

Version:	Description:	Drawn:	Date:
S_1	Sketch plans	SDC	23/11/2020
P_1	Preliminary plans	SDC	12/02/2021
P_2	Preliminary plans	SDC	18/02/2021
DA_1	DA plans	SDC	24/03/2021
DA_2	DA plans	SDC	24/03/2021
DA_3	DA plans	SDC	2/06/2021

Page	Plans
01	Title page
02	Site plan
03	Benching plan
04	Site analysis / Waste management plan
05	Stormwater management plan
06	Landscape concept plan
07	Shadow diagrams June 21 0900
08	Shadow diagrams June 21 1200
09	Shadow diagrams June 21 1500
10	Ground floor plan
11	First floor plan
12	Elevations
13	Elevations
14	Section/Details
15	Electrical plan
16	Window/door schedule
17	Safety design sheet
18	Specification
19	Notification plan



Basix Commitments

Water

- Rainwater tank of at least 3,000L to be installed.
- Rainwater tank to meet and be installed in accordance with applicable regulatory authorities.
- Rainwater tank to collect rain runoff from roof area depicted in BASIX certificate.
- Rainwater tank supply to be connected to all toilets in dwelling.
- Rainwater tank to be connected to at least one outdoor tap in the dwelling.

Tap fittings

Kitchen	5A star
Shower head	3A star
Toilet rating (dual flush)	4A star
Vanity and bath	6A star

Thermal Comfort

External walls	Brick veneer
Frame	Timber
External wall insulation	R 2.0
External wall colour	Medium
Roofing material	Colorbond
Roof insulation	Anticon 50mm
Roof colour	Dark
Ceiling insulation	R 5.0
Ceiling insulation (grd.&1 st floor)	R 2.0

Energy

- Gas 6 star instantaneous hot water system.
- Gas cooktop to Kitchen.
- Electric oven to Kitchen.
- Refrigerator spaces to be well ventilated.
- Compact fluorescent energy saving light bulbs to all light points.
- Outdoor clothes line.



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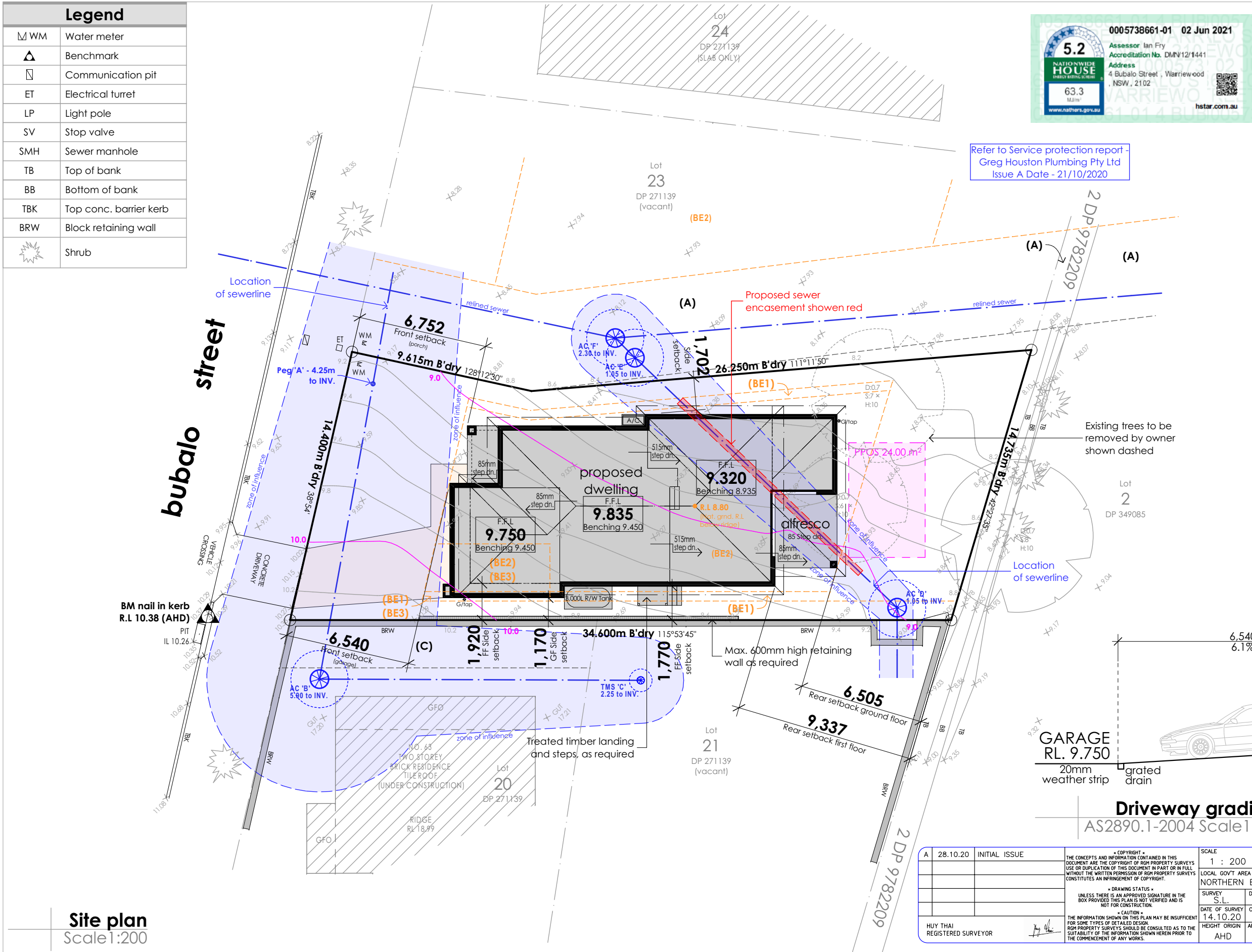
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P 0412 477 240
0405 126 018
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General notes:
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Site address:
Lot 22 No.4
Bubalo Street
Warriewood
Client name:
H. Castro

Job No:	20.040
DWG No:	01
Version No:	DA_3
Date:	2/06/2021

Legend	
WM	Water meter
△	Benchmark
□	Communication pit
ET	Electrical turret
LP	Light pole
SV	Stop valve
SMH	Sewer manhole
TB	Top of bank
BB	Bottom of bank
TBK	Top conc. barrier kerb
BRW	Block retaining wall
✱	Shrub

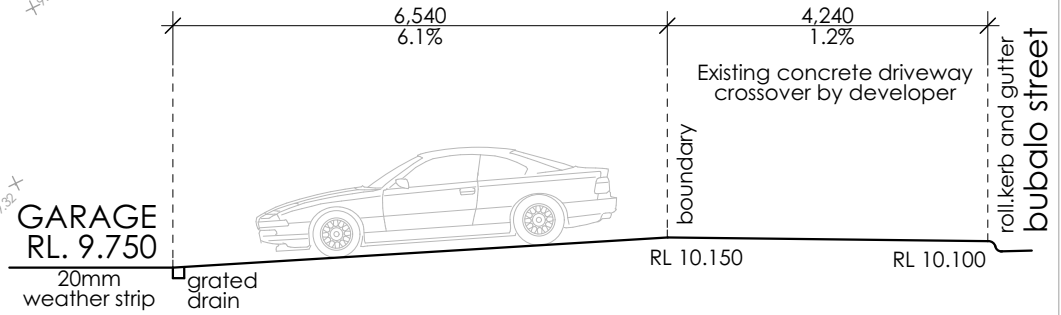


Refer to Service protection report -
Greg Houston Plumbing Pty Ltd
Issue A Date - 21/10/2020

Development calculations	
Pittwater 21 Development Control plan (Warriewood Valley Locality)	
Lot: 22 Site area: 456.8m ²	
Itemised floor areas	Totals
ground floor living	122.69m ²
first floor living	131.99m ²
single garage/workshop	33.81m ²
porch	4.83m ²
alfresco	13.25m ²
total floor area:	306.57m ² (33sq)
Site Coverage	
landscaping	236.95m ² - 51.9%
driveway	44.64m ² - 9.8%
dwelling	174.58m ² - 38.2%
roof area	216.01m ²
Earthworks	
Upper House	FFL: 9.835 Benching: 9.450
Lower House	FFL: 9.320 Benching: 8.935
Garage:	FFL: 9.750 Benching: 9.450
'H' class (TBC)	

Stormwater drainage to street
(subject to Hydraulic Report if required)

- (A) Easement for sewage purposes 5 wide (VIDE 6771995)
- (BE1) Restriction on the use of land
- (BE2) Restriction on the use of land
- (BE3) Restriction on the use of land
- (C) Easement to drain water 2.5 wide



Driveway gradient
AS2890.1-2004 Scale1:100

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						* DRAWING STATUS *		NORTHERN BEACHES		YOUR REFERENCE:		LOGICO HOMES	
						UNLESS THERE IS AN APPROVED SIGNATURE IN THE BOX PROVIDED THIS PLAN IS NOT VERIFIED AND IS NOT FOR CONSTRUCTION.		DATE OF SURVEY		PROJECT		DRAWING NO	
						* CAUTION *		14.10.20		LOT 22 BUBALO STREET, WARRIEWOOD		201454/001	
						THE INFORMATION SHOWN ON THIS PLAN MAY BE INSUFFICIENT FOR SOME TYPES OF DETAILED DESIGN. RGM PROPERTY SURVEYS SHOULD BE CONSULTED AS TO THE SUITABILITY OF THE INFORMATION SHOWN HEREIN PRIOR TO THE COMMENCEMENT OF ANY WORKS.		AHD		DRAWING		SHEET 1 OF 1	
								HUY THAI		PLAN SHOWING LEVELS & DETAIL OVER LOT 22 IN DP 271139		JOB NAME	
								REGISTERED SURVEYOR				BUBALO	
												REV	
												A	

Site plan
Scale1:200

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Site classification: 'H' class (TBC)

LGA: Northern Beaches

Lodgement: DA

Lot No: 22 DP No: 271139

Design: Custom

Facade: Custom

Finishes: Logico

Site address: Lot 22 No.4
Bubalo Street
Warriewood

Client names: H. Castro

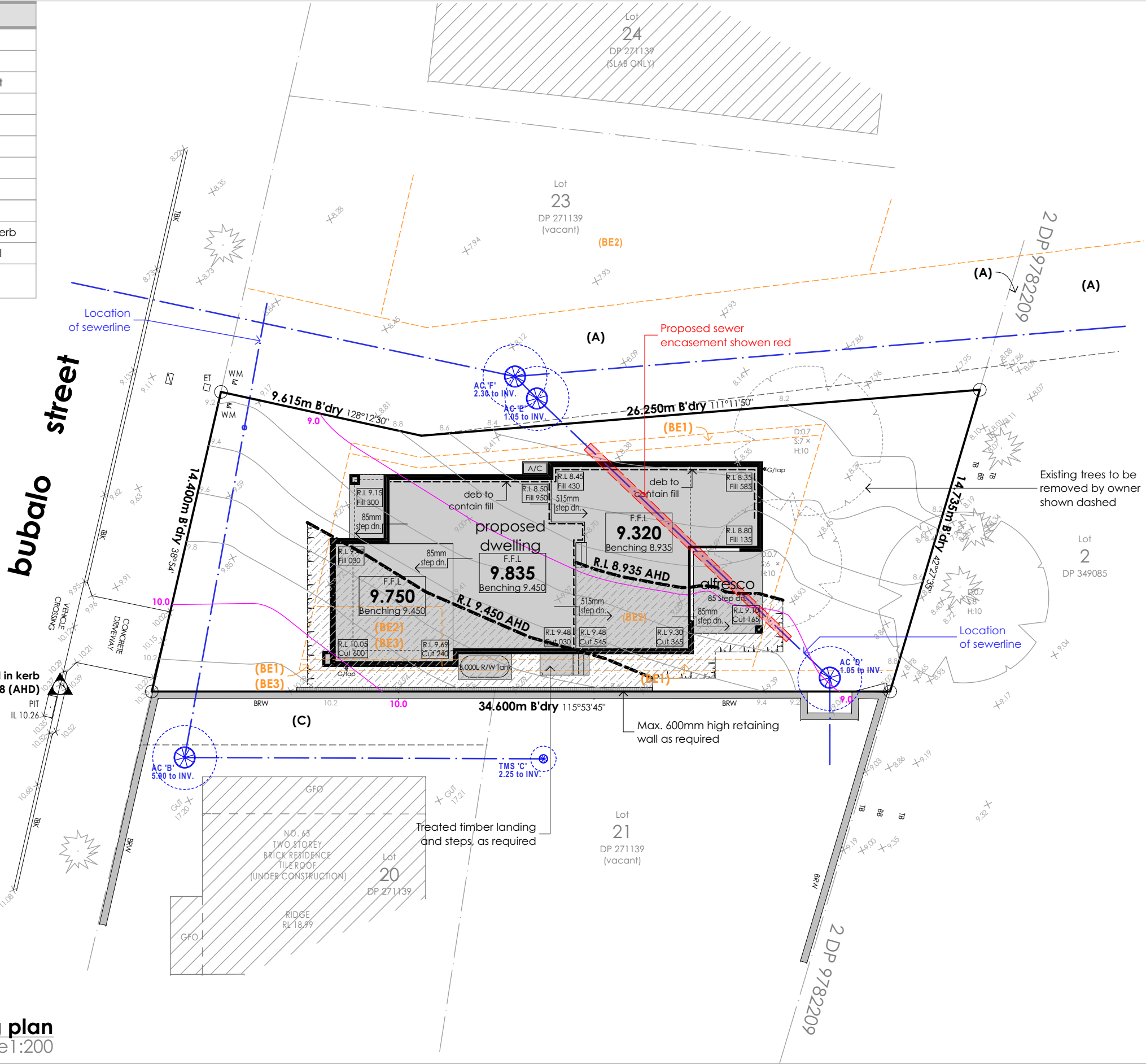
Job No: 20.040

DWG No: 02

Version No: DA_3

Date: 2/06/2021

Legend	
WM	Water meter
△	Benchmark
□	Communication pit
ET	Electrical turret
LP	Light pole
SV	Stop valve
SMH	Sewer manhole
TB	Top of bank
BB	Bottom of bank
TBK	Top conc. barrier kerb
BRW	Block retaining wall
Shrub	Shrub



Earthworks	
Upper House	FFL: 9.835 Benching: 9.450
Lower House	FFL: 9.320 Benching: 8.935
Garage:	FFL: 9.750 Benching: 9.450
'H' class (TBC)	


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- (C) Easement to drain water 2.5 wide

Stormwater drainage to street
(subject to Hydraulic Report if required)


Excavate site approx. 600mm to form job datum R.L. 9.450 over upper level area. Datum point 385mm below finished floor level.

Excavate site approx. 545mm to form job datum R.L. 8.935 over lower level area. Datum point 385mm below finished floor level. Extent of batters and excavation to be determined on site.





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LGA:

Northern Beaches

Lodgement:


DA

Lot No:

22

DP No:

271139



Design:

Custom

Facade:

Custom

Finishes:

Logico

Site address:

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Bubalo Street
Warriewood

Client names:

H. Castro

Job No:

20.040

DWG No:

03

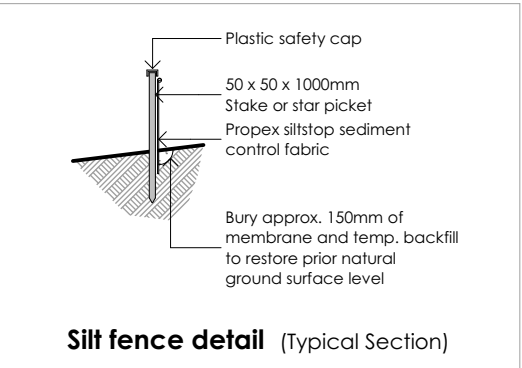
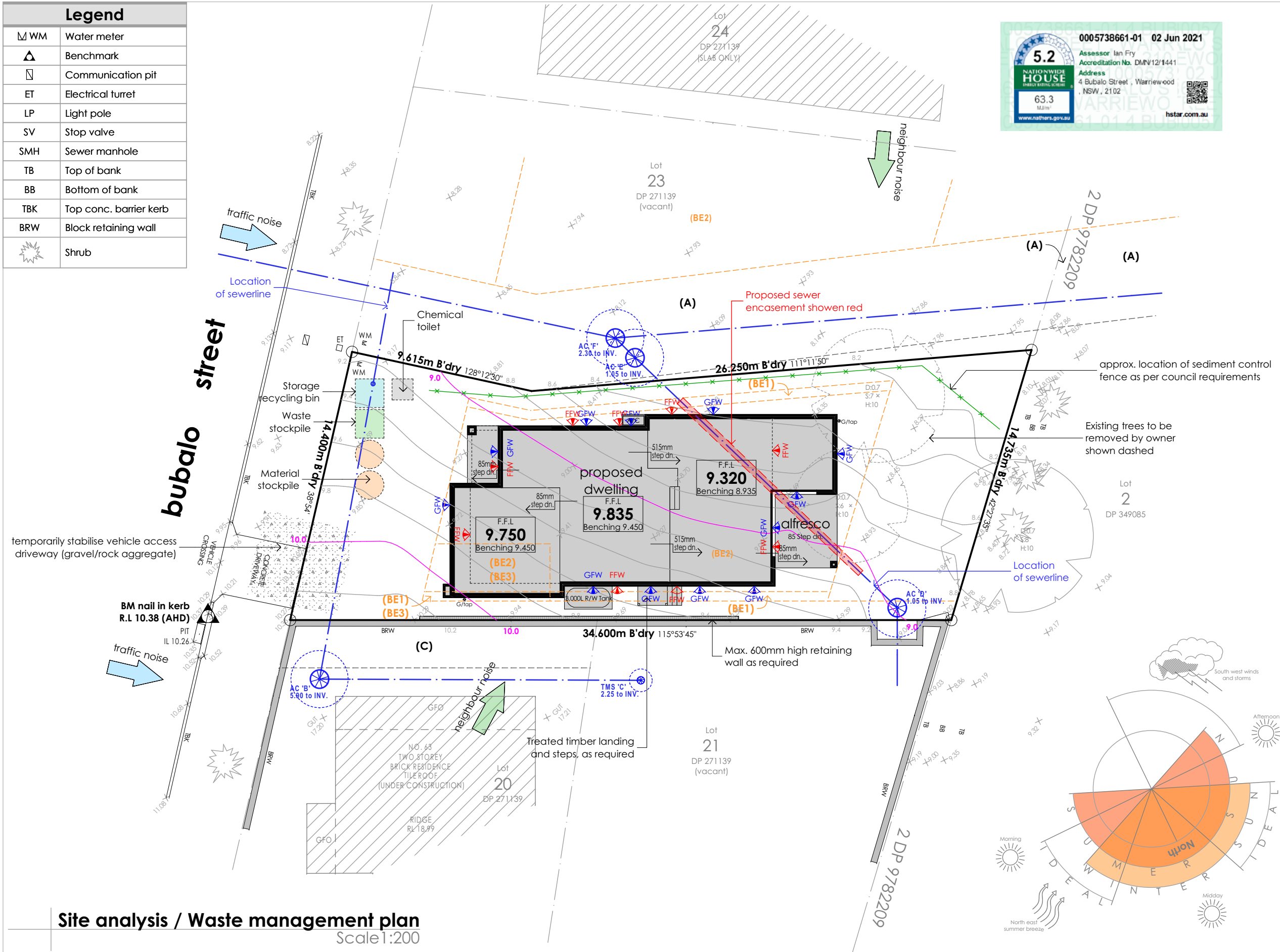
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Date:

2/06/2021

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Notes:

Dust Control measures

- If the site becomes dusty during hotter months Logico Homes will sprinkle water on the dust.
- Any area of road base will be positioned for heavy vehicles to reduce and provide an area to wash trucks (as required).

Noise and vibration measures

- All excavation will be carried out between the time setout in the council conditions.
- Machinery size will be kept to a minimum required for the job.

Earthworks	
Upper House	F.F.L: 9.835 Benching: 9.450
Lower House	F.F.L: 9.320 Benching: 8.935
Garage:	F.F.L: 9.750 Benching: 9.450
'H' class (TBC)	

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(BE1) Restriction on the use of land

(BE2) Restriction on the use of land

(BE3) Restriction on the use of land

(C) Easement to drain water 2.5 wide

Any retaining walls required to be completed by owners to manufacturers specifications.

Provide 1.80m high security fence to perimeter of site as per council requirements.

Provide temporary stabilised vehicle access driveway (gravel/rock aggregate)

Provide sediment control fence as per council requirements

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Client names:

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Job No:

20.040

DWG No:

04

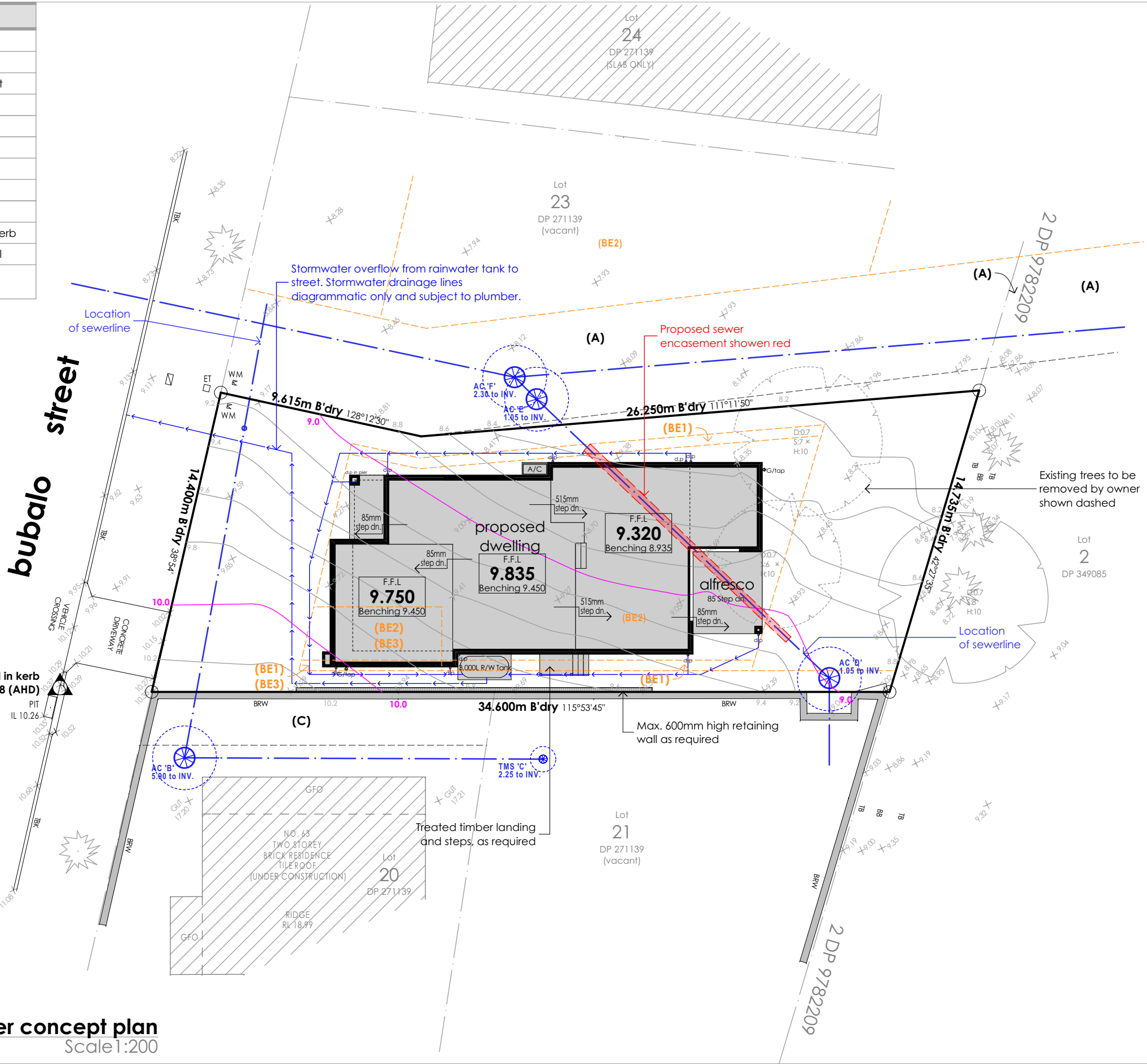
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2/06/2021

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Earthworks	
House	FFL: 9.835 Benching: 9.450
Garage:	FFL: 9.750 Benching: 9.450
'H' class (TBC)	
Stormwater drainage to street (subject to Hydraulic Report if required)	
Stormwater lines	
Stormwater design is subject to Hydraulic Report if required	

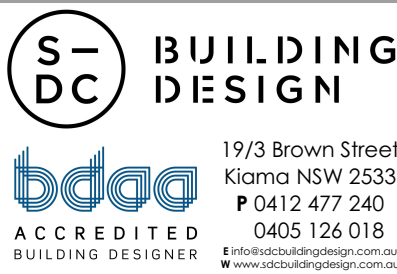
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Stormwater concept plan
Scale 1:200



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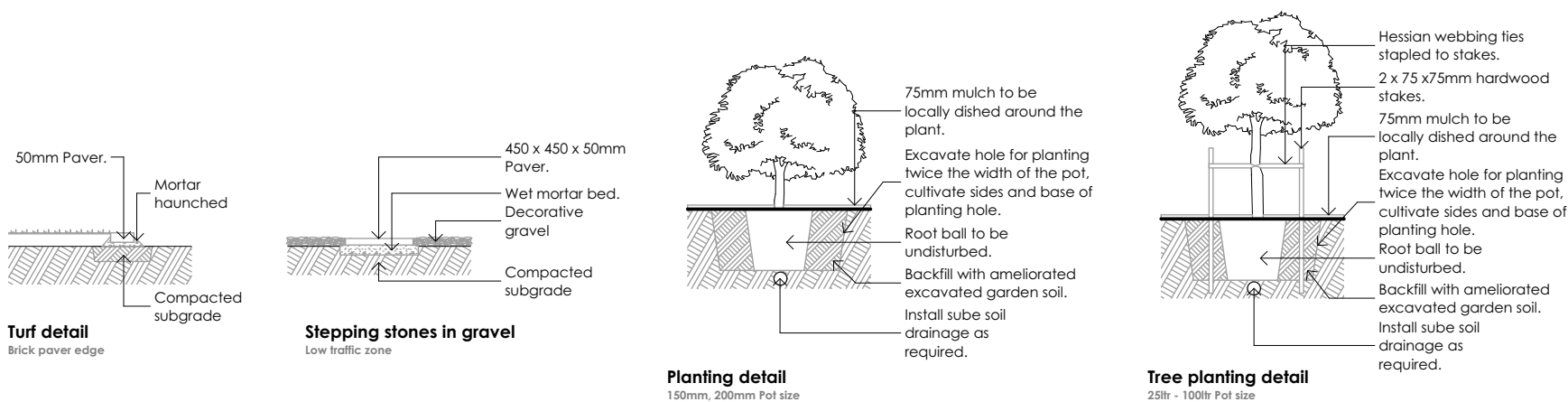
05

Version No:

DA_3

Date:

2/06/2021



Basix Certificate No. 11819575
Landscape commitments
 - Landscape area = 235m²
 - Rainwater tank size = 3,000L
 - Rainwater tank to service = garden taps, wc and laundry
 - Min. roof area to tank = 80% of roof

Plant list				
Symbol	Type	Botanic Name	Common Name	Pot size
	Small/Medium trees	Tristanopsis laurina 'Luscious' Magnolia grandiflora 'Little Gem' Waterhousea floribunda Eucalyptus haemastoma	Water Gum Bull Magnolia Weeping Lilly Pilly Scribbly Gum	45ltr
	Medium Shrubs	Baeckea linifolia Banksia spinulosa Eriostemon myoporoides Telopea speciosissima	Swamp Baeckea Swamp Banksia Hairpin Banksia NSW Waratah	200mm
	Small Shrubs	Correa alba Crowea exalata Escallonia 'Dwarf' Thryptomene saxicola	White Correa Wax Flower Dwarf Pink Escallonia Long-leaf Waxflower	150mm
	Small Grasses	Danthonia sp Dianella caerulea Isoplepis nodosa	Wallaby Grass Blue Flax Lily Knobby Club Rush	150mm
	Large tree	Angophora costata Angophora floribunda Eucalyptus robusta Ficus rubiginosa	Corymbia maculata Rough Barked Apple Swamp Mahogany Rusty Fig	45ltr



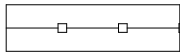
Lawn

Excavate all areas to be turfed to 100mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards the inlet pits, kerbs etc. and away from buildings. Ensure that no pooling or ponding will occur. Rip the subgrade to 150mm. Install 80mm depth of imported topsoil. Lay turf rolls closely butted. Fill any small gaps with topsoil. Water thoroughly.



Planting Areas

Ensure that mass planting areas have been excavated to 250mm below finished levels. Rip to a further depth of 100mm. Supply and install 250mm of premium garden mix. Topsoil to be either imported topsoil or stockpiled site topsoil (if suitable ie, no clay). Install 75mm depth of organic Eucalyptus Mulch.



Fencing

1.8m high Woodland Grey Lysaght Smartascreen boundary fencing

Notes:

- Any retaining walls required to front or secondary frontages which will be visible from the street are to be constructed of textured or coloured masonry, bricks, blocks or concrete including render. Timber is not permitted, relevant structural design approval from council to be obtained if required.
- Driveways stretching from the front of the garage to the front boundary are to be treated with either stencilled, coloured concrete or pavers. Plain concrete, driveway tracks, turfed or loose pebbles/gravel driveways are not permitted. Plain concrete is to be used from the front boundary to the kerb in accordance with Penrith City Council requirements and must be perpendicular to the kerb with parallel sides. Footpaths are to remain continuous along the street and are not to be interrupted by driveways.
- One tree of mature height between 4-8m must be provided in front and rear yard with one also being an Australian native species.

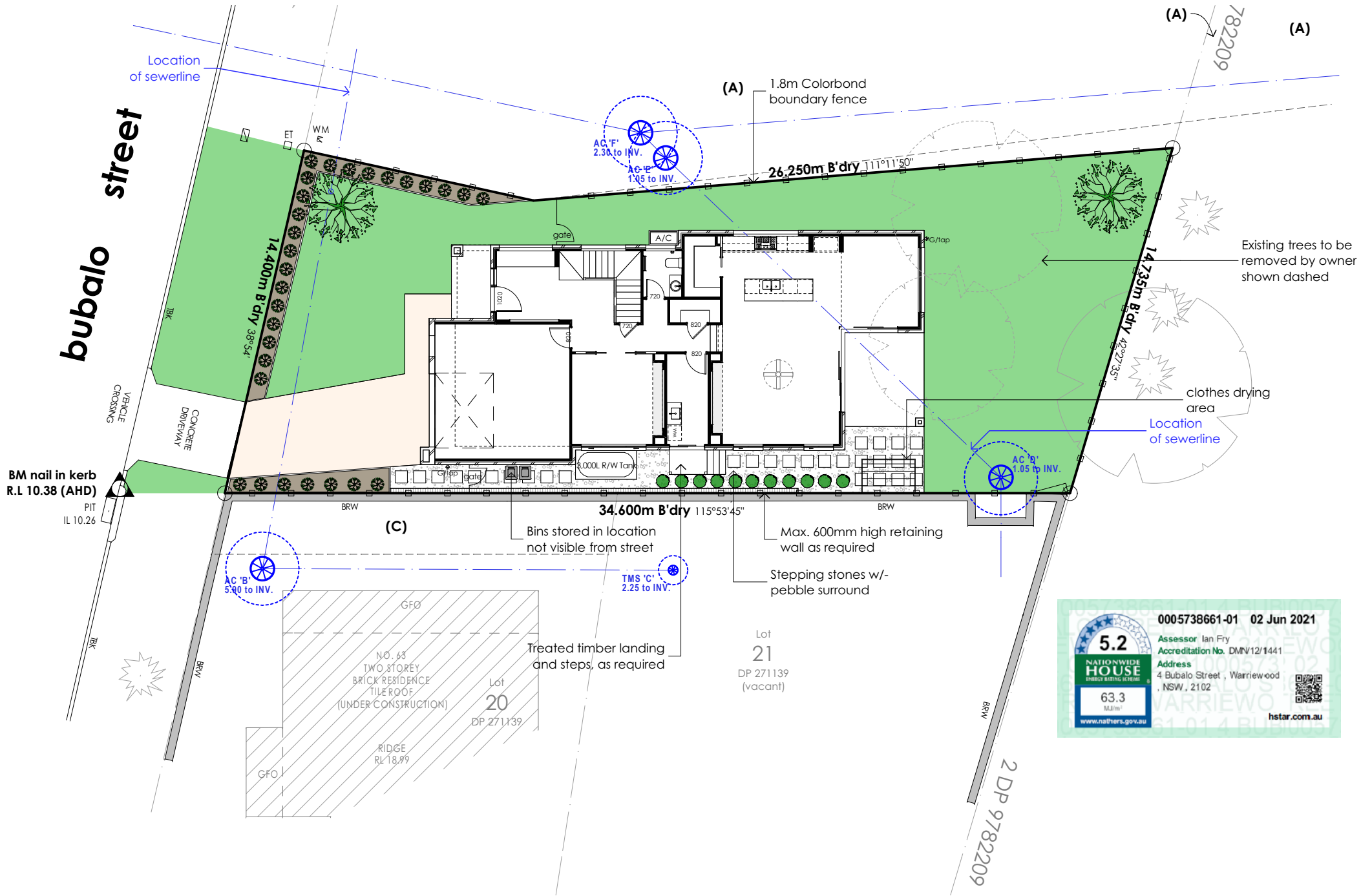
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LGA:		Northern Beaches	
Lodgement:		DA	
Lot No:	22	DP No:	271139



Design:	Custom
Facade:	Custom
Finishes:	Logico

Site address:
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Bubalo Street
Warriewood
 Client names:
H. Castro

Job No:	20.040
DWG No:	06
Version No:	DA_3
Date:	2/06/2021

5.2

NATIONWIDE
HOUSE

63.3

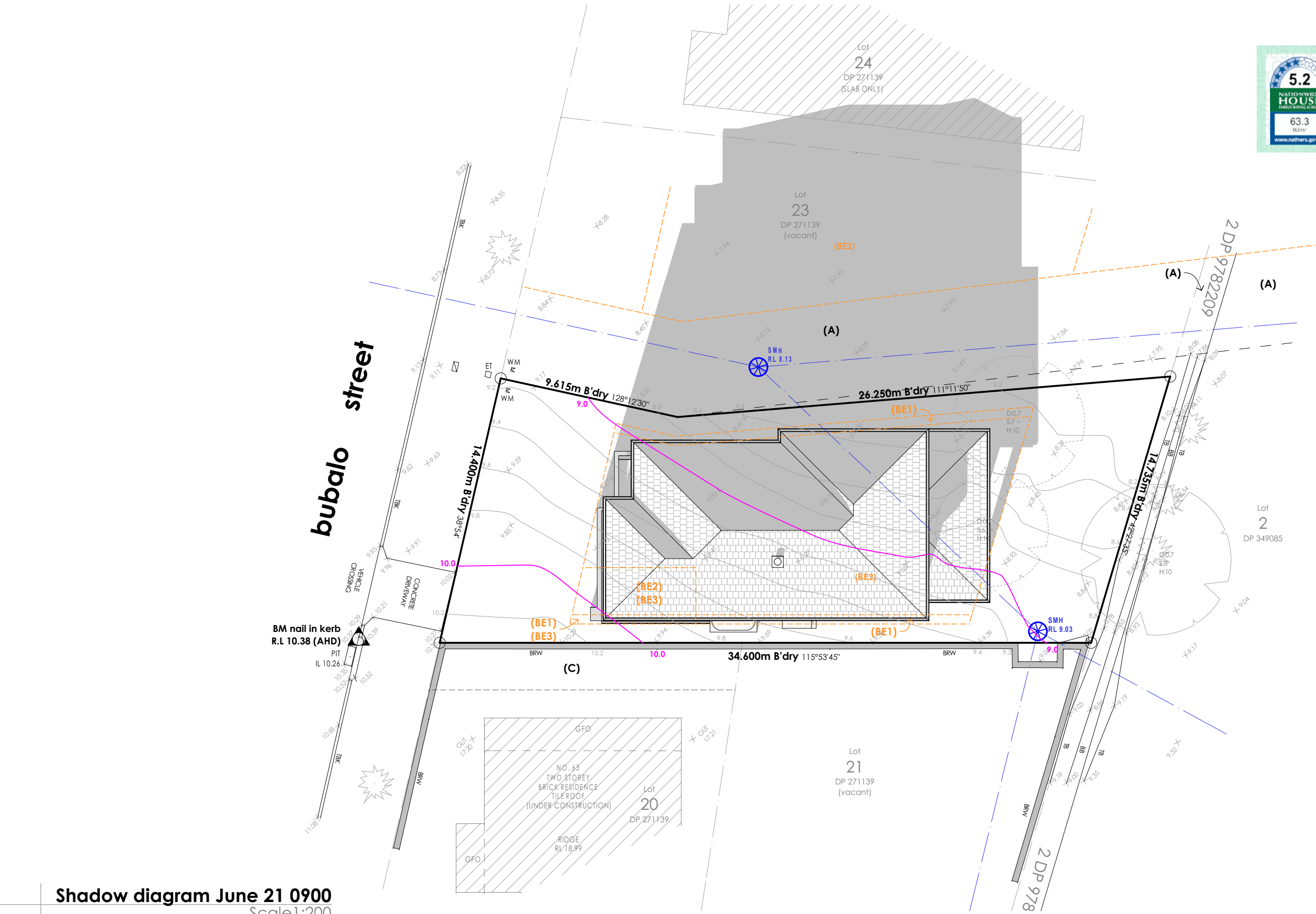
Mains

www.nathers.gov.au


0005738661-01 02 Jun 2021

Assessor: Ian Fry
Accreditation No. DMV12/1441
Address
4 Bubalo Street, Warriewood
, NSW, 2102


hstar.com.au




Shadow diagram June 21 0900
Scale 1:200



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DWG No:
07

Version No:
DA_3

Date:
2/06/2021

5.2

NATIONWIDE HOUSE

PRESTIGE LISTING SERVICE

63.3

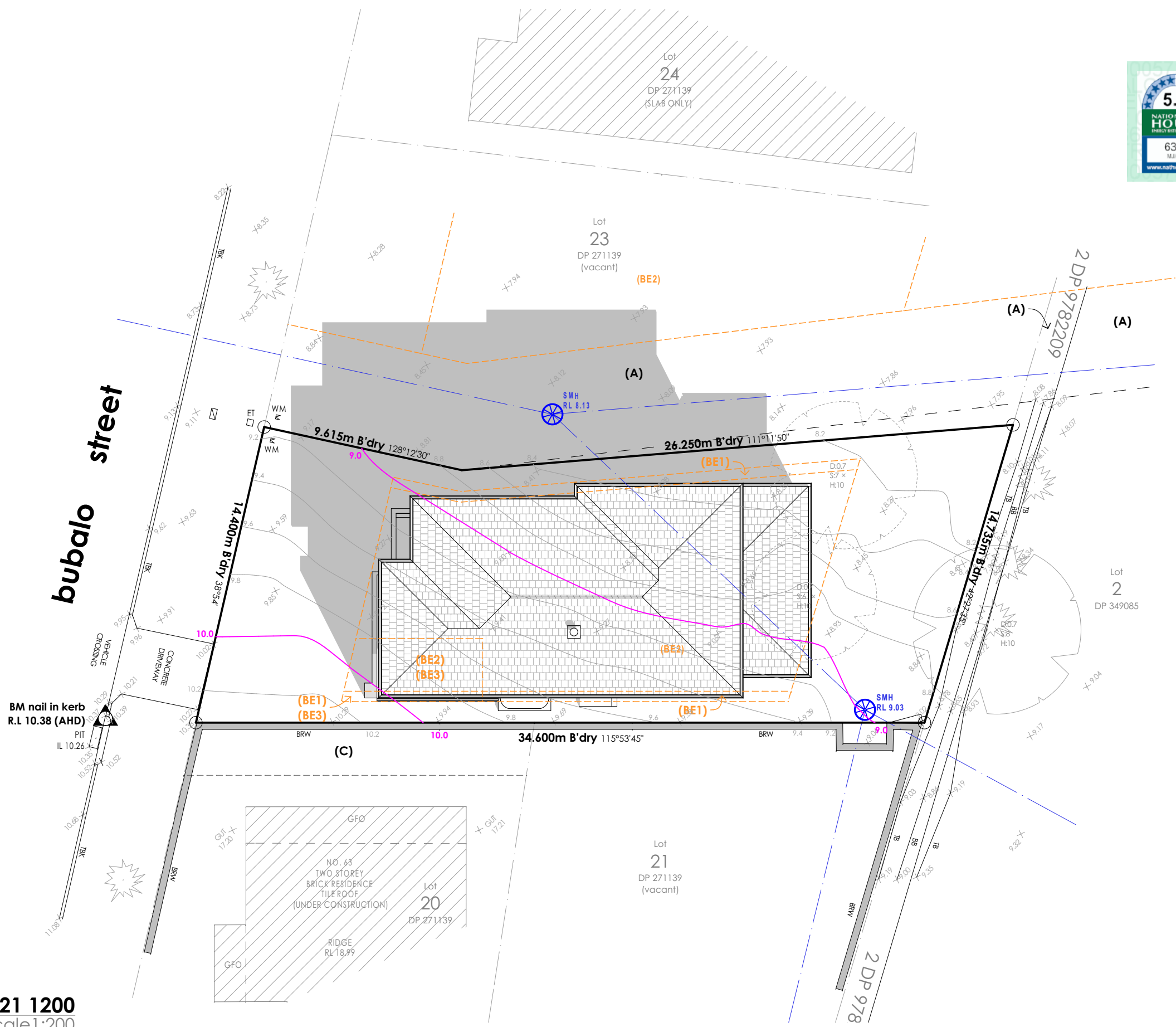
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Assessor Ian Fry
Accreditation No. DMV12/1441
Address
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NSW, 2102


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Shadow diagram June 21 1200
Scale 1:200


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Job No:	20.040
DWG No:	08
Version No:	DA_3
Date:	2/06/2021

5.2

NATIONWIDE

HOUSE

THURLEY TESTING SERVICE

63.3

Mains

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0005738661-01 02 Jun 2021

Assessor Ian Fry

Accreditation No. DMN/12/1441

Address

4 Bubalo Street, Warriewood

NSW, 2102

hstar.com.au

Shadow diagram June 21 1500
Scale 1:200

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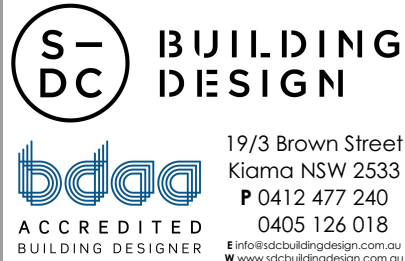
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Ground floor plan
Scale 1:100



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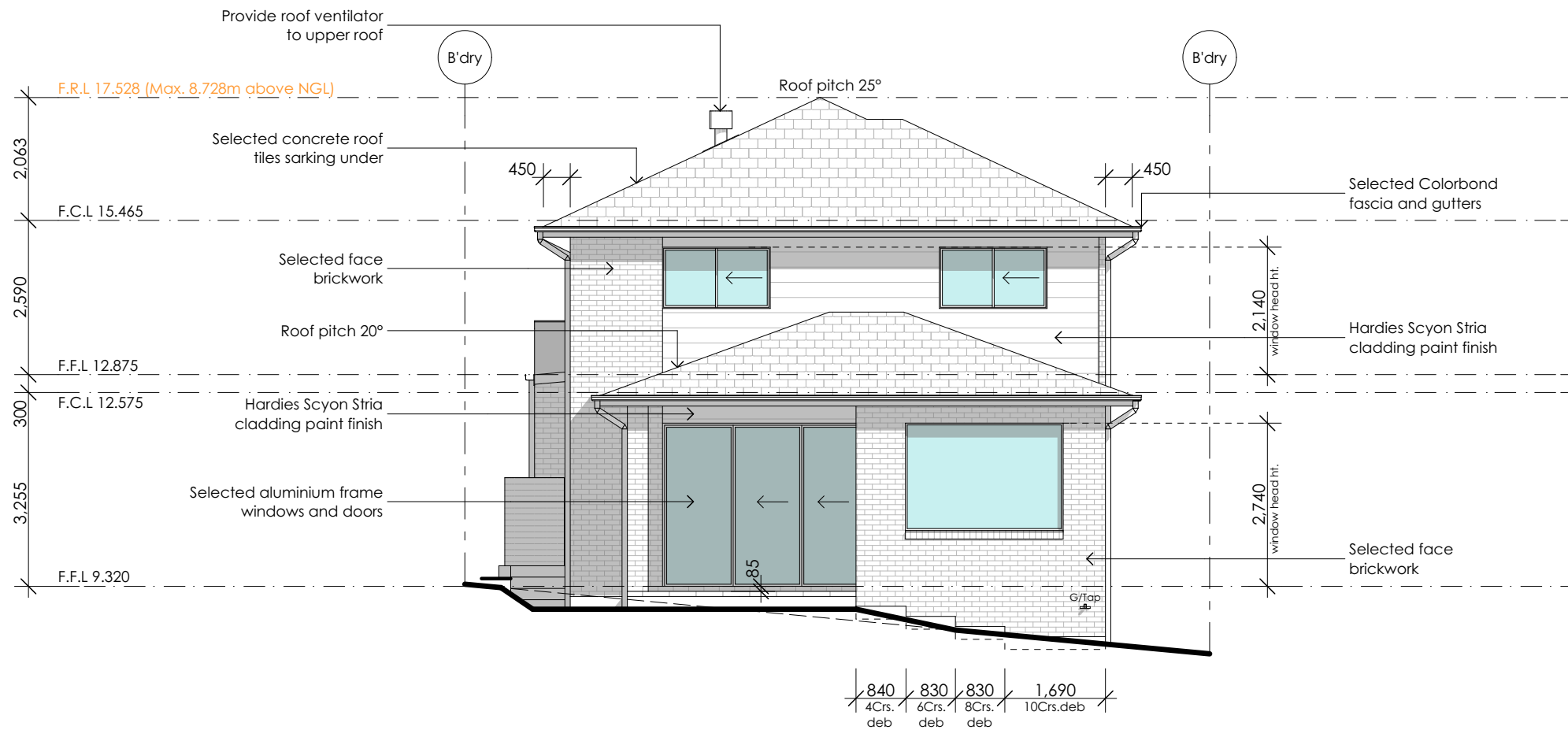
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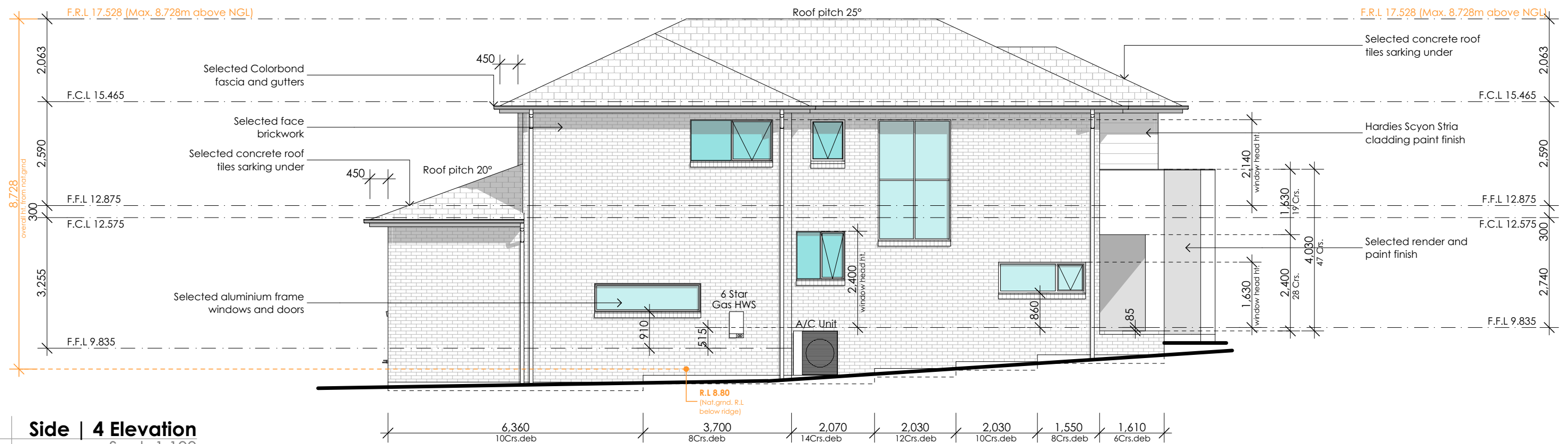
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Rear | 3 Elevation
Scale 1:100



Side | 4 Elevation
Scale 1:100



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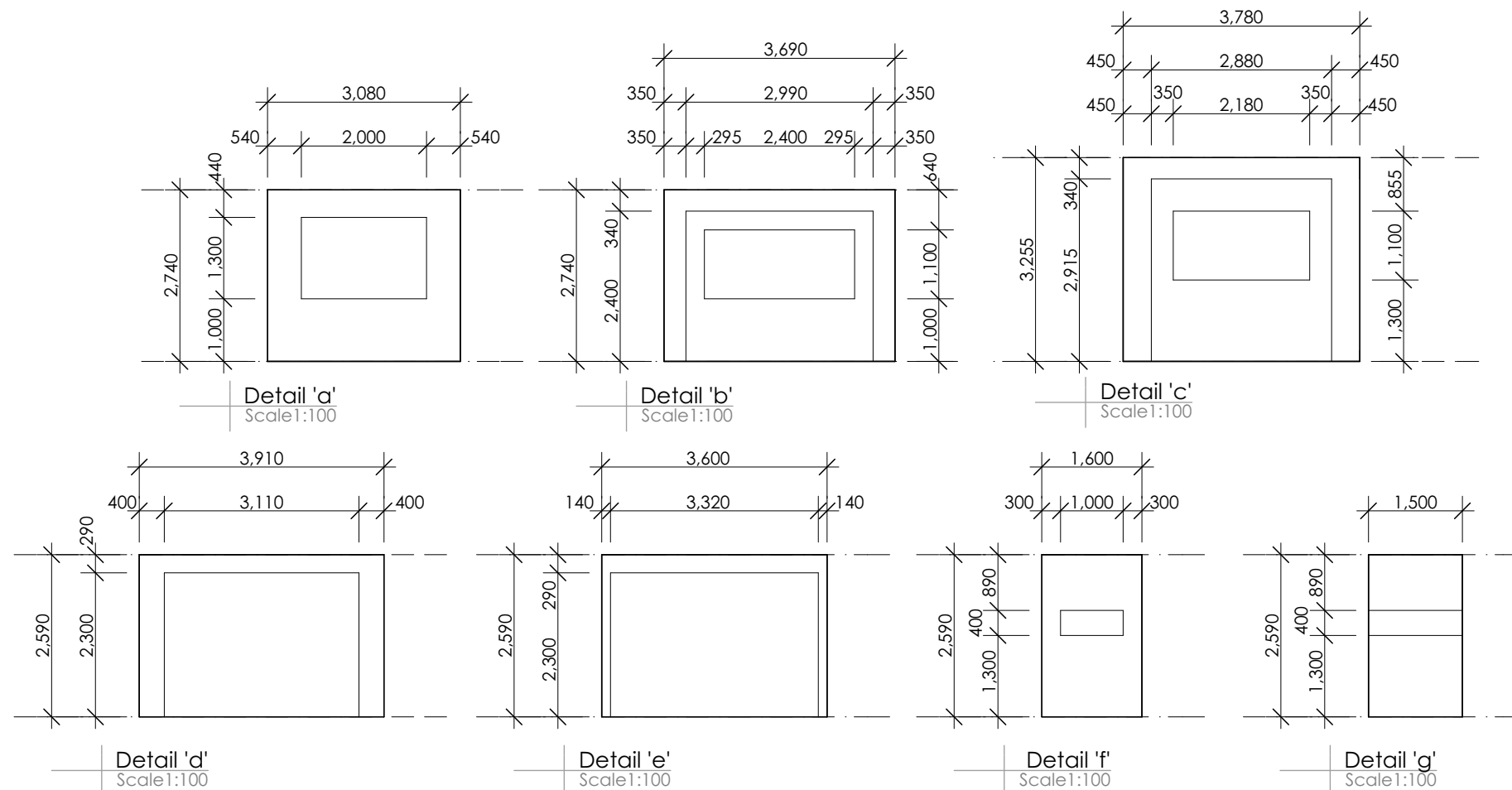
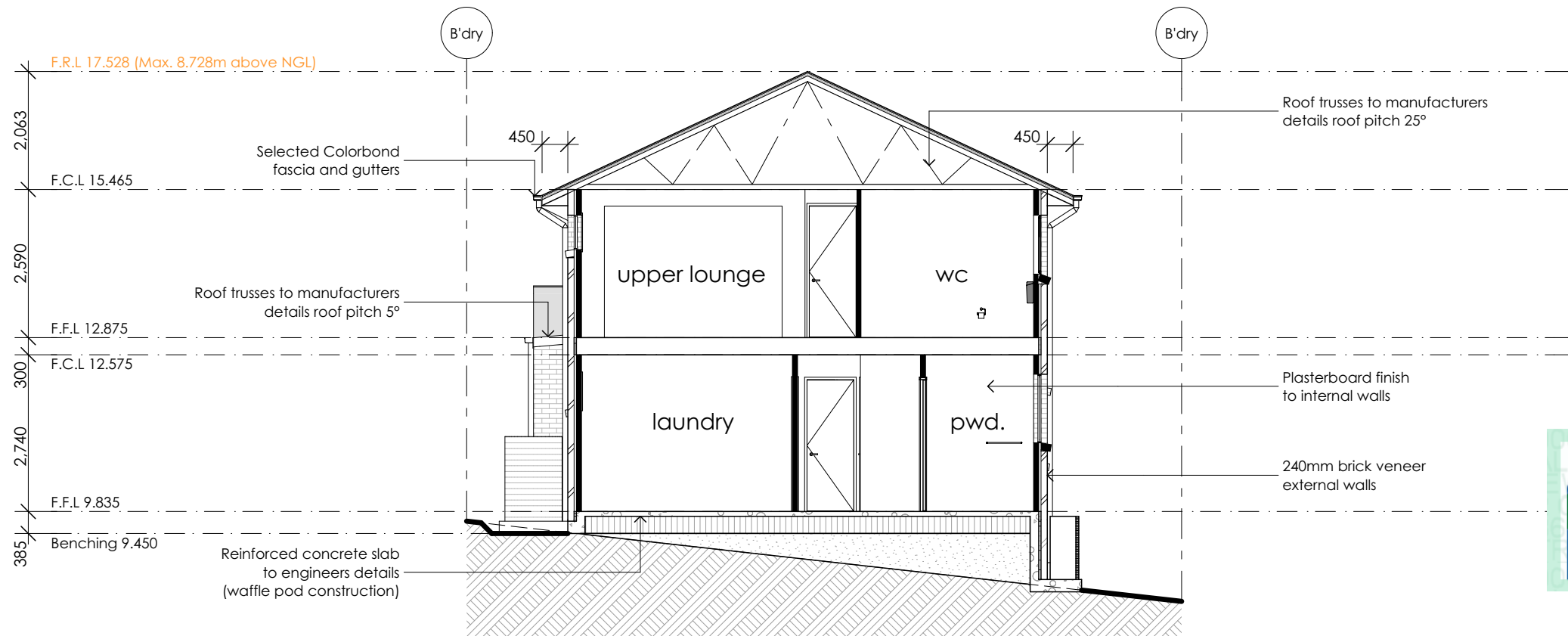


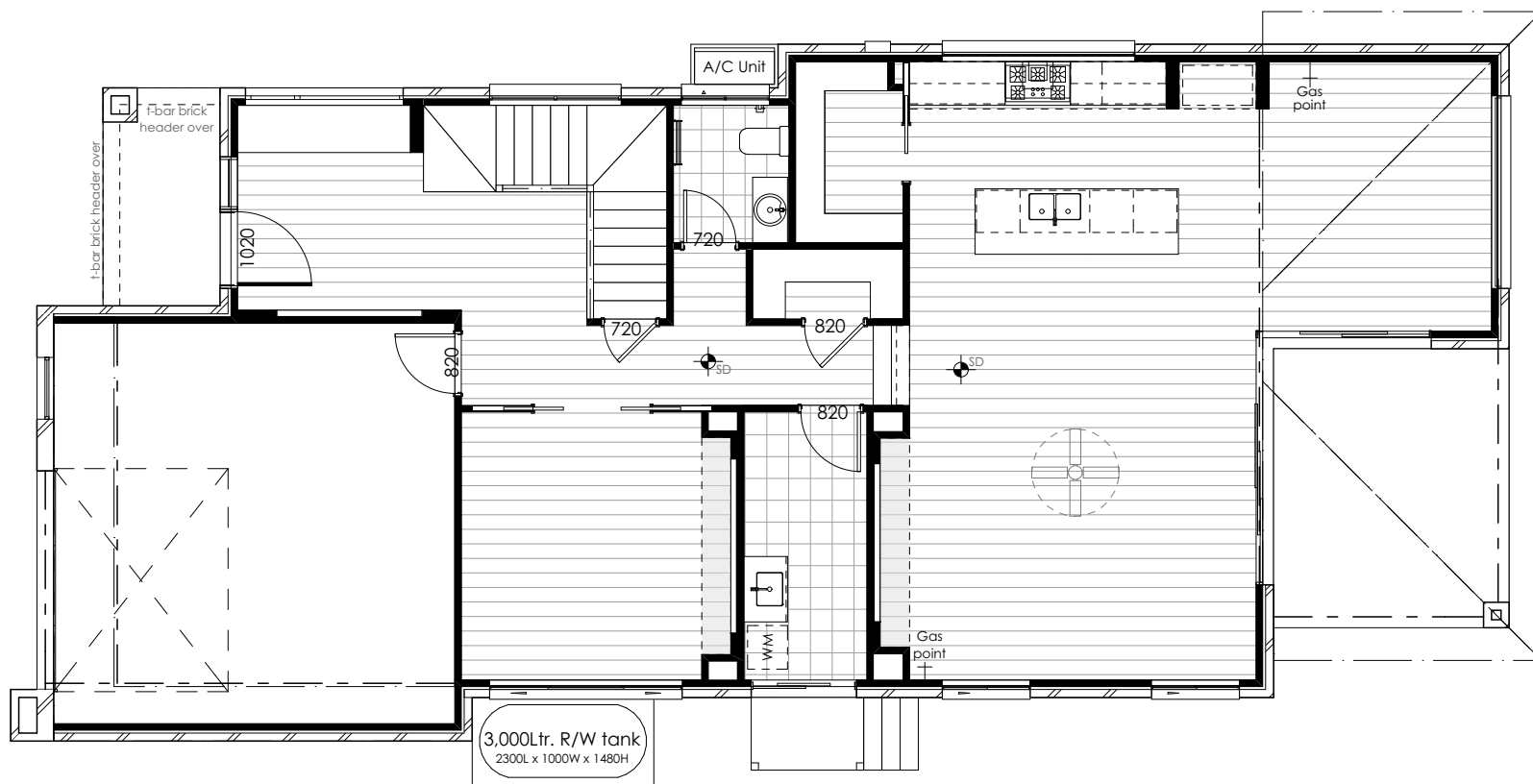
Design:	Custom
Facade:	Custom
Finishes:	Logico

Site address:	Lot 22 No.4 Bubalo Street Warriewood
Client names:	H. Castro

Job No:	20.040
DWG No:	13
Version No:	DA_3
Date:	2/06/2021

Section A-A
Scale 1:100





Electrical plan ground floor
Scale 1:100



Electrical plan first floor
Scale 1:100

General electrical notes

All electrical points (power points, light switches etc) positioning are approximate only and are subject to confirmation by electrician and builder

Legend

Symbol	Description
	Single G.P.O
	Single waterproof G.P.O
	Double G.P.O
	Double waterproof G.P.O
	Ceiling light fitting
	LED downlight
	Flourescent light to garage
	Wall light point
	External wall light point
	Sensor to light
	Exhaust fan
	2-way Exhaust fan/light/heat
	4-way Exhaust fan/light/heat
	Ceiling fan
	Ceiling fan/light
	Smoke detector
	T.V Point
	Gas point
	Light switch
	2 way light switch
	Telephone point
	Data point



General notes:
 1. Do not scale from drawing
 2. All dimensions to be checked on site
 3. Any discrepancies to be report to designer
 4. Boundaries to be verified by surveyor
 5. Other consultants drawings take precedence
 6. Drainage to council requirements and AS3500
 7. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C

Site classification:	'H' class (TBC)	
LGA:	Northern Beaches	
Lodgement:	DA	
Lot No:	22	DP No: 271139



Design:	Custom
Facade:	Custom
Finishes:	Logico

Site address:
**Lot 22 No.4
 Bubalo Street
 Warriewood**
 Client names:
H. Castro

Job No:
20.040
 DWG No:
15
 Version No:
DA_3
 Date:
2/06/2021



Window / Door Schedule						
Window No.	Type	Window Size		Plan View	Elev. View	Glazing
		Height	Width			
W1	AA0822	770	2,170			as per NatHERS Certificate
W2	AF3018	3,000	1,810			as per NatHERS Certificate
W3	AA1212	1,200	1,210			as per NatHERS Certificate
W4	AF0726	700	2,650			as per NatHERS Certificate
W5	AF1826	1,800	2,650			as per NatHERS Certificate
W6	AS2112T	2,060	1,210			as per NatHERS Certificate
W7	AS2112T	2,060	1,210			as per NatHERS Certificate
W8	AS0626	600	2,650			as per NatHERS Certificate
W9	AF2409	2,400	850			as per NatHERS Certificate
W10	AA0836	860	3,600			as per NatHERS Certificate
W11	AA0818	860	1,810			as per NatHERS Certificate
W12	AA1009	1,030	850			as per NatHERS Certificate
W13	AA1020	1,030	2,050			as per NatHERS Certificate
W14	AS1018	1,030	1,810			as per NatHERS Certificate
W15	AS1018	1,030	1,810			as per NatHERS Certificate
W16	AS1018	1,030	1,810			as per NatHERS Certificate
W17	AS0626	600	2,650			as per NatHERS Certificate
WD1	SXD2424	2,740	2,410			as per NatHERS Certificate
WD2	ASSD2435	2,740	3,490			as per NatHERS Certificate
WD3	SXD2415	2,400	1,450			as per NatHERS Certificate

Door Schedule							
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Others
		Height	Width				
D1	Selected entry door	2,340	1,020			Single clear	
D2	820 hung door	2,340	820				
D3	2 x 820 CSD	2,340	1,640			trans. lam.	
D4	720 hung door	2,340	720				
D5	720 hung door	2,340	720				Lift-off hinges
D6	820 CSD	2,340	820				
D7	820 hung door	2,340	820				
D8	820 hung door	2,340	820				
D9	820 hung door	2,340	820				Lift-off hinges
D10	820 hung door	2,340	820				
D11	820 hung door	2,340	820				Lift-off hinges
D12	820 hung door	2,340	820				Lift-off hinges
D13	2 x 620 hung doors	2,340	1,240				
D14	820 hung door	2,340	820				
D15	2 x 720 hung doors	2,340	1,440				
D16	2 x 720 hung doors	2,340	1,440				
D17	820 hung door	2,340	820				
D18	820 hung door	2,340	820				
D19	2 x 820 hung doors	2,340	1,640				

Safety design sheet / Risk management report

1. Falls, slips and trips

(a) Working at heights
During Construction
Where possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a two metres is a possibility.

During operation or maintenance
For houses or other low-rise buildings where scaffolding is appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.
For buildings where scaffold, ladders, trestles are not appropriate:
Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipments (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

Floor Finishes
If the designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

Steps, Loose Objects and Uneven Surfaces
Due to design restrictions for this building, steps and/ objects or otherwise occupied. Steps should be clearly marked with or ramps are included in the building which maybe a hazard to workers carrying both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.
Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Constructors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. Falling Objects

Loose Materials or Small Objects
Constuction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more measures should be taken to avoid objects falling from the area of the following where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Person Protective Equipment (PPE)

Building Components
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injury persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects.
Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. Traffic Management
For building on a major road, narrow road or steeply sloping road:
Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building where on-site loading/unloading is restricted:
Construction of this building will require loading and unloading of congestion of loading areas and trained traffic management personnel should be used to supervisee loading/unloading areas.
For all buildings:
Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. Services
General
Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig). appropriate excavation practice should be used and, where necessary, specialist contractors should be used.
Locations with underground power:
Underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.
Location with overhead power lines.
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be , where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. Manual Tasks

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.
Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment (PPE) should be used in accordance with manufacturer's specification.

6. Hazardous Substances
Asbestos
For alterations to a building constructed prior to 1990:
If this existing building was constructed prior to:
1990 - it therefore may contain asbestos
1986 - it therefore is likely to contain asbestos
Either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

Powdered Materials
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

Treated Timber
The design of this building may include provision for the inclusion of treated timber with the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment (PPE) including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

Volatile Organic Compounds
Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment (PPE) may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

Synthetic Mineral Fibre
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which maybe harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment (PPE) including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

Timber Floors
This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. Confined Spaces

Excavation
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

Enclosed spaces
For buildings with enclosed spaces where maintenance or other access may be required:
Enclosed spaces within this building may present a risk to perons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment (PPE) should be provided.

Small Spaces
For buildings with small spaces where maintenance or other access may be required:
Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.


8. Public Access
Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. Operational Use of Building
Residential Buildings
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10. Other High Risk Activity
All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

The Safety design sheet must be read and understood by all involved in this project. This includes (but is not excluded to) Owner, Builder, Sub-Contractors, Consultants, Renovators, Operators, Maintenance and Demolishers.





Logico homes
Live to smile

S-DC

BUILDING DESIGN

bdaa

ACCREDITED BUILDING DESIGNER

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www.sdcbuildingdesign.com.au

General notes:
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Site classification:
'H' class (TBC)

LGA:
Northern Beaches

Lodgement:
DA

Lot No:
22

DP No:
271139



Design:
Custom

Facade:
Custom

Finishes:
Logico

Site address:
Lot 22 No.4
Bubalo Street
Warriewood

Client names:
H. Castro

Job No:
20.040

DWG No:
17

Version No:
DA_3

Date:
2/06/2021

Specification

This building is designated to be a Class 1A building. All work is to comply with the relevant BCA codes included here and not excluding other relevant codes.

Preliminaries:
Materials shall be new and of their best kinds and be installed and conform to current Standards Association of Australia Specifications.
All work shall be performed in a good workmanship manner.
Take every care to protect the existing proprietors and adjoining neighbours property from damage. Damage shall be rectified at the builder's expense.
Remove rubbish regularly from the site to an approved waste disposal site to council's requirements.
Sand shall be clean and sharp.
Cement shall be Portland normal type A delivered in sealed branded bags stored clear of the ground.
Water shall be drinkable.

Site to be fenced during construction. (See site works plan attached)
Appropriate site management with the installation of sediment control devices to control runoff to be implemented during construction. (See drwg)

Excavation:
Excavate for footings to give safe bearing capacity of 200 kpa on natural nonreactive sub-soil unless specified by Engineers Drawings
On completion all excavation shall be filled and well rammed. UNO

Demolition:
Demolition plan and notes dashed in orange. Existing House to be demolished

Concrete:
Concrete shall be 25 mpa at 28 days with 80 mm slump and nominal aggregate 20 mm. UNO by Engineers Drawings
Concrete shall be 4-2-1 aggregate, sand, cement and sufficient water.
After pouring keep damp and covered and stand minimum four days before being built upon.
Finish slab level with steel trowel where noted.

Steelwork:
External and internal steel shall be a micaceous paint finish of Dulux standard or better.
All external fittings to be SS, galvanized or brass.

Blockwork:
Materials, construction and detailing to comply with AS 3700. - 2001.
Accessories for masonry construction to comply with AS 2975.
Reinforcement to be galvanised.
Review work with other trades, piping, ducts etc before starting.
Clean base before laying masonry.
Set doors & windows plumb and brace.
Install DPC, wall ties, reinforcement, flashing to AS 3700.
Install ties to anchor masonry to structure, doors, windows etc.
Construction joints @ max. 6000mm centres.
Ensure weep holes installed where necessary.

Driveway:
See engineers details. Finish to be washed concrete with principally blue metal aggregate.

Carpentry:
Timber framing shall be strictly in accordance with the Timber Framing Code AS1684.
Timbers shall be in long lengths, straight grained, free of defects and accurately cut and fitted, well spiked or bolted securely.
Floor construction where noted to be timber frame will be in accordance with the Timber Framing Code AS1684.
Walls shall be insulated with a minimum R1.5 reflective blanket.
Stair construction shall be built in accordance with Part 3.9.1 STAIR CONSTRUCTION of the BCA.

Roof:
Roof of Colorbond, custom orb profile. Insulate with a minimum R2.5 blanket. All flashings to be of Zincalume
Floor Coverings:
Coverings shall be free of defects.
Floors shall be a combination of concrete, ceramic tile, carpet and timber.

Joinery:
PAB or MDF to kitchen, bathroom and laundry shall have high moisture resistance.

Dry Walls:
Fix villaboard and plasterboard strictly to manufacturer's specifications.
Sheet and set internal walls with 13 mm PB and ceilings with 10 mm PB UNO.
Walls / ceilings shall be square set.
Provide plastic external angles and stop beads to all corners and edges.

Windows:
All glazing to comply with AS 2208/1996 and AS 2208:1996/Amdt 1:1999
Windows to be timber framed clear glass unless otherwise notified.
Glass shall be free of defects.Windows more than 2m above ground Must be to BCA Clause 3.9.2.5
Double glazing where Basix document specifies





Termite:
Termite protection to comply with all relevant codes and standards, AS 3660/1.
Slab on ground will be used as a termite barrier in accordance with the requirements of AS2870.
Where timber decking areas are used construction will be of termite resistant timbers.

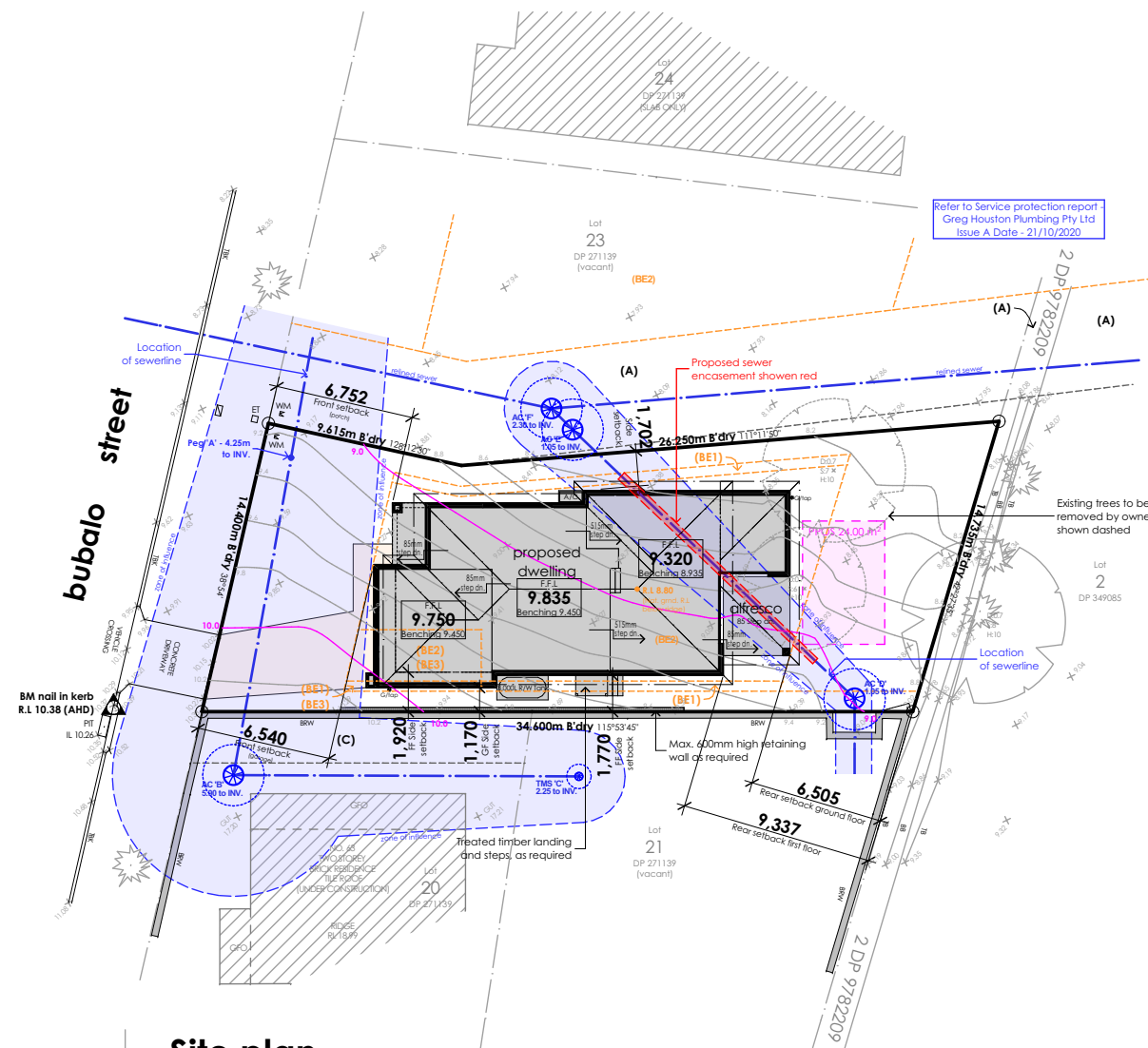
Plumbing:
Install 3 star rated water efficient shower heads, toilets, dishwashers and washing machines.
Install 4 star toilet flushing cisterns on all toilets
Install 6 star kitchen and bathroom taps
Install aerators on bathroom basins and kitchen sinks
Wet areas to bathrooms, showers, laundries, sanitary compartments and kitchens or the like shall comply with AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS
Install a gas instantaneous HWS

Drainage:
Connect all stormwater to rainwater tanks and then overflow system (see drainage plan). Guttering and downpipes shall comply with AS 3500.3.2 and gutters and flashings are to be manufactured in accordance with AS 2179.1 for metal and AS 1273 for UPVC. See drainage plan for location of tanks, downpipes and overflow/drainage.

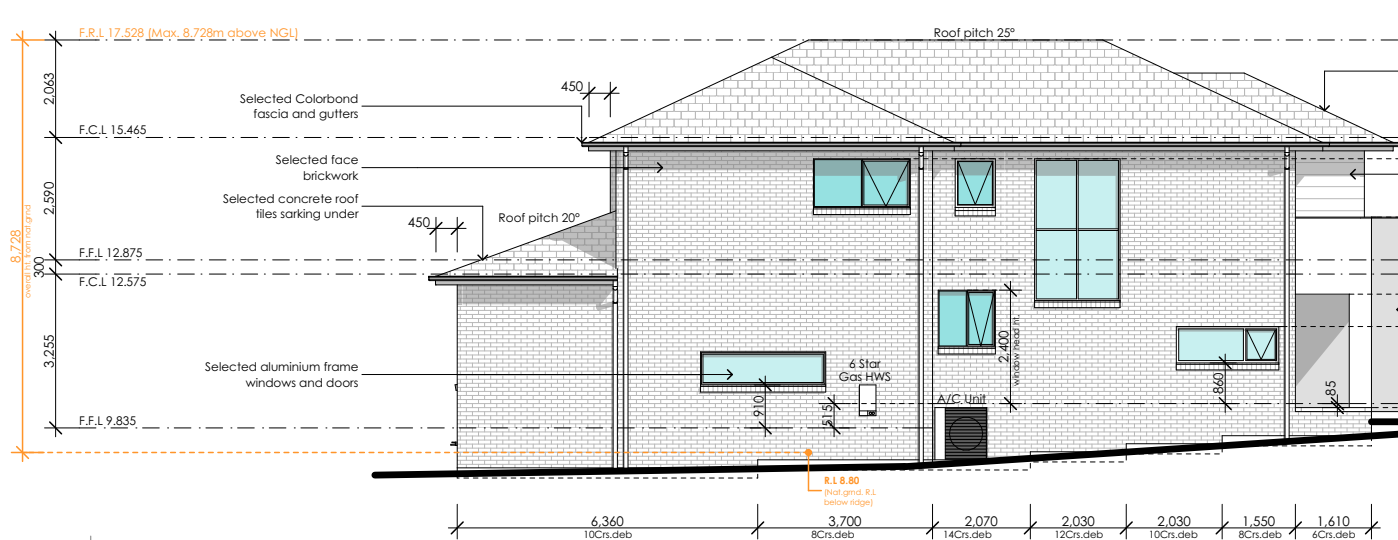
Sewer:
Connect all fixtures to existing system.
Electrical:
Work shall be carried out by a licensed electrician and in accordance with SAA WIRING RULES AS 3000 as amended.
Photovoltaic Cells located on dwelling (area shown on roof plan)
Smoke alarms shall comply with AS 3786
Install a minimum of 40% energy efficient lamps/fittings, see Basix Report
Appliances are to have a minimum 3 star rating
Painting:
For surfaces to receive paint clean down, remove all foreign matter including grease, dust and dirt, fill cracks and holes and sand smooth.
Apply paint strictly to manufacturer's specifications
Allow for surface preparation one coat minimum undercoat and two coats minimum final colour.
Balustrades:
Balustrades shall be built in accordance with PART 3.9.2 BALUSTRADE DESIGN AND HEIGHT of the BCA.



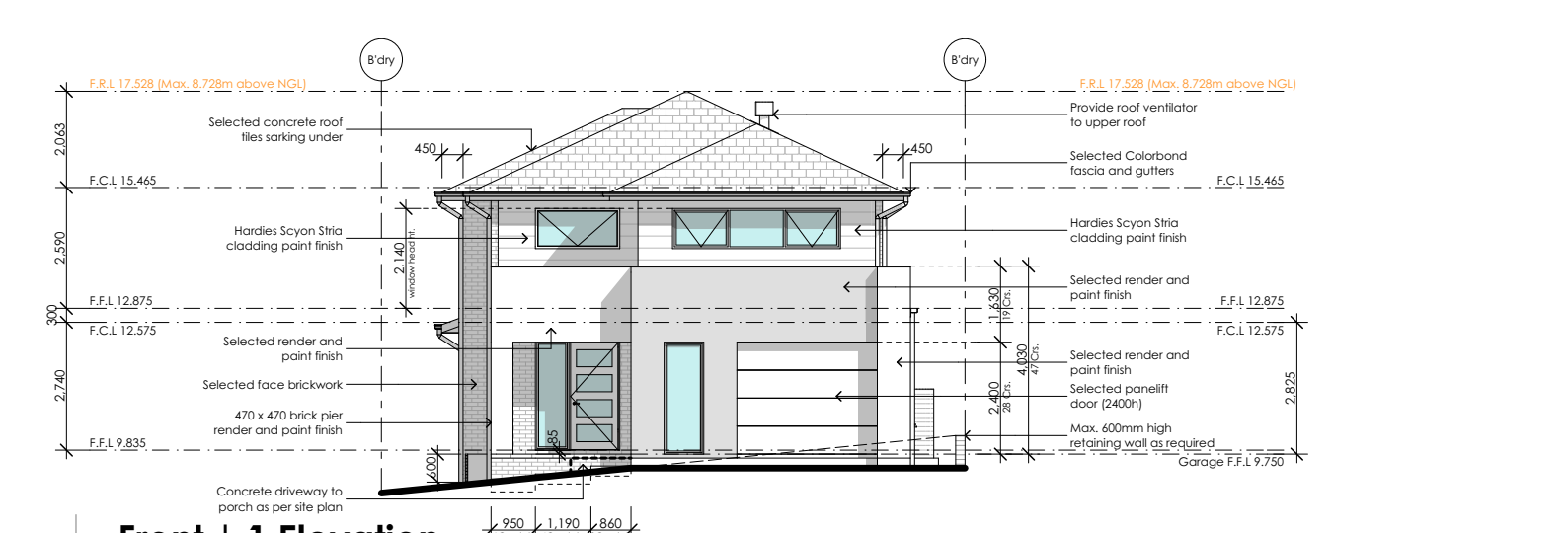
	  19/3 Brown Street Kiama NSW 2533 P 0412 477 240 0405 126 018 E info@sdcbuildingdesign.com.au W www.sdcbuildingdesign.com.au	<p>General notes:</p> <ol style="list-style-type: none">1. Do not scale from drawing2. All dimensions to be checked on site3. Any discrepancies to be report to designer4. Boundaries to be verified by surveyor5. Other consultants drawings take precedence6. Drainage to council requirements and AS35007. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C	Site classification: 'H' class (TBC)			Design: Custom		Site address: Lot 22 No.4 Bubalo Street Warriewood Client names: H. Castro	Job No: 20.040	
			LGA: Northern Beaches			Facade: Custom			DWG No: 18	
			Lodgement: DA			Finishes: Logico			Version No: DA_3	
			Lot No: 22	DP No: 271139					Date: 2/06/2021	



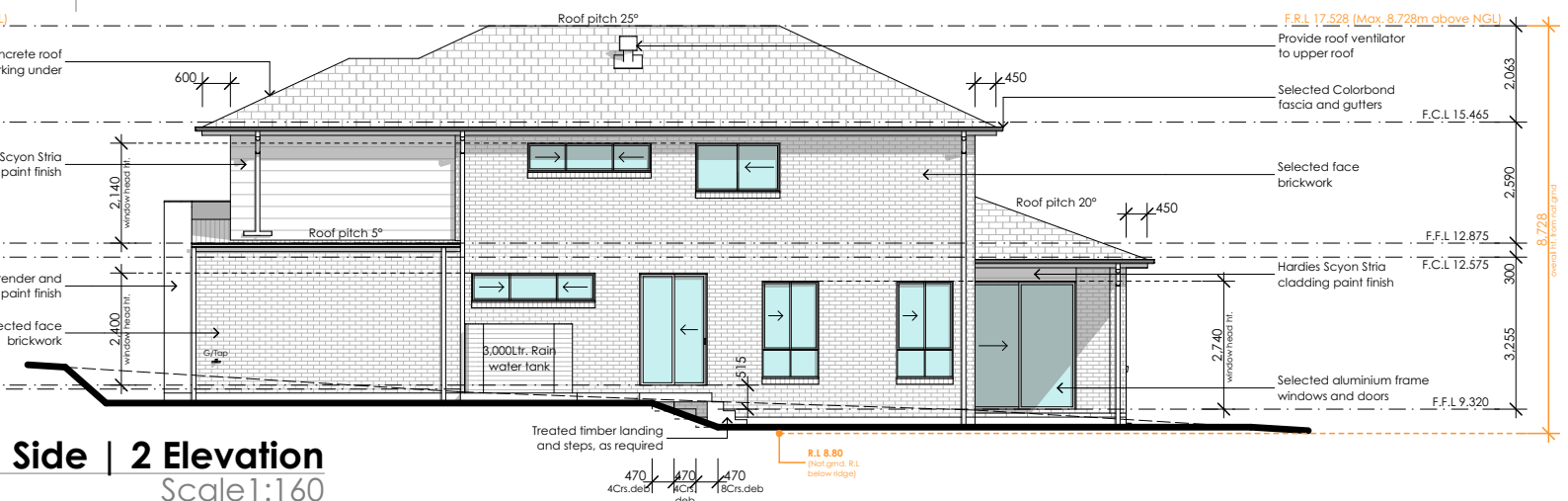
Site plan
Scale 1:350



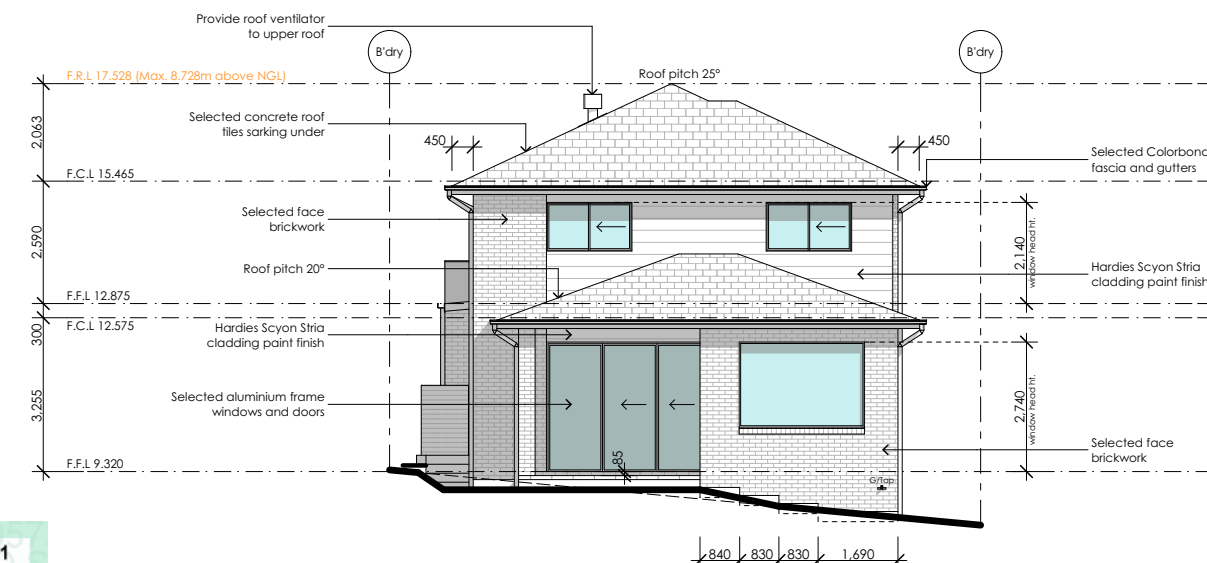
Side | 4 Elevation
Scale 1:160



Front | 1 Elevation
Scale 1:160






Side | 2 Elevation
Scale 1:160



Rear | 3 Elevation
Scale 1:160



 <p>Logico homes Live to smile</p>	 <p>SDC BUILDING DESIGN 19/3 Brown Street Kiama NSW 2533 P 0412 477 240 0405 126 018 E info@sdcbuildingdesign.com.au W www.sdcbuildingdesign.com.au</p>	<p>General notes:</p> <ol style="list-style-type: none">1. Do not scale from drawing2. All dimensions to be checked on site3. Any discrepancies to be report to designer4. Boundaries to be verified by surveyor5. Other consultants drawings take precedence6. Drainage to council requirements and AS35007. Copyright of plans and documentation remain the exclusive property of Logico Homes Pty Ltd Builders Licence No. 249513C	<p>Site classification:</p> <p>'H' class (TBC)</p> <p>LGA:</p> <p>Northern Beaches</p> <p>Lodgement:</p> <p>DA</p> <p>Lot No:</p> <p>22</p> <p>DP No:</p> <p>271139</p>		<p>Design:</p> <p>Custom</p> <p>Facade:</p> <p>Custom</p> <p>Finishes:</p> <p>Logico</p>	<p>Site address:</p> <p>Lot 22 No.4 Bubalo Street Warriewood</p> <p>Client names:</p> <p>H. Castro</p>	<p>Job No:</p> <p>20.040</p> <p>DWG No:</p> <p>19</p> <p>Version No:</p> <p>DA_3</p> <p>Date:</p> <p>2/06/2021</p>
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