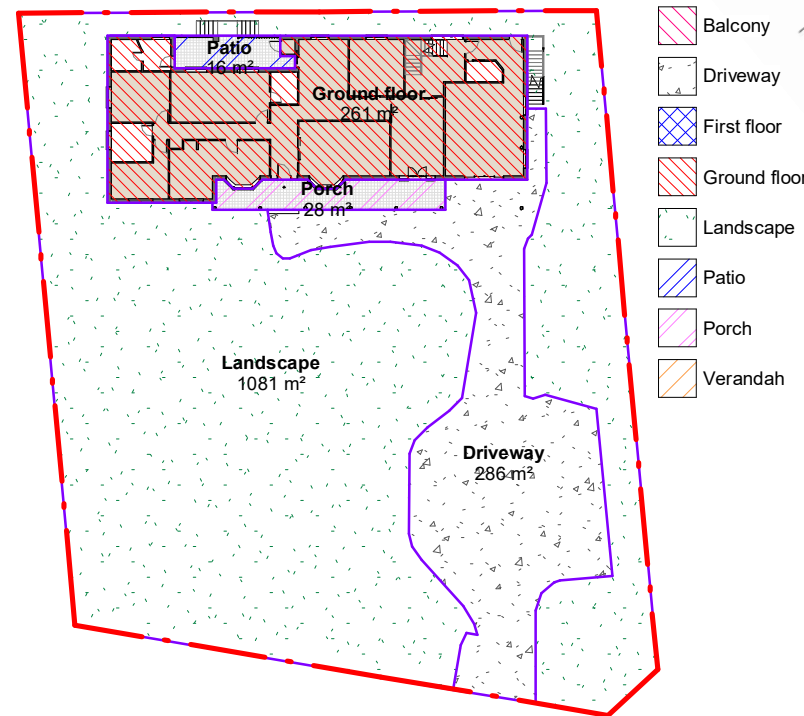
Site access

Existing floor area



Area First Floor Plan

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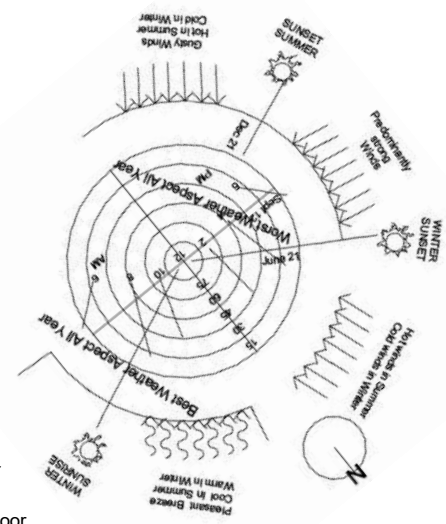
Area Ground Floor Plan

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Notes

- These drawings are to be read in conjunction with the architectural drawings, structural drawings and the specification.
- Prior to commencement of works the contractor shall satisfy himself of the correct location of existing services whether indicated or not on the plans. Any damage to existing services shall be rectified at the contractors expense.
- Traffic management measures have to be implemented and maintained during construction, all in accordance with council's requirements. The contractor shall maintain safe pedestrian access along the footpath.
- The contractor shall effect temporary drainage measures to avoid localised ponding of surface run-off.
- Refer to architect's drawings for all details (levels, grading etc.) of driveways, concrete and paved areas, and retaining wall types and locations.
- Refer to landscape architect's drawings for details and extent of all landscaped areas.
- All swd pipes are upvc at 1.0% minimum grade (uno).
- Swd pits can be pre-cast sized as follows: 450mm sq. up to 600mm deep 600mm sq. up to 1000mm deep
- All pits located in trafficable areas, (ie, driveways) to have medium duty grated covers suitable for withstanding loads associated with small trucks.
- Provide step irons to all pits greater than 1.2m deep.
- The contractor shall implement all soil erosion and sediment control measures prior to commencement of works.
- Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil is to be respread later on areas to be revegetated.
- The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices. All silt removed shall be disposed of as directed by the superintendent. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.
- The contractor shall maintain dust control until final completion of works.

Climatic Site Analysis



Area Calculation

Site area	: 1663 m²
Existing ground floor area	: 261 m²
Proposed ground floor area	: 261 m²
Proposed first floor area	: 140 m²
Proposed balcony area	: 77 m²
Existing porch	: 28 m²
Existing patio	: 16 m²
Existing driveway area	: 286 m²
Total GFA	: 401 m²
FSR	: 24.1 %
Site coverage	: 261 m²
Proposed landscape area or 65% of site area	: 1081 m²

- Site analysis plan is to be read in conjunction with the architectural drawings
- The shadow diagram plans and the statement of environmental effects, inclusive of the photographs & the streetscape elevation.



Location Plan

1 : 5000

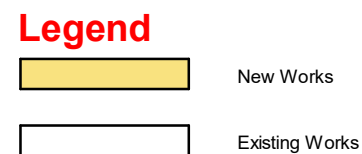
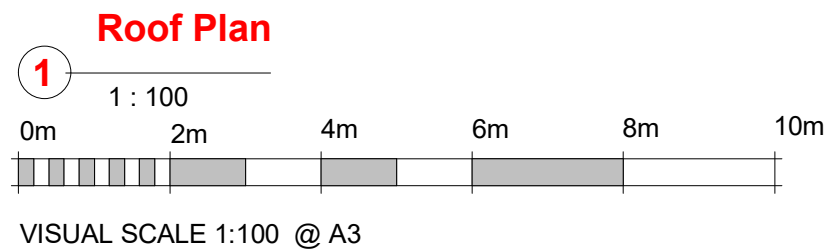
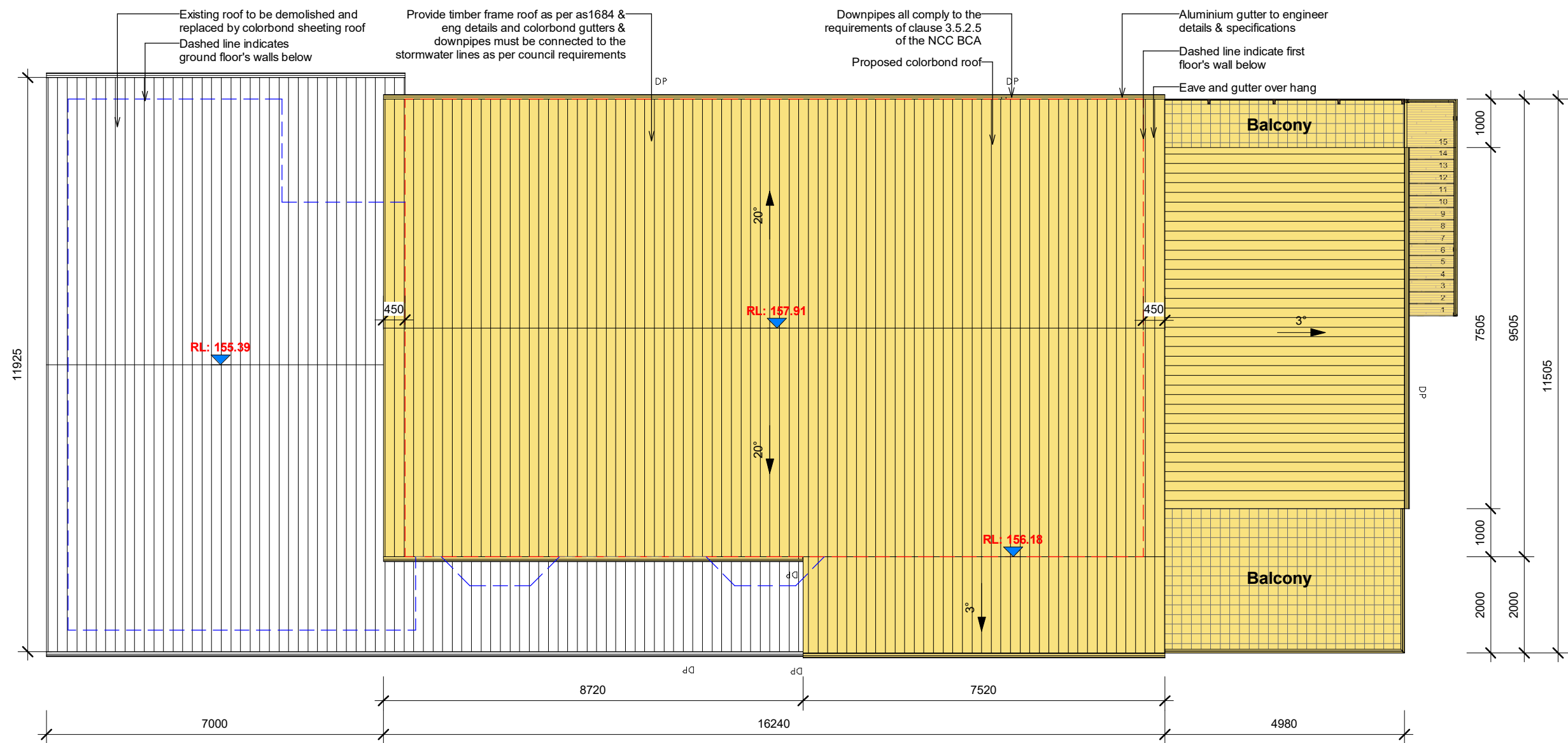
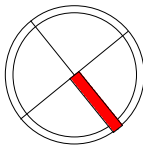
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Issue	Date	Amendment	D	15.10.19	Issued for client	Project:	Alterations/Additions Two Storey House
A	16.08.19	Issued for client	E	24.10.19	Issued for client	Address:	16 Mulawa Pl Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	...	...	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Site/Analysis Plan
						Project no:	VCARA3102
						Sheet no:	05
						Drawn:	VP A3

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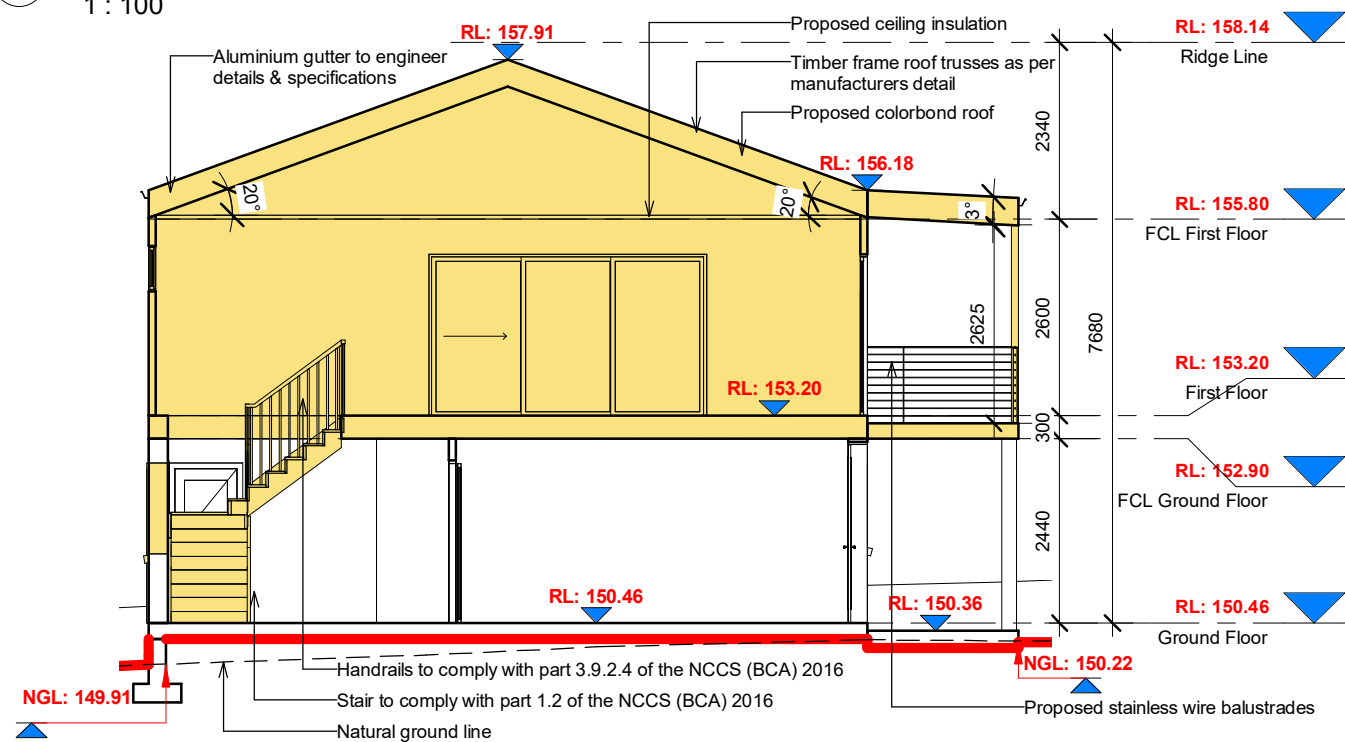
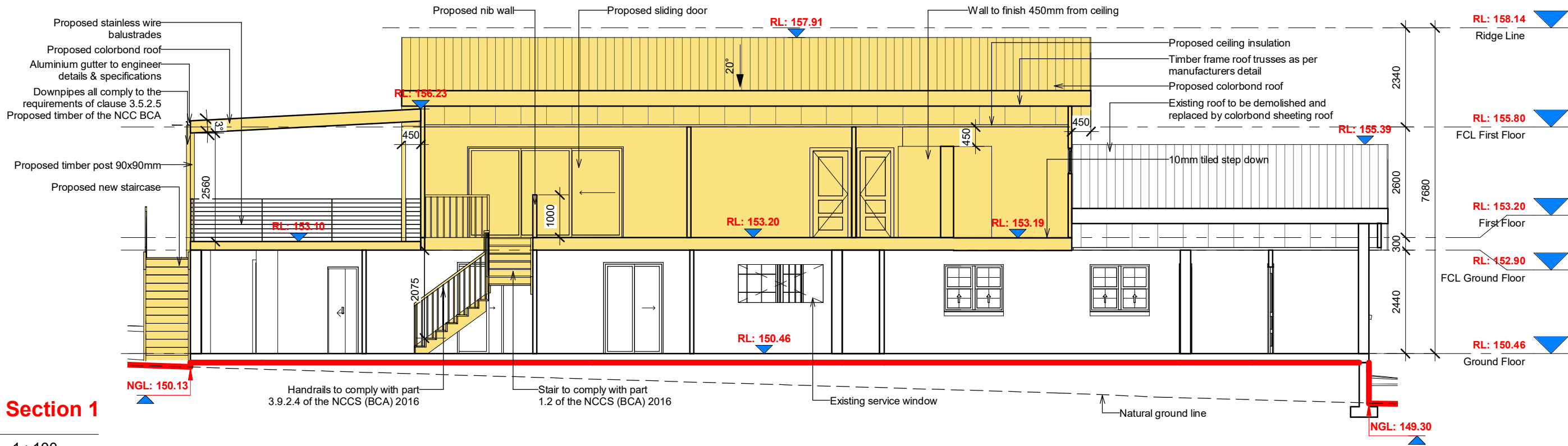
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B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Roof Plan
						Project no:	VCARA3102
						Sheet no:	09
						Drawn:	VP A3





Legend

	New Works
	Existing Works

Doors Schedule

Mark	Height	Width	Level	Types	Panel
Exterior					
1	2100	3600	First Floor	Sliding Door	Aluminium, Glass Clear
2	2100	3600	First Floor	Sliding Door	Aluminium, Glass Clear
Interior					
3	2040	720	First Floor	Single Door	Timber
4	2040	820	First Floor	Single Door	Timber
5	2040	820	First Floor	Single Door	Timber
6	2040	820	First Floor	Single Door	Timber

First Floor: 6
Grand total: 6

Window Schedule

Mark	Width	Height	Operating Type	Frame And Glass
Single Hung - Double				
1	1400	1100	Single Hung - Double	Aluminium, Glass Clear
2	1400	1100	Single Hung - Double	Aluminium, Glass Clear
Hightlight				
3	1800	600	Hightlight	Aluminium, Glass Clear
4	1800	600	Hightlight	Aluminium, Glass Clear
5	1800	600	Hightlight	Aluminium, Glass Clear
6	1200	600	Hightlight	Aluminium, Glass Clear
7	1200	600	Hightlight	Aluminium, Glass Clear
8	1200	600	Hightlight	Aluminium, Glass Clear
9	1000	600	Hightlight	Aluminium, Glass Clear

Grand total: 9

Note Regarding Window And Door Schedules

- The contractor must allow for all labour and materials;
- Necessary for the supply and installation of all windows and doors indicated throughout the proposed building;
- He must also allow for the preparation of a detailed window and door schedule that provides detail information as to the type, number and configuration of each and every door and window for the approval of the owners before ordering and of the doors and windows;
- This detail schedule is not part of the construction certificate documentation and must be allowed for by the contractor in the tender price;
- All window and door dimensions are to be verified on site prior to ordering these item

VISUAL SCALE 1:100 @ A3

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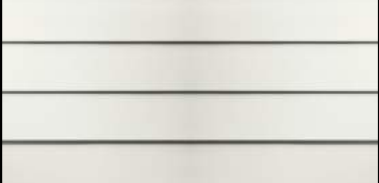


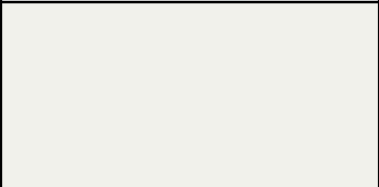

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A	16.08.19	Issued for client	E	24.10.19	Issued for client	Address:	16 Mulawa PI Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Sections

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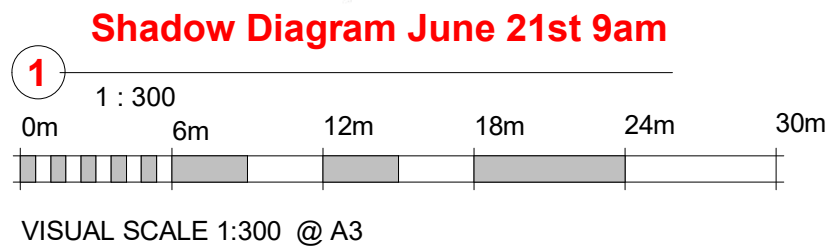
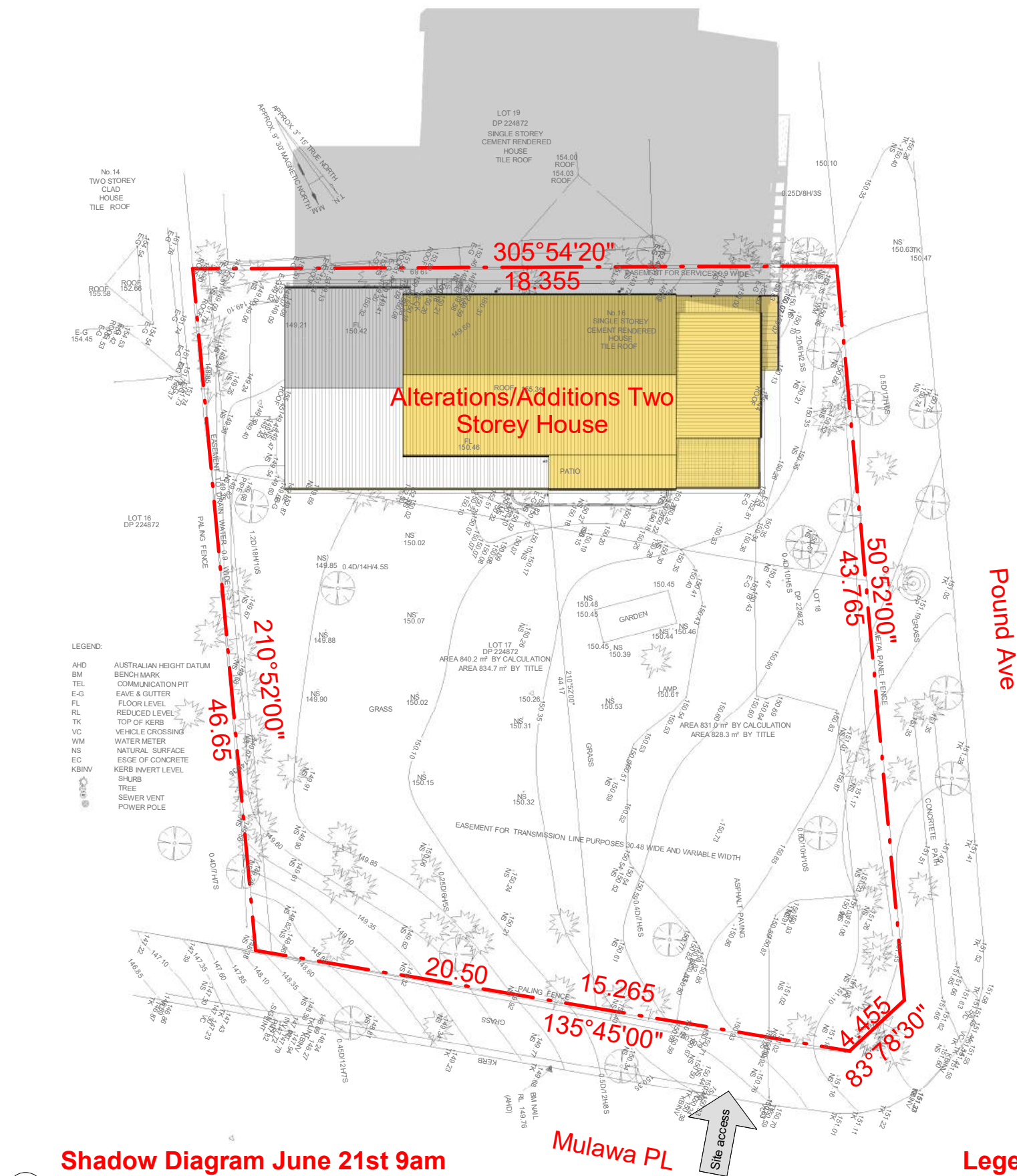
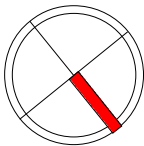


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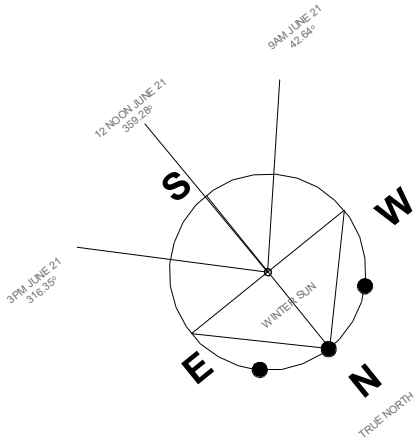
Material And Finishes Schedule			
Mark	Material Image	Descriptions	Color
1		Colorbond roof	Colorbond tange as selected by owner
2		External walls	Cladding wall white
3		Posts	Wood
4		Gutter	Aluminium, Off white
5		Door	Aluminium, Cool gray
6		Floor	Wood

Issue	Date	Amendment	D 15.10.19 Issued for client	Project: Alterations/Additions Two Storey House	
A	16.08.19	Issued for client	E 24.10.19 Issued for client	Address: 16 Mulawa PI Frenchs Forest NSW 2086	Project no: VCARA3102
B	30.08.19	Issued for client	F ...	Client: Michael	Sheet no: 13
C	11.09.19	Issued for client	G ...	Drawing: Material And Finishes Schedule	Drawn: Author A3





SUN ANGLE INFORMATION		
WINTER SOLSTICE ON JUNE 21st		
TIME	ALTITUDE	AZIMUTH
9AM	18.85°	42.64°
12 NOON	32.67°	359.28°
3 PM	18.09°	316.35°



Sun Angle Information June

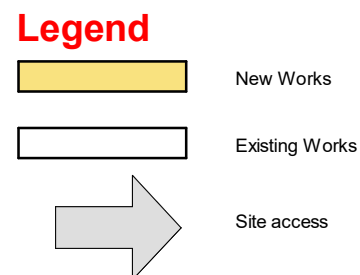
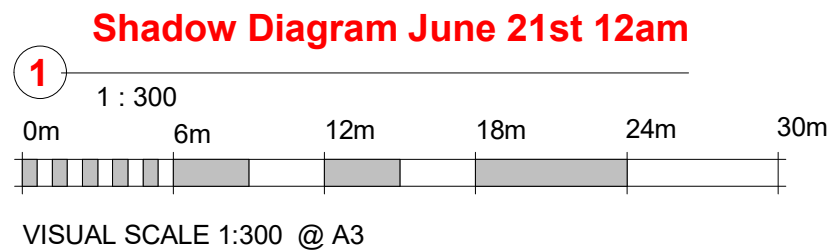
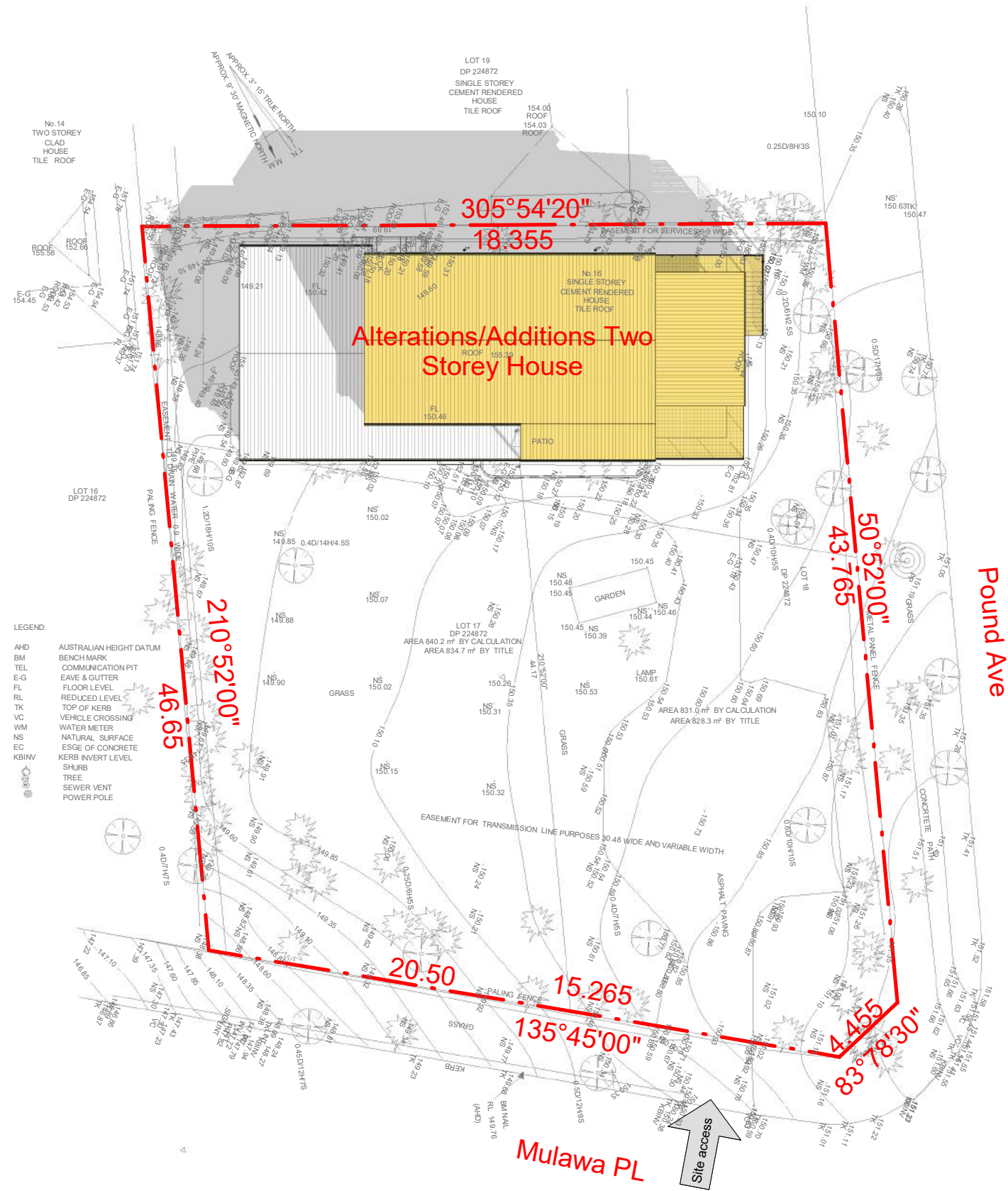
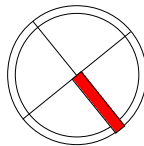
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B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Shadow Diagram June 21st 9AM

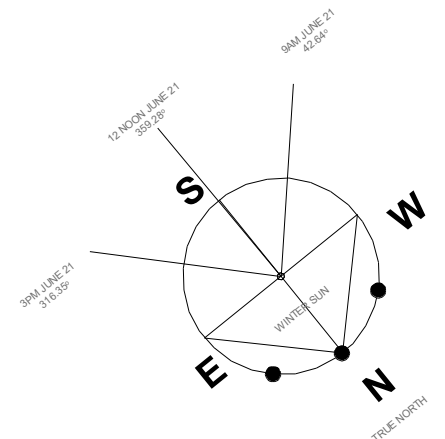
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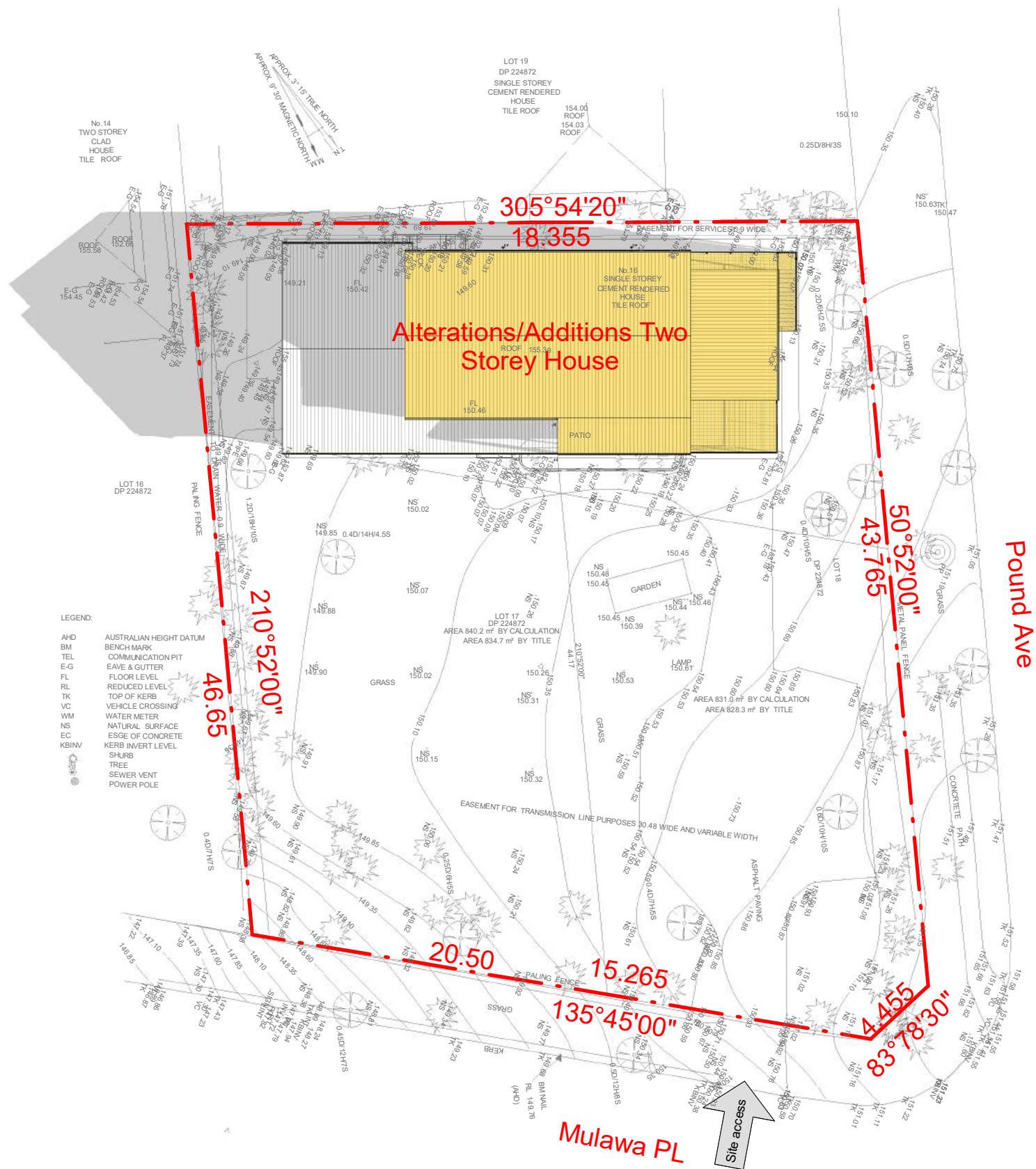
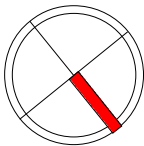
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B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Shadow Diagram June 21st 12PM

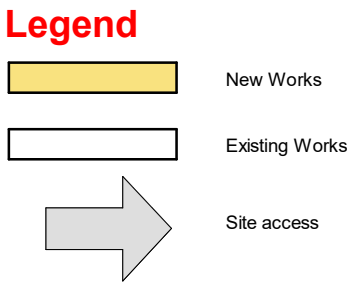
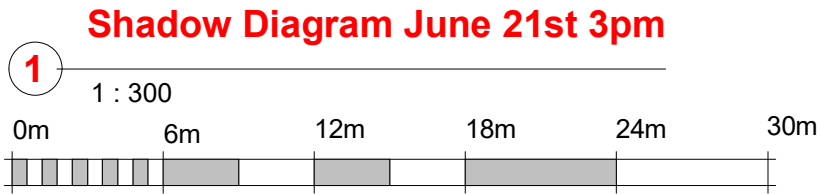
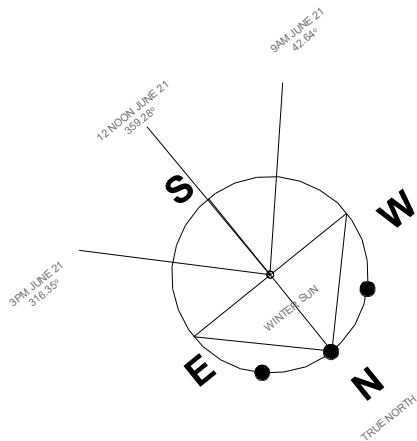
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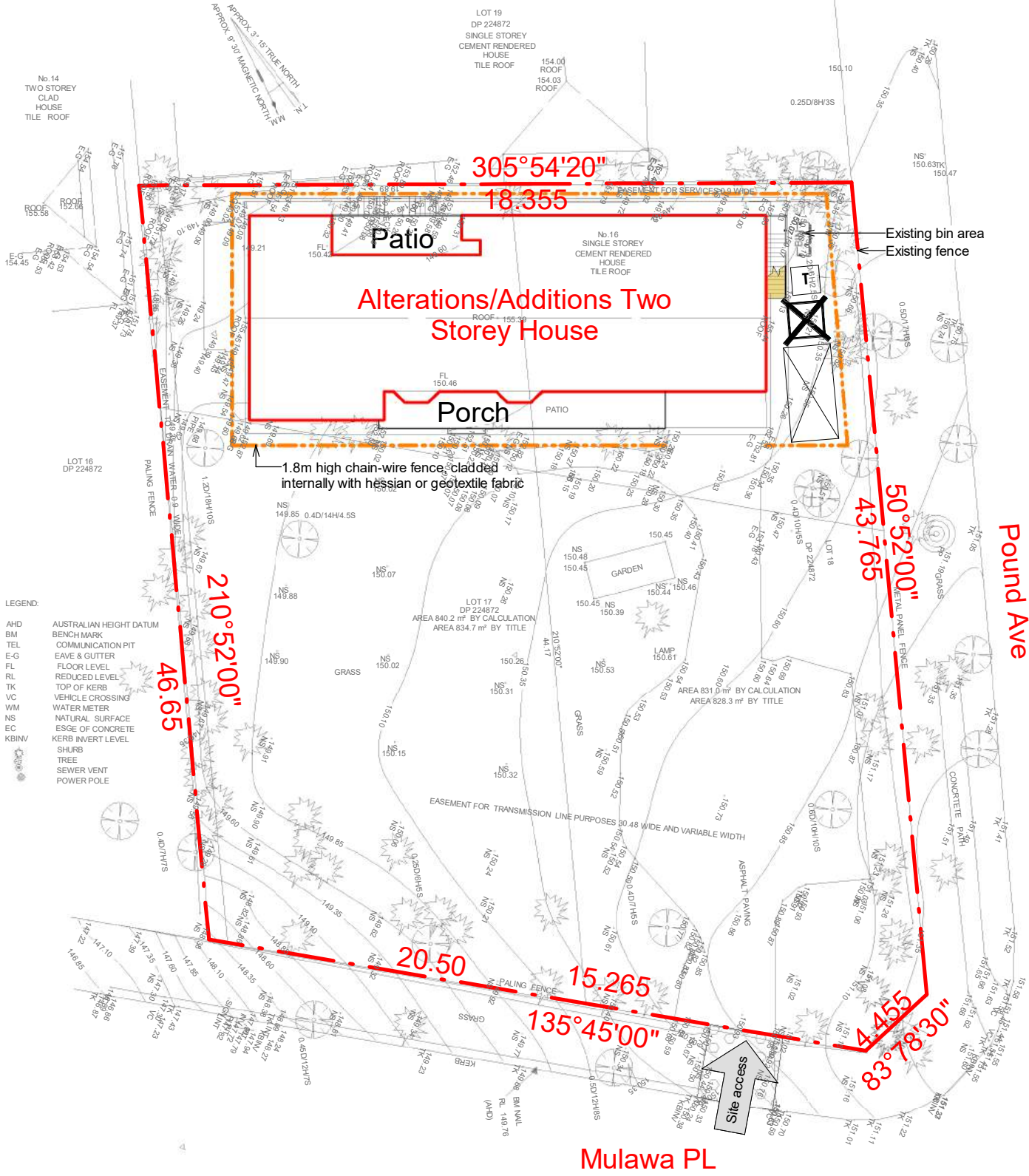
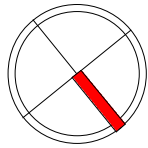
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C	11.09.19	Issued for client	G	Drawing:	Shadow Diagram June 21st 3PM

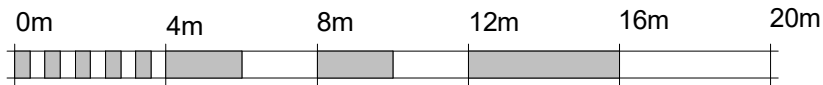
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Erosion And Sediment Control/ Site - Waste Management Plan



VISUAL SCALE 1:200 @ A3

Legend

- New Works
- Existing Works
- Sediment 1.8m fence
- Site access
- Site toilets
- Existing bin storage
- Site shed**
Location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill top soil, sand stockpile to be covered and protected with geotextile fabric
- Stabilised site access**
Vehicles carrying loose building materials to be covered in compliance with road traffic regulations. Safe access for heavy equipment plant and materials delivery, sediment controls to be placed across driveway
- Material storage**
Construction materials storage area location of stockpile material and waste. ie. bricks, tiles & similar materials, timber offcuts and recyclable materials & waste for landfill

Any damage to existing &/or adjoining property &/or services is to be made good with minimal if any inconvenience to all proprietors. If any damage is due to negligence, it is to be rectified at the cost of the negligent party which caused that damage. Method of support of excavation adjacent to adjoining properties to eng's details and it is to be certified by a certifier accredited in civil engineering

Notes

- This plan to be read in conjunction with sediment and erosion. Control details as attached.
- The contractor shall implement all soil erosion and sediment. Control measures as necessary and to the satisfaction of council prior to the commencement of and during construction. No disturbance to the site shall be permitted other than in the immediate area of the works and no material shall be removed from the site without council's approval. All sediment and erosion control devices to be installed and maintained in accordance with standards outlined in nsw department of housing's "managing urban stormwater - soils and constructions".
- Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil is to be respired later on areas to be revegetated and stabilised only, (i.e. all footpaths, batters, site regarding areas, basins and catchdrains). Topsoil shall not be respired on any other areas unless specifically instructed by the superintendent. If they are to remain for longer than one month stockpiles shall be protected from erosion by covering them with a mulch and hydroseeding and, if necessary, by locating banks or drains downstream of a stockpile to retard silt laden runoff.
- The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices such that more than 60% of their capacity is lost. All the silt is to be placed outside the limit of works. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.
- Lay turf strip (min 300mm wide) on 100mm topsoil. with 1.0m long returns every 6.0m behind all kerb at the top of all batters and around structures immediately after backfilling or formation.
- The contractor shall grass seed all disturbed areas with an approved mix as soon as practicable after completion of earthworks and regrading.
- Vehicular traffic shall be controlled during construction confining access where possible to nominated stabilised access points.
- When any devices are to be handed over to council they shall be b8. in clean and stable condition.
- The contractor shall implement dust control by regular wetting down. (but not saturating) disturbed area.
- Provide and maintain silt traps around all surface inlet pits until catchment is revegetated or paved.
- Revegetate all trenches immediately upon completion of backfilling.
- All drainage pipe inlets to be capped until :
 - Downpipes connected
 - Pits constructed and protected with silt barrier - ba

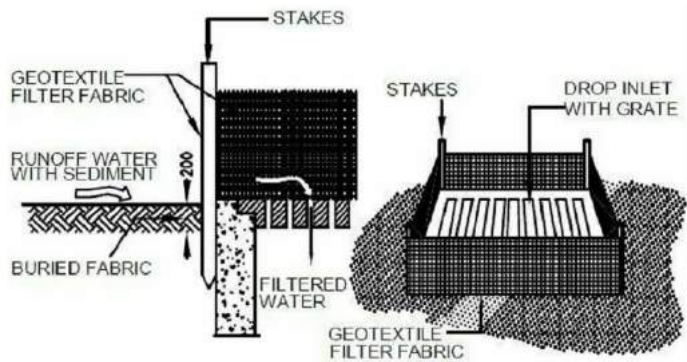
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B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Erosion And Sediment Control/ Site - Waste Management Plan

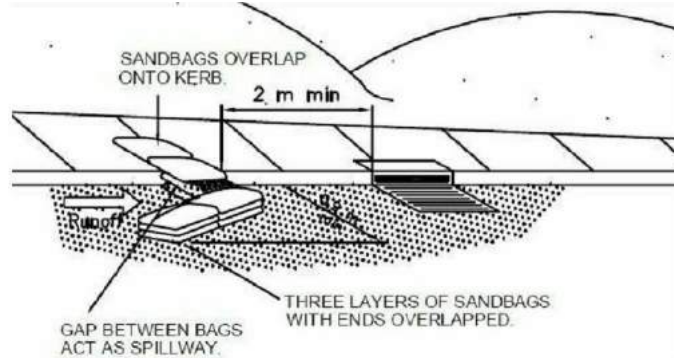
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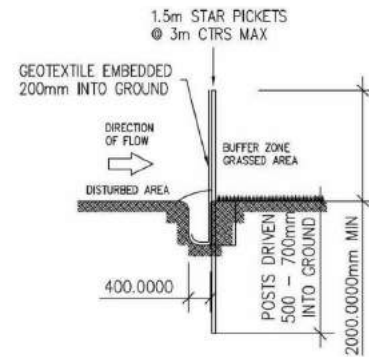




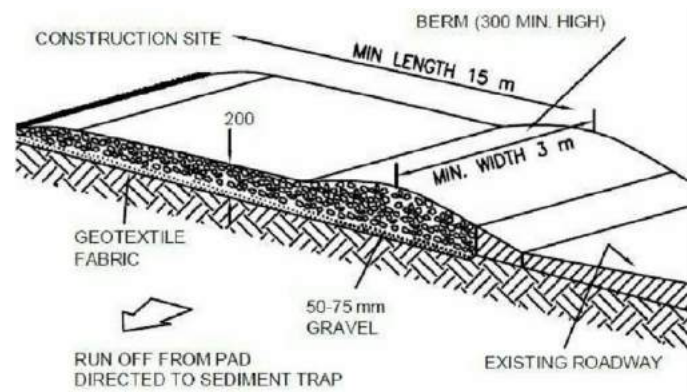
Geotextile Filter Fabric Drop Inlet Sediment Trap



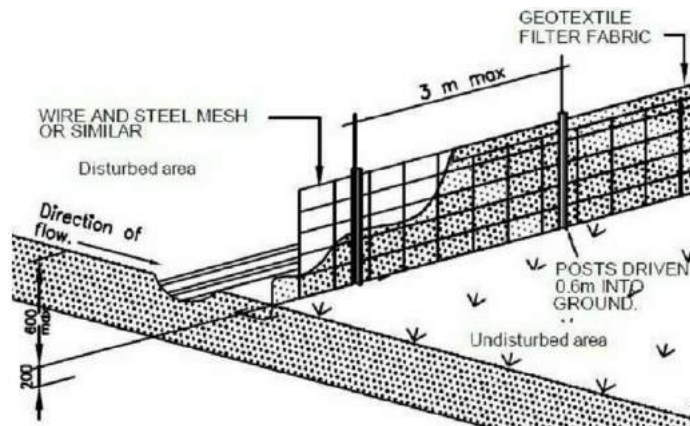
Sandbag Kerb Inlet Sediment Trap



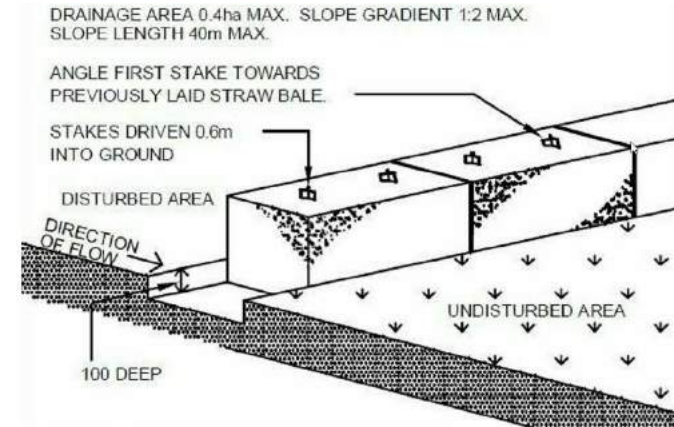
Geofabric Lined Silt Fence (Structure Type A)



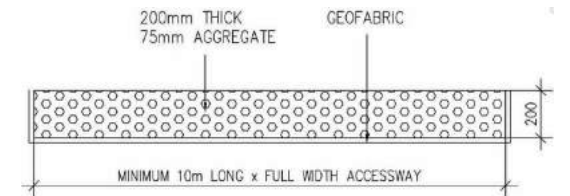
Temporary Construction Exit



Sediment Fence

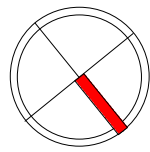


Straw Bale Sediment Filter

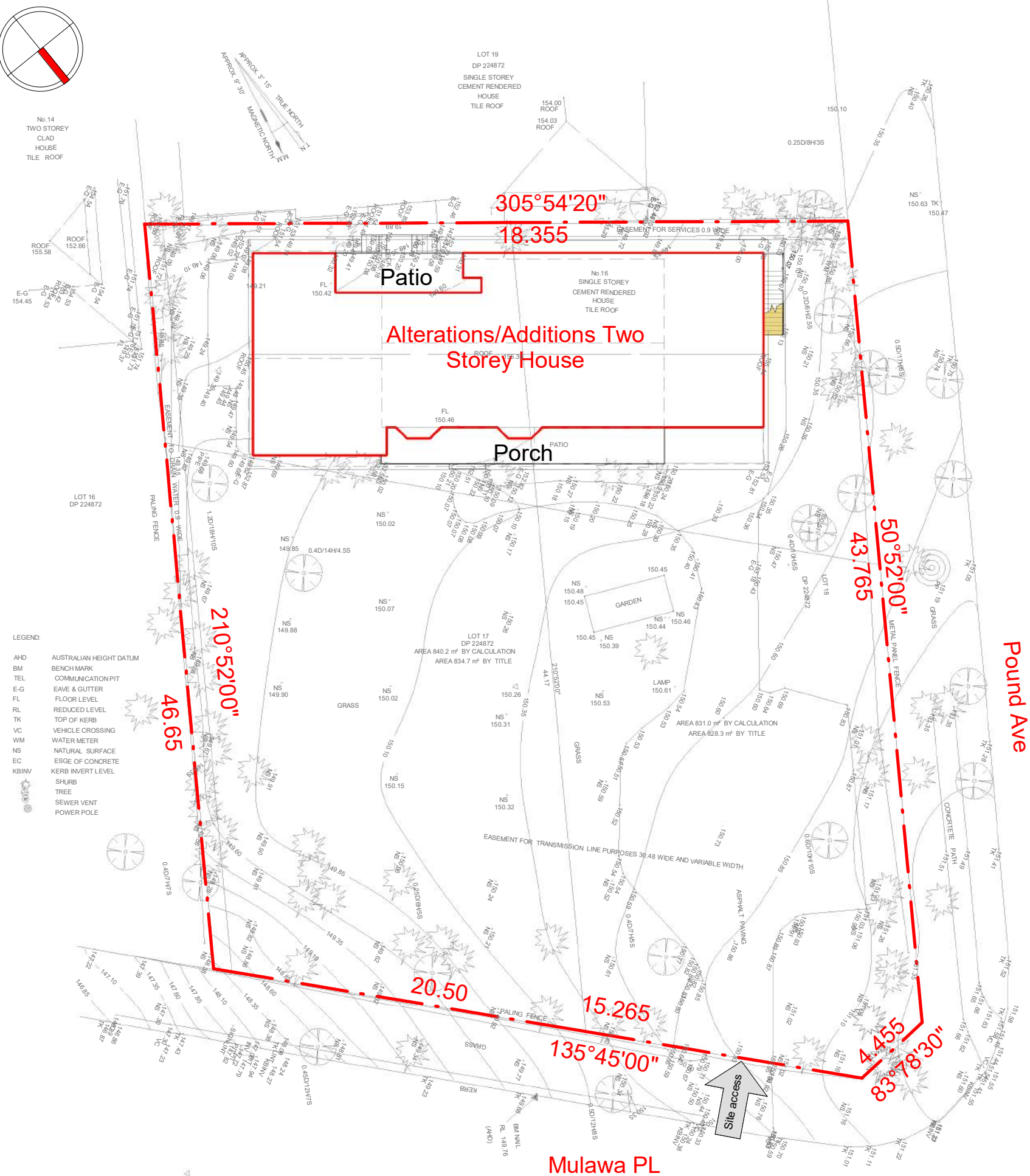


Detail Of Stabilised Site Access

Issue	Date	Amendment	D	15.10.19	Issued for client	Project:	Alterations/Additions Two Storey House
A	16.08.19	Issued for client	E	24.10.19	Issued for client	Address:	16 Mulawa Pl Frenchs Forest NSW 2086
B	30.08.19	Issued for client	F	...	...	Client:	Michael
C	11.09.19	Issued for client	G	...	...	Drawing:	Erosion And Sediment Control
						Project no:	VCARA3102
						Sheet no:	18
						Drawn:	VP A3



No.14
TWO STOREY
CLAD
HOUSE
TILE ROOF



Notification Plan



North East Elevation



South West Elevation



North West Elevation



South East Elevation

Legend

- New Works
- Existing Works

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B	30.08.19	Issued for client	F	Client:	Michael
C	11.09.19	Issued for client	G	Drawing:	Notification Plan
						Project no:	VCARA3102
						Sheet no:	19
						Drawn:	VP A3

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