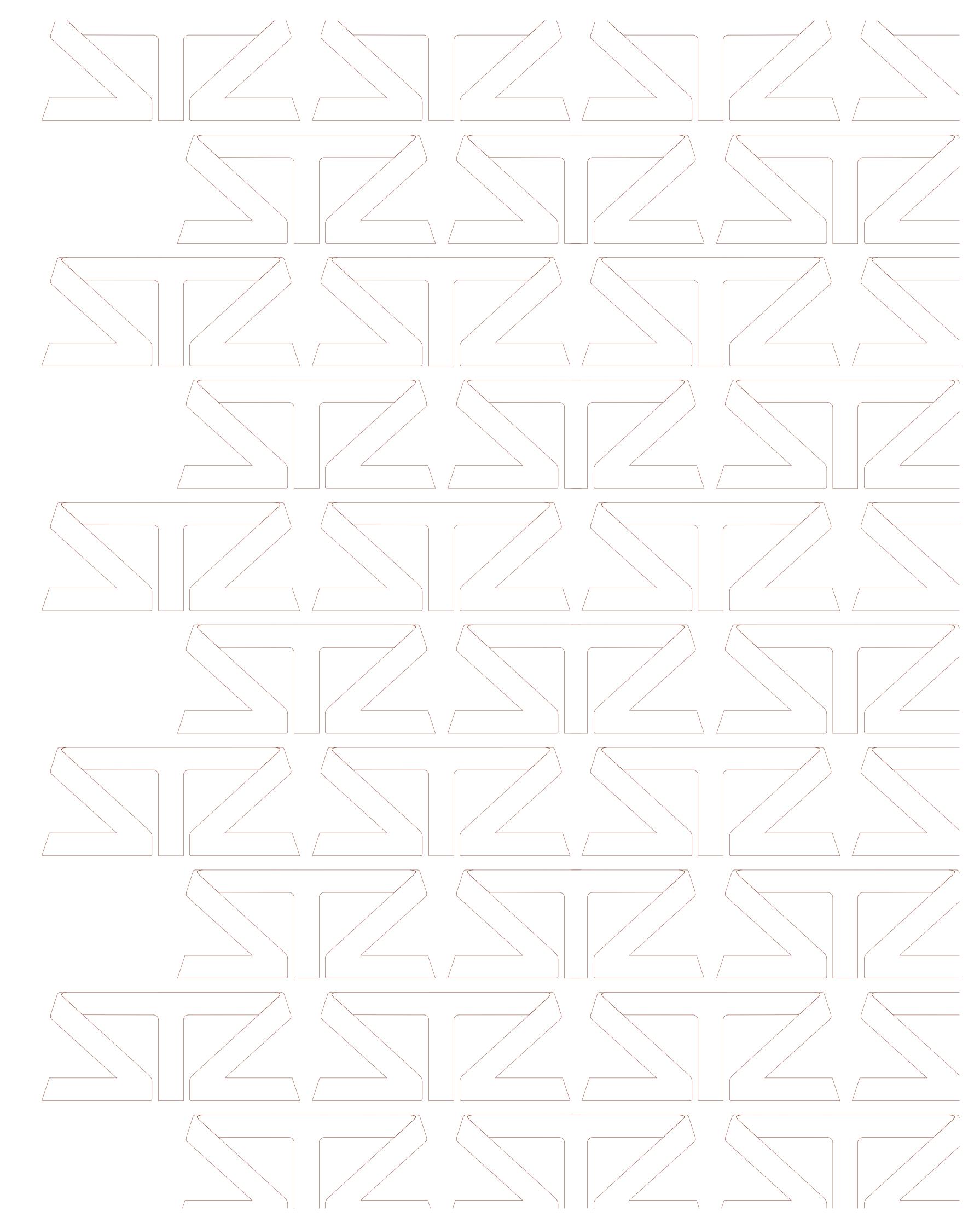
SECTION 4.55 APPLICATION

Bower Street Manly

82-84 Bower Street Manly NSW 2095 AUSTRALIA No.82 John & Anna Lake No.84 Michael & Jenny Bushell

SEPTEMBER 2018

SMITH & TZANNES



BASIX REQUIREMENTS

No.82

LIGHTING

Ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluoroescent or LED lamps

WATER RATING FOR FIXTURES:

Showerheads: No greater than 9l/min flow or 3 star water rating Toilet: No greater than 4l/min flow or 3 star water rating Taps: No greater than 9l/min flow or 3 star water rating

HOT WATER:

Gas instantaneous must be installed

RAINWATER TANK

Applicant must install rainwater tank of at least 776L collecting rainwater runoff from at least 10sqm of roof area.

SWIMMING POOL

Swimming pool must be outdoors, must not have a capacity greater than 11KL, must have a pool cover, must installe a pool pump timer and must havea solar (gas boosted) heating system.

THERMAL REQUIREMENTS

EXTERNAL WALLS:

Cavity Brick: nil additional insulation

Framed (weatherboard, firbro, metal clad) R1.30 (or R1.70 including construction)

WINDOWS/DOORS

Standard Aluminium single clear windows U-Value: 7.63 SHGC:0.75 Skylightaluminium moulded plastic single clear U-Value: 6.21 SHGC:0.808

FLOOR/CEILINGS

Suspended floor with enclosed subfloor: framed (R0.7) R0.60(down) (or R1.30 including construction)

Raked ceiling, pitched/skillion roof: ceiling: R1.74(up), roof:foil backed blanket (75mm)

Flat ceiling, flat roof: concrete/plasterboard internal: ceiling: R0.93(up), roof: 50mm foil backed polystyrene board.

ROOF

Solar absorptance 0.475 - 0.70

BASIX REQUIREMENTS

No.84

LIGHTING

Ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluoroescent or LED lamps

WATER RATING FOR FIXTURES:

Showerheads: No greater than 9l/min flow or 3 star water rating Toilet: No greater than 4l/min flow or 3 star water rating Taps: No greater than 9l/min flow or 3 star water rating

THERMAL REQUIREMENTS

EXTERNAL WALLS:

Cavity brick: nil additionnal insulation

Reverse brick veneer: R1.16 (R1.70 including construction) Framed (weatherboard, firbro, metal clad) R1.30 (or R1.70 including construction)

WINDOWS/DOORS

Standard Aluminium single clear windows U-Value: 7.63 SHGC:0.75 Skylight Aluminium moulded plastic single clear U-Value: 6.21 SHGC:0.808

FLOOR/CEILINGS

Suspended floor with enclosed subfloor: framed (R0.7) R0.60(down) (or R1.30 including construction)

Floor above existing dwelling: nil additional insulation

Raked ceiling, pitched/skillion roof framed: ceiling: R1.74(up), roof:foil backed blanket(75mm)

Flat ceiling, flat roof: concrete/plasterboard internal: ceiling: R0.93(up), roof: 50mm foil backed polystyrene board.

R00F

Solar absorptance 0.475 - 0.70

SELECTIONS LEGEND

REFER TO SELECTIONS SCHEDULE FOR MORE DETAIL

ALUMINIUM FRAMED DOOR ALUMINIUM FRAMED WINDOW

BOLLARD

BALUSTRADE TYPE #

BOX GUTTER

BLOCKWORK BRICKWORK

CARPET CONC CONCRETE

CERAMIC FLOOR TILE FINISH

CERAMIC WALL TILE FINISH

DOOR

DISHWASHER

DOWNPIPE

ELECTRICAL DISTRIBUTION BOARD

EX **EXISTING FACE BRICK**

FIBRE CEMENT

FIXED GLASS

FLASHING

FIRE RATED

FLOOR WASTE

FINISHED FLOOR LEVE FINISHED SLAB LEVEL

GRATED DRAIN

GUTTER

HANDRAIL HR

HOT WATER UNIT

LAUNDRY

OPERABLE/FIXED LOUVRES

METER BOX

METAL LOUVRES

METAL ROOF SHEET TYPE #

PAINT

PAVING

PLASTERBOARD

POOL FENCE

POLY POLYURETHANE FINISH

MESH CAGE

REFRIGERATOR

RENDER

RELATIVE LEVEL (TO AUSTRALIAN HEIGHT DATUM

RAINWATER OUTLET

RAINWATER TANK

SLIDING TIMBER DOOR

STEEL GATE

SKIRTING

STONE PAVING

STONE TILES

TIMBER SCREEN

TIMBER DECKING

TIMBER STRIP FLOORING TIMBER FRAMED WINDOW

TRANSLUCENT GLAZING (OBSCURE)

VENT PIPE VP

General Notes 1. NEVER scale off drawings, use figured dimensions only. 2. Verify all dimensions on site prior to commencement & report discrepancies to the architect. 3. Drawings describe scope of works and general set out. These drawings are

drawings should be prepared where required or necessary

not shop drawings. Set out to to be undertaken by surveyor on site. Shop

Refer to the notes page for legend that includes further notes and

explanation of abbreviation

S4.55 MODIFICATION → S4.55 MODIFICATION ANNOTATIONS OUTLINED PROPOSED EXTERNAL MODIFICATIONS PROPOSED INTERNAL LAYOUT MODIFICATIONS

NOTES DOCUMENT

DOCUMENT

S4.55 SUBMISSION

REV - 05.09.18

S4.55 SUBMISSION

Bower Street Manly

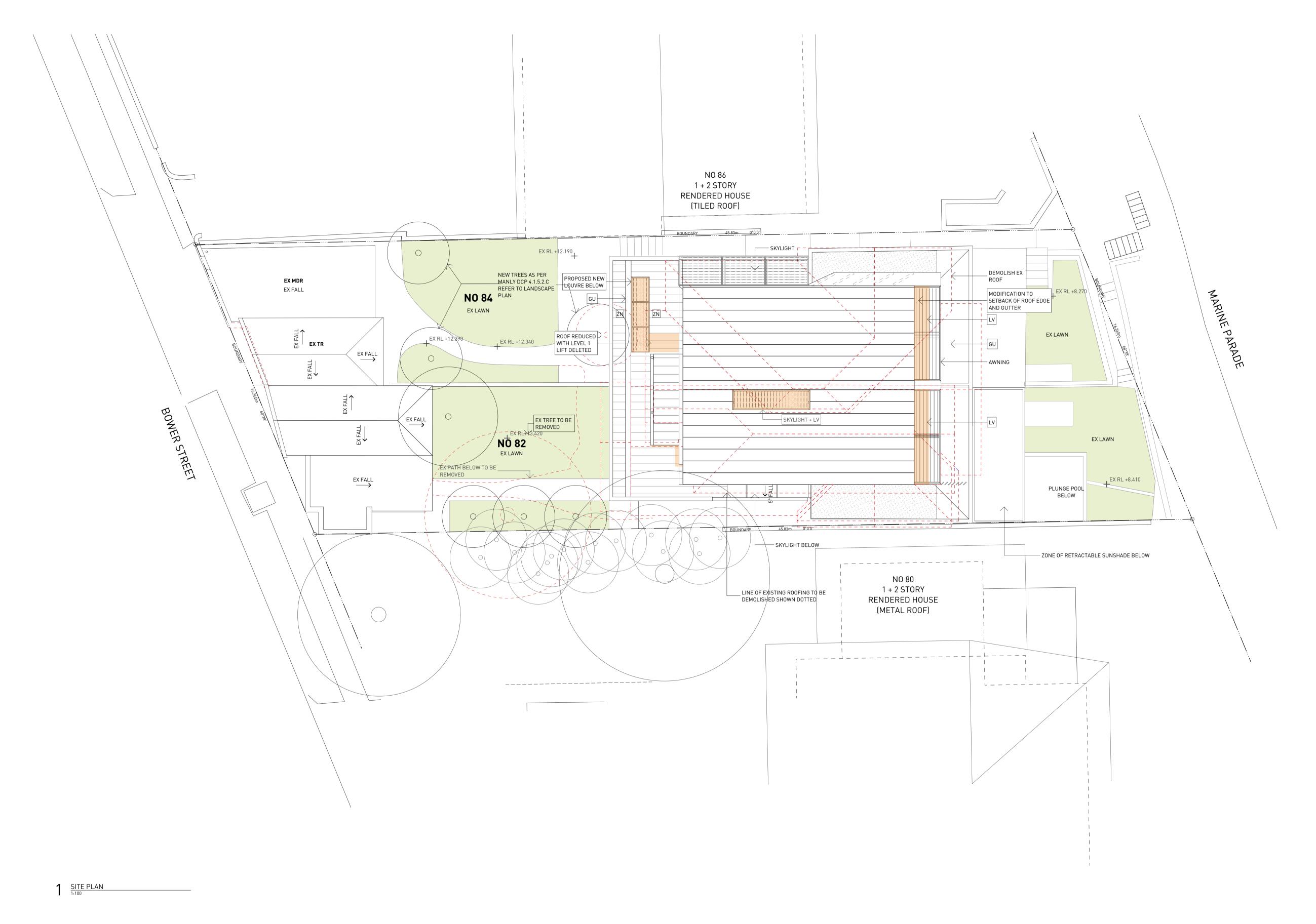
82-84 Bower Street Manly

CLIENT Michael & Jenny Bushell

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S4.55 MODIFICATION

S4.55 MODIFICATION ANNOTATIONS OUTLINED

PROPOSED EXTERNAL MODIFICATIONS

PROPOSED INTERNAL LAYOUT MODIFICATIONS

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DOCUMENT
SITE PLAN

DOCUMENT
S4.55 SUBMISSION

REV - 05.09.18

STAGE
S4.55 SUBMISSION

PROJECT

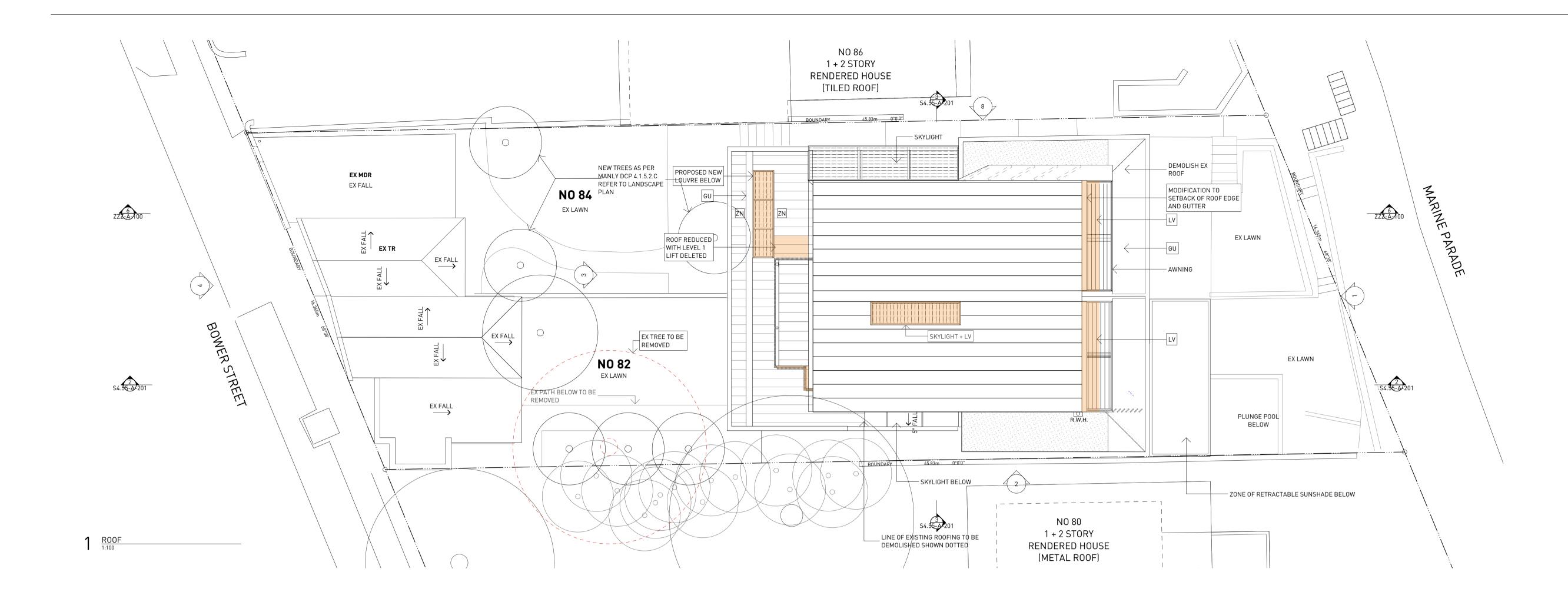
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DOCUMENT
ROOF

DOCUMENT
S4.55 SUBMISSION

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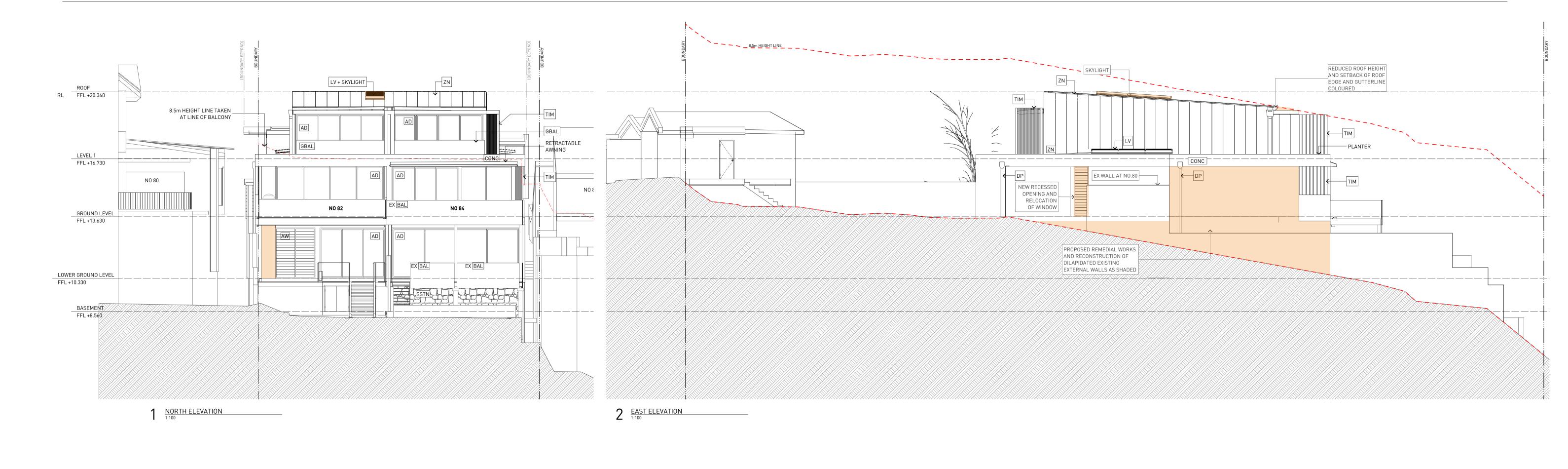
STAGE
S4.55 SUBMISSION

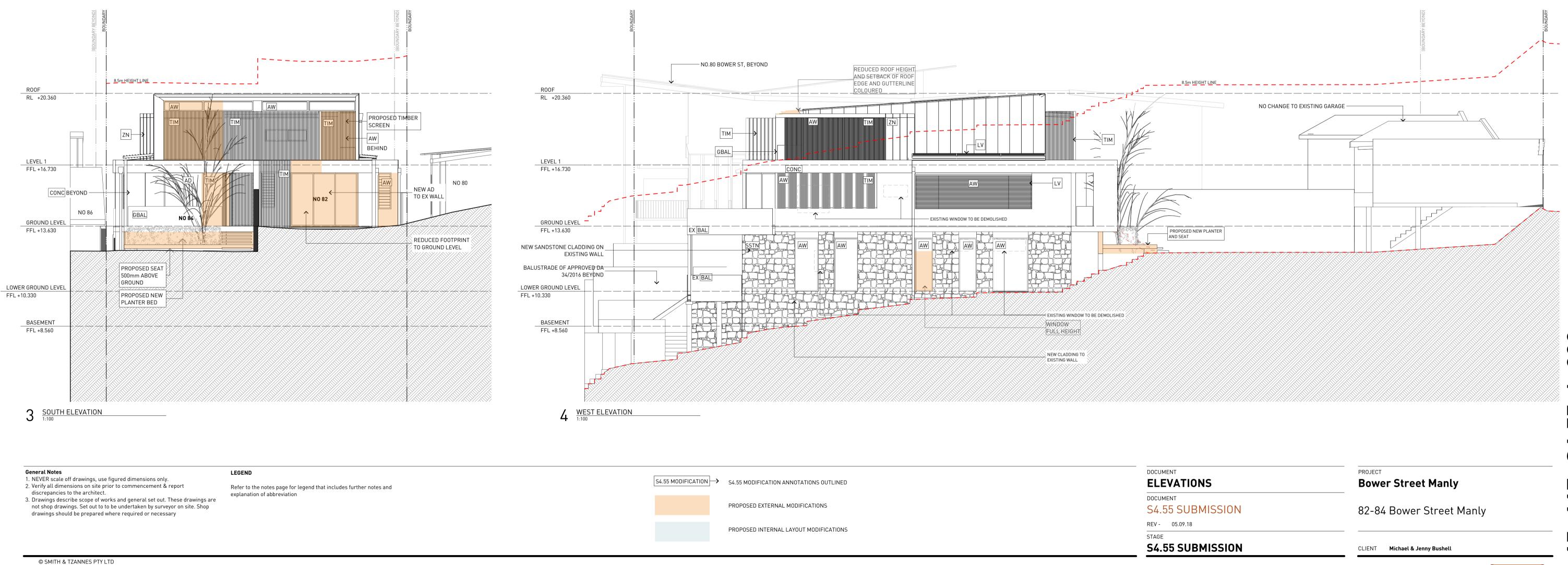
Bower Street Manly

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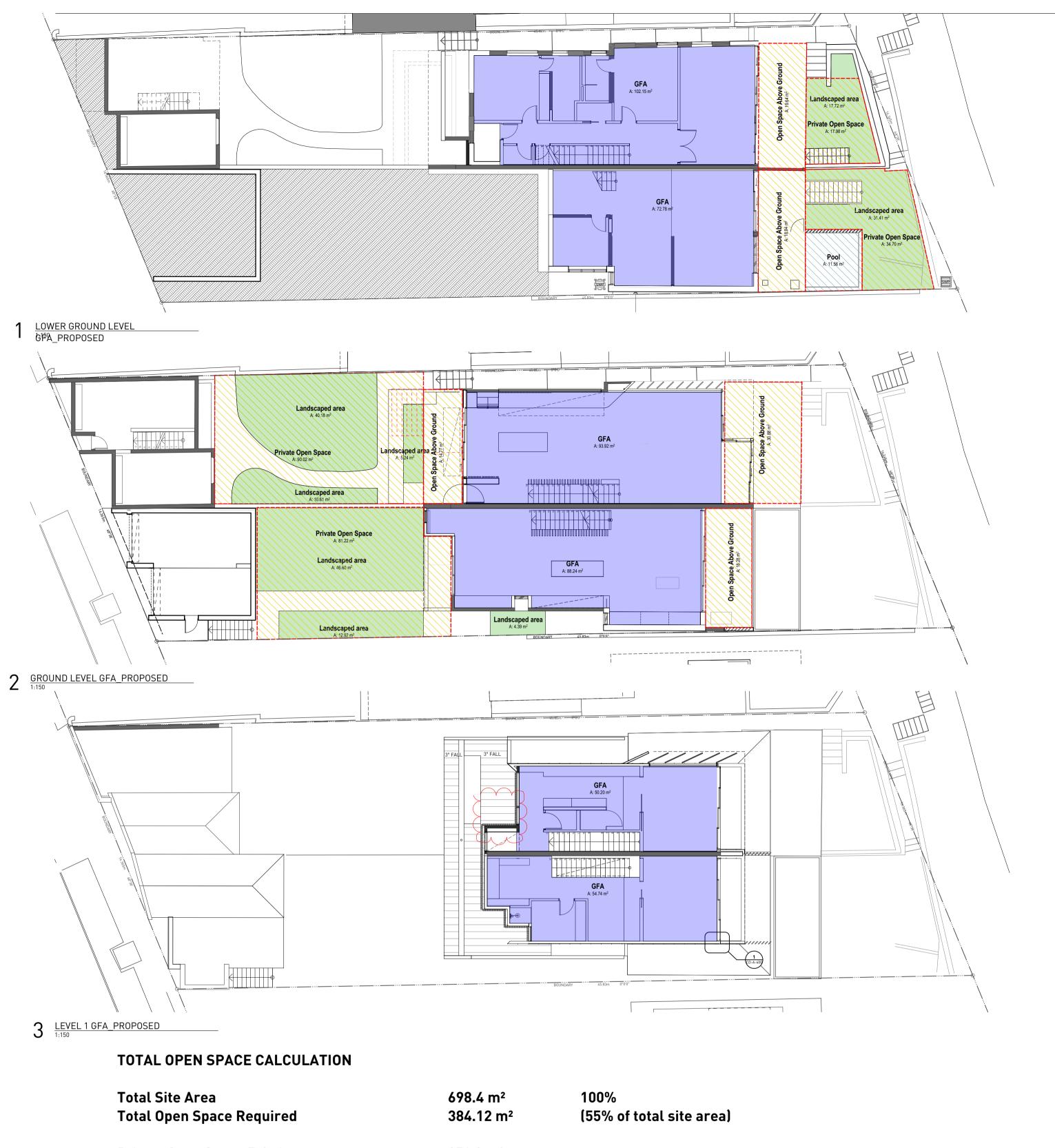
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10 PAPER SIZE: A1 5,000 11:501 10,000 11:001 20,000 (1:2001 ARCHITECTURE URBAN PLANNING
M1/147 McEvoy St Alexandria NSW 2015
P 02 9516 2022 E email@smithtzannes.com.au
smithtzannes.com.au
Nominated Architect: Peter Smith (Reg 7024)



Total Open Space Required	384.12 m ²	(55% of total site area)
Total Open Space Required	304.12 III ⁻	(55 % of total site area)
Private Open Space Existing	271.2 m ²	
Open Space Above Ground Exising	33.54 m²	
Total Open Space Existing	304.74 m²	
Private Open Space Proposed	223.92 m ²	
Open Space Above Ground Proposed	102.51 m ²	(30.3% of total open space proposed)
Pool	11.56 m ²	(3.4% of total open space proposed)
Total Open Space Proposed	337.99m ²	(48.4% of site area)

Refer to the notes page for legend that includes further notes and

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(56.9% of total open space existing) ~169.07 m²-(50% of total open space proposed) AREA CALCULATIONS DOCUMENT S4.55 SUBMISSION

Bower Street Manly

CLIENT Michael & Jenny Bushell

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discrepancies to the architect.

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General Notes

explanation of abbreviation

ARCHITECTURE URBAN PLANNING M1/147 McEvoy St Alexandria NSW 2015 P 02 9516 2022 E email@smithtzannes.com.au Nominated Architect: Peter Smith (Reg 7024)

SMITH & TZANNES

87.09 m²

101.36 m²

188.45 m²

96.04 m²

96.62m²

LANDSCAPED AREA CALCULATION

4 LOWER GROUND LEVEL GFA EXISTING

5 GROUND LEVEL GFA_EXISTING
1:150

FSR CALCULATION

Total Site Area

FSR PERMITTED

Ground Level GFA

Lower Ground Level GFA

PROPOSED

Level 1 GFA

Proposed GFA

No. 82

No.84

No.82

No.84

Landscaped Area Required 118.29 m², Landscaped Area Existing 190.62 m² Landscaped Area Proposed

Ground Level GFA Level 1 GFA Proposed GFA **TOTAL FSR & GFA** 0.66:1 462.03m²

Lower Ground Level GFA 102.15 m² 93.92m² 50.2m² ≻ 246.27 m²<

EX Private Open Space

EX Landscaped area

100%

0.45 : 1

No.84 Lower Ground Level GFA Ground Level GFA

Existing GFA

EXISTING

Lower Ground Level GFA

Ground Level GFA

No. 82

Existing GFA TOTAL FSR & GFA

192.66 m² 0.55:1 381.11m²

698.4 m²

335.23 m²

363.17 m²

72.78 m²

88.24m²

54.74m²

- 215.76 m²≺

314 m²

(35% of total open space proposed)

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