

# SECTION 4.55 APPLICATION

## Bower Street Manly

82-84 Bower Street Manly NSW 2095 AUSTRALIA

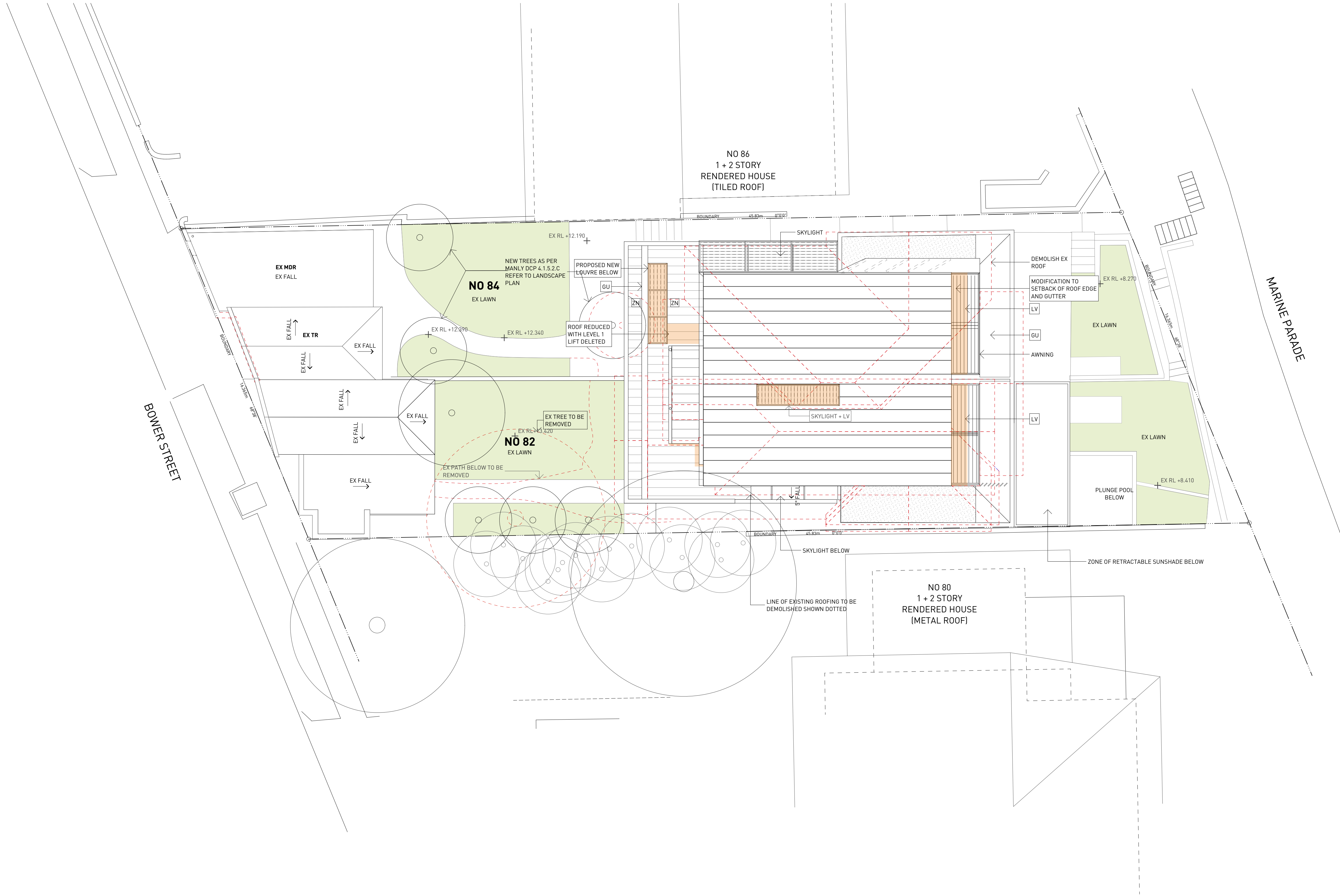
No.82 John & Anna Lake

No.84 Michael & Jenny Bushell

SEPTEMBER 2018

SMITH & TZANNES





1 SITE PLAN  
1:100

General Notes

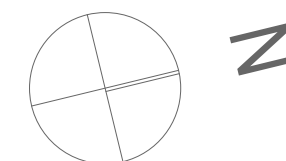
1. NEVER scale off drawings, use figured dimensions only.
2. Verify all dimensions on site prior to commencement & report discrepancies to the architect.
3. Drawings describe scope of works and general set out. These drawings are not shop drawings. Set out to be undertaken by surveyor on site. Shop drawings should be prepared where required or necessary

LEGEND

Refer to the notes page for legend that includes further notes and explanation of abbreviation

S4.55 MODIFICATION → S4.55 MODIFICATION ANNOTATIONS OUTLINED

- PROPOSED EXTERNAL MODIFICATIONS
- PROPOSED INTERNAL LAYOUT MODIFICATIONS



DOCUMENT

**SITE PLAN**

DOCUMENT

**S4.55 SUBMISSION**

REV - 05.09.18

STAGE

**S4.55 SUBMISSION**

PROJECT

**Bower Street Manly**

82-84 Bower Street Manly

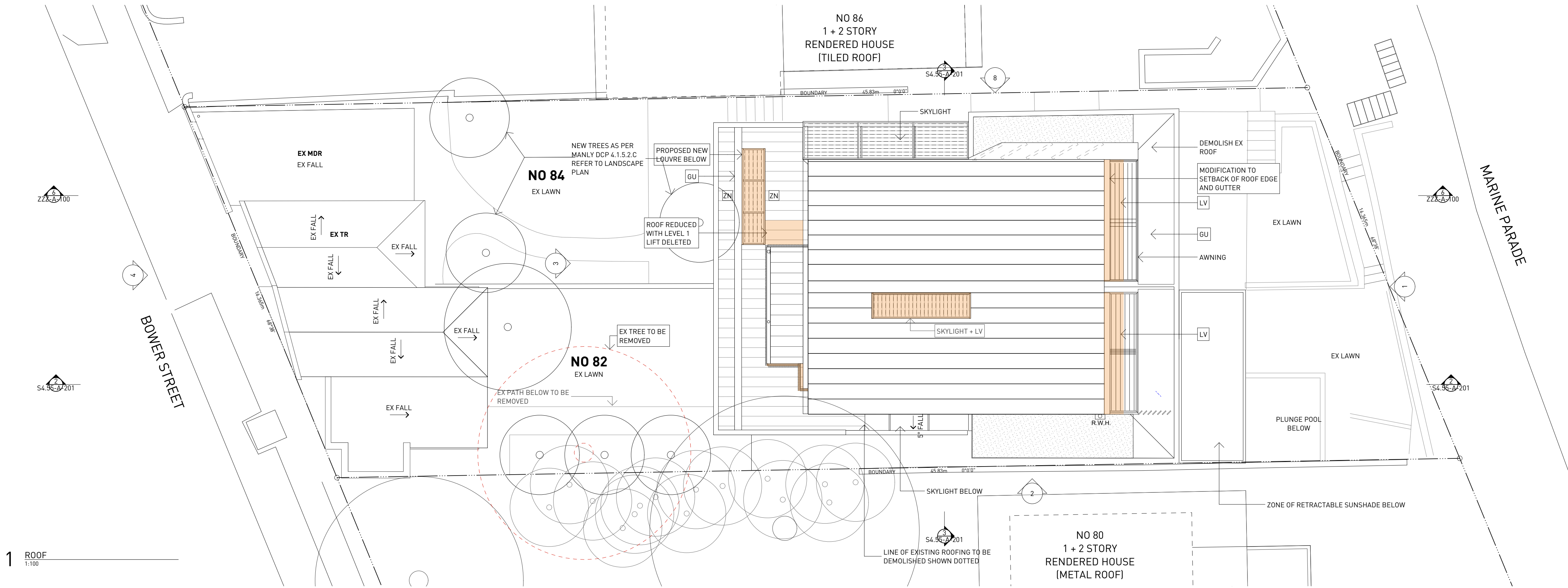
CLIENT Michael & Jenny Bushell

ARCHITECTURE URBAN PLANNING  
M1/147 McEvoy St Alexandria NSW 2015  
P102 9516 2022 E email@smithtzannes.com.au  
smithtzannes.com.au  
Nominated Architect: Peter Smith (Reg 7024)



15\_117 S4.55-A-010





1 ROOF  
1:100

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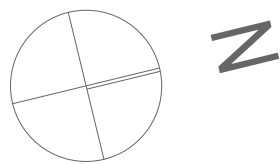
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**ROOF**

DOCUMENT  
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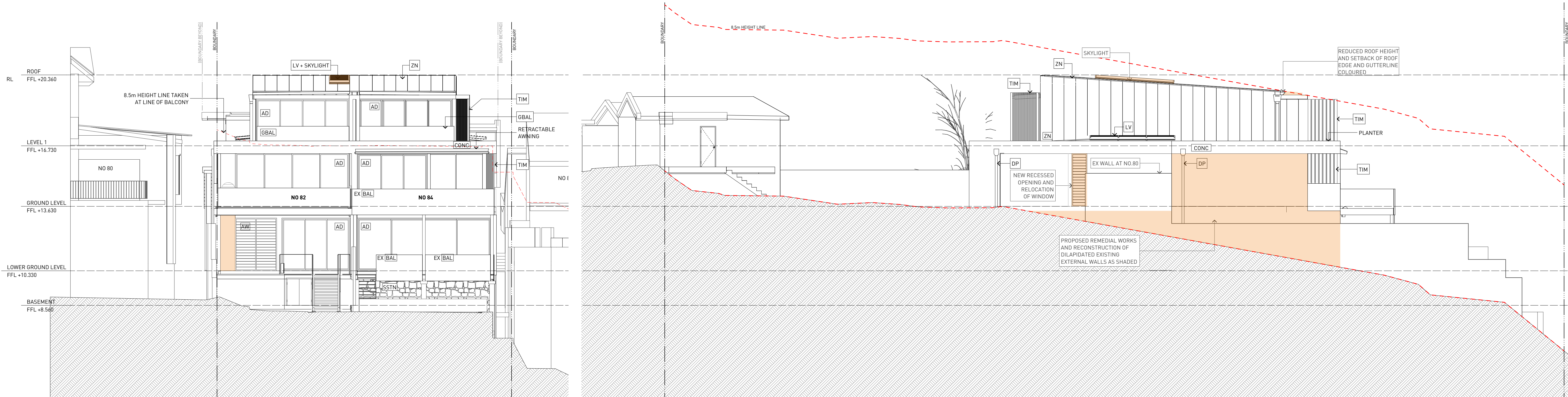
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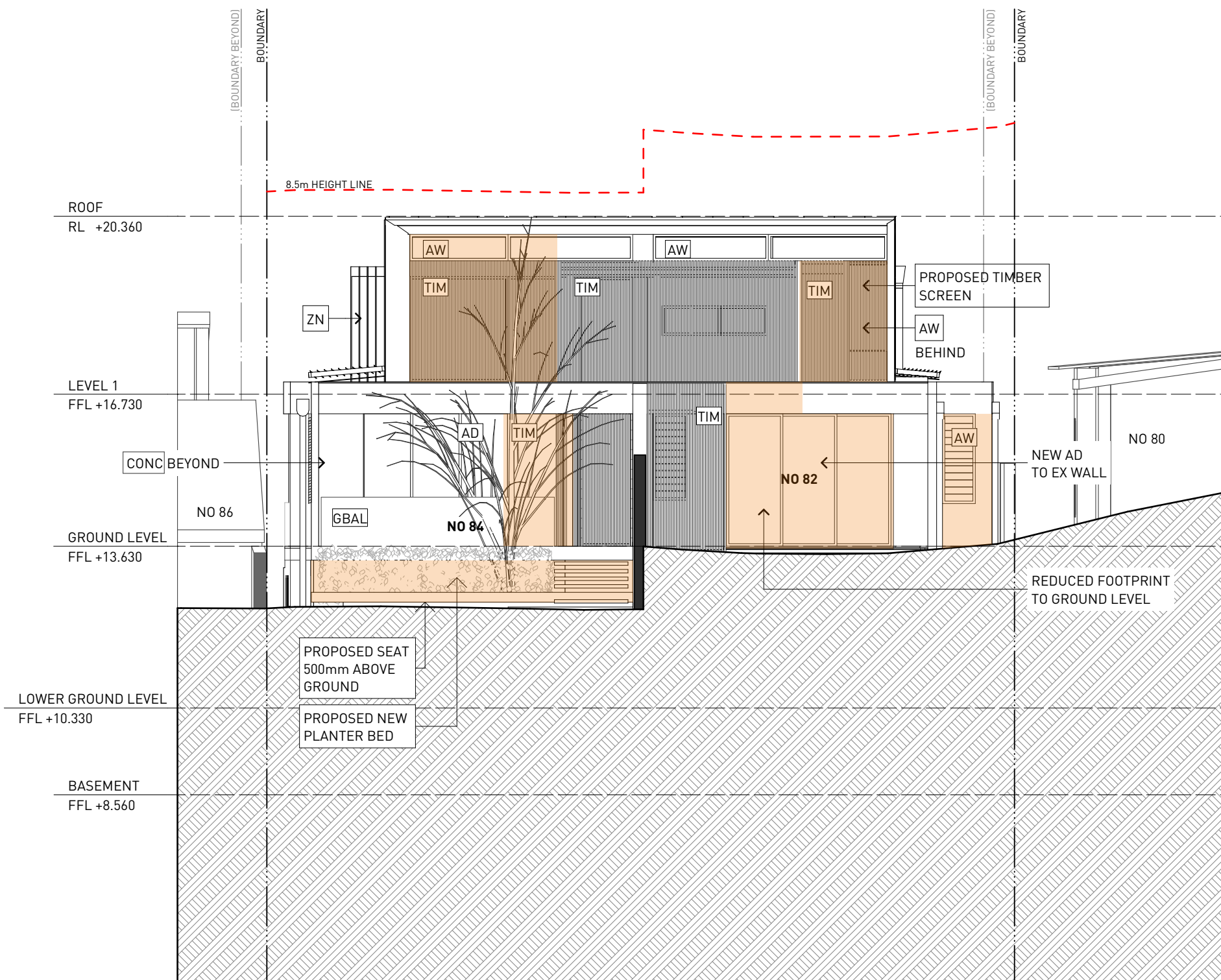




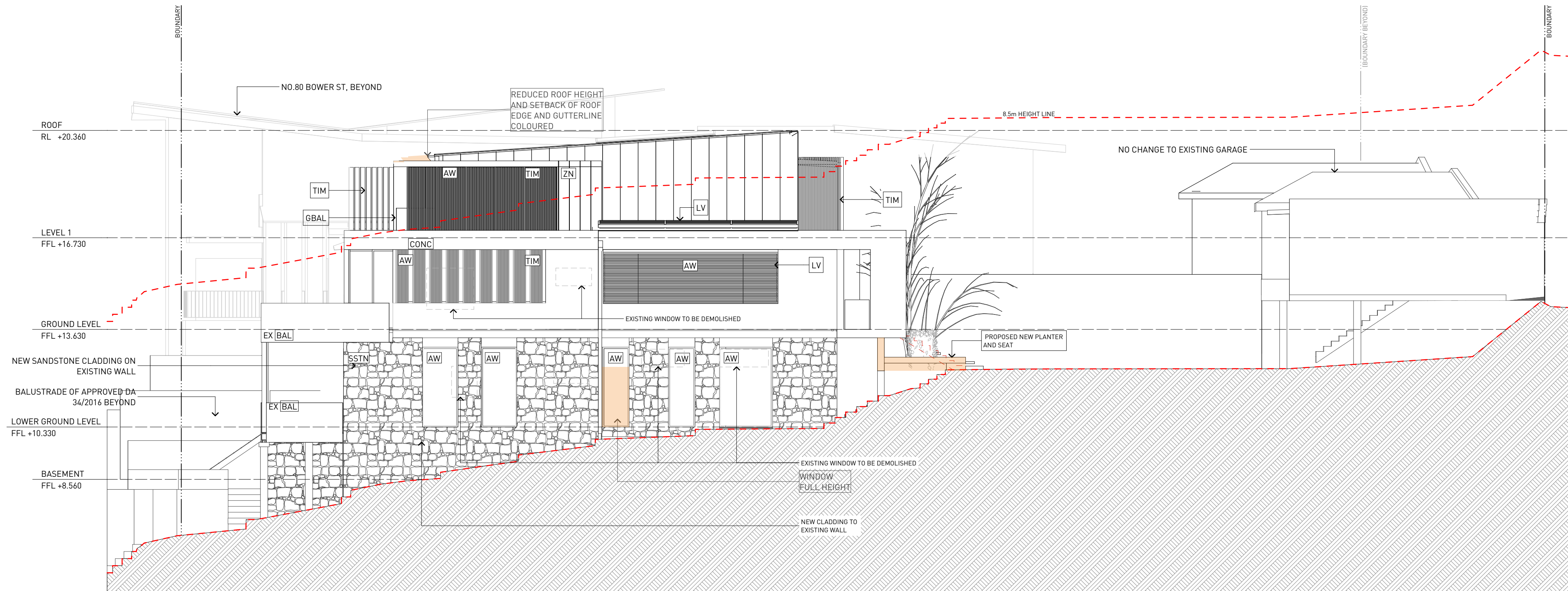


1 NORTH ELEVATION  
1:100

2 EAST ELEVATION  
1:100



3 SOUTH ELEVATION  
1:100



4 WEST ELEVATION  
1:100

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ELEVATIONS

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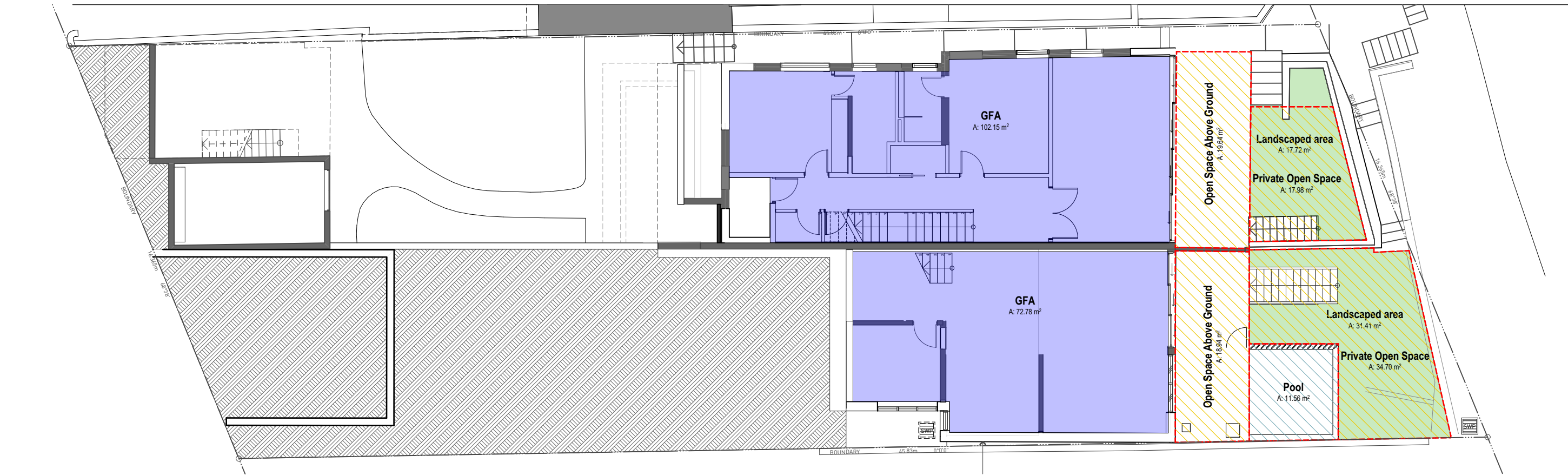
CLIENT

Michael & Jenny Bushell

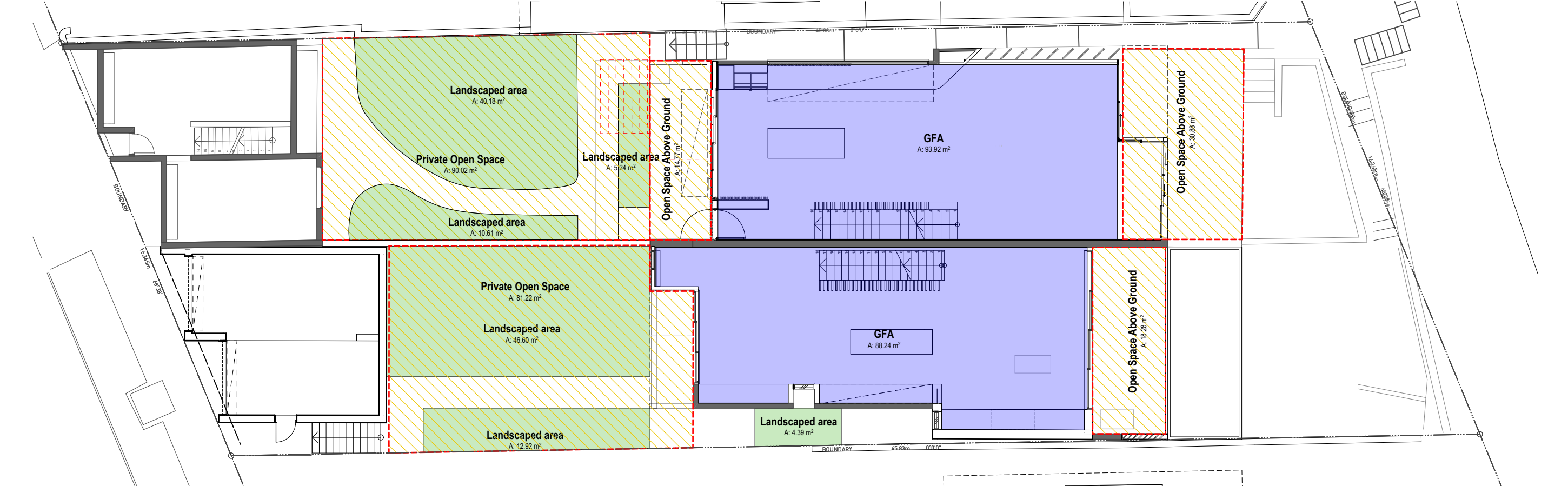
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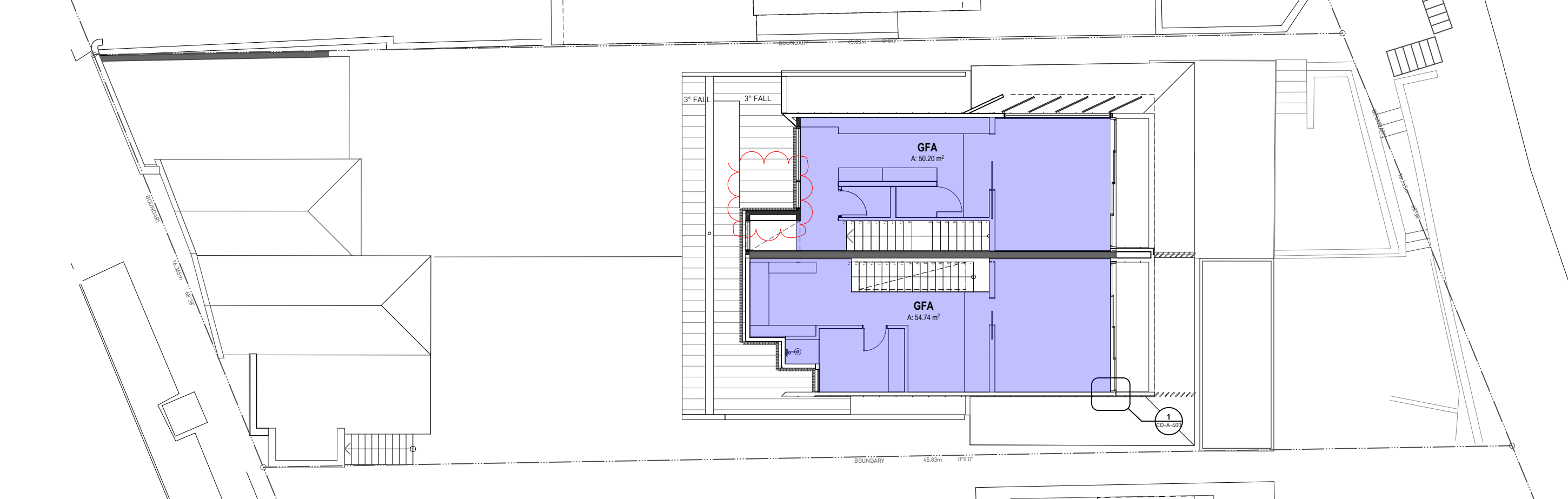




1 LOWER GROUND LEVEL  
GFA PROPOSED



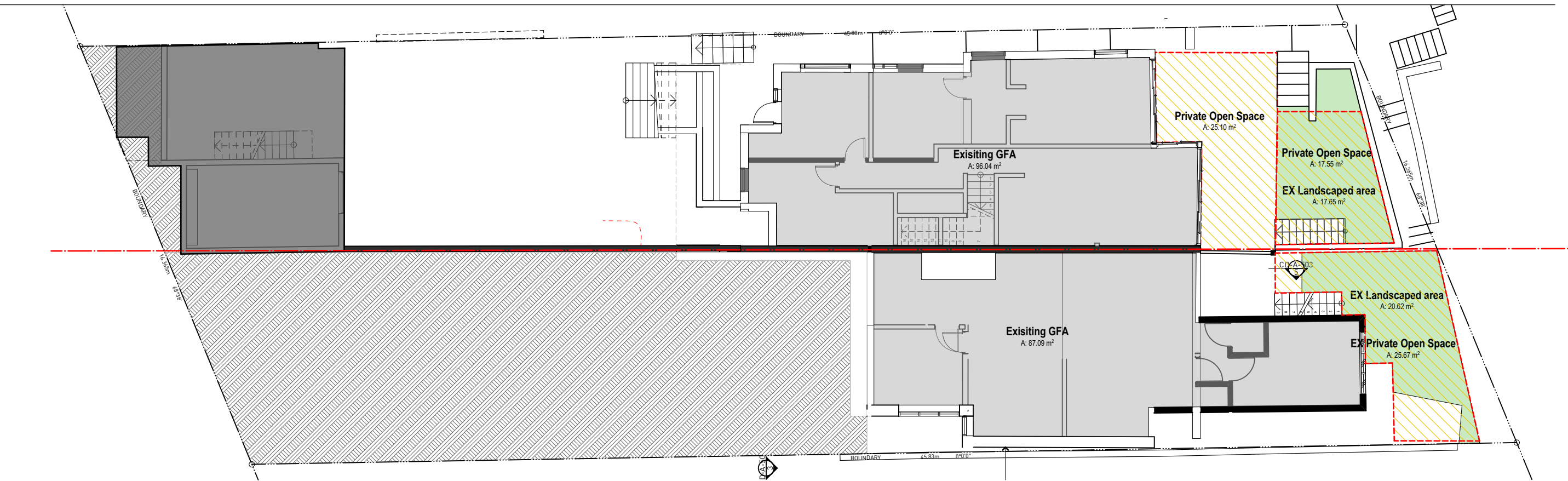
2 GROUND LEVEL GFA PROPOSED  
1:150



3 LEVEL 1 GFA PROPOSED  
1:150

#### TOTAL OPEN SPACE CALCULATION

Total Site Area	698.4 m²	100%
Total Open Space Required	384.12 m²	(55% of total site area)
Private Open Space Existing	271.2 m²	
Open Space Above Ground Existing	33.54 m²	
Total Open Space Existing	304.74 m²	
Private Open Space Proposed	223.92 m²	
Open Space Above Ground Proposed	102.51 m²	(30.3% of total open space proposed)
Pool	11.56 m²	(3.4% of total open space proposed)
Total Open Space Proposed	337.99m²	(48.4% of site area)



4 LOWER GROUND LEVEL GFA EXISTING  
1:150



5 GROUND LEVEL GFA EXISTING  
1:150

#### FSR CALCULATION

Total Site Area	100%	698.4 m²
No.82	48%	335.23 m²
No.84	52%	363.17 m²

FSR PERMITTED	0.45 : 1	314 m²
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#### PROPOSED

No. 82		
Lower Ground Level GFA	72.78 m²	
Ground Level GFA	88.24m²	
Level 1 GFA	54.74m²	
Proposed GFA	215.76 m²	

No.84		
Lower Ground Level GFA	102.15 m²	
Ground Level GFA	93.92m²	
Level 1 GFA	50.2m²	
Proposed GFA	246.27 m²	

TOTAL FSR & GFA	0.66:1	462.03m²
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#### LANDSCAPED AREA CALCULATION

Landscaped Area Required	118.29 m²	(35% of total open space proposed)
Landscaped Area Existing	190.62 m²	(56.9% of total open space existing)
Landscaped Area Proposed	169.07 m²	(50% of total open space proposed)

#### EXISTING

No. 82		
Lower Ground Level GFA	87.09 m²	
Ground Level GFA	101.36 m²	

Existing GFA	188.45 m²	
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No.84		
Lower Ground Level GFA	96.04 m²	
Ground Level GFA	96.62m²	

Existing GFA	192.66 m²	
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TOTAL FSR & GFA	0.55:1	381.11m²
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**AREA CALCULATIONS**

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