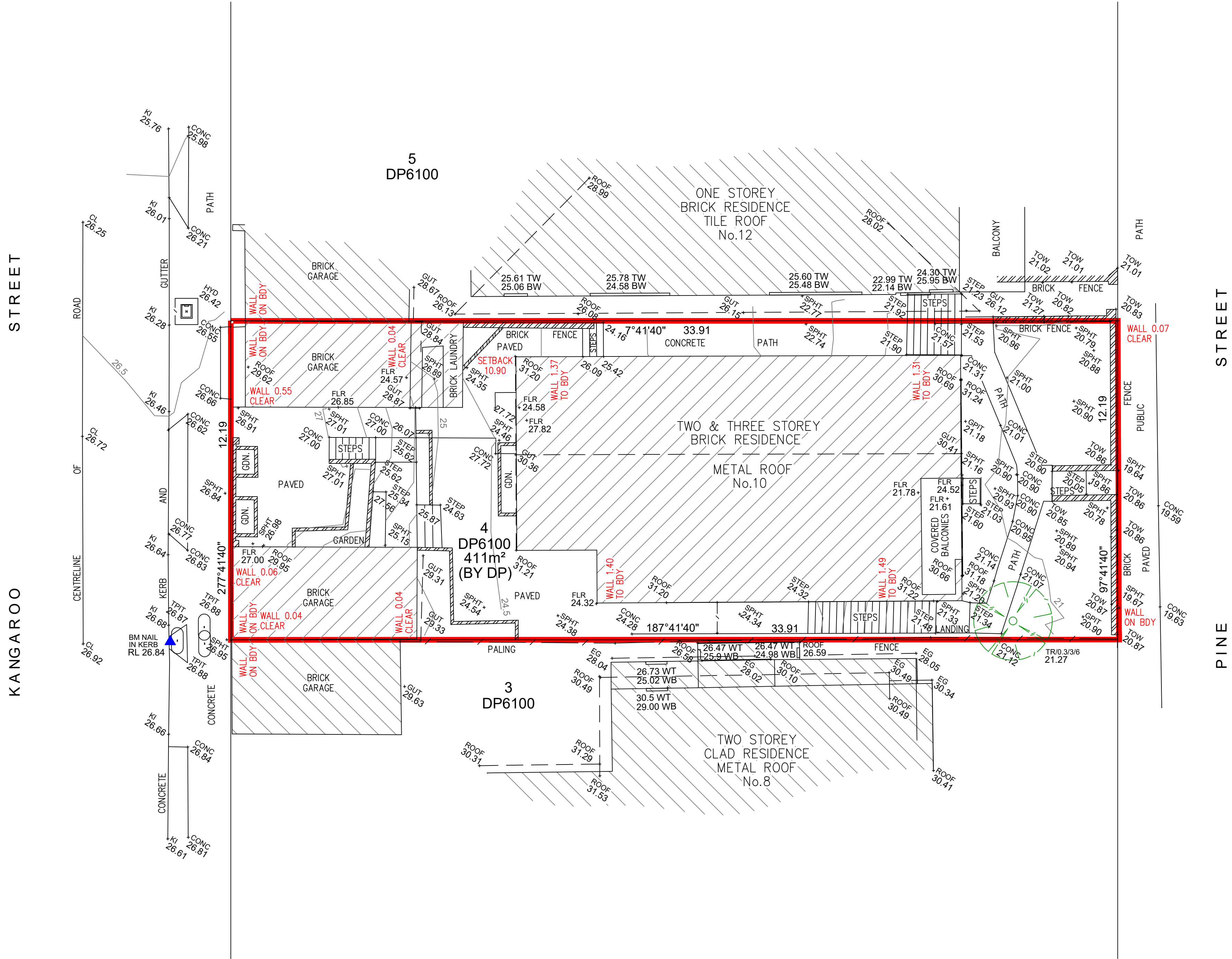


LEGEND

BALC - BALCONY LEVEL
CL - ROAD CENTER LINE LEVEL
CONC - CONCRETE SURFACE LEVEL
FL - FLOOR LEVEL
HRAIL - HAND RAIL
KI - KERB INLET LEVEL
PIT - PIT LEVEL
ROOF - ROOF LEVEL
SMH - SEWER MAN HOLE LEVEL
STEP - STEP LEVEL
SPHT - SPOT HEIGHT / NATURAL SURFACE LEVEL
WALL - WALL LEVEL
TR/0.2/6/5 - TREE (TRUNK Dia. 0.2m,
CANOPY SPREAD 6m, HEIGHT 5m)

WINDOW LEGEND

TW - TOP WINDOW
BW - BOTTOM OF WINDOW



- NOTES:
- ORIGIN OF LEVELS PM1010 RL29.732m (A.H.D.- CLASS LB, ORDER L2).
 - BEARINGS ARE ON MGA GRID NORTH. BOUNDARIES HAVE BEEN COMPILED USING DP6100, DP1035612, DP445237, DP440540 & DP551018. REFER TO NOTE REGARDING BOUNDARY POSITION.
 - ANY BUILDING, CONSTRUCTION OR FENCING WILL REQUIRE A FURTHER SURVEY TO BE UNDERTAKEN TO DETERMINE AND MARK THE BOUNDARIES. THIS PLAN IS TO BE USED FOR DETAIL PURPOSES ONLY AND BOUNDARIES SHOWN ON THIS PLAN ARE NOT TO BE USED FOR ANY BUILDING OR FENCING SET OUT.
 - RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
 - NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ONLY. DIAL BEFORE YOU DIG AND ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
 - RIDGE AND EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
 - ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.

- BOUNDARY NOTES:
- BOUNDARY POSITION AS DETERMINED BY ME AND IN PARTICULAR WITH REGARDS THE POSITION OF THE BOUNDARYS RUNNING NORTH-SOUTH (SUBJECT LOT SIDE BOUNDARIES) HAVE GIVEN WEIGHT TO THE OCCUPATIONS ALONG THE NORTHERN FRONTAGE OF KANGAROO ROAD.
 - DISCREPANCIES OF UPTO 10mm WERE FOUND WITH REFERENCE MARKS AS SHOWN ON DPs :- DP45237, DP440540 & DP551018 (CIRCA 1956) THAT ARE LOCATED TO THE SOUTH IN QUINTON ROAD. THESE PLANS HAVE COMMON BOUNDARIES WITH THE SUBJECT PLAN DP6100 (CIRCA 1910).
 - THUS WITH THE LODGEMENT OF A SUBDIVISION PLAN ON THE SUBJECT LOT OR OF A LOT IN THE VICINITY AT THE TITLES OFFICE AT SOME TIME IN THE FUTURE, THE BOUNDARIES HAVE THE POTENTIAL TO VARY TO THE RANGE OF 100mm.
 - IF DESIGNING OR BUILDING WHERE THIS MAGNITUDE OF ERROR COMES INTO PLAY THEN IT IS RECOMMENDED THAT A PLAN OF REDEFINITION IS UNDERTAKEN ON THE SUBJECT LOT THAT ONCE REGISTERED WOULD QUANTIFY A DEFINITIVE POSITION FOR THE BOUNDARY.

WALL TO BOUNDARIES AS SHOWN IN RED
(AS DETERMINED BY ME)

Andrew Korompay

ANDREW KOROMPAY ID No.SU000114
Surveyor Registered under The Surveying Act, 2002.

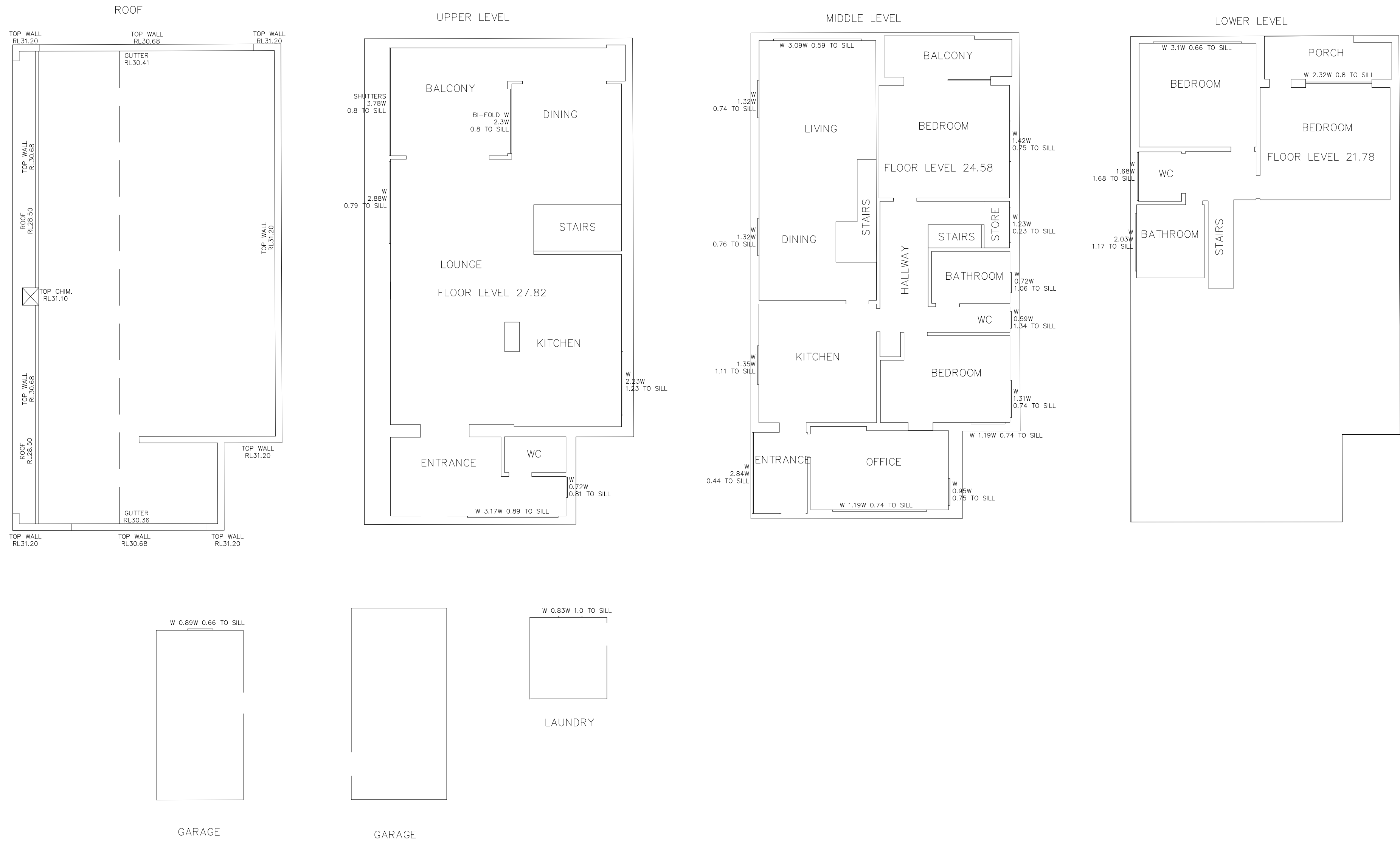
1	AK	WALL TO BDY & DISCLAIMER ADDED	04/11/20
0	AK	INITIAL ISSUE	19/08/19
REVISION	BY	REVISION DESCRIPTION	DATE

PLAN OF DETAIL OVER
No. 10 KANGAROO STREET
MANLY NSW 2095



16/9 Narabang Way
Belrose NSW 2085
mobile: 0412 423 949
phone: (02) 9453 0100
email: michael@geomat.com.au

SCALE: 1:100 @ A1 : 1:200 @ A3		DATE: 4/11/2020
CLIENT: Peter & Anna Littleboy		DATUM: AHD
1784		
DRAWN	CHECKED	APPROVED
IP	AK	AK
DRAWING No. 1784_Manly_Kangaroo_St		REVISION 1



AKorompay

ANDREW KOROMPAY ID No.114
Surveyor Registered under The Surveying Act, 2002.

				INTERNAL PLAN No. 10 KANGAROO STREET MANLY NSW 2095	 21/141 Allambie Road Allambie Heights NSW 2100 PO Box 6280 Frenchs Forest NSW 2086 mobile: 0412 423 949 phone: (02) 9453 0100 email: michael@geomat.com.au	SCALE: 1:100 @ A1 : 1:200 @ A3		DATE: 19/08/2019
						CLIENT: Peter & Anna Littleboy		DATUM: AHD
						1784		
1	JF	BUILDING PERIMETER & ROOF PLAN ADDED	24/03/20			DRAWN	CHECKED	APPROVED
0	AK	INITIAL ISSUE	19/08/19			IP	AK	AK
REVISION	BY	REVISION DESCRIPTION	DATE			DRAWING No. 1784_Manly_Kangaroo_St		REVISION 0