

DRAWN BY
Unit 20
12 Phillip Mall
West Pymble 2073
Phone 9440 5451
ABN 97 077 163 663

Fellow of the Lands
Institute (Aust) Idi.or



NOTES TO THE PLAN

THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT

THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION

ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED

CLIENT
Kathryn and Stewart Agus

SITE
3 Irrubel Rd
NEWPORT

DRAWING

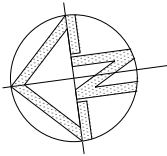
SITE ANALYSIS

PROJECT

PROPOSED POOL AND LANDSCAPING

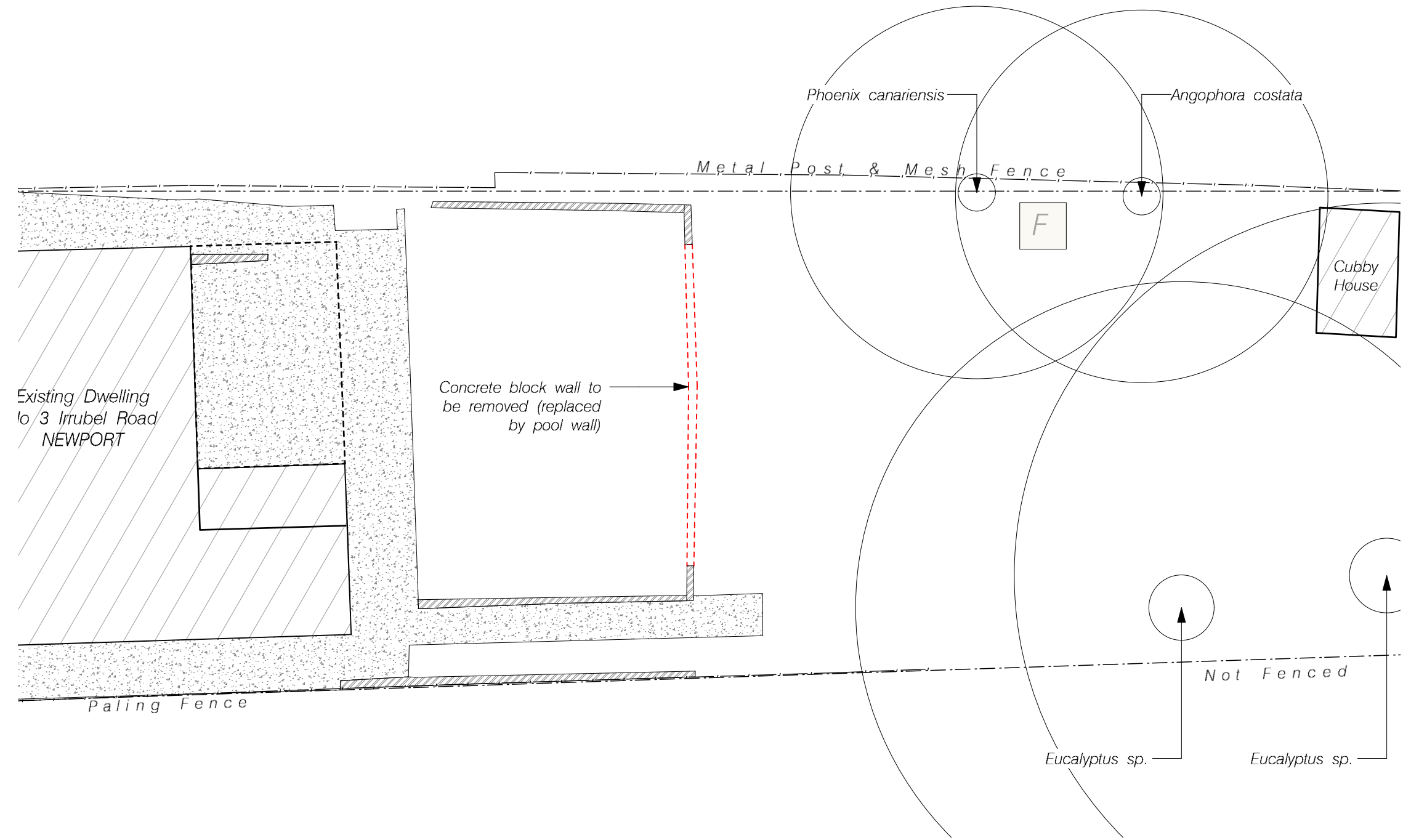
Date of Issue
A 2/05/2025
B 14/05/2025

JOB No	25-10
ISSUE	B
DWG No	Sht-1



LEGEND

- BOUNDARY
- TO BE REMOVED
- EXISTING BUILDING
- EXISTING PAVING
- PROPOSED PAVING
- PROPOSED POOL
- EXISTING RETAINING WALL/WALL
- EXISTING TREE RETAIN

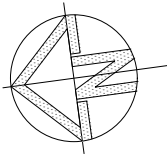


IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK. TAKE ALL REQUIRED PRECAUTIONS TO PREVENT DAMAGE TO SERVICES

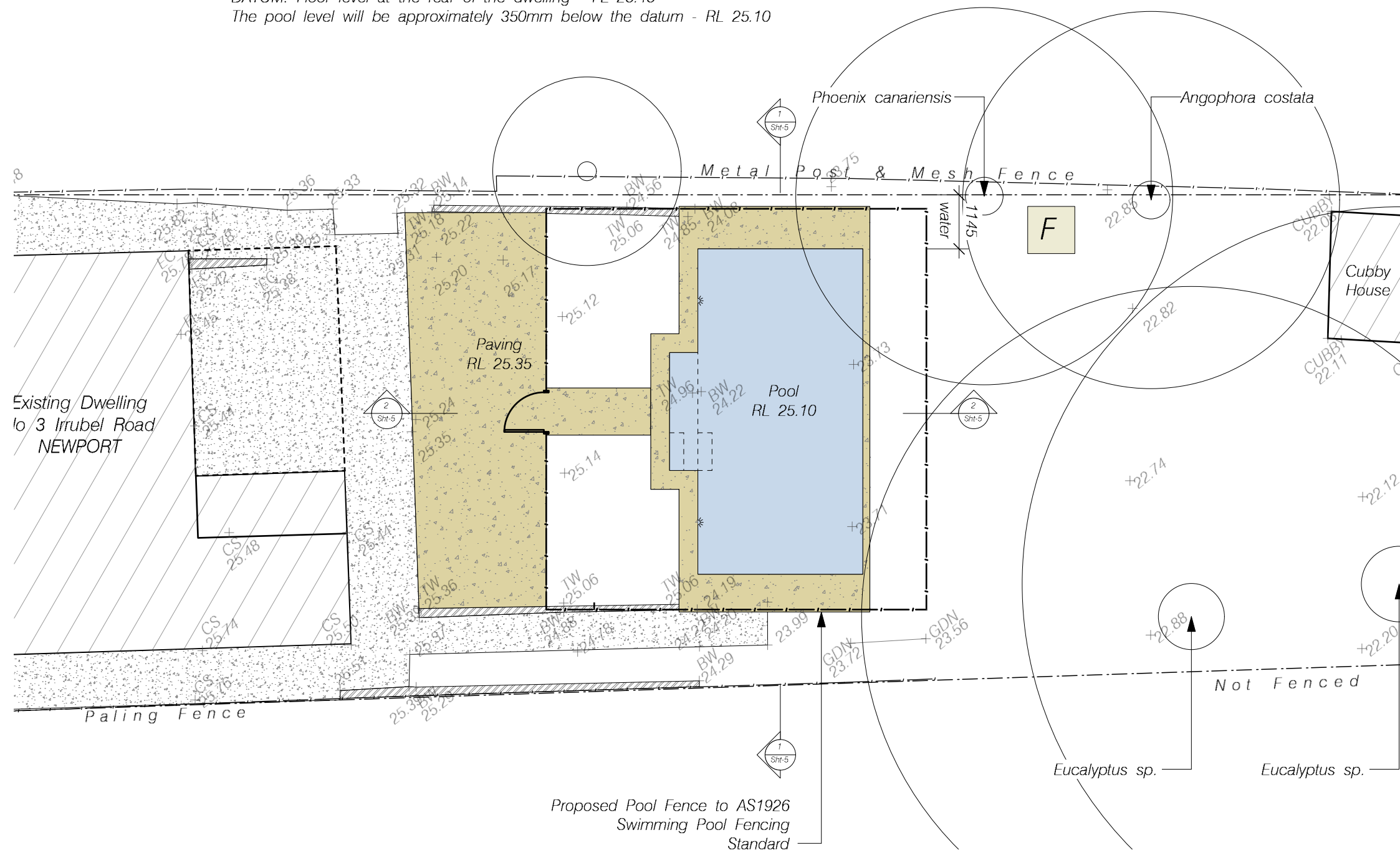
SCALE @ ISO A3:1:100



<div><div>DRAWN BY</div><div>Unit 20 12 Phillip Mall West Pymble 2073 Phone 9440 5451 ABN 97 077 163 663</div><div><div>Fellow of the Landscape Design Institute (Aust) ldi.org.au</div></div></div>	<div><div>outside</div><div>LIVING</div><div><div>bi</div><div>Landscape Design Institute</div><div>Professional Member</div></div></div>	<div><div>NOTES TO THE PLAN</div><div>THIS PLAN IS TO BE READ AS PART OF A COMPLETE SET OF DRAWINGS RELATING TO THE PROPOSED DEVELOPMENT</div><div>THIS PLAN RELATES TO A SPECIFIC DEVELOPMENT INFORMATION RELATING TO THE DEVELOPMENT NEEDS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION</div><div>ALL MEASUREMENTS ARE IN MILLIMETRES UNLESS OTHERWISE INDICATED</div></div>	<div><div>CLIENT</div><div>Kathryn and Stewart Agus</div><div>SITE</div><div>3 Irrubel Rd NEWPORT</div></div>	<div><div>DRAWING</div><div>PART SITE PLAN - TO BE REMOVED</div><div>PROJECT</div><div>PROPOSED POOL AND LANDSCAPING</div></div>	<div><div>Date of Issue</div><div>A 2/05/2025</div><div>B 14/05/2025</div></div>	<div><div>JOB No</div><div>25-10</div></div>
						<div><div>ISSUE</div><div>B</div></div>
						<div><div>DWG No</div><div>Sht-2</div></div>



DATUM: Floor level at the rear of the dwelling - FL 25.45
The pool level will be approximately 350mm below the datum - RL 25.10



- LEGEND
- BOUNDARY
 - EXISTING BUILDING
 - EXISTING PAVING
 - PROPOSED PAVING
 - PROPOSED POOL
 - EXISTING RETAINING WALL/WALL
 - EXISTING TREE RETAIN

IDENTIFY & MARK THE LOCATION OF ALL ABOVE & BELOW GROUND SERVICES PRIOR TO COMMENCING ANY WORK. TAKE ALL REQUIRED PRECAUTIONS TO PREVENT DAMAGE TO SERVICES

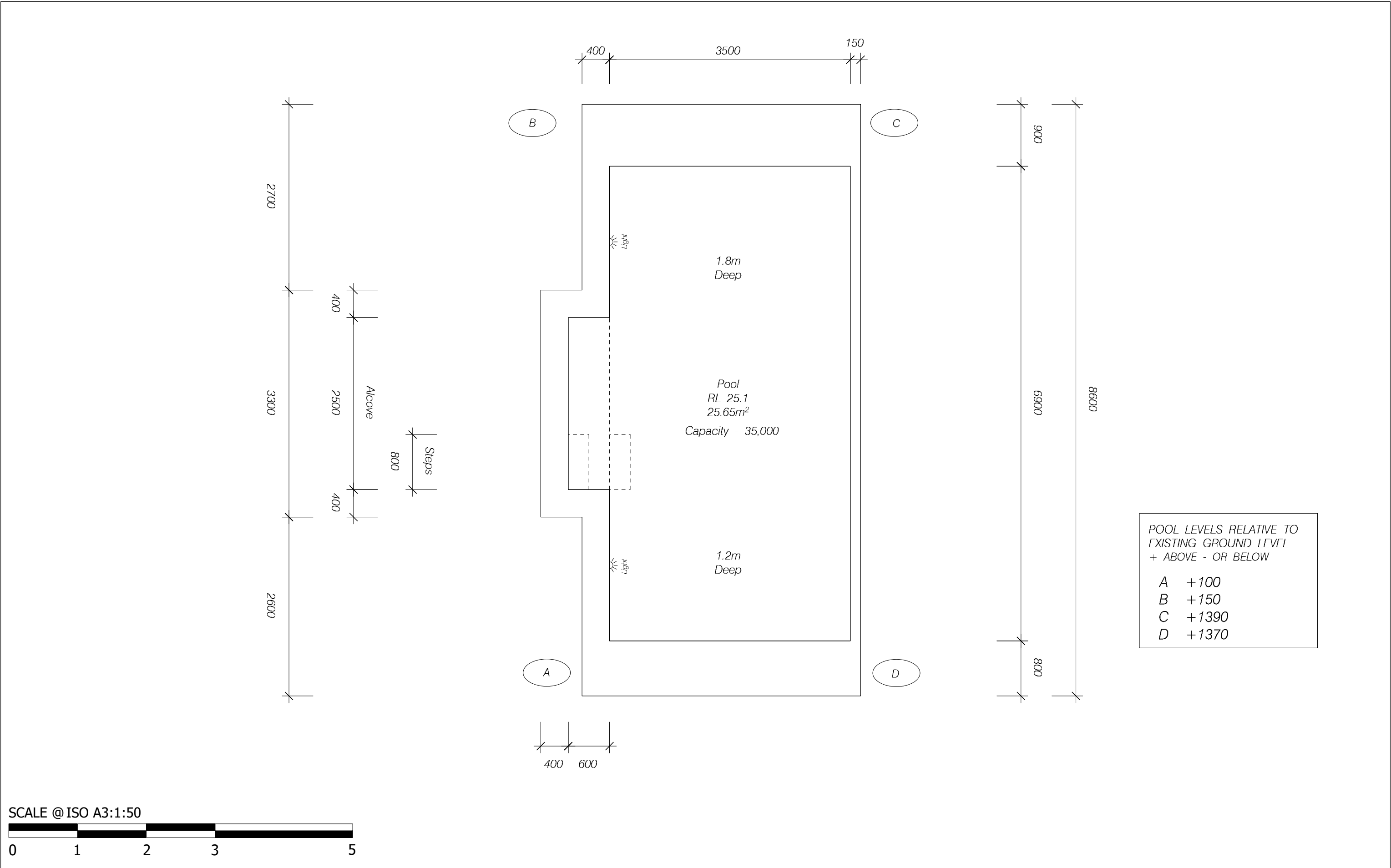
F SOUND PROOF FILTER BOX

POOL OVERFLOW TO BE PUMPED TO SEWER TO COUNCIL'S & SYDNEY WATER'S REQUIREMENTS

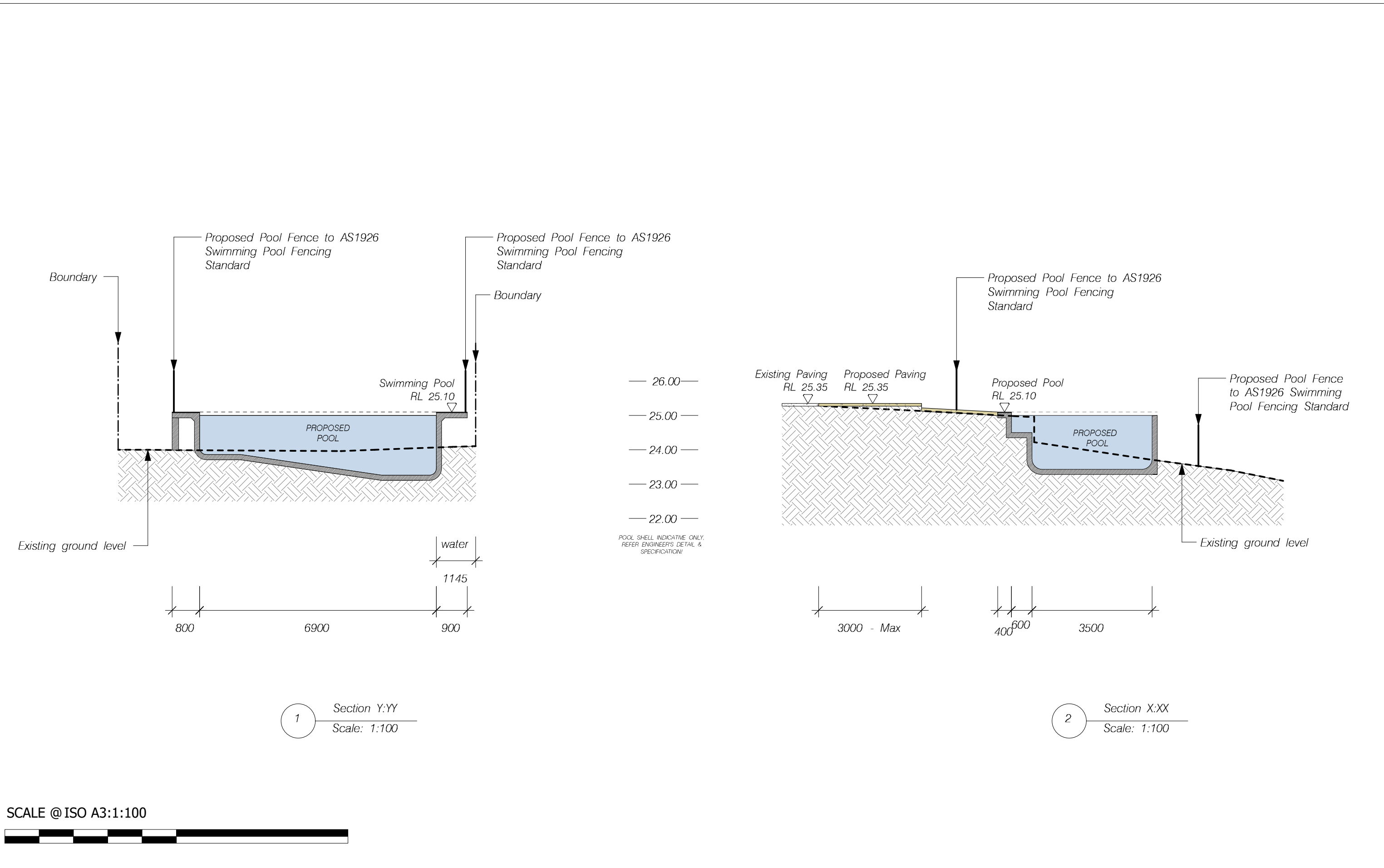
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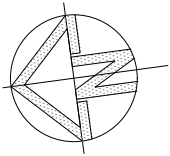
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SITE CALCULATIONS

SITE	675.42 sq m	
SITE COVERAGE		
Existing Building/Structure -	118.71 sq m	
Existing Paving -	130.53 sq m	
Hard surface area to be retained -	249.24 sq m	
PROPOSED HARD SURFACE AREA		
Proposed Pool -	25.65 sq m	
Proposed Coping -	11.16 sq m	
Proposed Paving -	48.8 sq m	
TOTAL -	85.61 sq m	
LANDSCAPED AREA		
Required - 60%	405.25 sq m	
Existing landscaped area -	449.49 sq m	(66.55%)
Proposed -	388.35 sq m	(57.50%)

Variation permitted provided the outcomes of Pittwater DCP 21 Clause D10.13 are achieved -

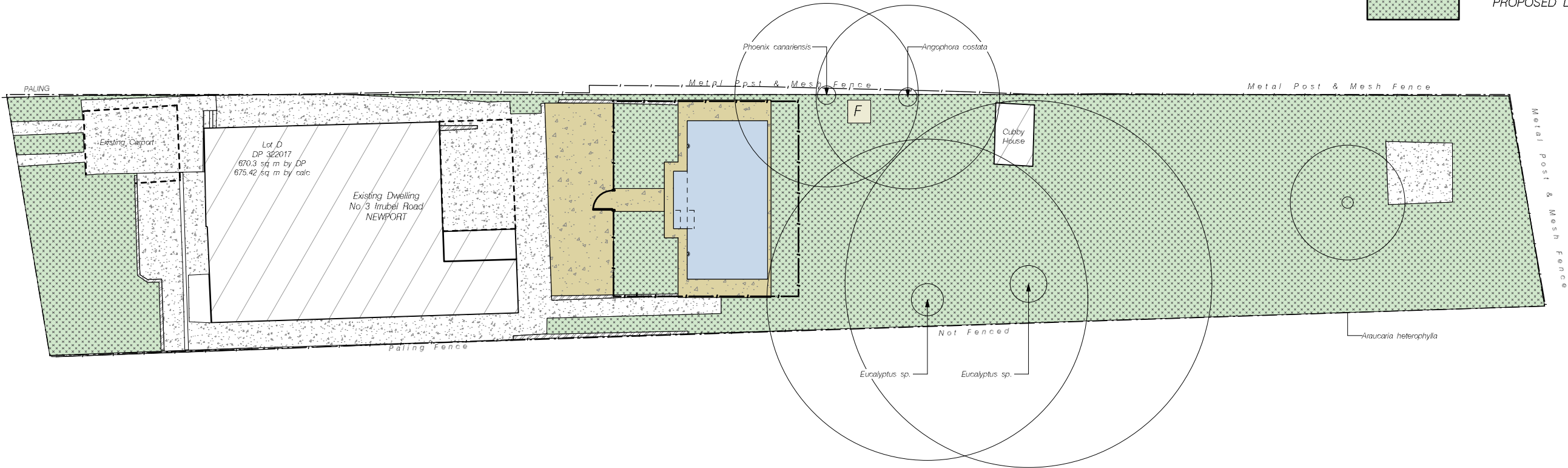
1. impervious areas less than 1 metre in width (e.g. pathways and the like);
2. for single dwellings on land zoned R2 Low Density Residential, R3 Medium Density Residential or E4 Environmental Living, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing)).

Variation applied - 40.52 sq m (6% of site area)

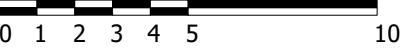
Proposed Landscaped Area - 428.87 sq m (63.5%)

LEGEND

- BOUNDARY
- EXISTING BUILDING
- EXISTING PAVING
- PROPOSED PAVING
- PROPOSED POOL
- EXISTING RETAINING WALL/WALL
- EXISTING TREE RETAIN
- PROPOSED LANDSCAPE AREA



SCALE @ ISO A3:1:200



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