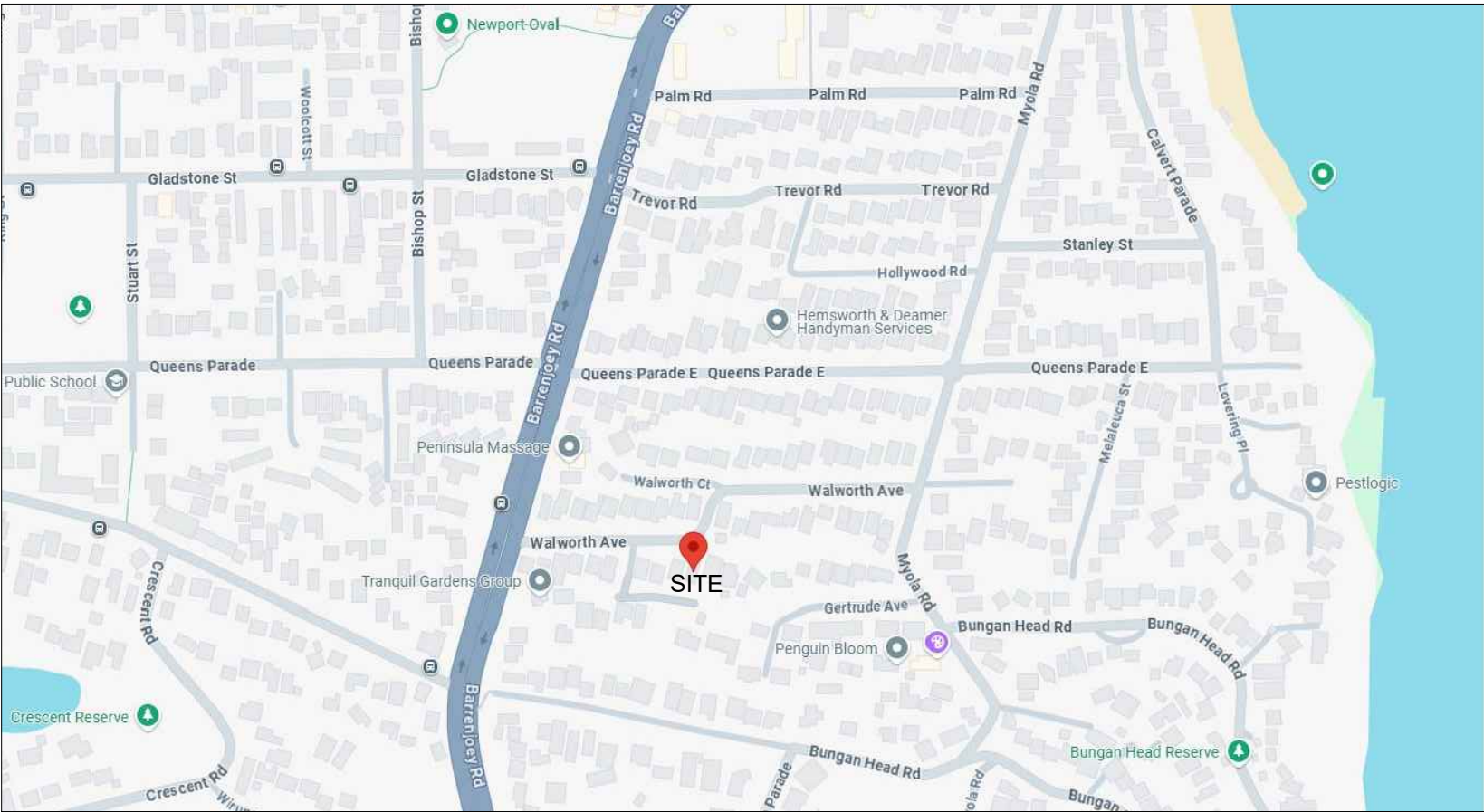


ALTERATIONS & ADDITIONS AT 21 WALWORTH AVENUE, NEWPORT NSW 2106



Locality Map:

Construction	Additional insulation required (R-value)	Other specifications
internal wall shared with garage: single skin masonry (R0.18)	nil	

Windows and glazed doors glazing requirements						
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type
D03	W	5.85	0	0	projection/height above sill ratio ≥ 0.43	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D04	N	7.34	1	2.9	awning (fixed) ≥ 900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W01	N	0.98	0	0	eave/verandah/pergola/balcony ≥ 450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W02	E	5.38	0	0	projection/height above sill ratio ≥ 0.36	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D05	N	7.15	1	3	eave/verandah/pergola/balcony ≥ 900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

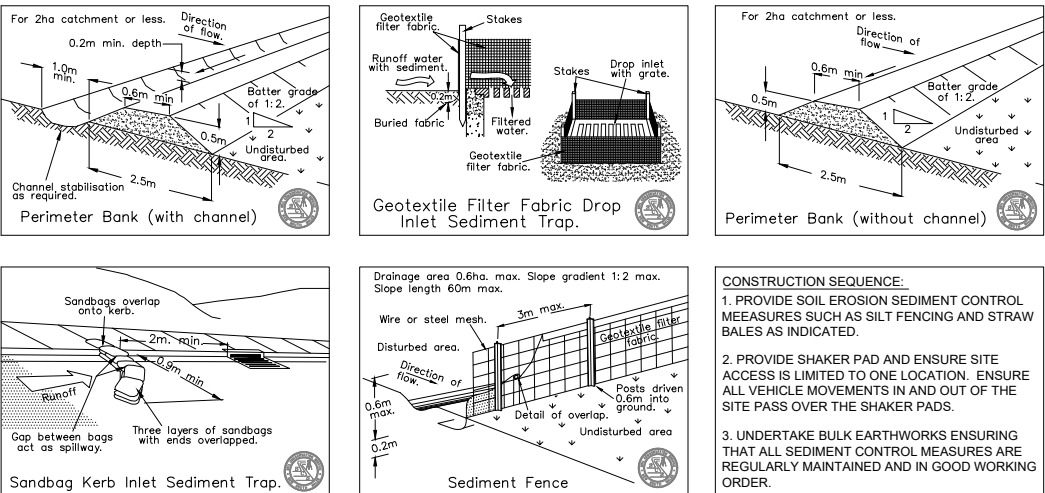
BASIX Notes:

Notes:

- Do not scale off drawings. *(If in doubt- ask.)*
- All measurements to be checked on site prior to commencement of construction.
- Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
- Supply & install selected smoke alarm system to comply with AS3786.
- All storm water to be connected to street gutters as per council requirements
- The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, rdinances, regulations, of the Standards Association of Australia, the BCA and any statutory authority having jurisdiction over the works.
- Setting out dimensions shown on the drawings shall be verified by the builder
- During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
- Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
- Supply and install lift off hinges to all wet area doors.

Drawing List:

Dwg No:	Title:	Scale:
DA00 -	Title Page & Notes	N/A
DA01 -	Site Plan / Site Analysis Plan	1:150
DA02 -	Lower Ground Floor Plan	1:100
DA03 -	Ground Floor Plan	1:100
DA04 -	Roof Plan	1:150
DA05 -	North Elevation	1:100
DA06 -	East Elevation	1:100
DA07 -	West Elevation	1:100
DA08 -	Section A-A	1:100
DA09 -	Section B-B	1:100
SD01 -	Shadow Diagram No: 1 June 22nd - 9:00am	1:150
SD02 -	Shadow Diagram No: 2 June 22nd - 12:00pm	1:150
SD03 -	Shadow Diagram No: 3 June 22nd - 9:00am	1:150



Soil Erosion and Sediment Control Details:

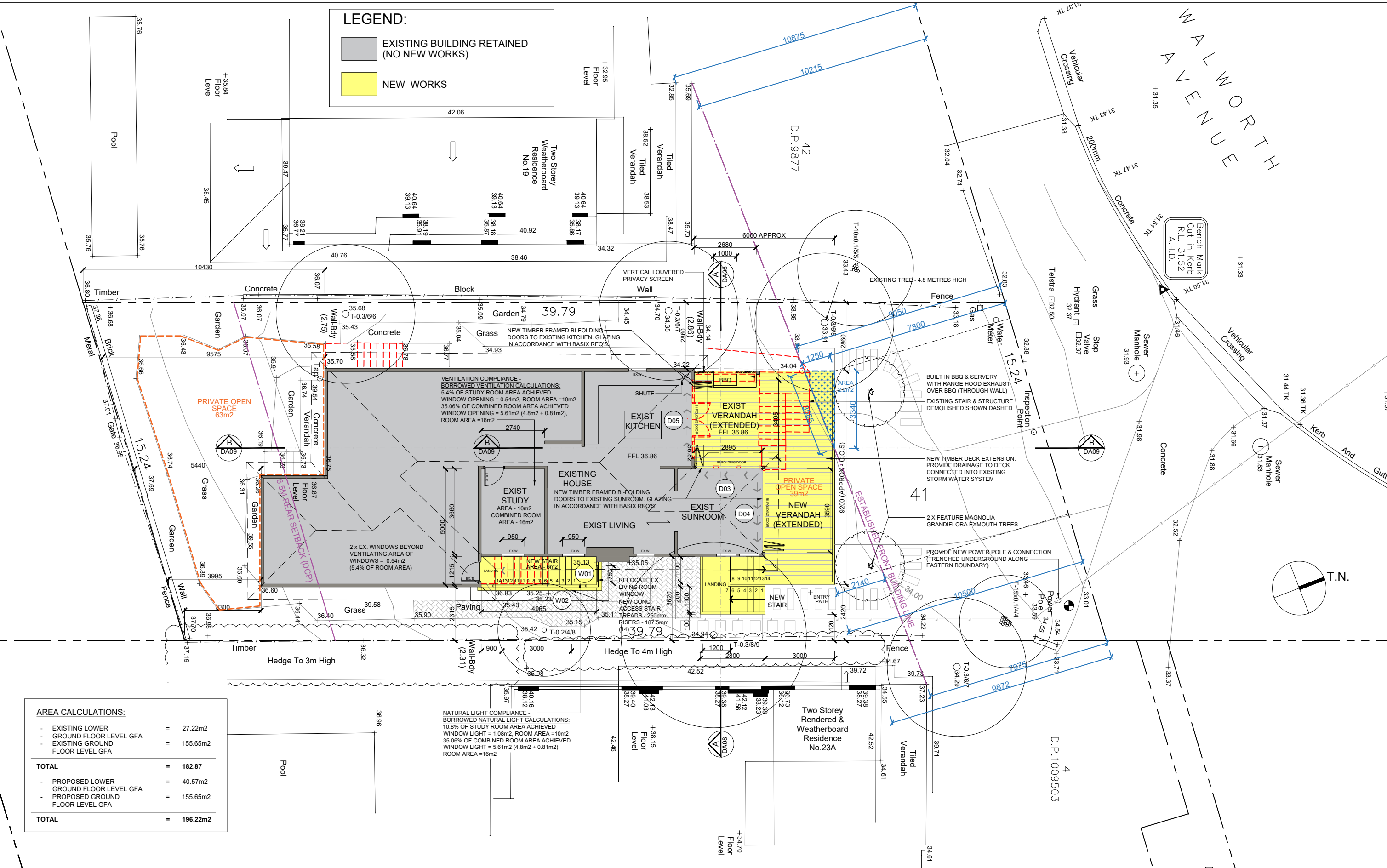
DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR BRUCE DAVIS

PROJECT ALTERATIONS & ADDITIONS AT 21 WALWORTH AVENUE NEWPORT NSW 2106 LOT 41, DP9877

SHEET TITLE TITLE PAGE
HUMEL
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SCALE N.T.S	DATE 19-12-2024
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DA00	A



LEGEND:

- EXISTING BUILDING RETAINED (NO NEW WORKS)
- NEW WORKS

AREA CALCULATIONS:

- EXISTING LOWER	=	27.22m ²
- GROUND FLOOR LEVEL GFA	=	155.65m ²
- EXISTING GROUND FLOOR LEVEL GFA	=	155.65m ²
TOTAL	=	182.87
- PROPOSED LOWER	=	40.57m ²
- GROUND FLOOR LEVEL GFA	=	155.65m ²
- PROPOSED GROUND FLOOR LEVEL GFA	=	155.65m ²
TOTAL	=	196.22m²

NATURAL LIGHT COMPLIANCE - BORROWED NATURAL LIGHT CALCULATIONS:
 10.8% OF STUDY ROOM AREA ACHIEVED
 WINDOW LIGHT = 1.08m², ROOM AREA = 10m²
 35.06% OF COMBINED ROOM AREA ACHIEVED
 WINDOW LIGHT = 5.61m² (4.8m² + 0.81m²),
 ROOM AREA = 16m²

DA ISSUE	A	19.12.2024
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PROPRIETOR
 BRUCE DAVIS

PROJECT
 ALTERATIONS & ADDITIONS AT
 21 WALWORTH AVENUE
 NEWPORT NSW 2106
 LOT 41, DP9877

SHEET TITLE
 SITE PLAN / SITE ANALYSIS PLAN

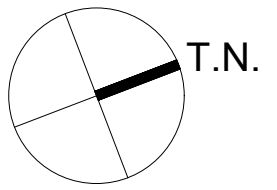
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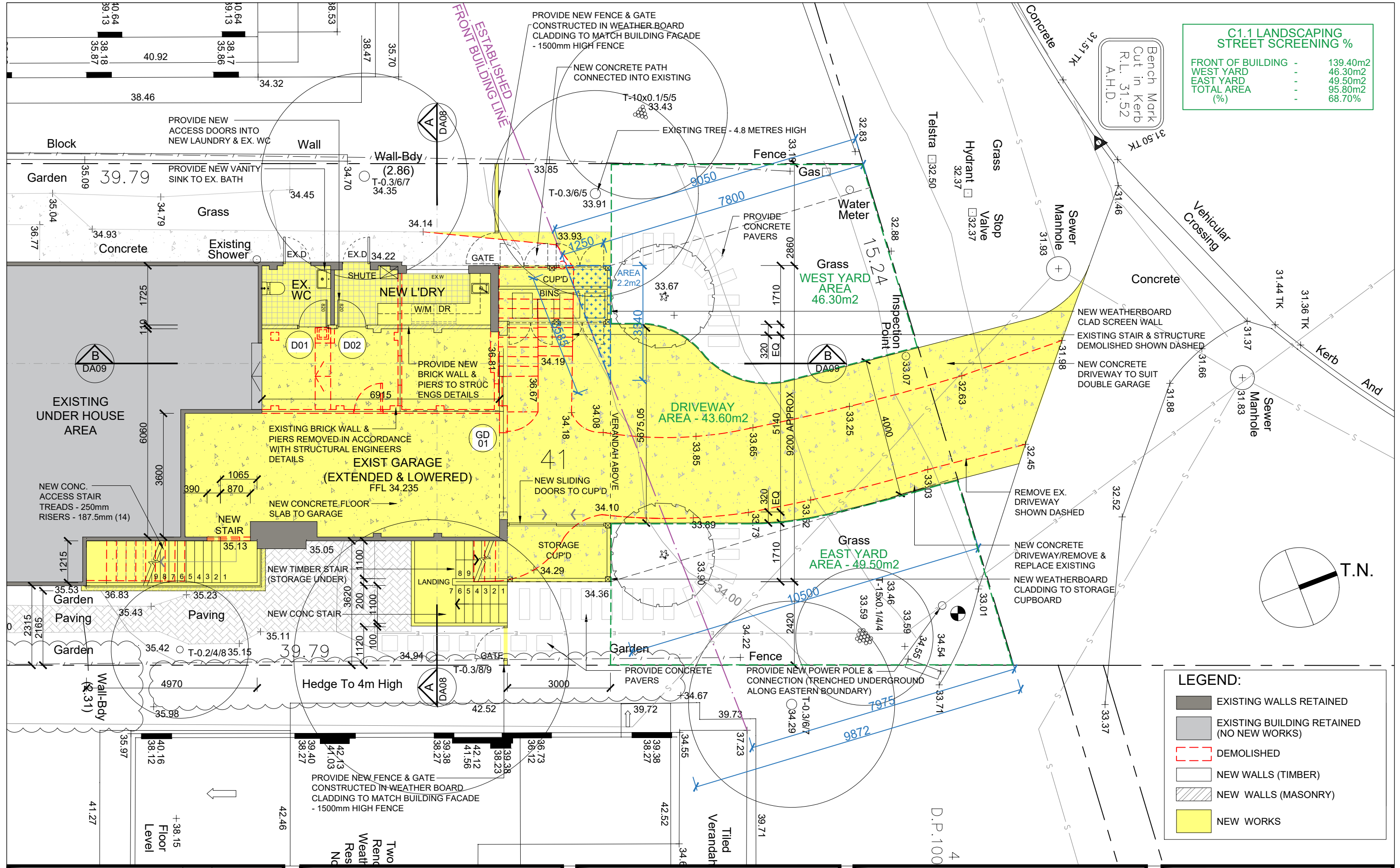
DRAWING NUMBER 2021.80 **DA01** **REV:** A

C1.1 LANDSCAPING STREET SCREENING %	
FRONT OF BUILDING	139.40m ²
WEST YARD	46.30m ²
EAST YARD	49.50m ²
TOTAL AREA	235.20m ²
(%)	68.70%

Bench Mark
Cut in Kerb
R.L. 31.52
A.H.D.



LEGEND:	
	EXISTING WALLS RETAINED
	EXISTING BUILDING RETAINED (NO NEW WORKS)
	DEMOLISHED
	NEW WALLS (TIMBER)
	NEW WALLS (MASONRY)
	NEW WORKS



DA ISSUE	No.	Date
Amendment/Issue		
	A	19.12.2024

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

SHEET TITLE
LOWER GROUND FLOOR PLAN

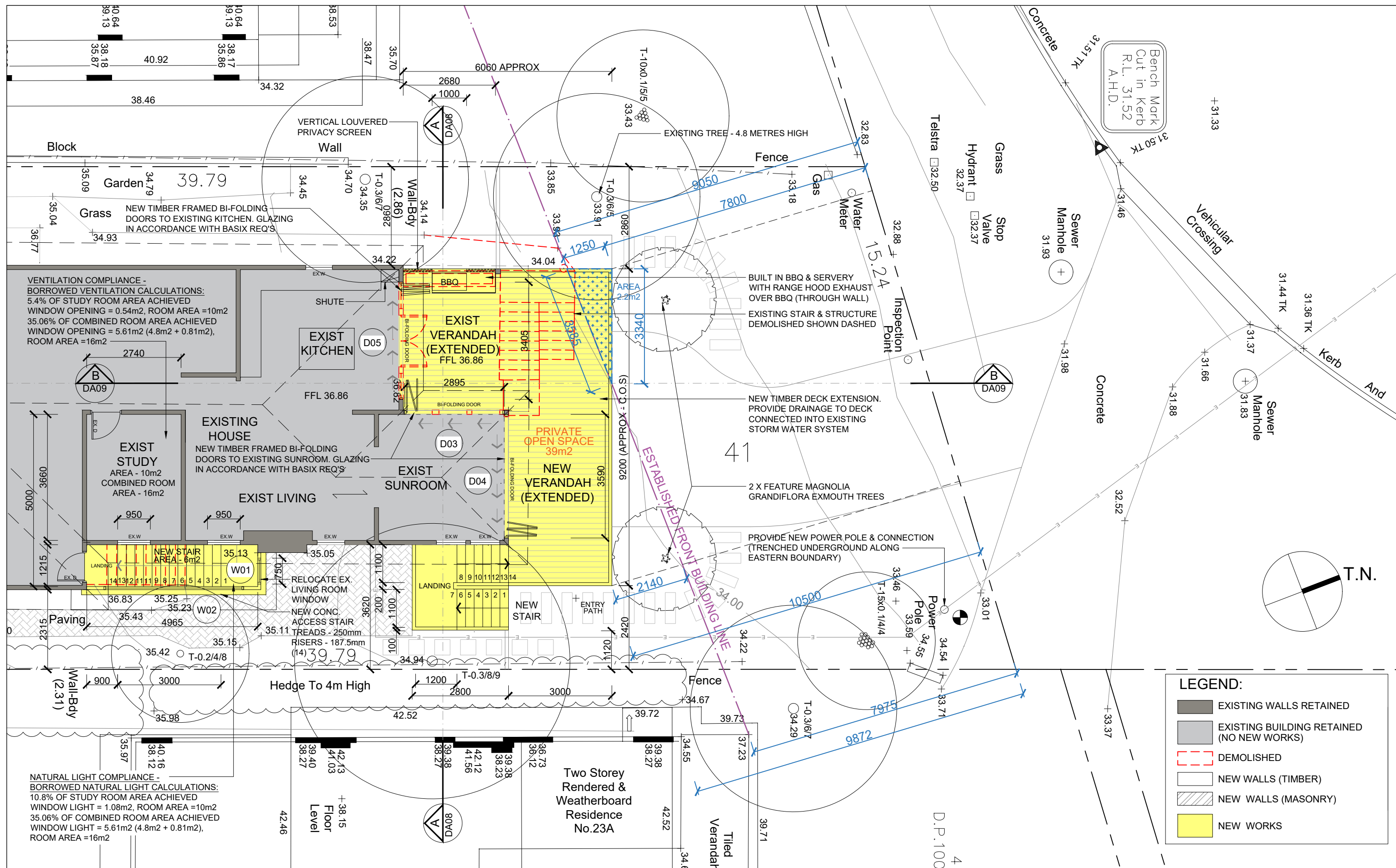
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DRAWING NUMBER 2021.80
DA02

REV: **A**

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VENTILATION COMPLIANCE - BORROWED VENTILATION CALCULATIONS:
 5.4% OF STUDY ROOM AREA ACHIEVED
 WINDOW OPENING = 0.54m², ROOM AREA = 10m²
 35.06% OF COMBINED ROOM AREA ACHIEVED
 WINDOW OPENING = 5.61m² (4.8m² + 0.81m²), ROOM AREA = 16m²

NATURAL LIGHT COMPLIANCE - BORROWED NATURAL LIGHT CALCULATIONS:
 10.8% OF STUDY ROOM AREA ACHIEVED
 WINDOW LIGHT = 1.08m², ROOM AREA = 10m²
 35.06% OF COMBINED ROOM AREA ACHIEVED
 WINDOW LIGHT = 5.61m² (4.8m² + 0.81m²), ROOM AREA = 16m²

DA ISSUE	A	19.12.2024
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PROPRIETOR
 BRUCE DAVIS

PROJECT
 ALTERATIONS & ADDITIONS AT
 21 WALWORTH AVENUE
 NEWPORT NSW 2106
 LOT 41, DP9877

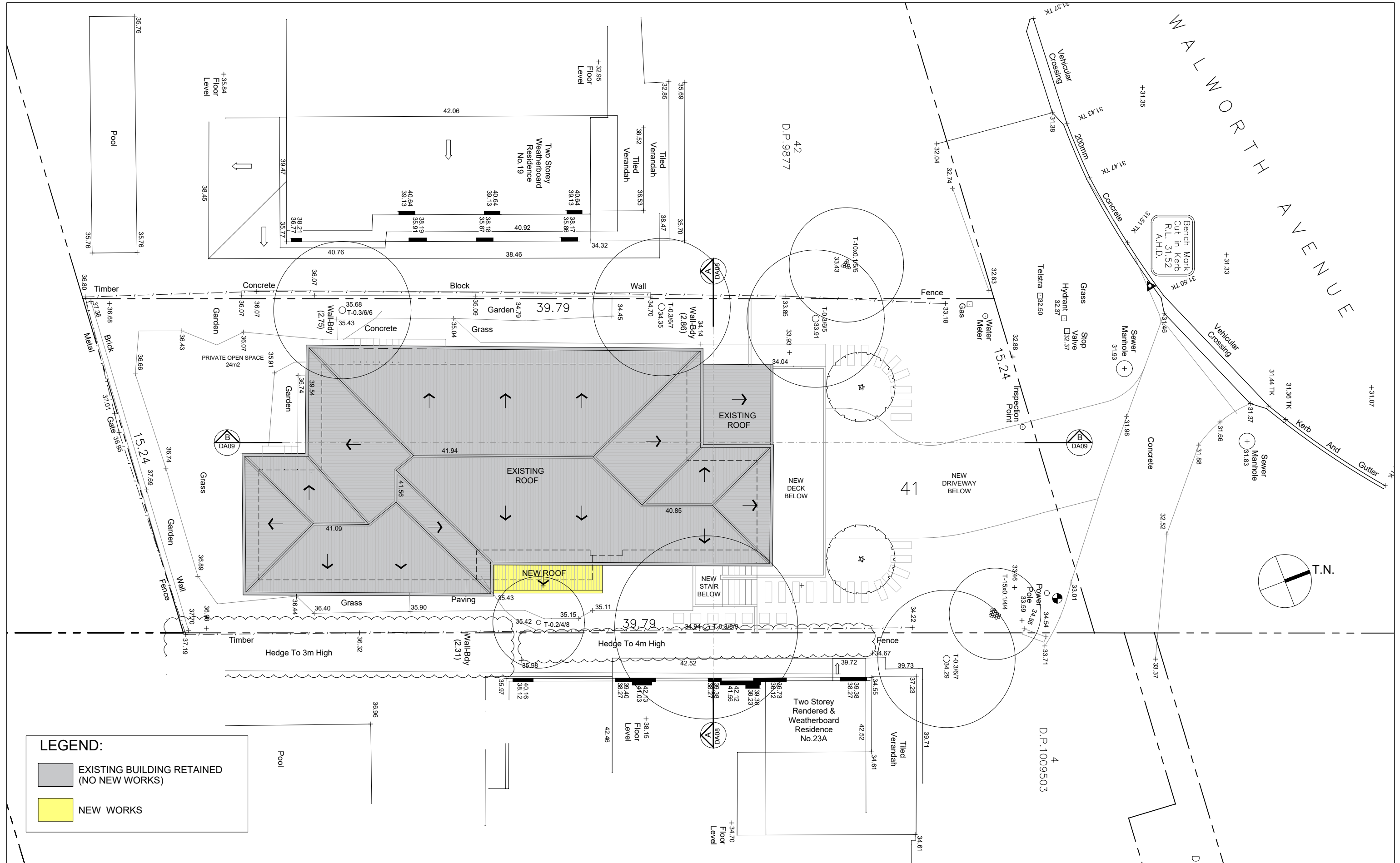
SHEET TITLE
 GROUND FLOOR PLAN

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DRAWING NUMBER 2021.80 DA03
 REV: A



LEGEND:

- EXISTING BUILDING RETAINED (NO NEW WORKS)
- NEW WORKS

DA ISSUE	A	19.12.2024
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PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

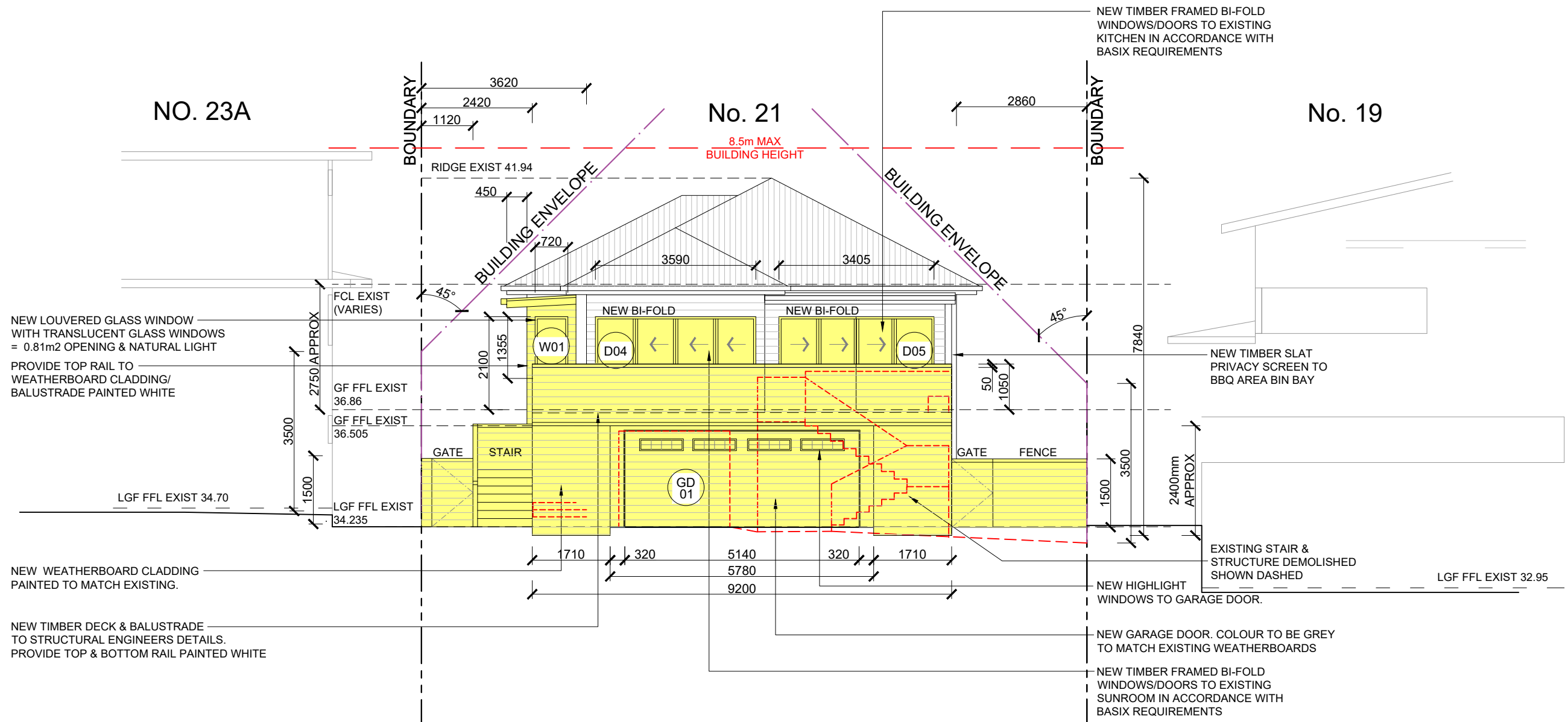
SHEET TITLE
ROOF PLAN

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SCALE 1:150@A3 DATE 19-12-2024
DRAWN DW CHECKED BH

DRAWING NUMBER 2021.80 DA04
REV: A

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NORTH ELEVATION

LEGEND:

- NEW WORKS
- DEMOLISHED

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

SHEET TITLE
NORTH ELEVATION

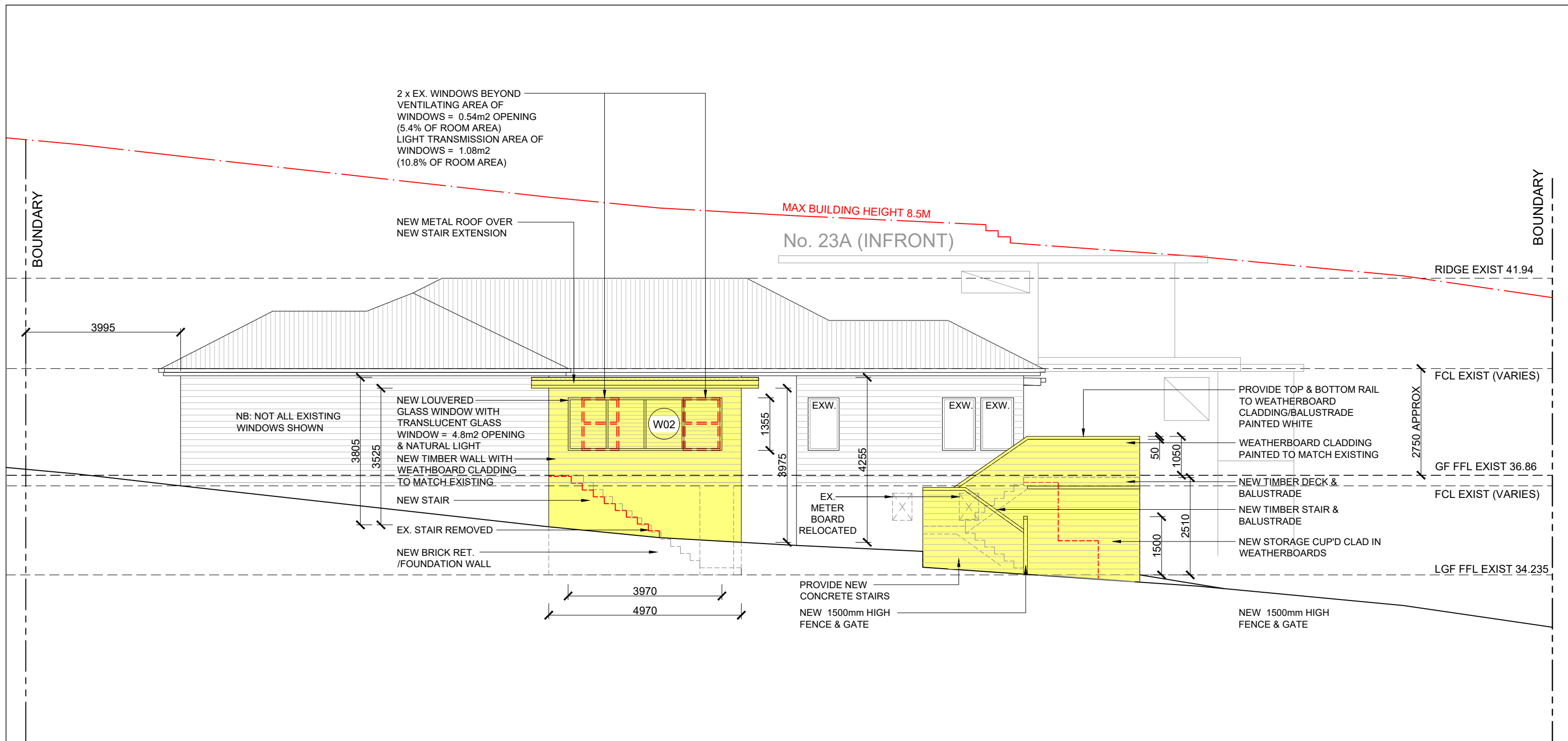
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DRAWING NUMBER 2021.80
DA05

REV:
A



EAST ELEVATION

LEGEND:

- NEW WORKS
- DEMOLISHED

DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

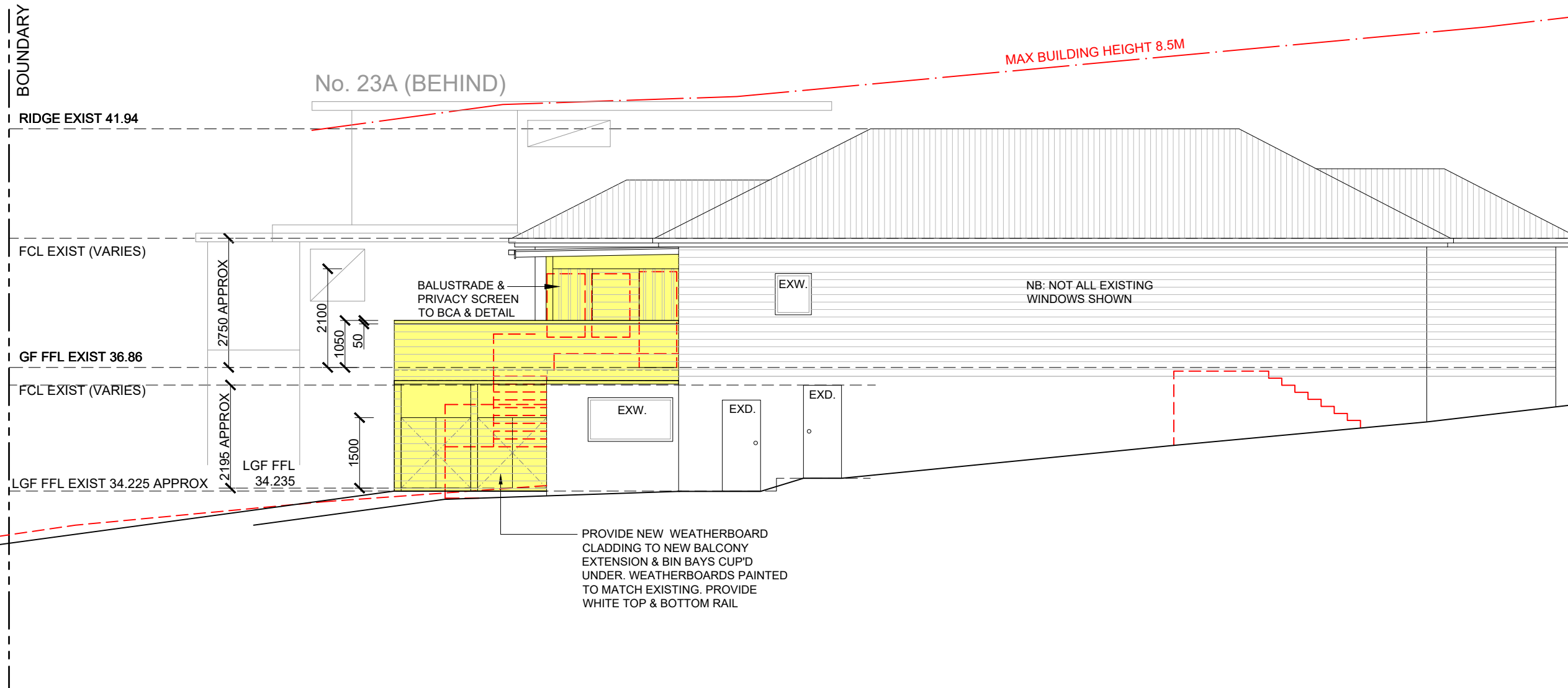
SHEET TITLE
EAST ELEVATION

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WEST ELEVATION

LEGEND:

NEW WORKS

DEMOLISHED

DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

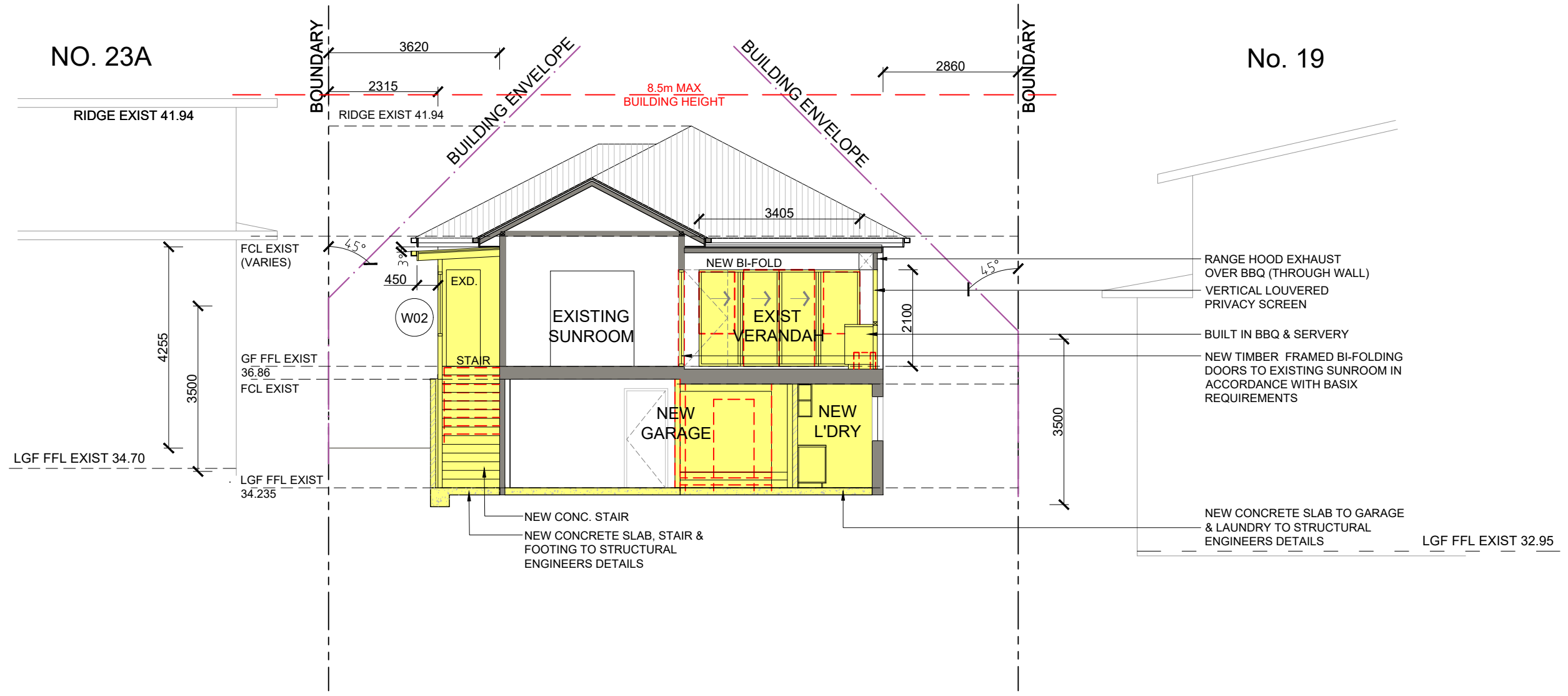
SHEET TITLE
WEST ELEVATION

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DRAWING NUMBER 2021.80 DA07
REV: A



SECTION A-A

LEGEND:

NEW WORKS

DEMOLISHED

DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

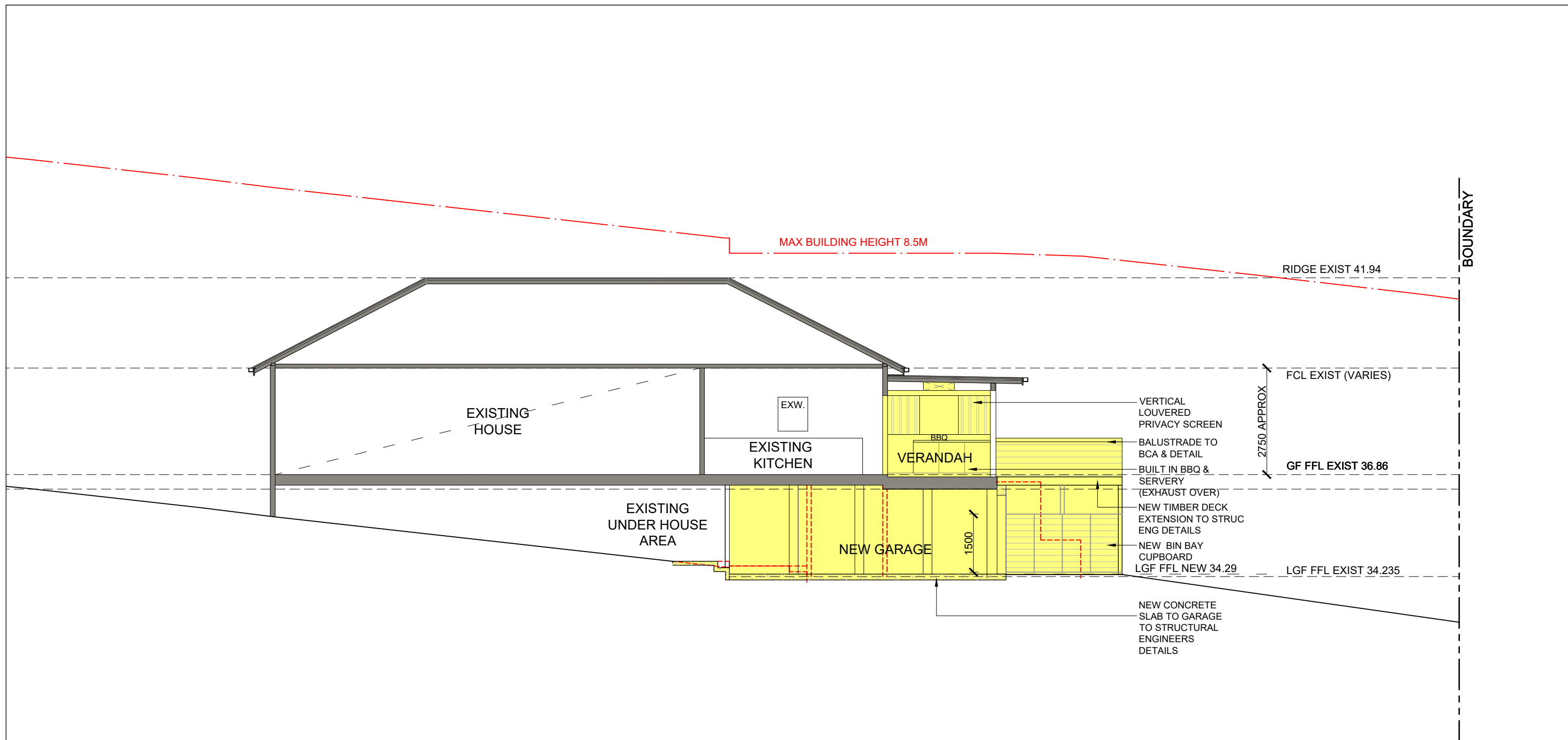
SHEET TITLE
SECTION A-A

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SCALE 1:100@A3 DATE 19-12-2024
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DRAWING NUMBER 2021.80 DA08 REV: A



SECTION B-B

LEGEND:

NEW WORKS

DEMOLISHED

DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

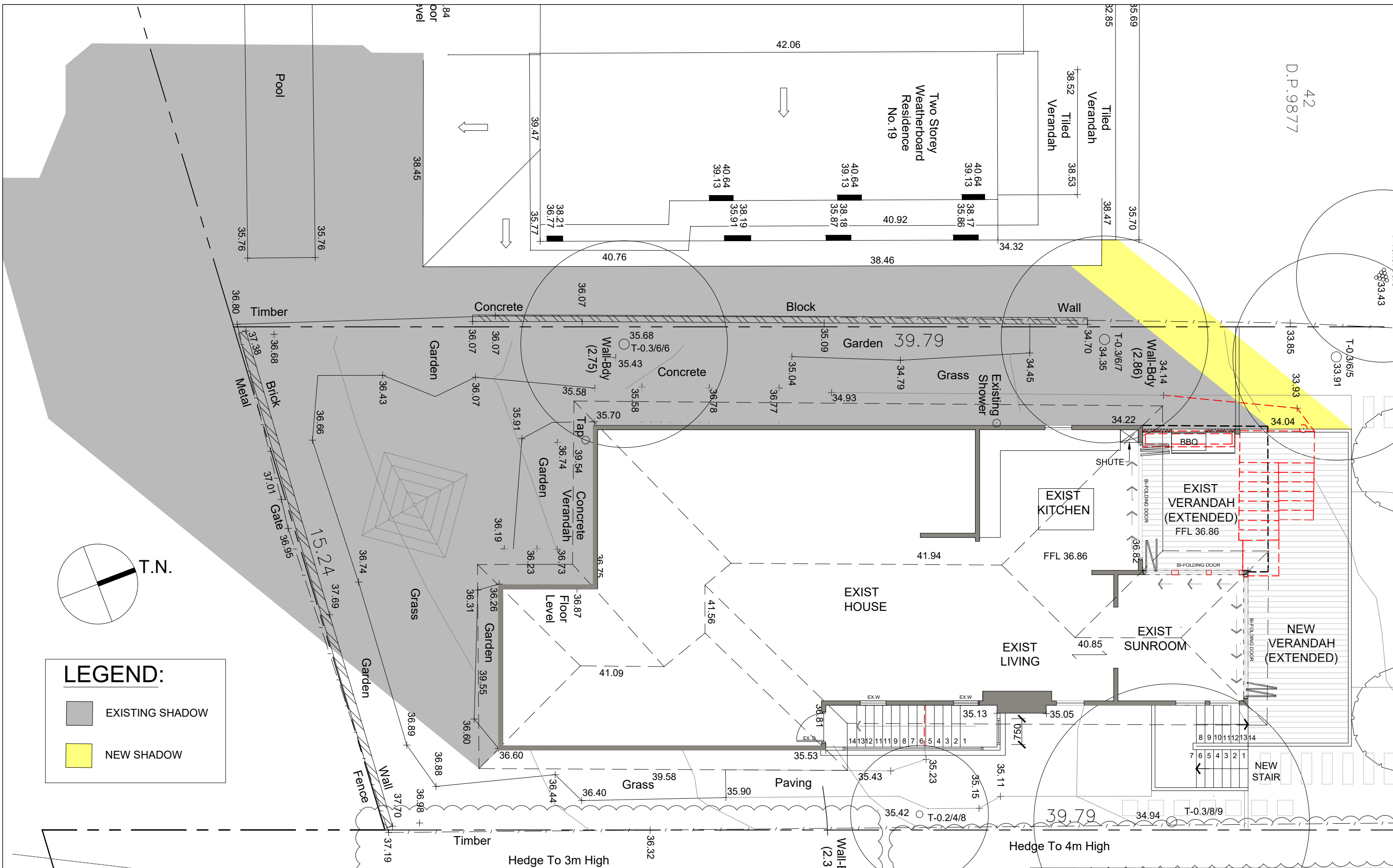
SHEET TITLE
SECTION B-B

HUMEL

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SCALE 1:100@A3 DATE 19-12-2024
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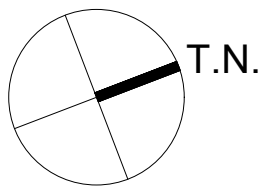
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D.P. 9877
42

Two Storey
Weatherboard
Residence
No. 19

Pool



LEGEND:

- EXISTING SHADOW
- NEW SHADOW

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

SHEET TITLE
SHADOW DIAGRAM 1
JUNE 22nd 9:00am
GROUND FLOOR PLAN

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SCALE 1:150@A3 DATE 19-12-2024
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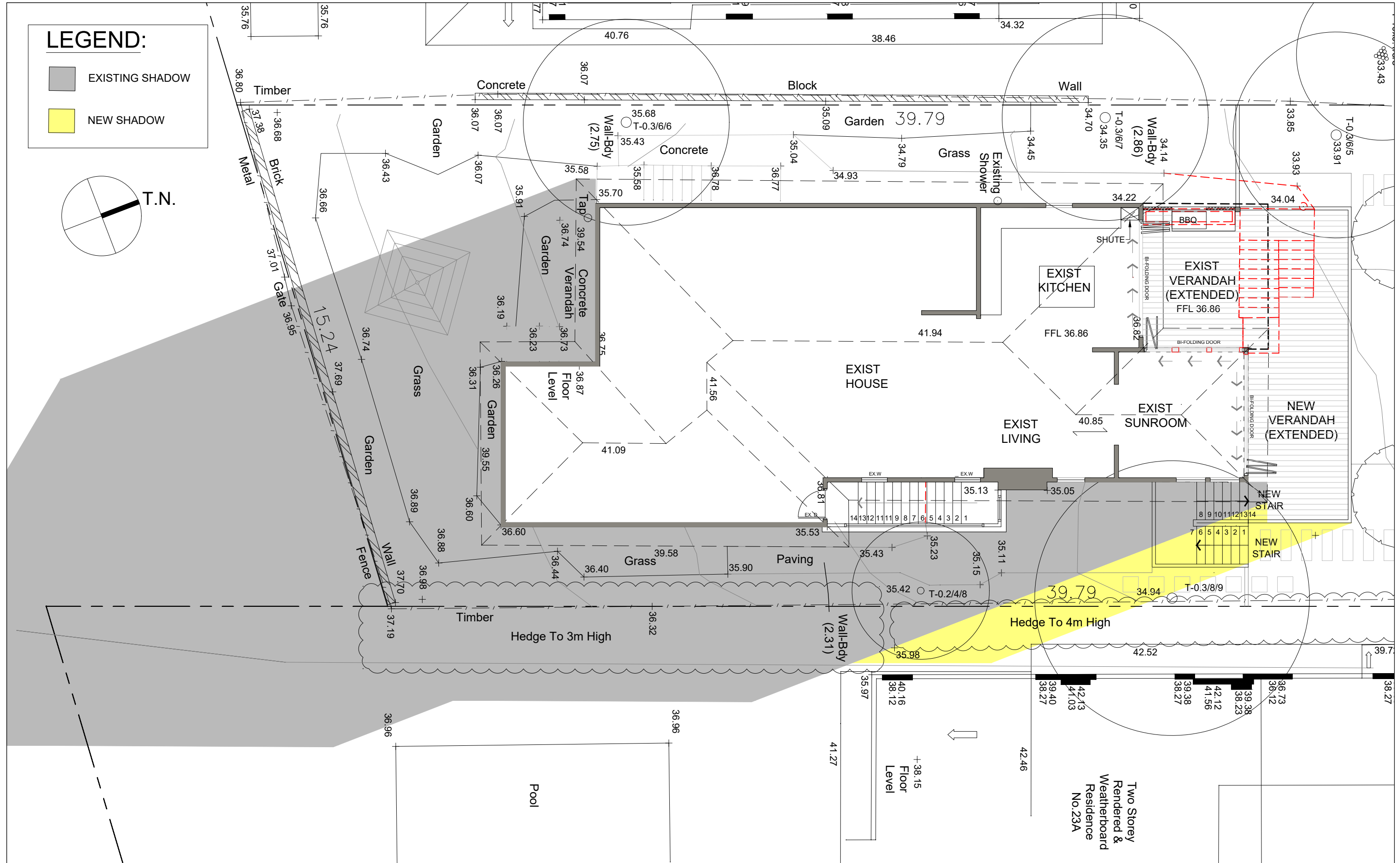
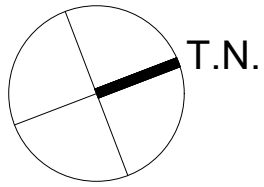
DRAWING NUMBER 2021.80
SD01

REV: A

DA ISSUE	No.	Date
Amendment/Issue		
	A	19.12.2024

LEGEND:

- EXISTING SHADOW
- NEW SHADOW



DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

SHEET TITLE
SHADOW DIAGRAM 2
JUNE 22nd 12:00pm
GROUND FLOOR PLAN

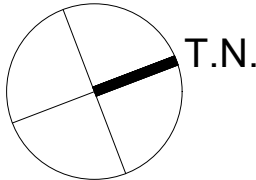
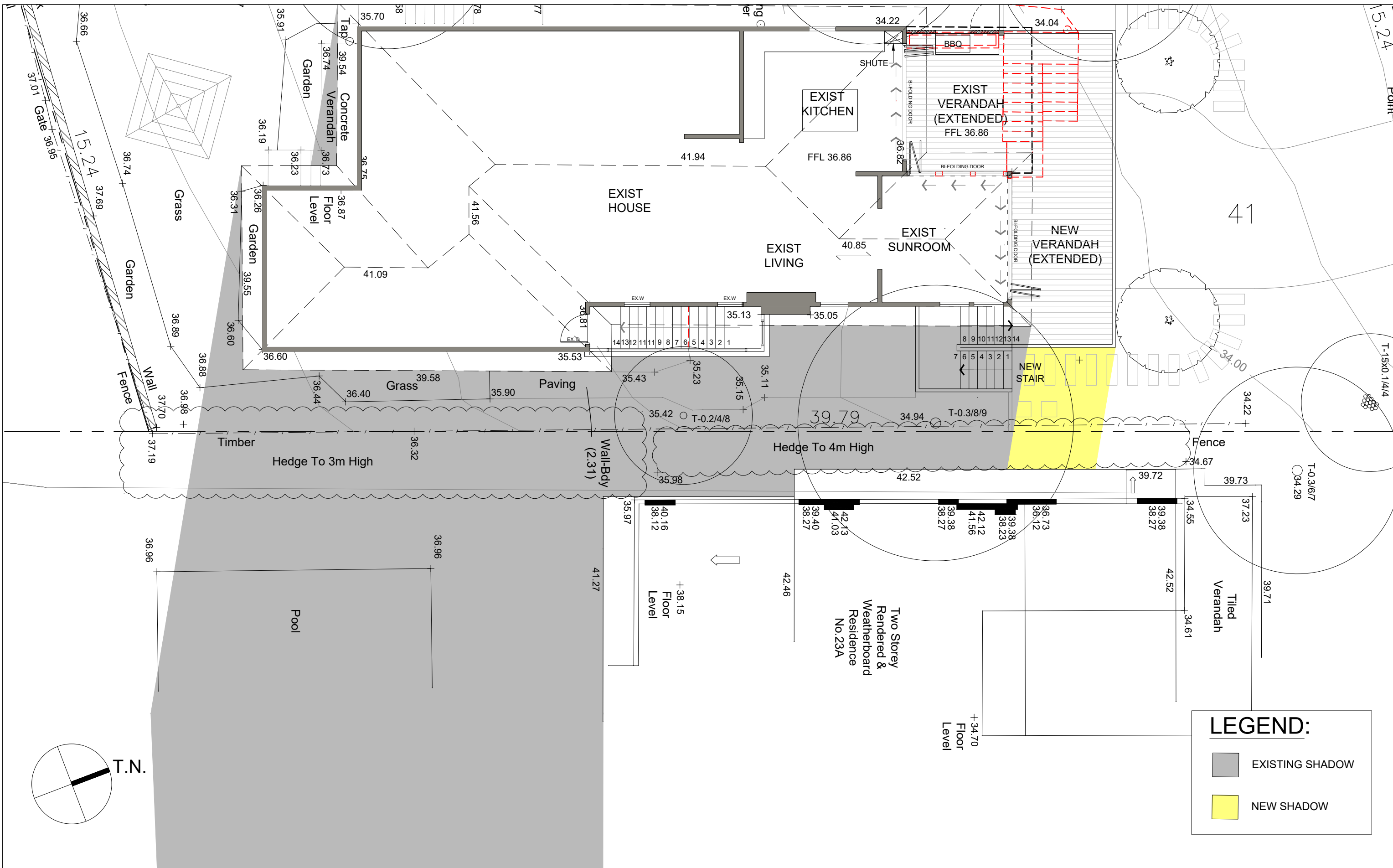
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SCALE 1:100@A3 DATE 19-12-2024
DRAWN DW CHECKED BH

DRAWING NUMBER 2021.80
SD02

REV: A



LEGEND:

- EXISTING SHADOW
- NEW SHADOW

DA ISSUE	A	19.12.2024
Amendment/Issue	No.	Date

PROPRIETOR
BRUCE DAVIS

PROJECT
ALTERATIONS & ADDITIONS AT
21 WALWORTH AVENUE
NEWPORT NSW 2106
LOT 41, DP9877

SHEET TITLE
SHADOW DIAGRAM 3
JUNE 22nd 3:00pm
GROUND FLOOR PLAN

HUMEL

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SCALE 1:100@A3 DATE 19-12-2024
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DRAWING NUMBER 2021.80 **SD03** REV: **A**