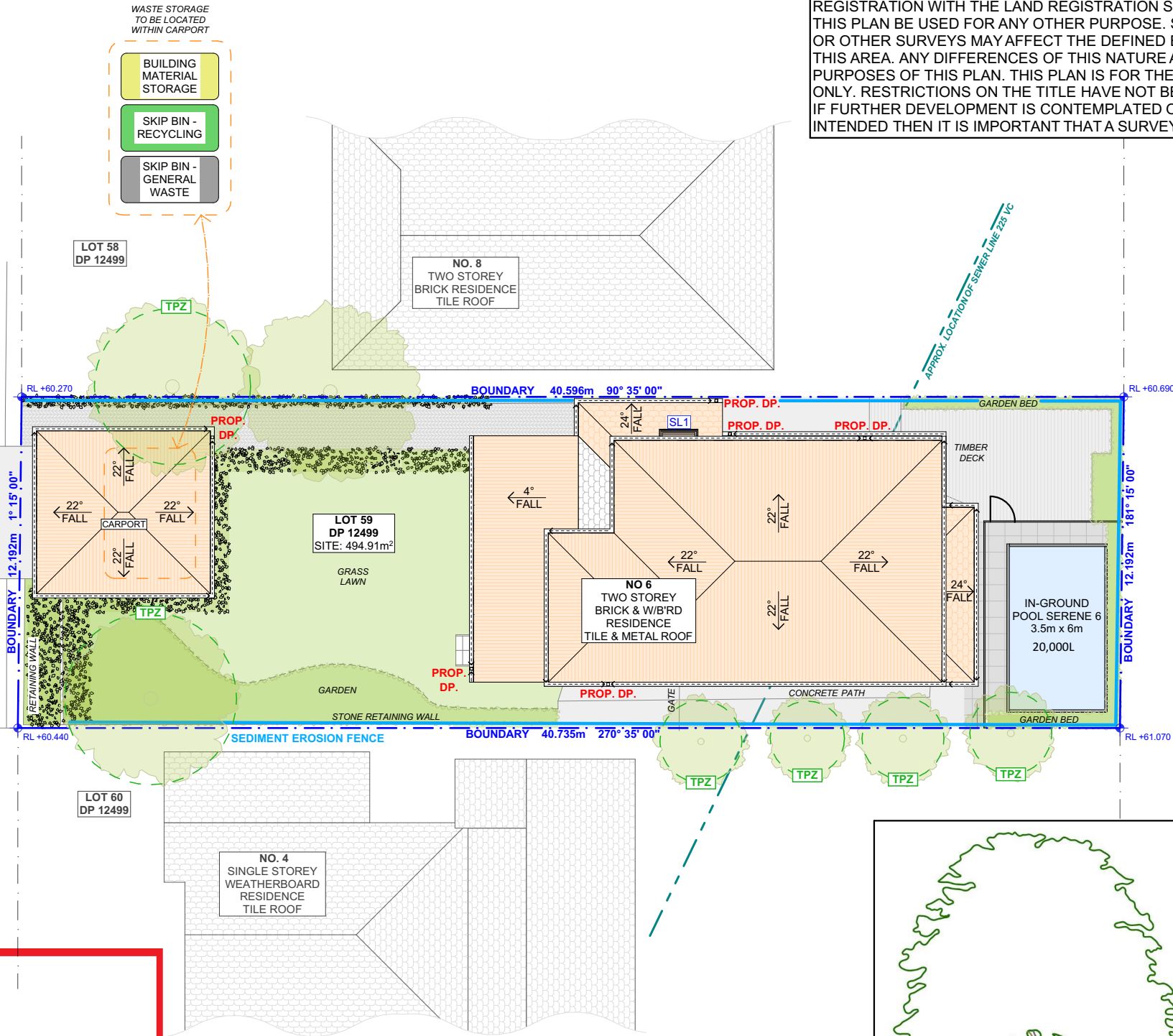




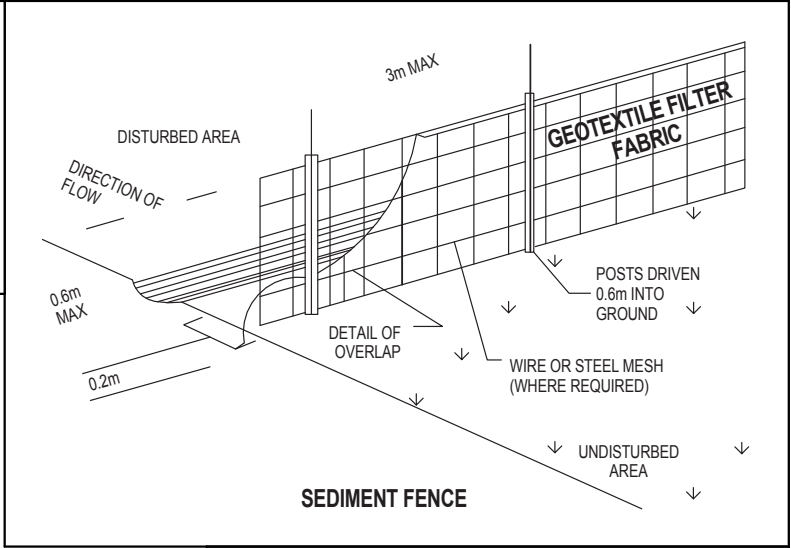
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BOUNDARY NOTE:
THE INFORMATION SHOWN ON THIS PLAN IS FOR DESIGN PURPOSES ONLY. THE POSITION OF BOUNDARY LINES HAVE BEEN ESTABLISHED BY A SURVEY TO MEET THE IDENTIFICATION REQUIREMENTS FOR COUNCIL AND NOT FOR REGISTRATION WITH THE LAND REGISTRATION SERVICES NSW NOR MAY THIS PLAN BE USED FOR ANY OTHER PURPOSE. SUBSEQUENT REGISTERED OR OTHER SURVEYS MAY AFFECT THE DEFINED BOUNDARY POSITIONS IN THIS AREA. ANY DIFFERENCES OF THIS NATURE ARE BEYOND THE PURPOSES OF THIS PLAN. THIS PLAN IS FOR THE ABOVE STATED PURPOSES ONLY. RESTRICTIONS ON THE TITLE HAVE NOT BEEN INVESTIGATED. IF FURTHER DEVELOPMENT IS CONTEMPLATED OR CONSTRUCTION INTENDED THEN IT IS IMPORTANT THAT A SURVEY SET OUT IS CARRIED OUT.



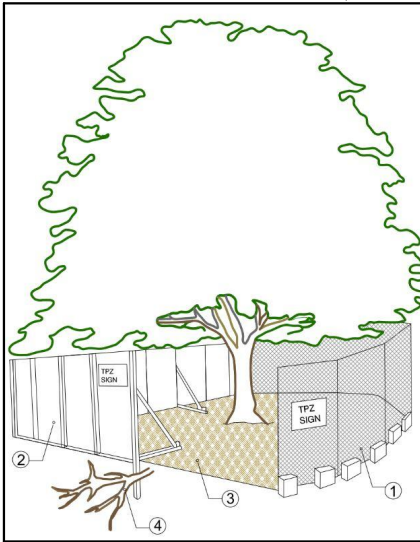
DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.


STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION. ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES. IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



TREE PROTECTION ZONE (TPZ):
1. CHAIN WIRE MESH PANELS WITH SHADE CLOTH (IF REQUIRED) ATTACHED, HELD IN PLACE WITH CONCRETE FEET.
2. ALTERNATIVE PLYWOOD OR WOODEN PALING FENCE PANELS. THE FENCING MATERIAL ALSO PREVENTS BUILDING MATERIALS OR SOIL ENTERING THE TPZ.
3. MULCH INSTALLATION ACROSS SURFACE OF TPZ (AT THE DISCRETION OF THE PROJECT ARBORIST). NO EXCAVATION, CONSTRUCTION ACTIVITY, GRADE CHANGES, SURFACE TREATMENT OR STORAGE OF MATERIALS OF ANY KIND IS PERMITTED WITHIN THE TPZ.
4. BRACING IS PERMISSIBLE WITHIN THE TPZ. INSTALLATION OF SUPPORTS TO AVOID DAMAGING ROOTS.








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LEGEND

	SOFT LANDSCAPE	EX.	EXISTING
	HARD LANDSCAPE	DP.	DOWNPIPE
	PROPOSED	PROP.	PROPOSED
	EXISTING	DP.	DOWNPIPE
	DEMOLISHED		

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MILES

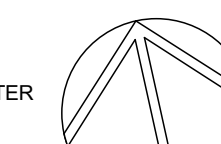
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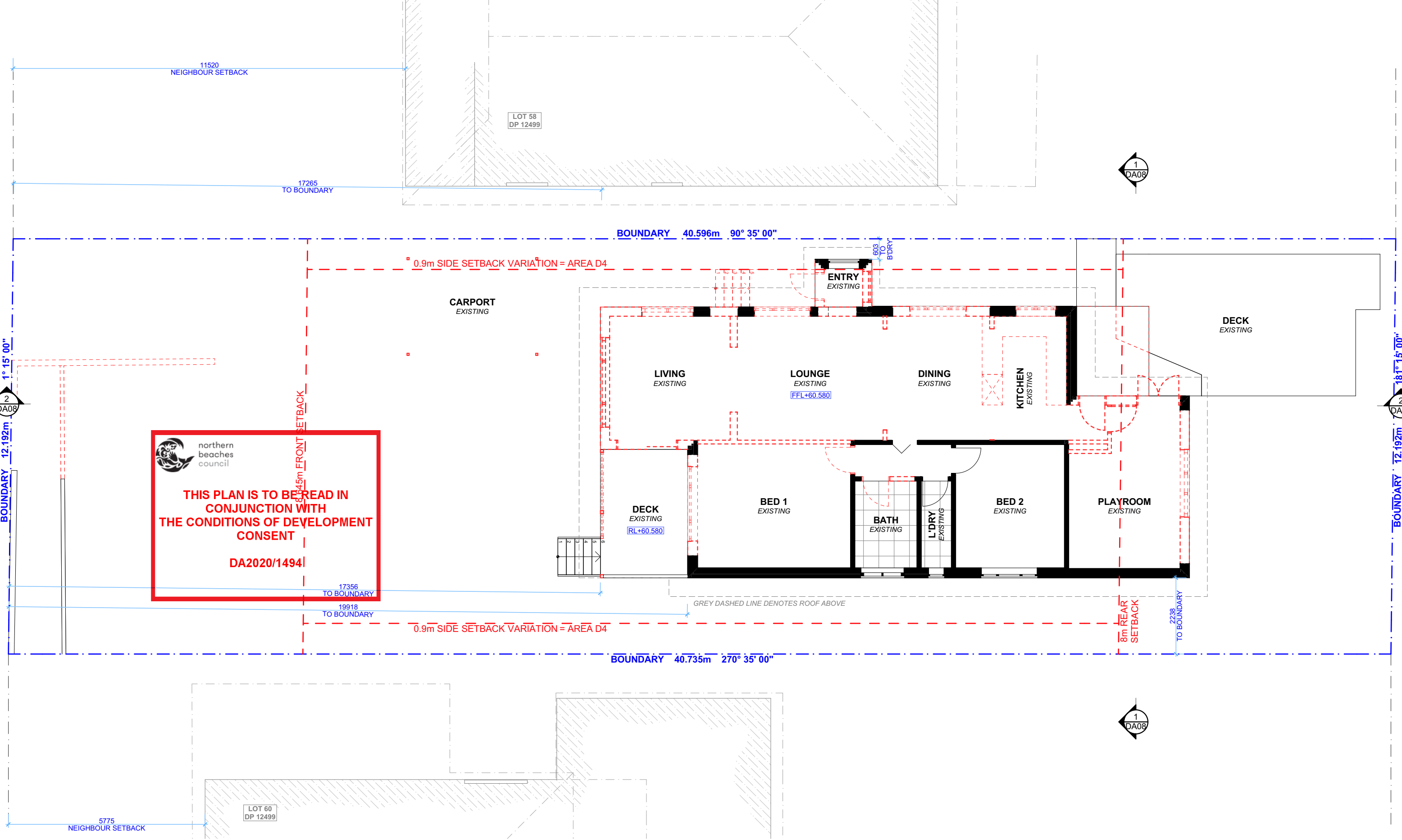
DRAWING NO.
DA02

DATE
Friday, 23 October
2020

DRAWING NAME
SITE / ROOF / SEDIMENT
EROSION / WASTE
MANAGEMENT / STORMWATER
CONCEPT PLAN

SCALE
1:200 @A3





1

EXISTING GROUND FLOOR PLAN

1:100

NOTE: ALL DEMOLISHED ELEMENTS TO ENG. SPECIFICATIONS AND AS. 2601 - 2001



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

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DA03

DATE

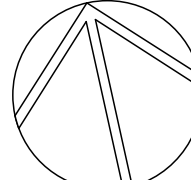
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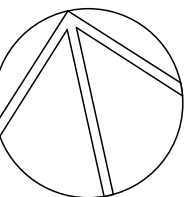
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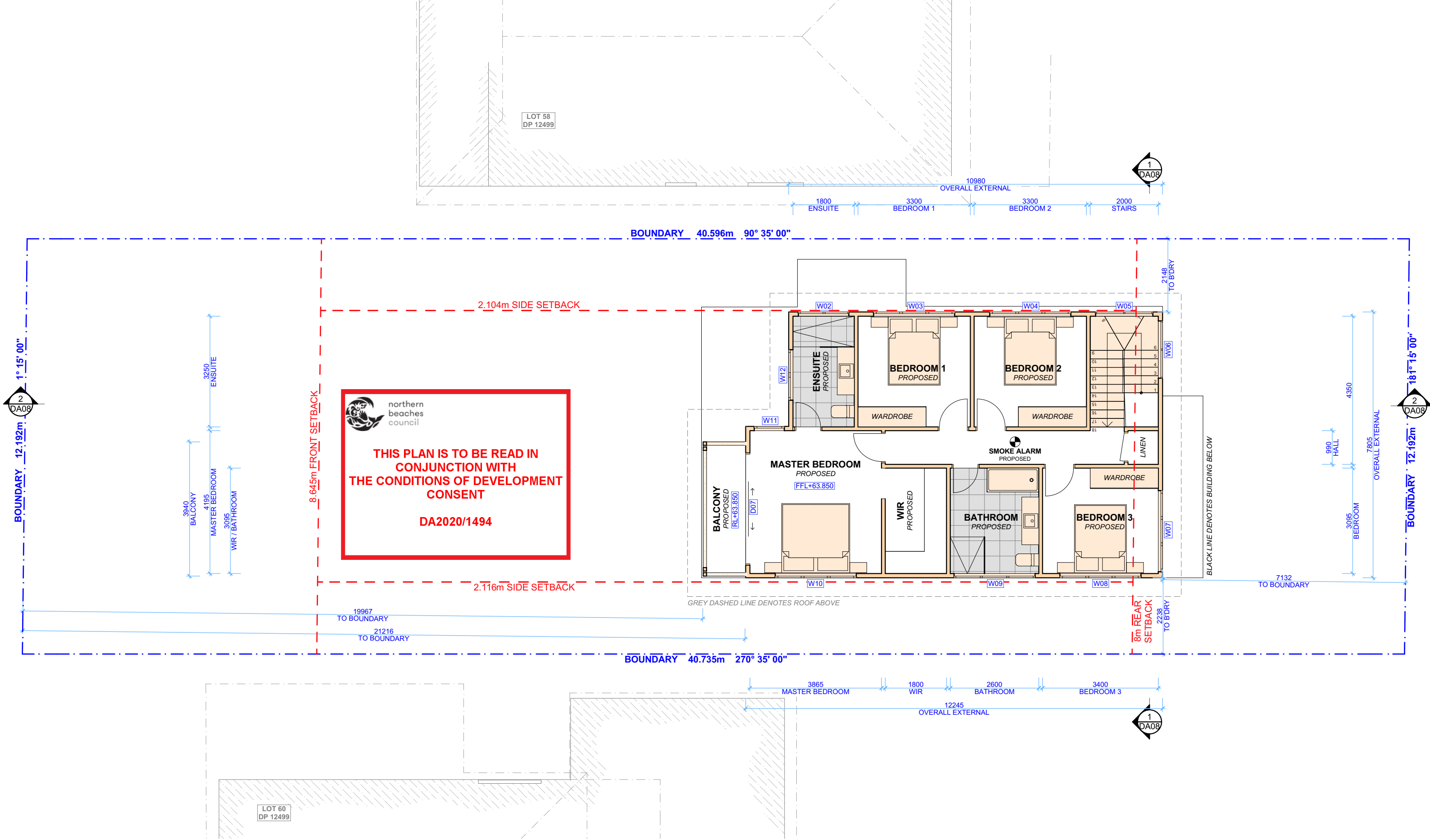
EXISTING GROUND FLOOR PLAN

SCALE

1:100 @A3







1

PROPOSED FIRST FLOOR PLAN

1:100

NOTE: SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE NCC



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LEGEND

EXISTING

PROPOSED

DEMOLISHED

CLIENT

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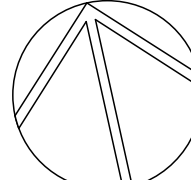
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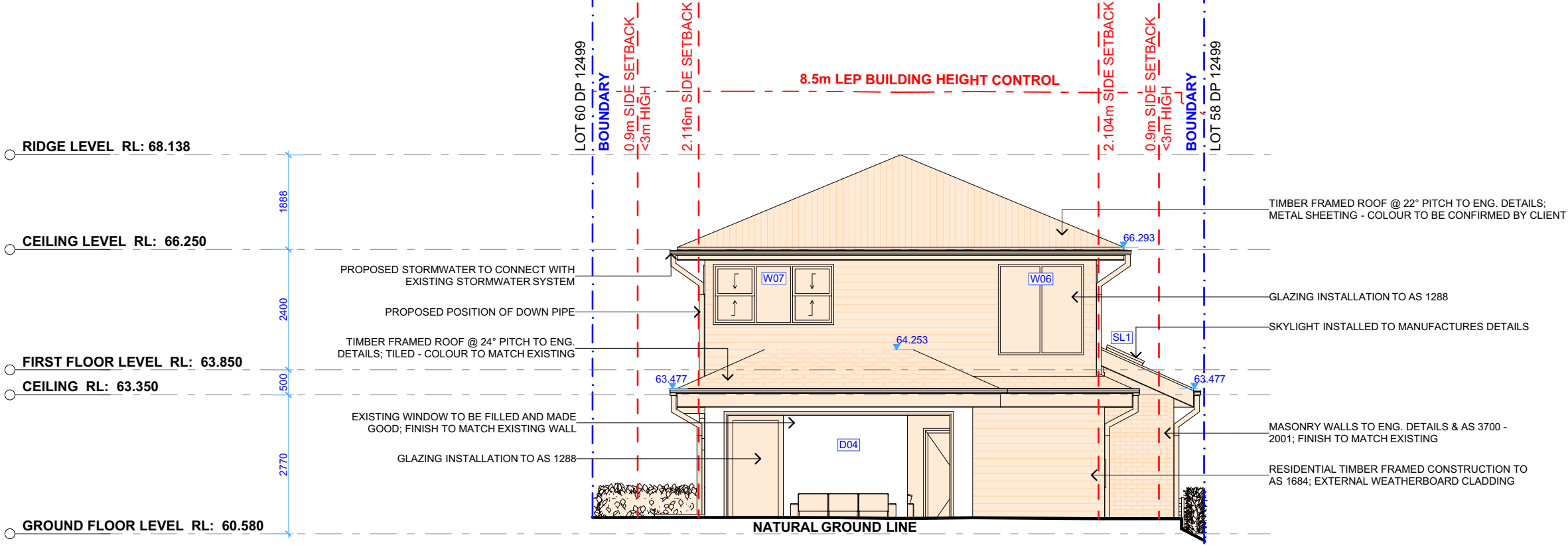
DRAWING NAME

PROPOSED FIRST FLOOR PLAN

SCALE

1:100 @A3

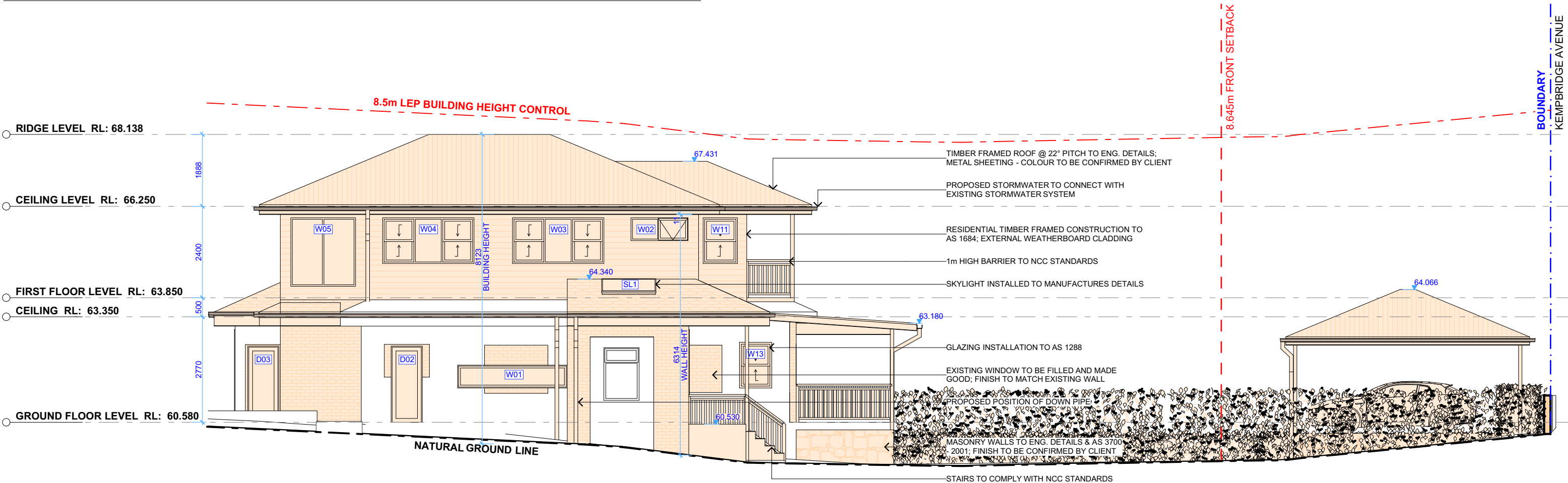


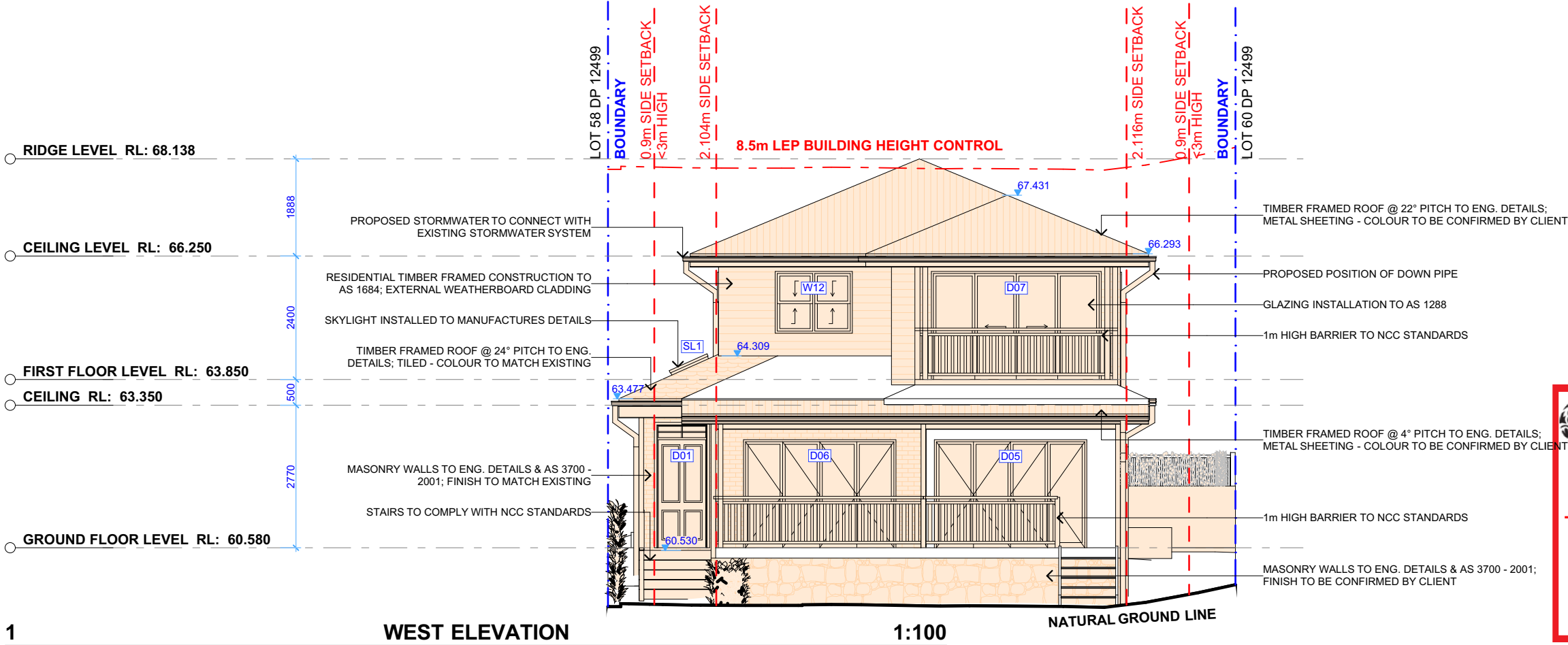


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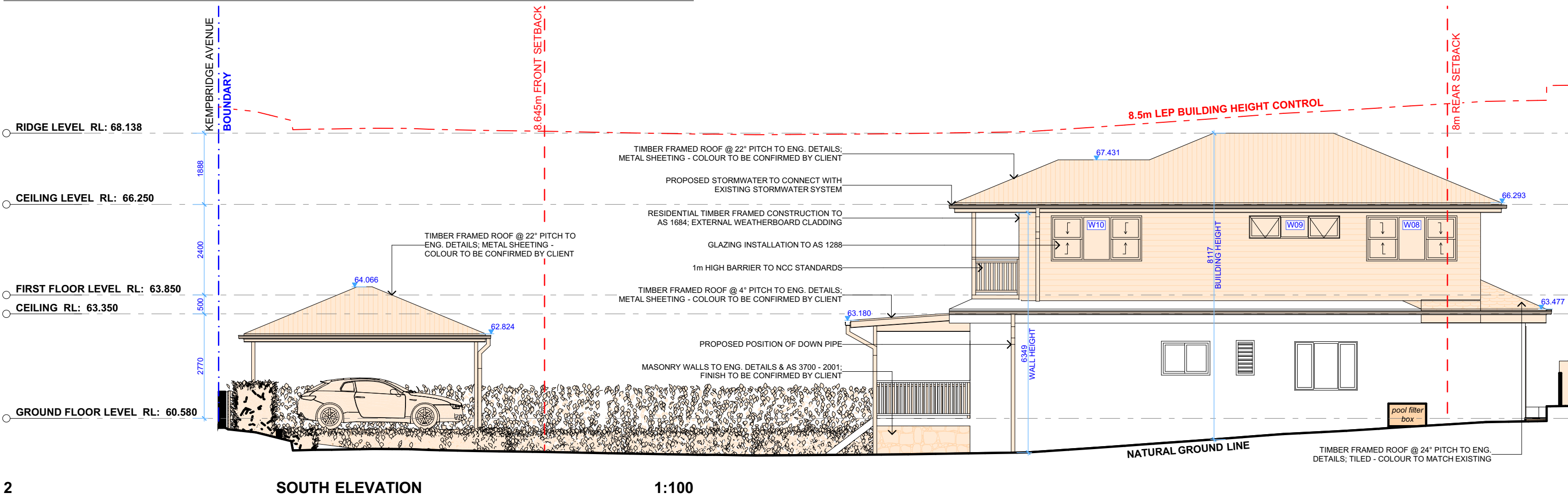




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2





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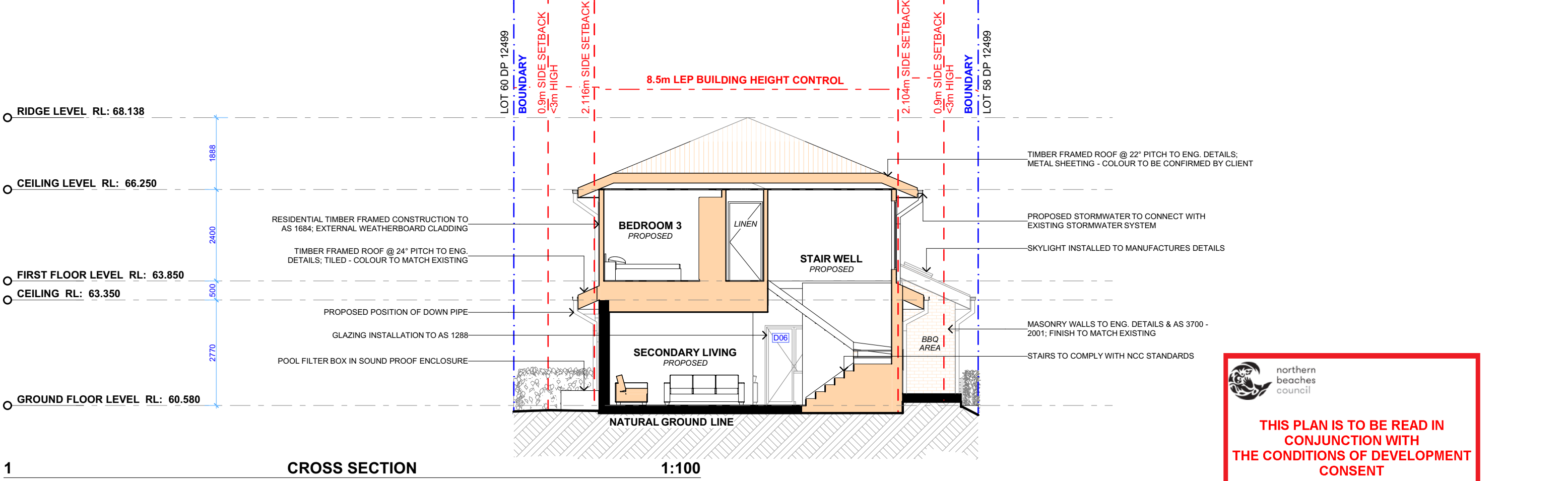
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DA07

DATE
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DRAWING NAME
SOUTH / WEST ELEVATION

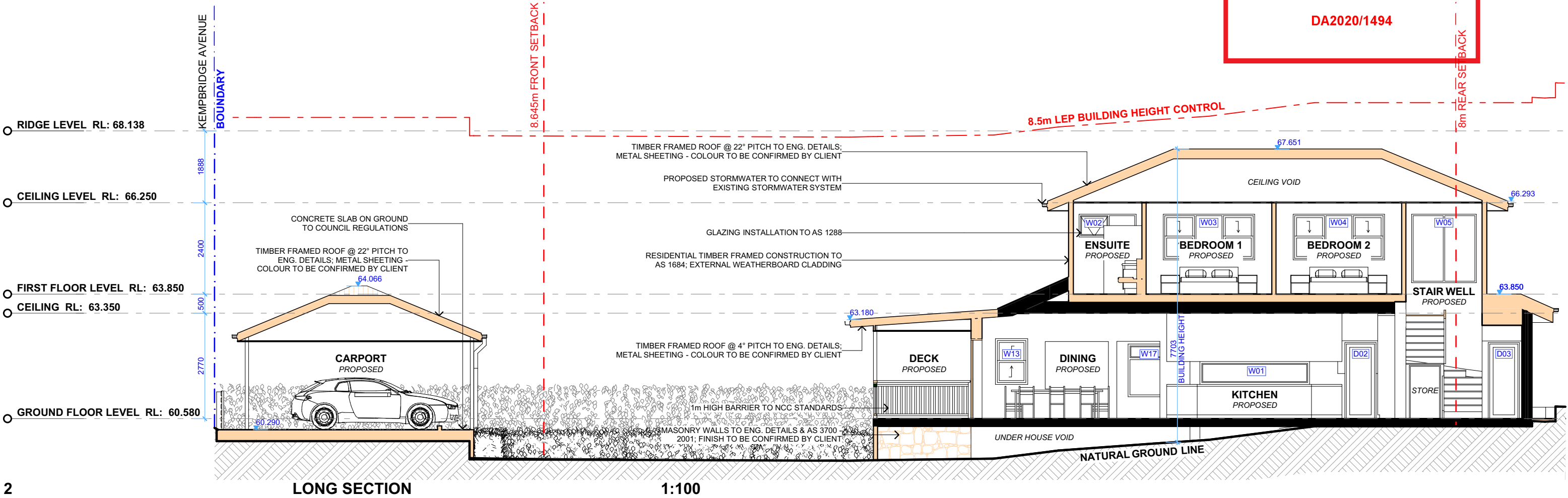
SCALE
1:100 @A3




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DATE

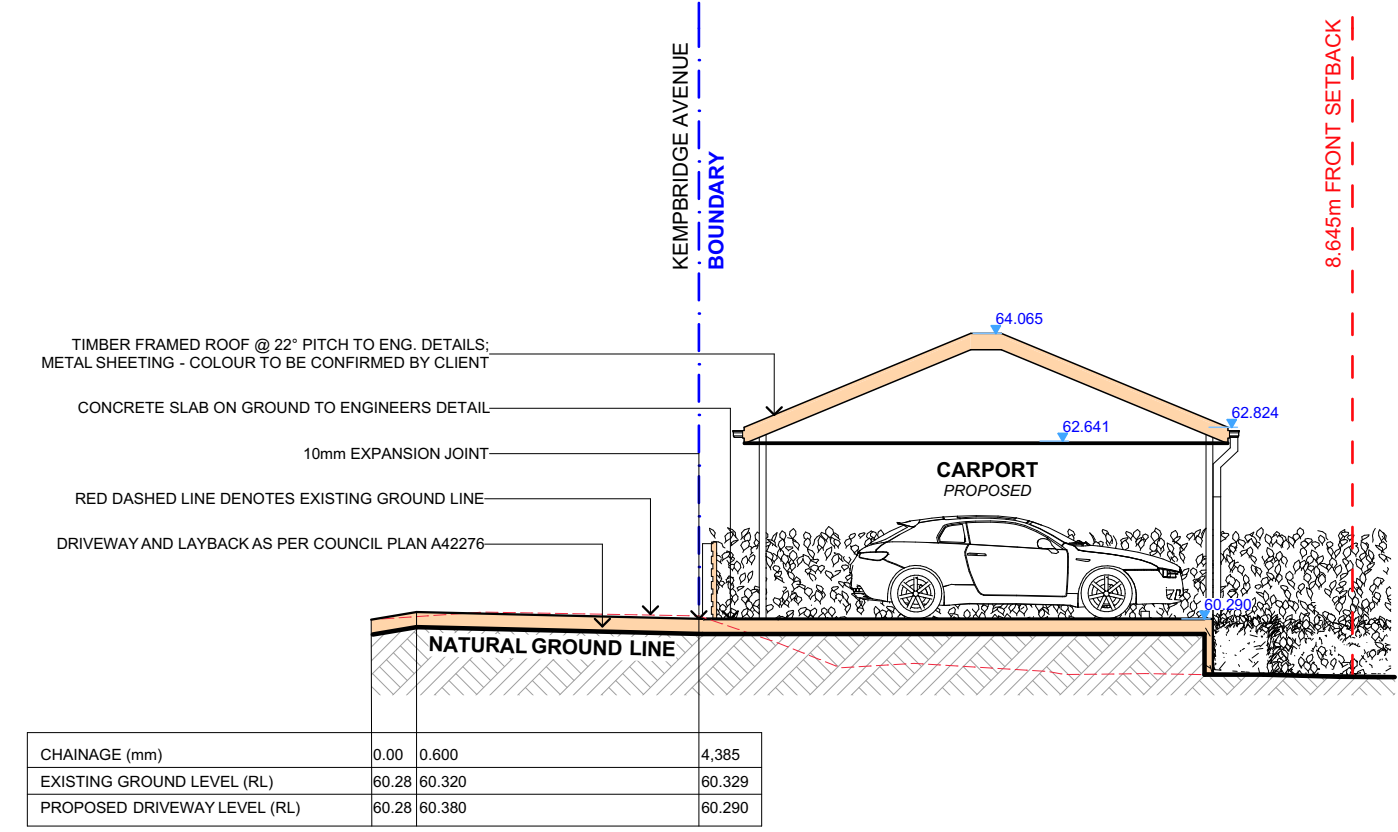
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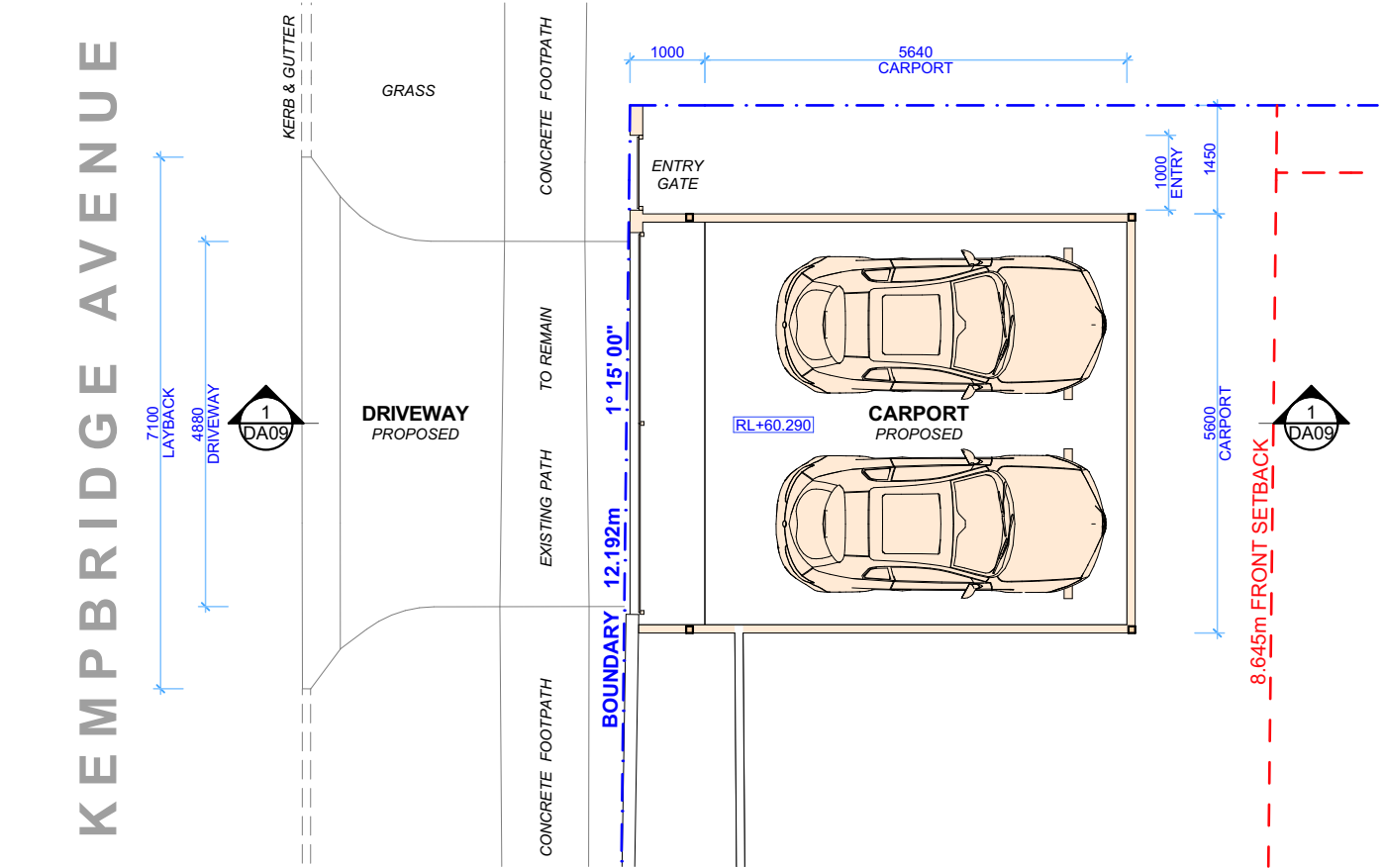
LONG / CROSS SECTION

SCALE

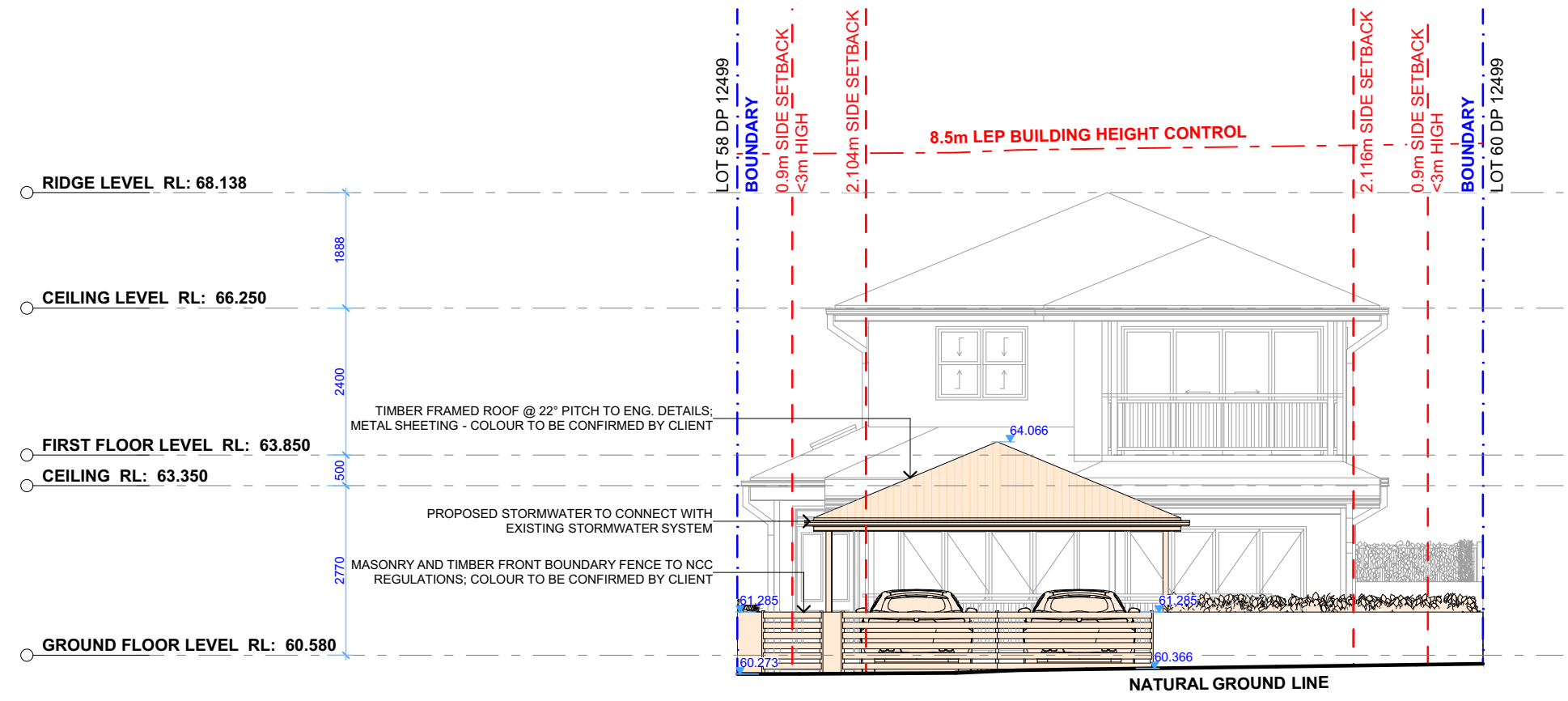
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1 DRIVEWAY LONG SECTION 1:100



3 PROPOSED DRIVEWAY PLAN 1:100

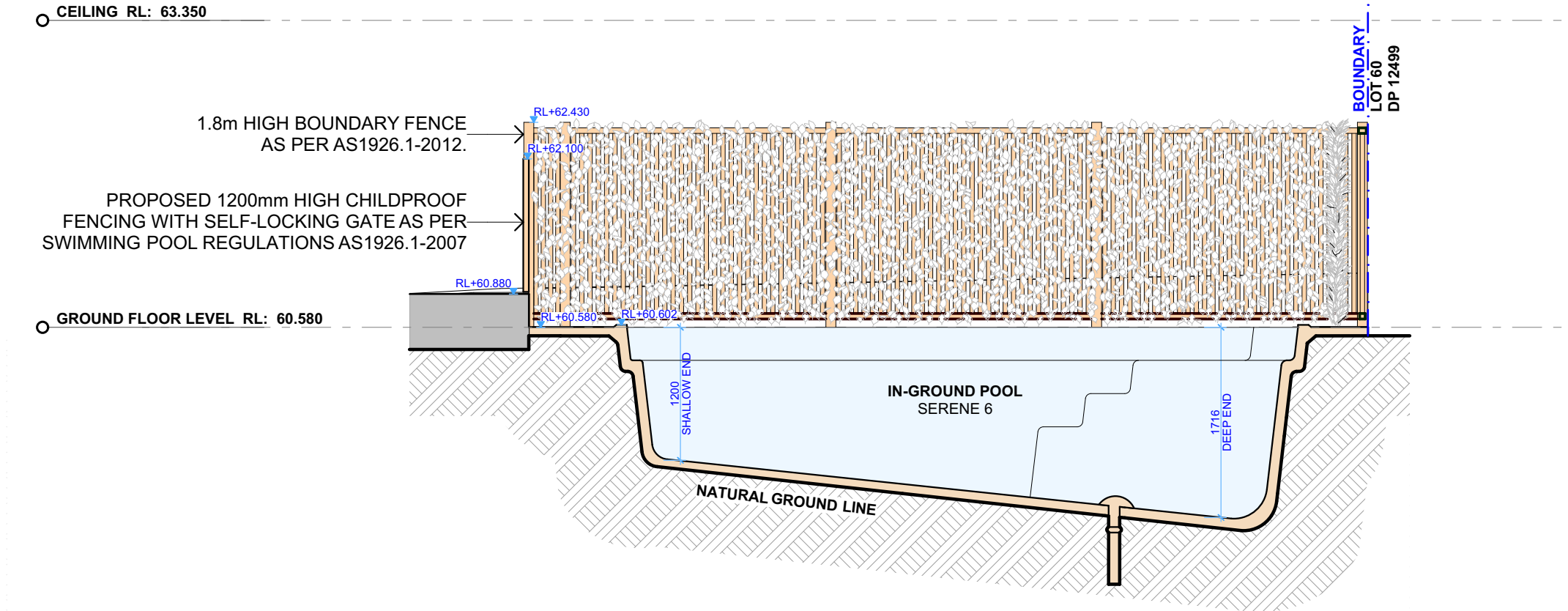


2 FRONT BOUNDARY FENCE ELEVATION 1:100

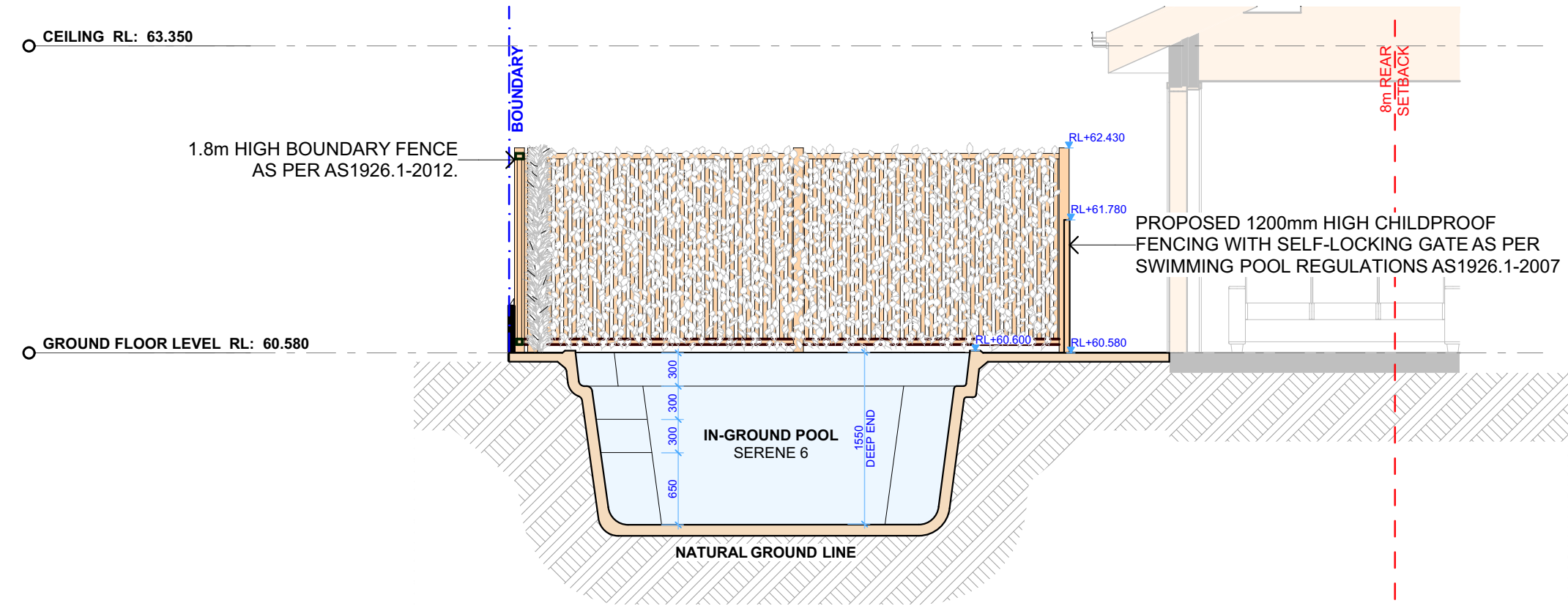
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1 POOL LONG SECTION 1:50



2 POOL CROSS SECTION 1:50

	Design Specification	Building Code of Australia (BCA) requirement (for version of BCA applicable as on the date of submission of CC or CDC)
1.	All glazing including decals shall comply with AS 1288.1-2006, AS 2047-1999 and AS 1170.1-2002	Part 3.6 Glazing, requires all glazing to comply with AS 1288-2006 and AS 2047-1999. The BCA requires glazing members to comply with Structural Loading Code AS 2280.1-2002. Glass with a high potential for human impact shall strictly comply with the human impact safety requirements of the BCA
2.	Swimming Pool Safety Fencing	Part 3.9.3, of the BCA specifies all requirements of swimming pool safety fencing. Compliance with As1926.1-2012, including 1800mm high boundary fencing acting as pool fence/barriers. 1200mm high pool fence/barriers shall surround the pool with no doors of building permitted to open onto pool areas. Any windows shall be sufficiently protected in accordance with AS1926.1-2012. NCZ shall be provided to all swimming pool safety fence/barriers in accordance with AS1926.1-2012. AS 1288 2006 specifies glazing requirements when glass is incorporated into a pool fence/barrier. Certification post construction will be required.
3.	Swimming Pool Recirculation Systems	Part 3.9.4. of the BCA specifies all requirements of swimming pool and spa recirculation systems. AS1926.3-2010 shall be complied with and certified post construction

PLANTING WITHIN THE VICINITY OF THE POOL ENCLOSURE MUST BE OF A SPECIES / STYLE THAT WILL COMPLY WITH (AS 1926.1) TO ENSURE THAT THERE AREA

NO

CLIMABLE / FOOTHOLD FEATURES. BOUNDARY FENCES MUST BE 1.8M HIGH ABOVE FINISHED POOL ENCLOSURE LEVEL MEASURED 500MM OUTWARDS FROM THE BASE OF THIS FENCE.

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WEATHERBOARD CLADDING
COLOUR TO BE CONFIRMED BY CLIENT



METAL ROOFING SHEET
COLOUR TO BE CONFIRMED BY CLIENT



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ALUMINIUM FRAMED SLIDING DOORS
BY STEGBAR OR OTHER



ALUMINIUM FRAMED SKYLIGHT
BY VELUX OR OTHER



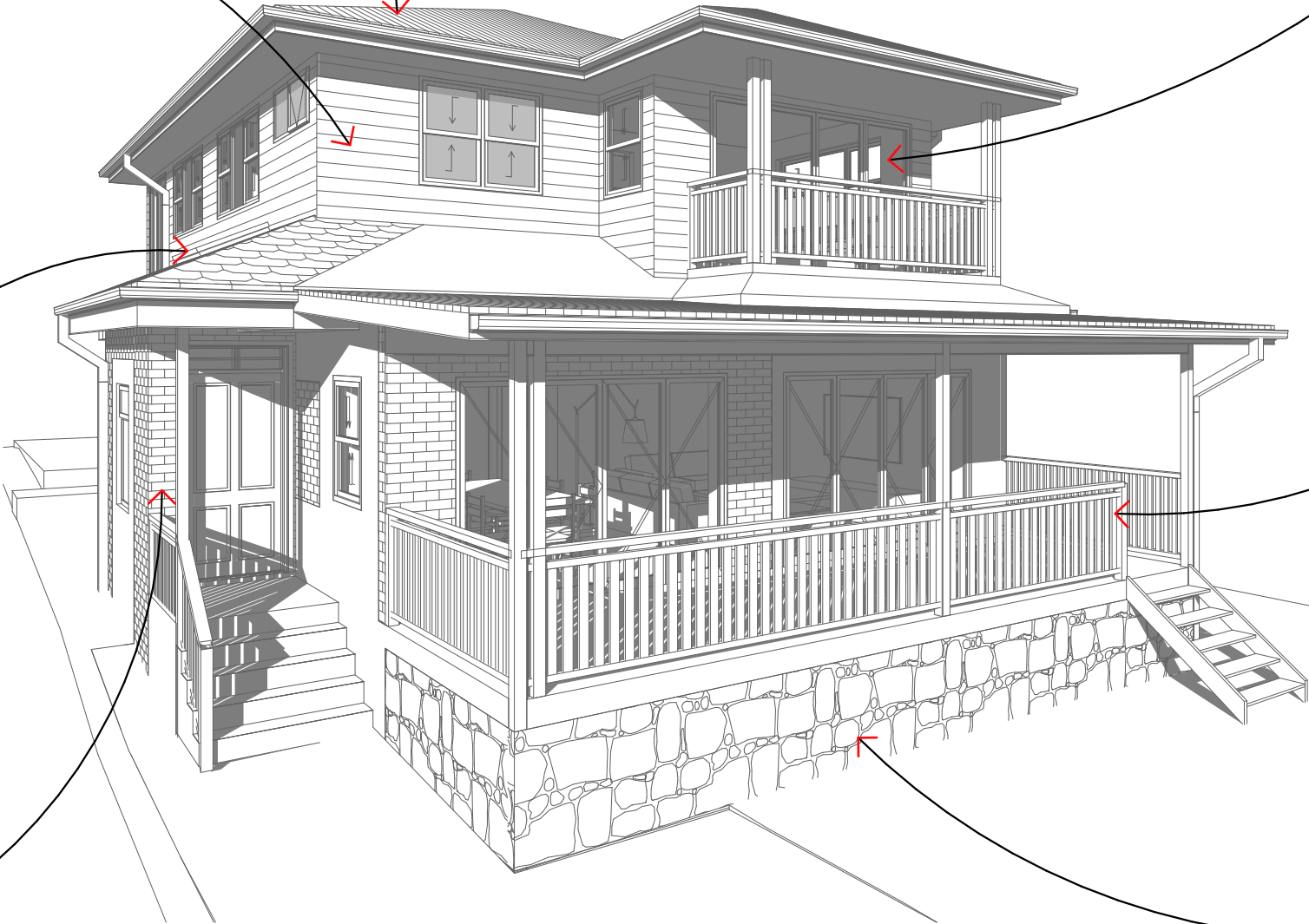
TIMBER DECK RAILING
MATERIAL & COLOUR TO BE CONFIRMED BY CLIENT



BRICK EXTERNAL WALL
TO MATCH EXISTING



SANDSTONE-STYLE CLADDING
MATERIAL TO BE CONFIRMED BY CLIENT



SAMPLE BOARD



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