53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13 -20)

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TL02 F02 AT
LOT 15 LORIKEET GROVE, WARRIEWOOD NSW 2102
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TL07 F01 AT
LOT 17 PHEASANT PLACE, WARRIEWOOD NSW 2102
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LOT 18 PHEASANT PLACE, WARRIEWOOD NSW 2102
TL08 F01 AT
LOT 19 ROAD NO.2, WARRIEWOOD NSW 2102
TL03 F02 AT
LOT 20 ROAD NO.1, WARRIEWOOD NSW 2102

BASIX Information

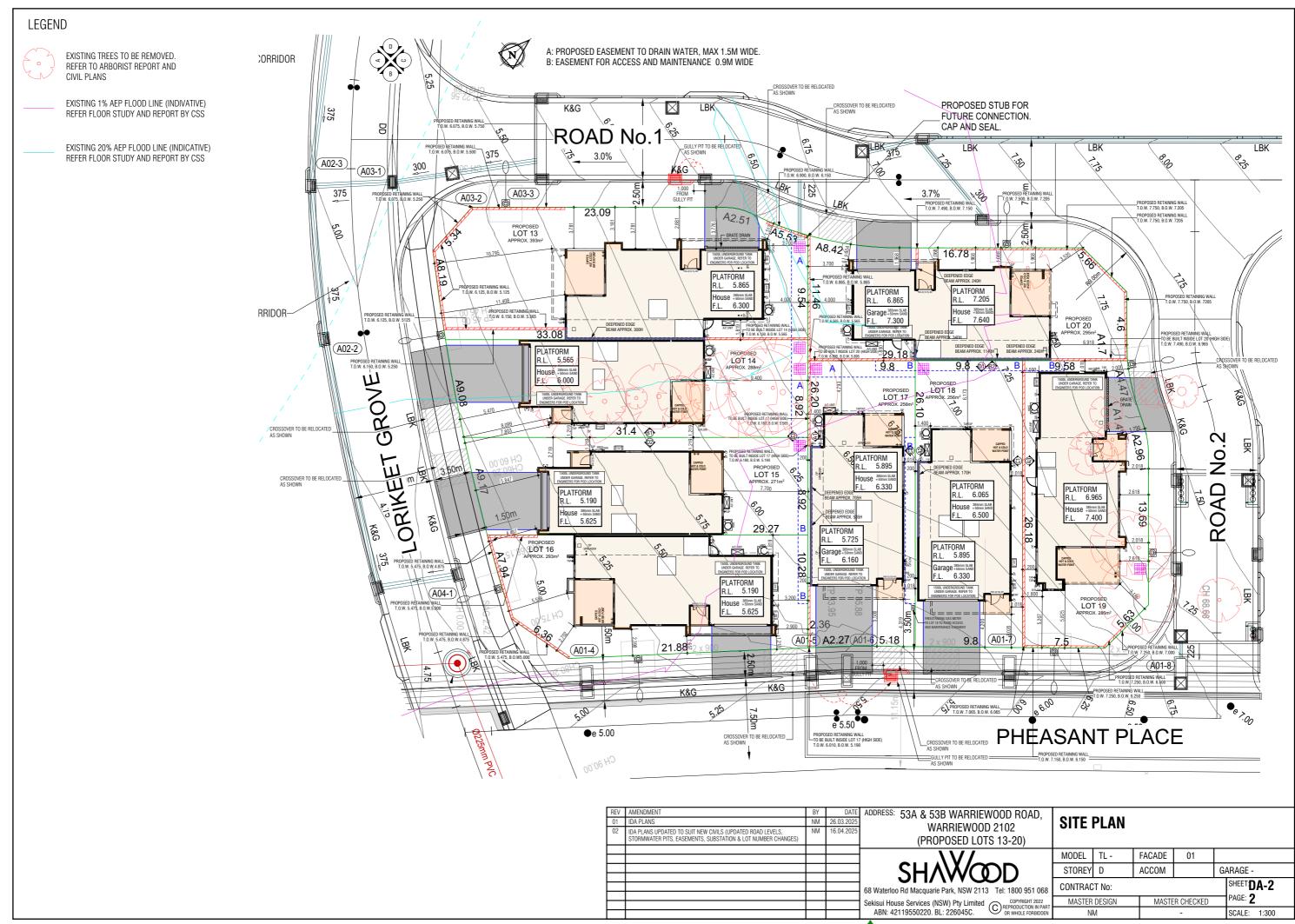
SEE SHEET DA-3 SITE PLAN FOR BASIX INFORMATION

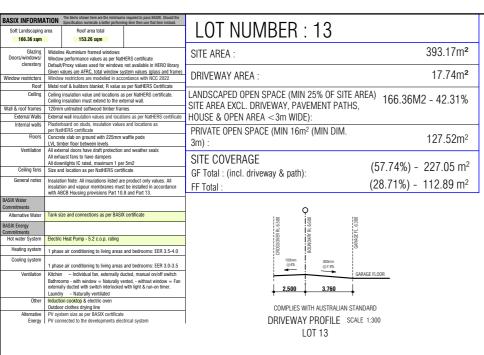
Compliance Calculations

SEE SHEET DA-3 SITE PLAN FOR COMPLIANCE CALCULATIONS

NO SEWER INFORMATION AVAILABLE AT COMPLETION OF DA PLANS

REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	D. 04				
01	IDA PLANS	NM	26.03.2025	*	DA CO	OVER P	'AGF		
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		<i>D</i> 0.	J T =	,.u_		
\perp	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
\vdash				\\//	MODEL	TL -	FACADE	01	
				SHAWOOD	STOREY	D	ACCOM		GARAGE -
				30////	OTOTIL		71000111		
				68 Waterloo Rd Macquarie Park NSW 2113 Tel: 1800 951 068	CONTRAC	CT No:			SHEET DA-1
\vdash				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. Copyright 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 1
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN	N	М		-	SCALE:





Soft Landscaping at 97.42 sqm Glazing Doors/windows/ clerestory Window restrictors Roof Ceiling	Wideline Aluminium framed windows Window performance values as per NatfFRS certificate Default/Proxy values used for windows not available in HERO library Ginen values are AFRC, total window system values (gless and frame) Window restrictions are modelled in accordance with NCC 2022 Metal nort & builders bizariext, R value as per NatfFRS Certificate	SI
Glazing Doors/windows/ clerestory Window restrictors Roof	Wideline Aluminium framed windows Window porformance values as per Nati-ERS certificate Detail-Pravy values used for windows available in HERD library Gleine values are AFRC, total window system values (place and frame) Window restrictors are modelled in accordance with NCC 2022 Metal not & builders basines, R value as per Masi-ERS Certificate	<u> </u>
Doors/windows/ clerestory Window restrictors Roof	Window performance values as per NatHERS certificate Defautif/Proxy values used for windows not available in HERO library Given values are AFRC, total window system values (glass and frame) Window restrictors are modelled in accordance with NCC 2022 Metal roof & builders blanket, R value as per NatHERS Certificate	<u> </u>
Clerestory Window restrictors Roof	Default/Proxy values used for windows not available in HERO library Given values are AFRC, total window system values (glass and frame) Window restrictors are modelled in accordance with NCC 2022 Metal roof & builders blanket, R value as per NatHERS Certificate	D.
Window restrictors Roof	Given values are AFRC, total window system values (glass and frame) Window restrictors are modelled in accordance with NCC 2022 Metal roof & builders blanket, R value as per NatHERS Certificate	D.
Roof	Window restrictors are modelled in accordance with NCC 2022 Metal roof & builders blanket, R value as per NatHERS Certificate	
		DF
- Coming	Ceiling insulation value and locations as per NatHERS certificate.	LAI
I	Ceiling insulation waste extend to the external wall.	
Wall & roof frames	120mm untreated softwood timber frames	SIT
External Walls	External wall insulation values and locations as per NatHERS certificate	H0
Internal walls	Plasterboard on studs, insulation values and locations as	110
	per NatHERS certificate	PR
Floors	Concrete slab on ground with 225mm waffle pods	
	LVL timber floor between levels	3n
Ventilation	All external doors have draft protection and weather seals	٠.
	All exhaust fans to have dampers All downlights IC rated, maximum 1 per 5m2	SI
Ceiling fans	Size and location as per NatHERS certificate	0.5
		GF
General notes	Insulation Note: All insulations listed are product only values. All	
	insulation and vapour membranes must be installed in accordance with ABCB Housing provisions Part 10.8 and Part 13.	FF
RASIX Water	man rado nousing promotors that to o and that to.	
Commitments		
Alternative Water	Tank size and connections as per BASIX certificate	
BASIX Energy		
Commitments		
Hot water System	Electric Heat Pump - 5.2 c.o.p. rating	
Heating system	1 phase air conditioning to living areas and bedrooms: EER 3.5-4.0	
Cooling system	1 phase air conditioning to living areas and bedrooms: EER 3.0-3.5	
Ventilation	Kitchen – Individual fan, externally ducted, manual on/off switch	
venuiauon	Bathrooms - with window = Naturally vented, - without window = Fan	
	externally ducted with switch interlocked with light & run-on timer.	
	Laundry - Naturally ventilated	
Other	Induction cooktop & electric oven	
Alternative	Outdoor clothes drying line	
	PV system size as per BASIX certificate PV connected to the developments electrical system	

he	LOT NUMBER : 14	
	SITE AREA :	288.08m²
ry me)	DRIVEWAY AREA :	36.86m²
ate	LANDSCAPED OPEN SPACE (MIN 25% OF SITE AR SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <3m WIDE):	EA) 97.42M2 - 33.81%
	PRIVATE OPEN SPACE (MIN 16m² (MIN DIM. 3m) :	83.82 m ²
:	SITE COVERAGE GF Total : (incl. driveway & path): FF Total :	(65.77%) - 189.49 m ² (41.92%) - 120.79 m ²
	10550/ER R. 4750 80360/ER R. 4350	0000 H H H H H H H H H H H H H H H H H

4,720

COMPLIES WITH AUSTRALIAN STANDARD

DRIVEWAY PROFILE SCALE 1:300

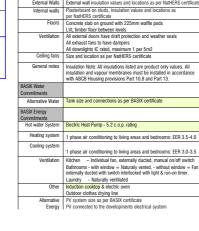
LOT 14

2,000

3.500

3,500

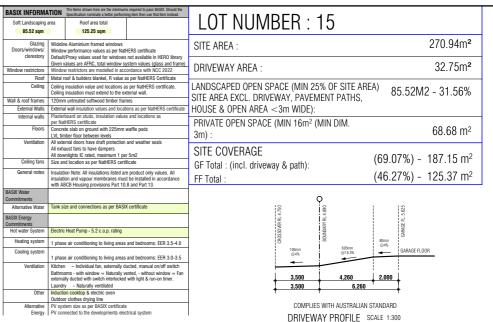
LOT NUMBER: 17



Wall & roof frames 120mm untreated softwood timber frames

85.52 sam

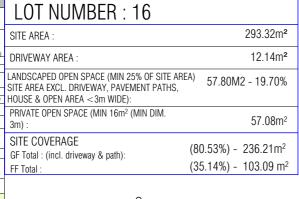
125.25 sqm

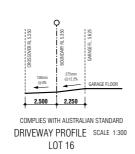


Soft Landscaping	area	Roof area total		
76.72 sqm		181.61 sqm		
Glazing Doors/windows/ clerestory	Window	e Aluminium framed windows w performance values as per Nat /Proxy values used for windows values are AFRC, total windows	not available in HERO library	
Window restrictors	Windov	v restrictors are modelled in acc	cordance with NCC 2022	
Roof	Metal r	oof & builders blanket, R value :	as per NatHERS Certificate	
Ceiling		insulation value and locations a insulation must extend to the ex		
Wall & roof frames	120mn	n untreated softwood timber frai	mes	
External Walls		External wall insulation values and locations as per NatHERS certif		
Internal walls	per Nat	board on studs, insulation value HERS certificate		
Floors		te slab on ground with 225mm ber floor between levels	waffle pods	
Ventilation	All exha	rnal doors have draft protection aust fans to have dampers inlights IC rated, maximum 1 pe		
Ceiling fans		d location as per NatHERS cert		
General notes	insulati	on Note: All insulations listed at on and vapour membranes mus BCB Housing provisions Part 10	st be installed in accordance	
BASIX Water Commitments				
Alternative Water	Tank si	ze and connections as per BASI	X certificate	
BASIX Energy Commitments				
Hot water System	Electric	Heat Pump - 5.2 c.o.p. rating		
Heating system	1 phas	e air conditioning to living areas	and bedrooms: EER 3.5-4.0	
Cooling system	1 phas	e air conditioning to living areas	and bedrooms: EER 3.0-3.5	
Ventilation	Kitchen Bathroo externa	Individual fan, externally doms - with window = Naturally willy ducted with switch interlocked.	lucted, manual on/off switch rented, - without window = Far I with light & run-on timer.	

BASIX INFORMATION

The items shown here are the minimums required to pass BASIX Specification nominate a better performing item then use that item



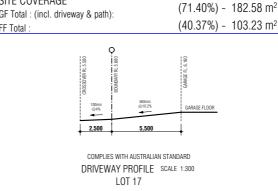


Glazing Doors/windows/ clerestory	Windo	l he Aluminium framed windows w performance values as per Nath t/Proxy values used for windows		SITE AREA :				255.70m²
Window restrictors	Given Windo	values are AFRC, total window sy w restrictors are modelled in acco	stem values (glass and frame) ordance with NCC 2022	DRIVEWAY AREA :				17.4m²
Roof		roof & builders blanket, R value as		LANDOGADED ODEN OD	TA)			
Ceiling	Ceiling	insulation value and locations as insulation must extend to the ext	ternal wall.	LANDSCAPED OPEN SP SITE AREA EXCL. DRIVE			^{EA)} 60.4	7M2 - 23.64%
Wall & roof frames		m untreated softwood timber fram			,	,		
External Walls		al wall insulation values and locati		HOUSE & OPEN AREA <	<3m WID	E):		
Internal walls		rboard on studs, insulation values tHERS certificate	and locations as	PRIVATE OPEN SPACE	(MIN 16r	n² (MIN DIM		
Floors	LVL tir	ete slab on ground with 225mm v nber floor between levels		3m) :	((28.50m ²
Ventilation		ernal doors have draft protection a	and weather seals					
		aust fans to have dampers vnlights IC rated, maximum 1 per	5m2	SITE COVERAGE			(74 400/	100 50 2
Ceiling fans		nd location as per NatHERS certif		GF Total : (incl. drivewa	av & nath	١٠	(71.40%)) - 182.58 m ²
General notes		ion Note: All insulations listed are ion and vapour membranes must		FF Total :	ly & pulli	<i>,</i> -	(40.37%) - 103.23 m ²
	with A	BCB Housing provisions Part 10.	8 and Part 13.				,	,
BASIX Water Commitments						φ		
Alternative Water	Tank s	ize and connections as per BASIX	(certificate			Y i≅	109	
BASIX Energy Commitments				=	AOSSOVER RL 5.500	BOUNDARY RL 5.600	SANGE R. 6.160	
Hot water System	Electric	c Heat Pump - 5.2 c.o.p. rating			BX 08:	NDAR.	ARAGE	
Heating system	1 phas	e air conditioning to living areas	and bedrooms: EER 3.5-4.0	-	CRO CRO	. BOI	9	
Cooling system	1 phas	se air conditioning to living areas	and bedrooms: EER 3.0-3.5	-	100mm @4%	560mm @10.2%	GARAGE FLOOR	
Ventilation	Kitche	n – Individual fan. externally du	icted manual on/off switch	=	045	i <u>+</u>	G ST IGE 1 EGGI	•
	Bathro	oms - with window = Naturally ve ally ducted with switch interlocked	ented, - without window = Fan		2.500	5.500	i	
	Laund	y - Naturally ventilated	-		†	1,000	→	
Other		on cooktop & electric oven		-				
		or clothes drying line		=				
Alternative Energy		stem size as per BASIX certificate nnected to the developments elect			COMPLIE	S WITH AUSTRALIAN STA	NDARD	
Energy	LA COL	medien in me nevelopments elec-	uicai systeiii					

1 phase air conditioning to living areas and bedrooms: EER

ected to the developments electrical system

tdoor clothes drying line I system size as ner RASIX certificate



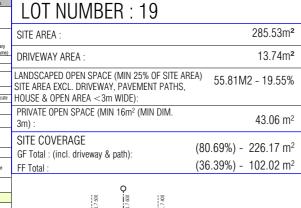
Soft Landscaping	area	Roof area total	
60.49 sqm		161.41 sqm	
Glazing Doors/windows/		e Aluminium framed windo	
clerestory		v performance values as per	NatHERS certificate ows not available in HERO library
Cicioscory			w system values (glass and frame)
Window restrictors	Window	v restrictors are modelled in	accordance with NCC 2022
Roof			lue as per NatHERS Certificate
Ceiling		insulation value and location	ns as per NatHERS certificate. le external wall.
Wall & roof frames	120mn	n untreated softwood timber	frames
External Walls	Externa	I wall insulation values and I	ocations as per NatHERS certificate
Internal walls		board on studs, insulation v	alues and locations as
		HERS certificate	
Floors		te slab on ground with 225r ber floor between levels	nm waffle pods
Ventilation		rnal doors have draft protec	tion and weather coals
venulauon		aust fans to have dampers	tion and weather seals
		mlights IC rated, maximum	1 per 5m2
Ceiling fans	Size an	d location as per NatHERS	certificate
General notes	Insulati	on Note: All insulations liste	d are product only values. All
	insulati		must be installed in accordance
RASIX Water	WIUI AL	BUB Housing provisions Par	L TU.6 and Part 13.
Commitments			
Alternative Water	Tank si	ze and connections as per B	ASIX certificate
BASIX Energy			
Commitments	l		
Hot water System	Electric	Heat Pump - 5.2 c.o.p. ratio	ng
Heating system	1 phas	e air conditioning to living a	reas and bedrooms: EER 3.5-4.0
Cooling system			
	1 phas		reas and bedrooms: EER 3.0-3.5
Ventilation	Kitchen		lly ducted, manual on/off switch
	externa	lly ducted with switch interlor	lly vented, - without window = Fan cked with light & run-on timer.
		y - Naturally ventilated	
Other		on cooktop & electric oven	
		r clothes drying line	
Alternative		tem size as per BASIX certif	
Energy	PV con	nected to the developments	electrical system

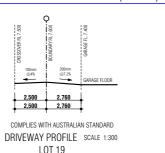
siedu.	LOT NUMBER : 18	
	SITE AREA :	256.19m²
library 1 frame) 2 ate	DRIVEWAY AREA :	21.57m²
ate te. rtificate	LANDSCAPED OPEN SPACE (MIN 25% OF SITE AF SITE AREA EXCL. DRIVEWAY, PAVEMENT PATHS, HOUSE & OPEN AREA <3m WIDE):	REA) 60.49M2 - 23.61%
	PRIVATE OPEN SPACE (MIN 16m ² (MIN DIM. 3m) :	60.49m²
All ance	SITE COVERAGE GF Total : (incl. driveway & path): FF Total :	(76.30%) - 195.49 m ² (40.29%) - 103.23 m ²
5-4.0 0-3.5 vitch = Fan	100 100	····-

LOT 15

OT NUMBER 40

BASIX INFORMA			forming item then use that item instead.	ı
Soft Landscaping	area	Roof area total		
50.27 sqm		175.85 sqm		H
Glazing Doors/windows/ clerestory	Window	e Aluminium framed window performance values as per		5
Window restrictors	Given v	alues are AFRC, total windo	w system values (glass and frame) accordance with NCC 2022	[
Roof			lue as per NatHERS Certificate	Ľ
Ceiling	Ceiling		ns as per NatHERS certificate.	L
Wall & roof frames	120mm	untreated softwood timber	frames	S
External Walls	Externa	I wall insulation values and lo	ocations as per NatHERS certificate	Н
Internal walls		poard on studs, insulation va HERS certificate	alues and locations as	F
Floors	LVL tim	te slab on ground with 225n ber floor between levels		3
Ventilation	All exha	rnal doors have draft protec uust fans to have dampers nlights IC rated, maximum 1		(
Ceiling fans		d location as per NatHERS o		(
General notes	insulati		d are product only values. All must be installed in accordance t 10.8 and Part 13.	ı
BASIX Water Commitments				
Alternative Water	Tank siz	ze and connections as per B	ASIX certificate	
BASIX Energy Commitments				
Hot water System	Electric	Heat Pump - 5.2 c.o.p. ratir	ng	
Heating system	1 phase	air conditioning to living ar	reas and bedrooms: EER 3.5-4.0	ĺ
Cooling system	1 phasi	air conditioning to living ar	reas and bedrooms: EER 3.0-3.5	
Ventilation	external	ms - with window = Natural	lly ducted, manual on/off switch lly vented, - without window = Fan cked with light & run-on timer.	
Other		n cookton & electric oven		ı





SIX INFORMA	ATION Specification nominate a better perform					
Soft Landscaping			LOT NUMBER : 20			
73.38 sqm	178.59 sqm					
Glazing Doors/windows/ clerestory	Wideline Aluminium framed windows Window performance values as per Nati Default/Proxy values used for windows		SITE AREA :		294.	95m²
ndow restrictors	Given values are AFRC, total window sy Window restrictors are modelled in acc	ystem values (glass and frame)	DRIVEWAY AREA :		16.	50m²
Roof	Metal roof & builders blanket, R value a	as per NatHERS Certificate				
Ceiling	Ceiling insulation value and locations a Ceiling insulation must extend to the ex		LANDSCAPED OPEN SPACE (MIN 25% OF SITE AREA SITE AREA EXCL. DRIVEWAY. PAVEMENT PATHS.	^{A)} 73.38M2	2 - 35	.46%
all & roof frames	120mm untreated softwood timber fram	mes	- ,			
External Walls	External wall insulation values and locat		HOUSE & OPEN AREA <3m WIDE):			
Internal walls	Plasterboard on studs, insulation value per NatHERS certificate	s and locations as	PRIVATE OPEN SPACE (MIN 16m² (MIN DIM.			
Floors	Concrete slab on ground with 225mm LVL timber floor between levels	waffle pods	3m):		51.5	1 m ²
Ventilation	All external doors have draft protection All exhaust fans to have dampers All downlights IC rated, maximum 1 pe		SITE COVERAGE	/70 E00/\	200 1	12 m²
Ceiling fans	Size and location as per NatHERS certi	ficate	GF Total : (incl. driveway & path):	(70.59%) -	200.2	3 111-
General notes	Insulation Note: All insulations listed an insulation and vapour membranes mus with ABCB Housing provisions Part 10.	t be installed in accordance	FF Total :	(35.66%) -	105.1	9 m ²
SIX Water nmitments						
Alternative Water	Tank size and connections as per BASD	X certificate				
SIX Energy nmitments						
lot water System	Electric Heat Pump - 5.2 c.o.p. rating		DEV AMENDMENT		DV	DATE

REV	AMENDMENT	BY	DATE	ADDRESS:
01	IDA PLANS	NM	26.03.2025	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	
<u> </u>				
_				
\vdash				
\vdash				
\vdash				68 Waterloo
				Sekisui Hou
				ABN: 42
	01	01 IDA PLANS 02 IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	01 IDA PLANS NM 02 IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, NM	01 IDA PLANS NM 26.03.2025 02 IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, NM 16.04.2025

	CROSSOVER RL 7.000	BOUNDARY RL 7.100	G/RAGE FL. 7.300
	100mm @4%	200mm @10%	GARAGE FLOOR
			1
•	2,500 2,500	1,995 1,995	t

CROSSOVER RL 7.000	BOUNDARY RL 7.100	GWAGE FL. 7.300
100mm @4%	200mm @10%	GARAGE FLOOR
2,500	1,995	Ĺ
2,500	1,995	

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53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	SIT
\V/	MODE

(PROPOSED LOTS 13-20)	
- \V/	
68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	
Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 ABN: 42119550220. BL: 226045C.	

MODEL TL- FACADE 01 GARAGE -					IANCE
MODEL	TL -	FACADE	01		
STOREY	D	ACCOM		G/	ARAGE -
ONTRAC	T No:				SHEET DA-3

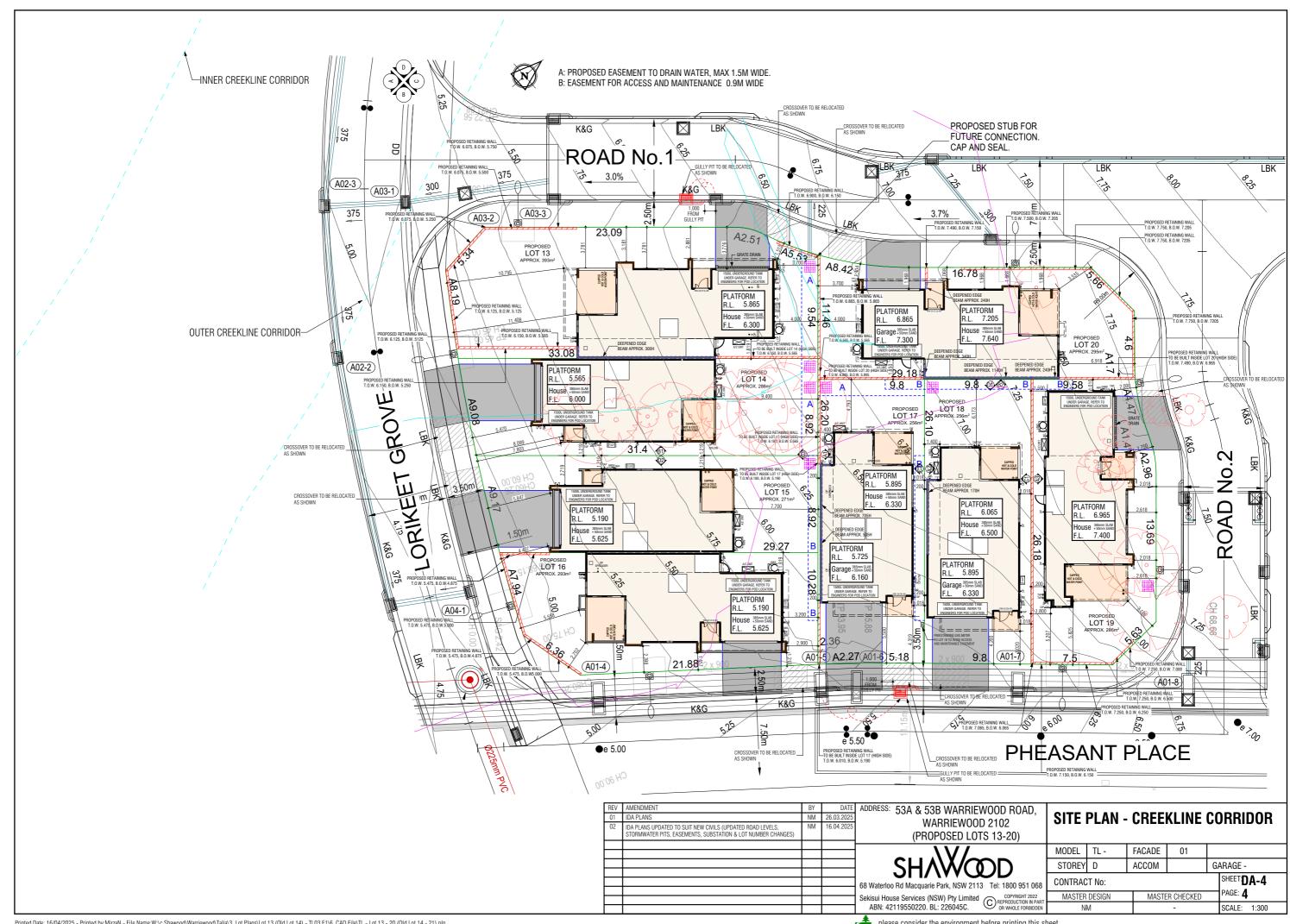
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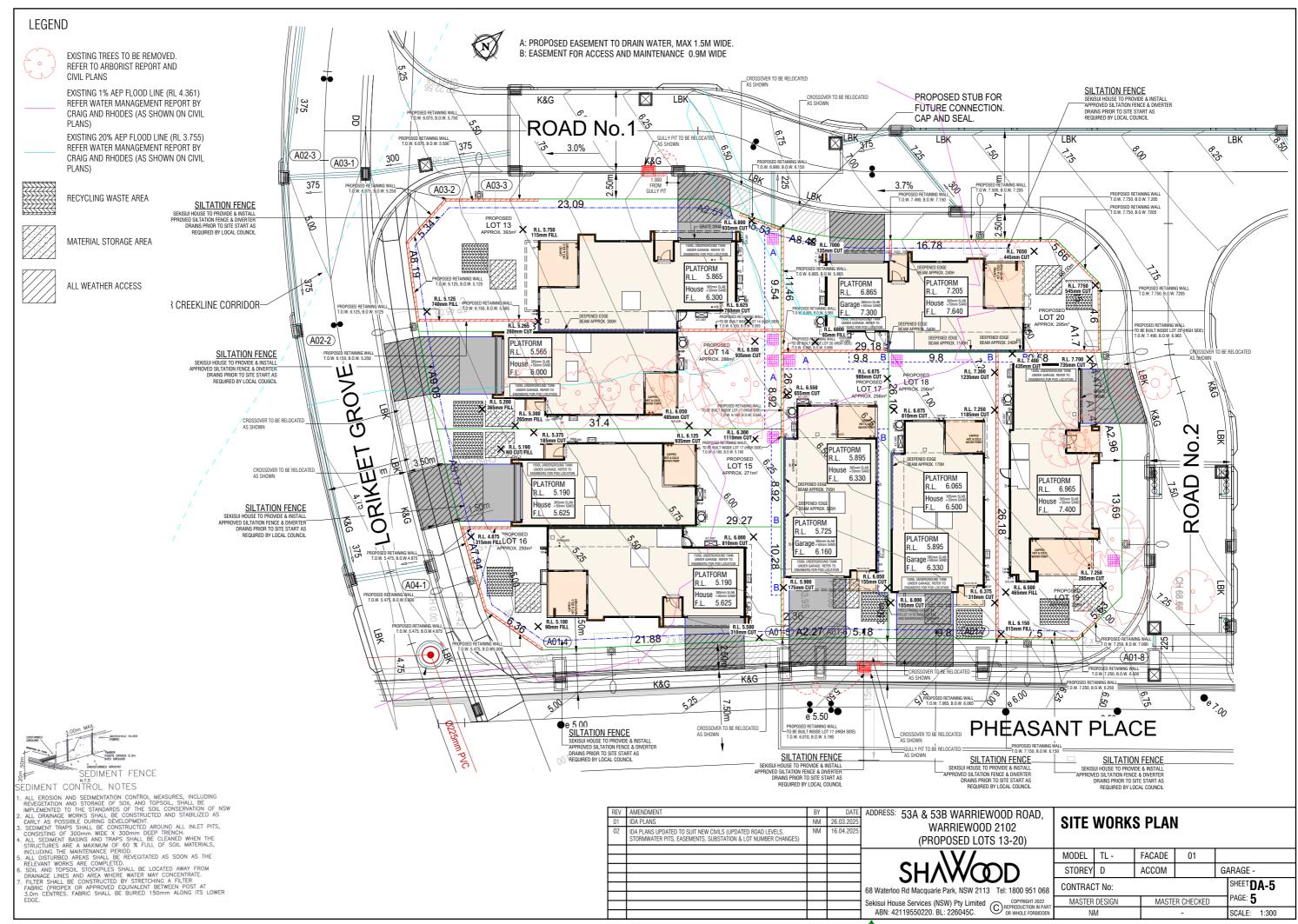
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MASTER DESIGN





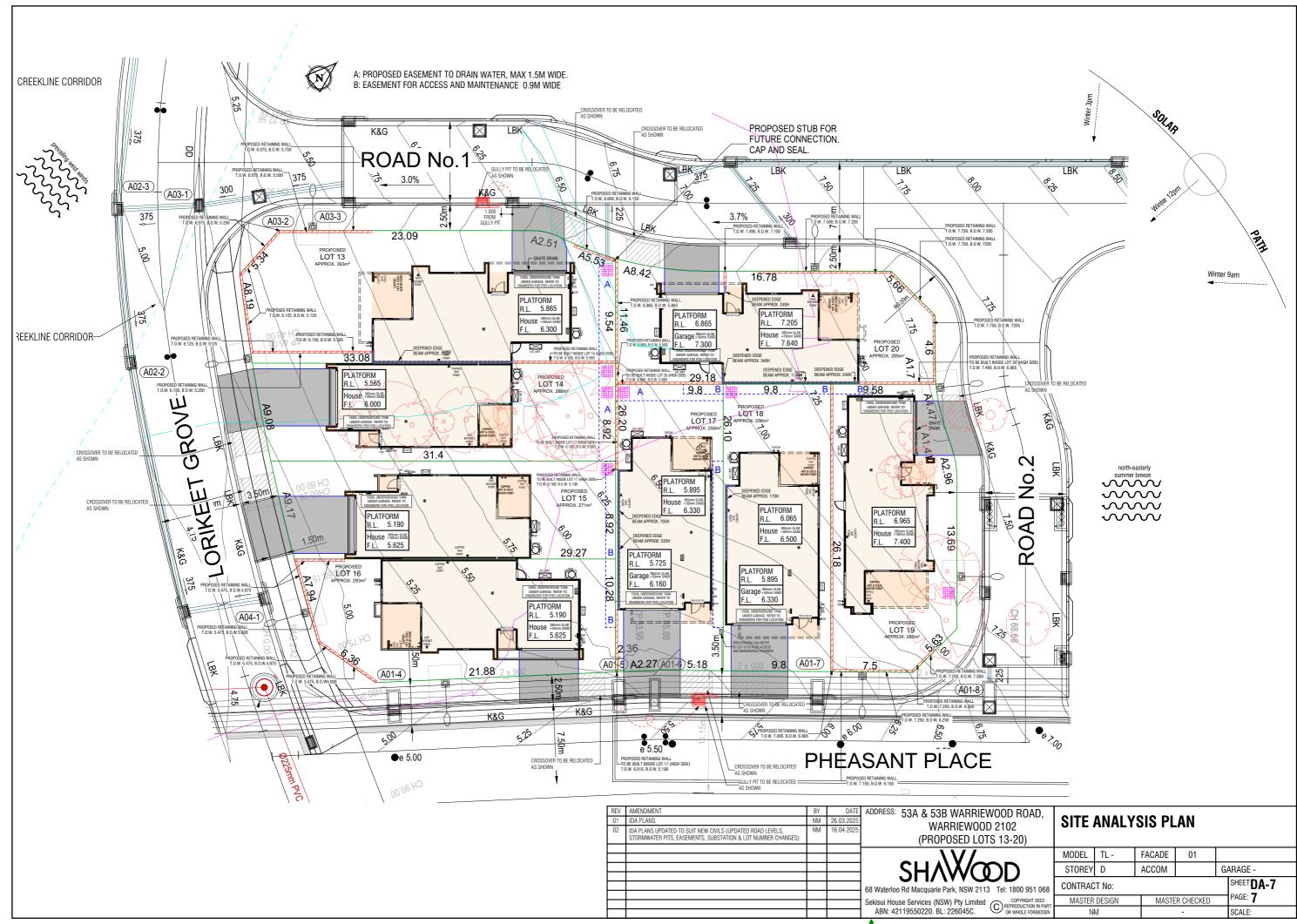
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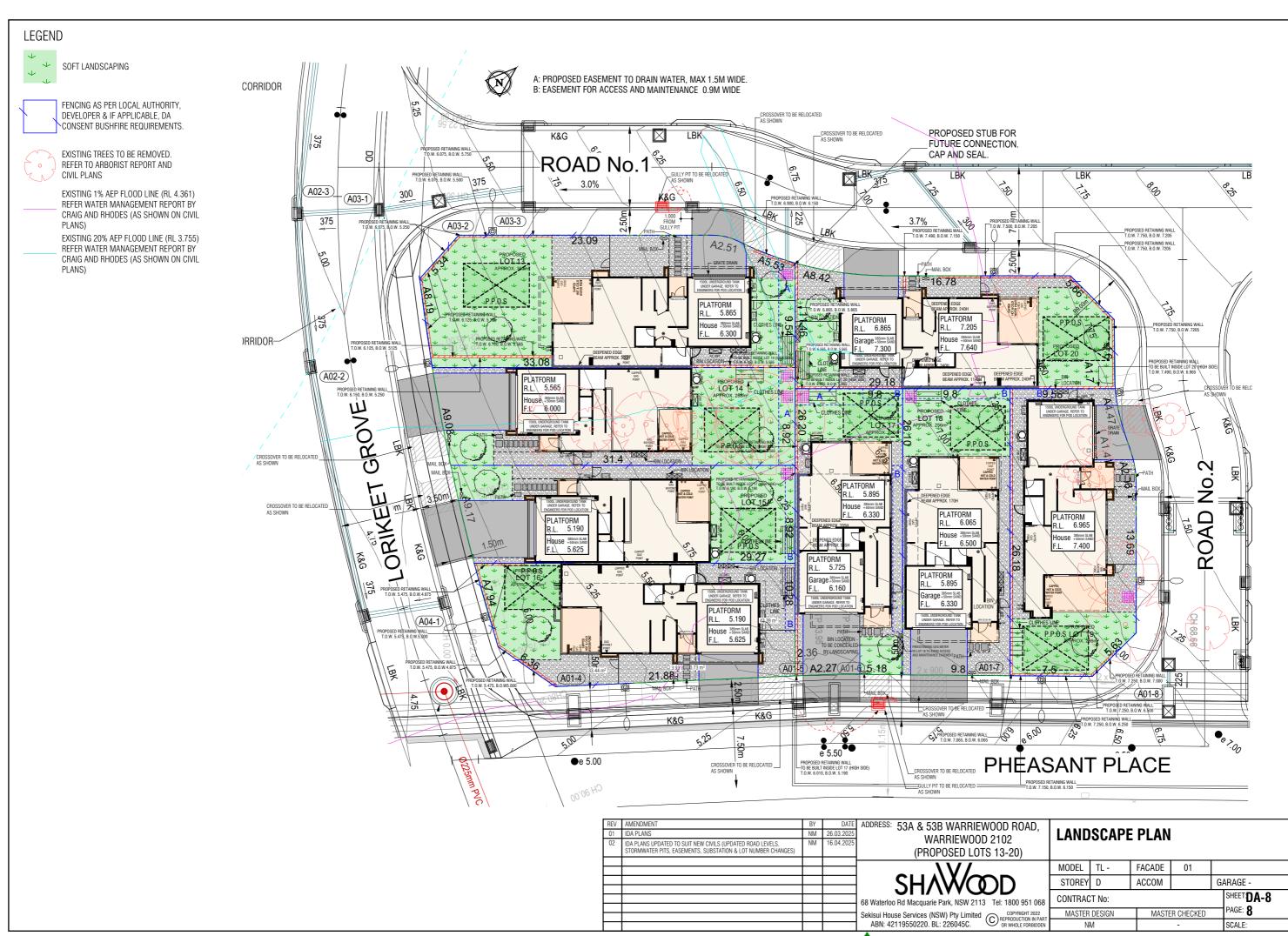
REV	AMENDMENT	BY	DATE	ADDR
01	IDA PLANS	NM	26.03.2025	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	
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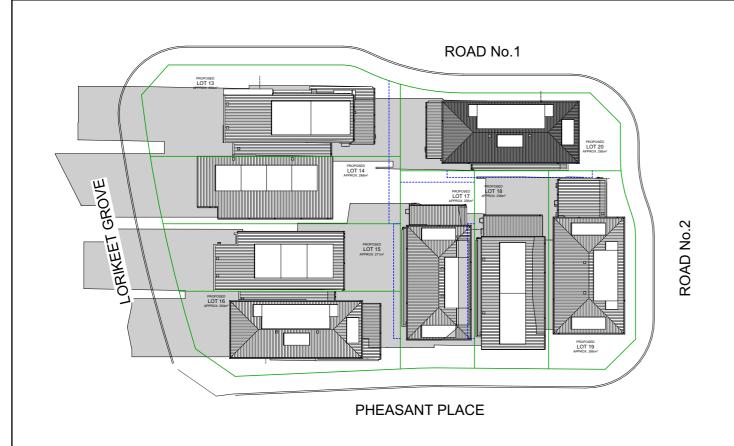
RESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

STORMWATER MANAGEMENT PLAN

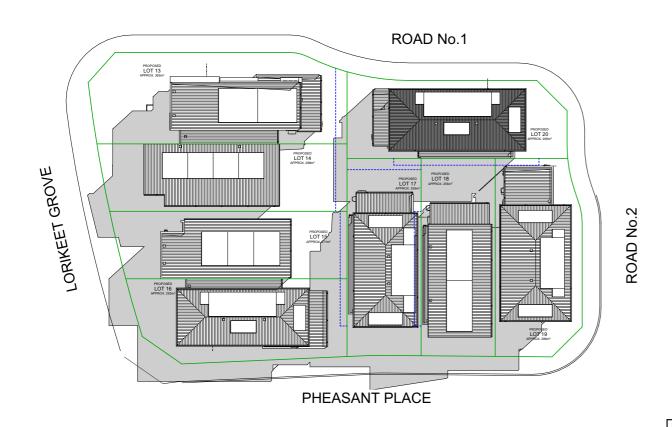
FACADE MODEL TL -STOREY D ACCOM GARAGE -SHEET DA-6 CONTRACT No: PAGE: 6 MASTER DESIGN MASTER CHECKED



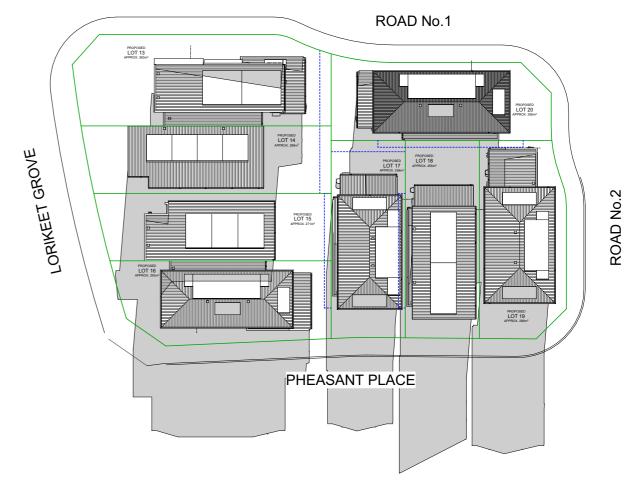




June 21st 9am



June 21st 12pm



June 21st 3pm



_	IDA PLANS	BY NM NM	DATE 26.03.2025 16.04.2025	WADDIEWOOD 2102	SHADOWS DIAGRAMS							
				SH/W@D	MODEL STOREY		FACADE ACCOM	01	GARAGE -			
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC		SHEET:DA-9 PAGE: 9					
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 EFERDOUCTION IN PART OR WHOLE FORBIDDEN	N			R CHECKED -	SCALE: 1:500			

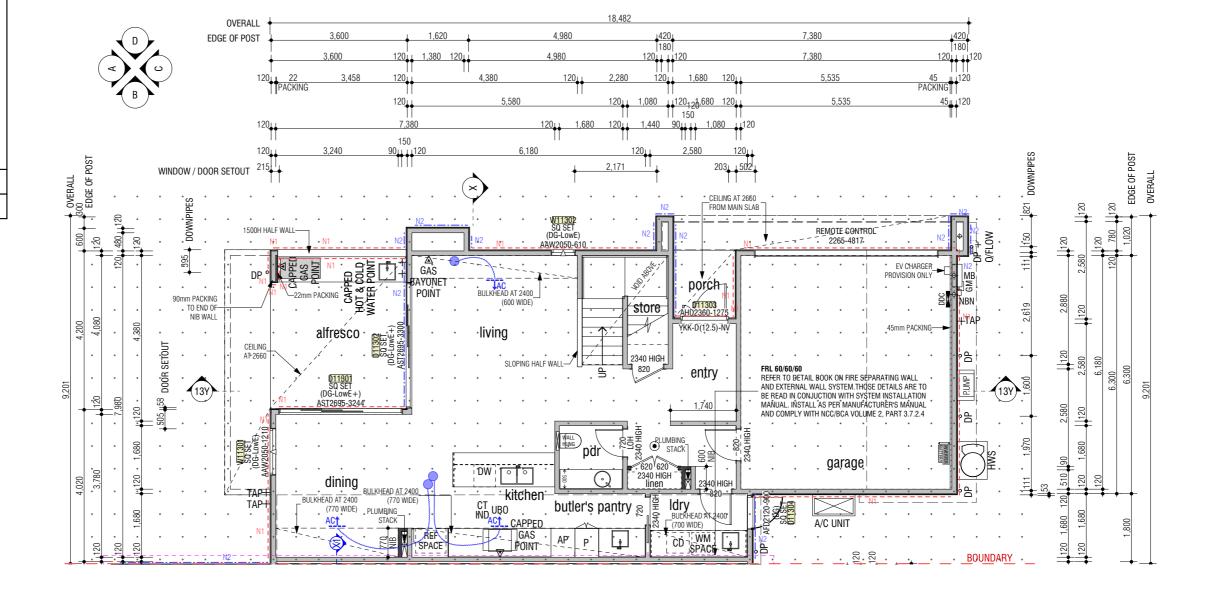
- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- . SQUARE SET CORNICE TO CEILING THROUGHOUT.
- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
- GF CEILING HEIGHT = 2660
- UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD INTERNAL = 90mm STUD AND 120mm STUD
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1___ - STANDARD FUGE .__.N2.___ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ **-** RENDER 2 __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

- ROOF ACCESS $\begin{bmatrix} R_A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS 🛛 - DENOTES SHAWOOD POST

 SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

Floor Areas NM 26.03.202 14 First flr. 93.03 OA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 14 Garage 37.37 14 Ground flr. 85.64 **Total 216.04** 14 Alfresco 15.12 14 Balcony 9.72 14 Pier 3.57 14 Porch 2.89 14 Void 6.57 14 Void Total 253.91

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 13 - TL03 F01 - G.F.P

Sekisui House Services (NSW) Pty Limited CREPRODUCTION IN P. ABN: 42119550220. BL: 226045C.

MODEL FACADE TL -STOREY ACCOM GARAGE -SHEET:DA-10 CONTRACT No: NM105715 PAGE: **10** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
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- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

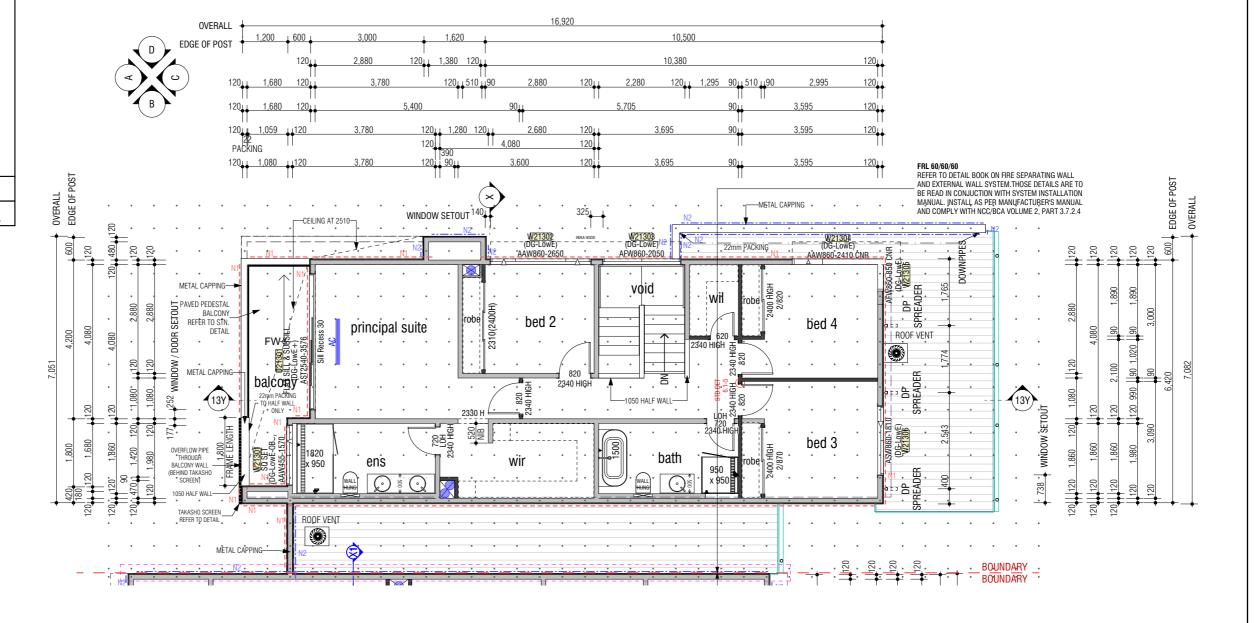
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1____ - STANDARD FUGE ___.<u>N2</u> .___ - FEATURE FUGE . __<u>R1</u> __ _ - RENDERED . . <u>R2</u> . __ - RENDER 2

. R3 . __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} RA \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} RA \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS ☑ - DENOTES SHAWOOD POST

SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURE

(DG-LowE): DOUBLE GLAZED WITH LOWE

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES

ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

Floor	Areas	REV	AMENDMENT	BY	DATE
	14 First flr. 93.03		IDA PLANS	NM	26.03.2025
14 Garage	37.37	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025
14 Ground flr.	85.64	\vdash	oronamination of a comment of a controlled or an accordance of		
Total	216.04	\vdash			
14 Alfresco	15.12	\vdash			
14 Balcony	9.72	\vdash			
14 Pier	3.57	\vdash			
14 Porch	2.89	\vdash			
14 Void	6.57				
Total	253.91				

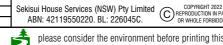
ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 13 - TL03 F01 - F.F.P MODEL | TL -FACADE

STOREY D GARAGE -SHEET:DA-11 CONTRACT No: NM105715 PAGE: **11** MASTER DESIGN MASTER CHECKED

SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS



							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11301	AAW2050-1210		2,050	1,210	117			\bigvee		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W11302	AAW2050-610		2,050	610	117			***************************************		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21301	AAW455-1570		455	1,570	117	⊠		592		DG-LowE- OBS:- Double Glass with LowE Obscure		WID-101-002	3.40	0.49
W21302	AAW860-2650		860	2,650	130			M M		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21303	AFW860-2050		860	2,050	130					DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.59
W21304	AAW860-2410 CNR		860	2,410	130					DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21305	AFW860-850 CNR		860	850	130			I		DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.00
W21306	ASW860-1810		860	1,810	130			į į		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
8														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11301	AST2695-3244		2,695	3,244	117	×	* *	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D11302	AST2695-3300		2,695	3,300	117	×	€ €	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D11304	AFD2120-900	×	2,120	900	117	×		DG:- Double Glass		WID-122-017	3.90	0.51
D21301	AST2540-3576		2,540	3,576	130		* *		Flat Sill with Subsill	WID-111-005	2.90	0.48
4												

REV	AMENDMENT	BY	DATE						
01	IDA PLANS	NM	26.03.2025	*	I OT 1	3 - WII	นทดพ	/ DOOI	r Scheduli
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WAITITIE WOOD 2 TOZ		• • • • • • • • • • • • • • • • • • • •	10011	, 500.	II OUIIEDUE
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
					MAODEL	T. 1	FAGADE	04	
				· \	MODEL	TL -	FACADE	01	
				SHAWOOD	STOREY	D	ACCOM		GARAGE -
				30/1000	0.0				
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	CT No: NM10	5715		SHEET:DA-12
				• •	MACTED	DECICN	MACTE	ם פוובפויבם	PAGE: 12
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. CREPTRIBLET 2020 REPORT OF WHOLE FORBIDDEN	IVIASTER	DESIGN	MASTER CHECKED		16
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN	N	М		-	SCALE: 1:1
				A				•	

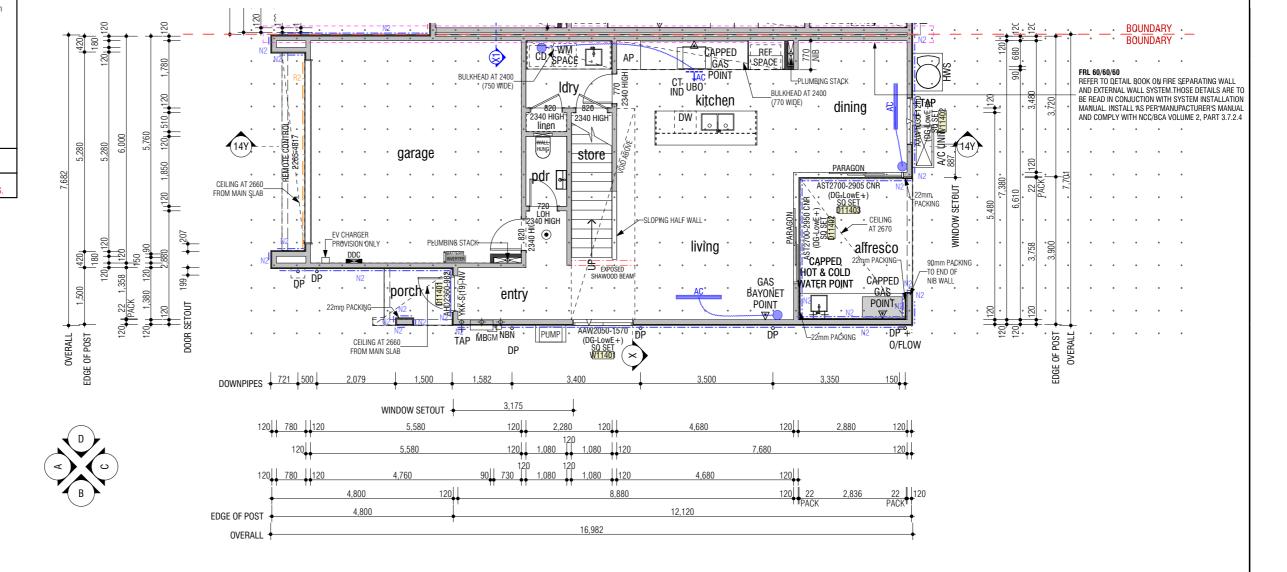
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- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVIS

LEGEND

_ _ _ N1 _ _ _ - STANDARD FUGE .__.N2 .__ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ - RENDER 2 ___ - R3 - __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} RA \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST

SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) · DOLIBLE GLAZED OBSCURE

(DG-LowF): DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW · ALLIM SLIDING WINDOW ARW · ALLIM BI-FOLD WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

Floor Areas NM 26.03.202 15 First flr. 98.60 DA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 15 Garage 34.64 15 Ground flr. 71.72 Total 204.80 15 Alfresco 11.55 15 Balcony 9.39 15 Pier 3.30 15 Porch 2.70 15 Void 9.50 15 Void Total 241.22

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

Sekisui House Services (NSW) Pty Limited

ABN: 42119550220. BL: 226045C.

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REPRODUCTION IN PARTICLE FORBIDD

LOT 14 - TL02 F01 - G.F.P

MODEL FACADE TL -STOREY ACCOM GARAGE -SHEET DA-13 CONTRACT No: NM105716 PAGE: **13** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

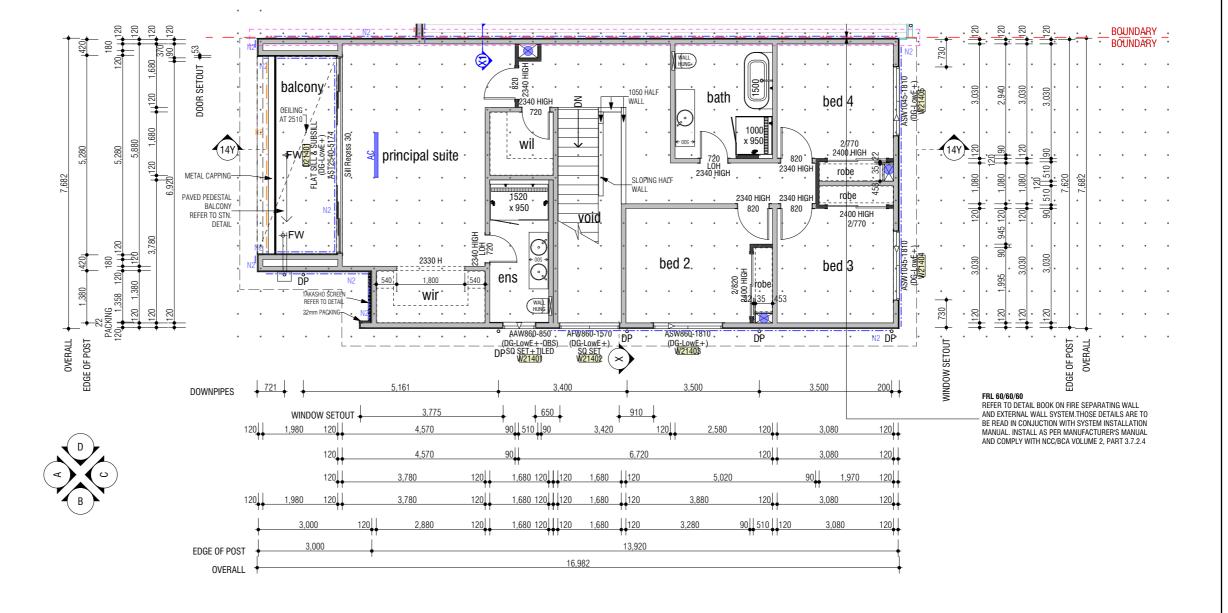
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- . SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
 - UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510 • EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
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- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVIS

LEGEND

_ _ _ N1 _ _ _ - STANDARD FUGE .__.N2.___ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ - RENDER 2 ___ - R3 - __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \bar{R}\underline{A} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \bar{R}\underline{A} \end{bmatrix}$ - RETURN AIR CEILING GRILL

(V) Lv. - CEILING VENTS

■ - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

- WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG) : DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF
- (DG-LowF): DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW · ALLIM SLIDING WINDOW ARW · ALLIM BI-FOLD WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

Floor Areas NM 26.03.202 15 First flr. 98.60 DA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 15 Garage 34.64 15 Ground flr. 71.72 Total 204.80 15 Alfresco 11.55 15 Balcony 9.39 15 Pier 3.30 15 Porch 2.70 15 Void 9.50 15 Void Total 241.22

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

MODEL

LOT 14 - TL02 F01- F.F.P

TL -FACADE STOREY ACCOM GARAGE -SHEET DA-14 CONTRACT No: NM105716 PAGE: **14** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

Sekisui House Services (NSW) Pty Limited

ABN: 42119550220. BL: 226045C.

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REPRODUCTION IN PARTICLE FORBIDD

							Lot 6 - W	/indow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11401	AAW2050-1570		2,050	1,570	117	×		V		DG-LowE+:- Double Glass with LowE PLUS	-	WID-101-012	3.20	0.45
W11402	AAW1030-1210		1,030	1,210	117	×		\square		DG-LowE+:- Double Glass with LowE PLUS	-	WID-101-012	3.20	0.45
W21401	AAW860-850		860	850	117	×	×			DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure	-	WID-101-012	3.20	0.45
W21402	AFW860-1570		860	1,570	117	×				DG-LowE+:- Double Glass with LowE PLUS	-	WID-106-028	2.10	0.54
W21403	ASW860-1810		860	1,810	130			*		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W21404	ASW1045-1810		1,045	1,810	130			K		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W21405	ASW1045-1810		1,045	1,810	130			+		DG-LowE+:- Double Glass with LowE PLUS	-	WID-102-028	3.10	0.47
7														

						Lot 6	- Door Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11402	AST2700-2950 CNR	⊠	2,700	2,950	139	⊠	← ←	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
D11403	AST2700-2905 CNR	×	2,700	2,905	139	×	\rightarrow	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
D21401	AST2540-5174		2,540	5,174	130		* * *	DG-LowE+:- Double Glass with LowE PLUS	Flat Sill with Subsill	WID-111-005	2.90	0.48
3												

REV 01	AMENDMENT IDA PLANS	BY NM	DATE 26.03.2025	1 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	LOT 1	4 - WI	NDOW	/ D00	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	(PROPOSED LOTS 13-20)				, 200	
\vdash		\vdash		\V/.	MODEL	TL -	FACADE	01	
				SHAWOOD	STOREY	D	ACCOM		GARAGE -
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	CT No: NM10	5716		SHEET DA-15
\vdash	+	\vdash		Sekisui House Services (NSW) Pty Limited COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 15
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN	N	М		-	SCALE: 1:1

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY . SQUARE SET CORNICE TO CEILING THROUGHOUT.
- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510
- UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

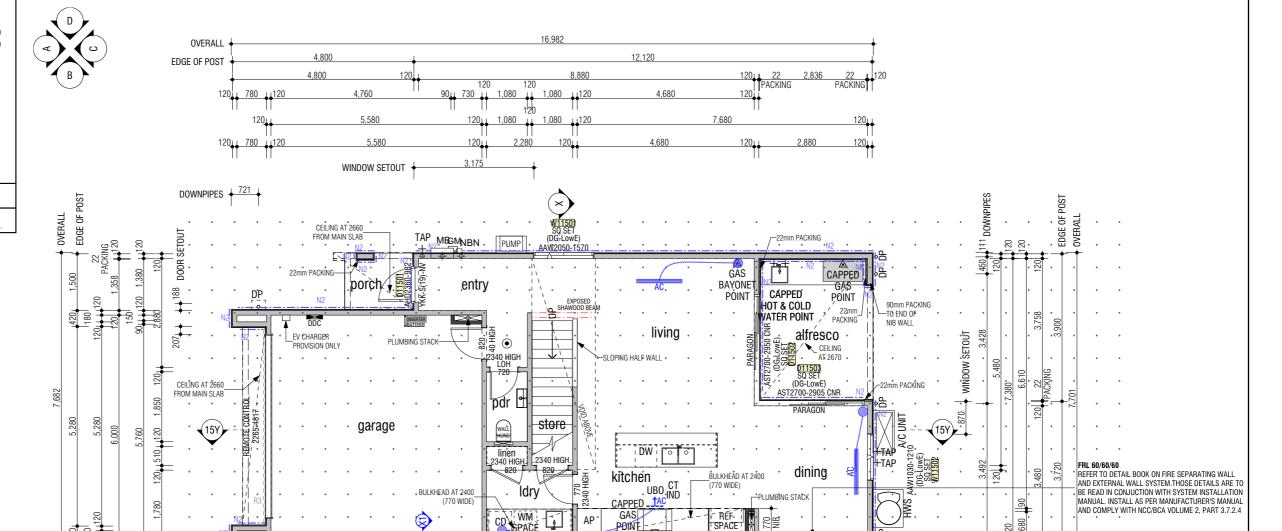
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1____ - STANDARD FUGE ___N2 ___ - FEATURE FUGE . __<u>R1</u> __ _ - RENDERED . . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} RA \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} RA \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS ☑ - DENOTES SHAWOOD POST

 SMOKE ALARM (DIRECT WIRED) - 120mm WALL

- 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

16 Ground flr. 71.72 Total 209.72 16 Alfresco 11.55 16 Balcony 9.39 16 Pier 2.93 16 Porch 2.70 16 Void 9.50 16 Void

Floor Areas NM 26.03.202 16 First flr. 103.55 OA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 16 Garage 34.45 Total 245.79

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 15 - TL02 F02 - G.F.P

GARAGE -

SHEET DA-16

SCALE: 1:100, 1:1

PAGE: **16**

MODEL FACADE TL -STOREY ACCOM CONTRACT No: NM105717 Sekisui House Services (NSW) Pty Limited CREPRODUCTION IN P. ABN: 42119550220. BL: 226045C. MASTER DESIGN MASTER CHECKED

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION. • REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
- SQUARE SET CORNICE TO CEILING THROUGHOUT.
- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510
- UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

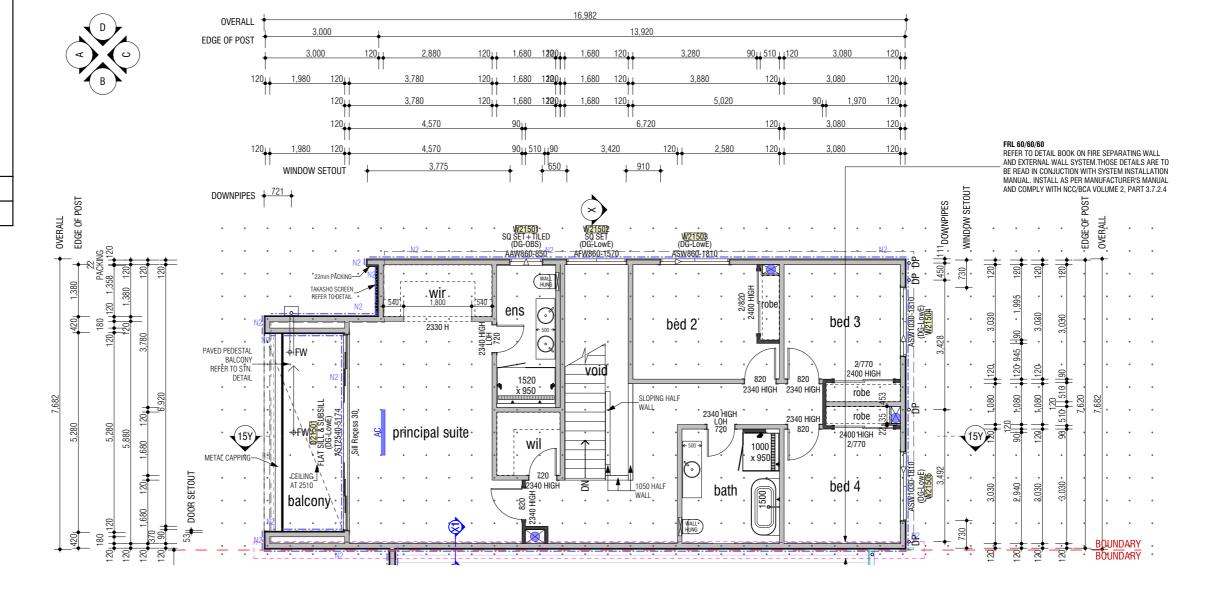
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVI

LEGEND

___N1____ - STANDARD FUGE ___N2 ___ - FEATURE FUGE . __<u>R1</u> __ _ - RENDERED . . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} RA \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} R \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS ☑ - DENOTES SHAWOOD POST

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

 SMOKE ALARM (DIRECT WIRED) - 120mm WALL - 90mm WALL

WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowE): DOUBLE GLAZED WITH LOWE

WINDOW AND DOOR CODES

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD: ALUM FRENCH DOOR, ABD: ALUM BIFOLD DOOR

Floor	Areas	nev	AIVIENDIVIENT	DI	DATE	4 '
16 First flr.	103.55	01	IDA PLANS	NM	26.03.2025	
16 Garage	34.45	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS. EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	1
16 Ground flr.	71.72	1—	STORNWATER FITS, EASEMENTS, SUBSTATION & EUT NUMBER CHANGES)	\vdash		Ł
Total	209.72	Ή		\vdash		ł
16 Alfresco	11.55	\vdash				ł
16 Balcony	9.39	\vdash				1
16 Pier	2.93	\top				1.
16 Porch	2.70					1
16 Void	9.50					13
Total	245.79					1

DATE ADDRESS: 53A & 53B WARRIEWOOD ROAD, LOT 15 - TL02 F02 - F.F.P WARRIEWOOD 2102 (PROPOSED LOTS 13-20) MODEL | TL -FACADE STOREY D ACCOM CONTRACT No: NM105717

SHEET:DA-17 PAGE: **17** Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

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OR WHOLE FORBIDD MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

GARAGE -

							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11501	AAW2050-1570		2,050	1,570	117					DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W11502	AAW1030-1210		1,030	1,210	117			\square		DG-LowE:- Double Glass with LowE		WID-101-002	3.40	0.49
W21501	AAW860-850		860	850	117	×	×	M		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W21502	AFW860-1570		860	1,570	117	⊠				DG-LowE:- Double Glass with LowE		WID-106-020	2.30	0.59
W21503	ASW860-1810		860	1,810	130			k		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
W21504	ASW1030-1810		1,030	1,810	130			*		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
W21505	ASW1030-1810		1,030	1,810	130			*		DG-LowE:- Double Glass with LowE		WID-102-021	3.30	0.51
7														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11502	AST2700-2950 CNR	×	2,700	2,950	139		\rightarrow	DG-LowE:- Double Glass with LowE		WID-124-022	3.40	0.49
D11503	AST2700-2905 CNR	⊠	2,700	2,905	139	×	\leftarrow	DG-LowE:- Double Glass with LowE		WID-124-022	3.40	0.49
D21501	AST2540-5174		2,540	5,174	130		* * *	DG-LowE:- Double Glass with LowE	Flat Sill with Subsill	WID-111-014	3.10	0.52
3												

01 02	AMENDMENT IDA PLANS IDA PLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	BY NM NM	DATE 26.03.2025 16.04.2025	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	LOT 1	5 - WI	NDOW	/ D00	R SCHEDULE
E				SHAWOOD	MODEL STOREY	TL -	FACADE ACCOM	01	GARAGE -
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068		CT No: NM10		ER CHECKED	SHEET DA-18 PAGE: 18
	1			Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	N	М		-	SCALE: 1:1

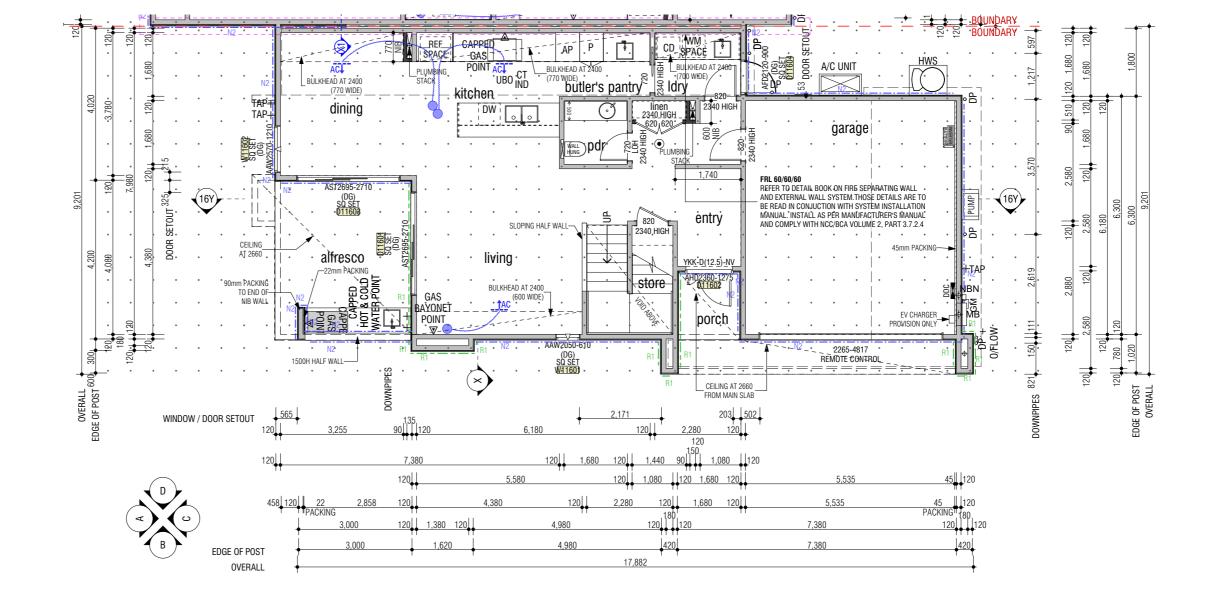
- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
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- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
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- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVIS

LEGEND

_ _ _ N1 _ _ _ - STANDARD FUGE .__.<u>N2</u> .__ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ - RENDER 2 ___ - R3 - __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK $\begin{bmatrix} \overline{R}\underline{A} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R}\underline{A} \end{bmatrix}$ - RETURN AIR CEILING GRILL

(V) Lv. - CEILING VENTS

■ - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF (DG-LowF): DOUBLE GLAZED WITH LOWF

WINDOW AND DOOR CODES ASW · ALLIM SLIDING WINDOW ARW · ALLIM BI-FOLD WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

Floor	Areas	KEV	AMENUMENT	BI	DATE	1
17 First flr.	96.52	01	IDA PLANS	NM	26.03.2025	1
17 Garage	37.42	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	1
17 Ground flr.	85.05	-	STORINIMATERT ITS, EASEMENTS, SUBSTATION & EST NUMBER STANGES)	_		Ł
Total	218.99	_		\vdash		ł
		\vdash		\vdash		1
17 Alfresco	15.12	$\overline{}$		\vdash		1
17 Pier	2.10	\top		\vdash		1
17 Porch	2.89	\top				t
17 Void	6.57					1
Total	245.67	\top				1

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 16 - TL03 F02 - G.F.P

Sekisui House Services (NSW) Pty Limited CREPRODUCTION IN PA ABN: 42119550220. BL: 226045C.

MODEL TL -FACADE STOREY D ACCOM GARAGE -SHEET DA-19 CONTRACT No: NM105718 PAGE: **19** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

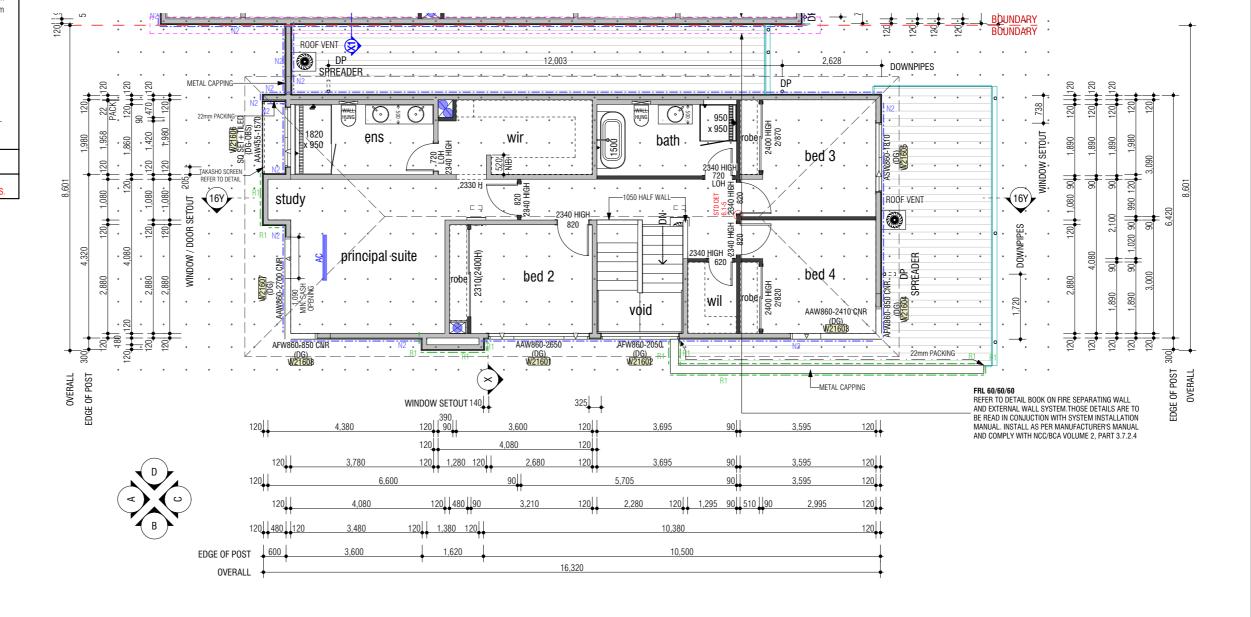
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- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY . SQUARE SET CORNICE TO CEILING THROUGHOUT.
- $\bullet \ "\mathsf{GRID"} = \mathsf{CENTER} \ \mathsf{OF} \ \mathsf{SHAWOOD} \ \mathsf{FRAME}$
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- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
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- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD - INTERNAL = 90mm STUD AND 120mm STUD
- WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1____ - STANDARD FUGE ___.N2 ___ - FEATURE FUGE . __<u>R1</u> __ _ - RENDERED . . <u>R2</u> . __ - RENDER 2 . <u>R3</u> . __ **- RENDER 3**



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} RA \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS ☑ - DENOTES SHAWOOD POST

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG-OBS) : DOUBLE GLAZED OBSCURE (DG-LowF): DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

 SMOKE ALARM (DIRECT WIRED) WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR

AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

Floor	Areas	REV	AMENDMENT	BY	DAT
17 First flr.	96.52	01	IDA PLANS	NM	26.03.202
17 Garage	37.42	02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.202
17 Ground flr.	85.05	├		\vdash	
Total	218.99	⊢			
		⊢			
17 Alfresco	15.12	⊢			
17 Pier	2.10	┰			
17 Porch	2.89				
17 Void	6.57	\vdash			
Total	245.67				

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

MODEL STOREY

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LOT 16 - TL03 F02 - F.F.P FACADE TL -

ACCOM GARAGE -SHEET:DA-20 CONTRACT No: NM105718 PAGE: **20** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

							Lot 6 - W	/indow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W11601	AAW2050-610		2,050	610	117	×				DG:- Double Glass		WID-101-032	4.00	0.58
W11602	AAW2570-1210		2,570	1,210	117	×		\bigvee		DG:- Double Glass		WID-101-032	4.00	0.58
W21601	AAW860-2650		860	2,650	130			M		DG:- Double Glass		WID-101-032	4.00	0.58
W21602	AFW860-2050		860	2,050	130					DG:- Double Glass		WID-106-017	3.10	0.71
W21603	AAW860-2410 CNR		860	2,410	130					DG:- Double Glass		WID-101-032	4.00	0.58
W21604	AFW860-850 CNR		860	850	130					DG:- Double Glass		WID-106-017	3.10	0.71
W21605	ASW860-1810		860	1,810	130			+		DG:- Double Glass		WID-102-018	4.00	0.61
W21606	AAW455-1570		455	1,570	117	×	×	372		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W21607	AAW860-2700 CNR		860	2,700	130					DG:- Double Glass		WID-101-032	4.00	0.58
W21608	AFW860-850 CNR		860	850	130					DG:- Double Glass		WID-106-017	3.10	0.71
10														

						Lot 6	- Door Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D11601	AST2695-2710		2,695	2,710	117	×	* *	DG:- Double Glass		WID-111-017	3.80	0.62
D11603	AST2695-2710		2,695	2,710	117	×	* *	DG:- Double Glass		WID-111-017	3.80	0.62
D11604	AFD2120-900	×	2,120	900	117	×		DG:- Double Glass		WID-122-017	3.90	0.51
3												

01 02	AMENDMENT IDA PLANS IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM NM	DATE 26.03.2025 16.04.2025	ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)	LOT 1	6 - WII	NDOW	/ DOO I	R SCHEDULI
				CITY/X	MODEL STOREY	TL -	FACADE ACCOM	01	GARAGE -
				SHAWQDD 68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM10			SHEET DA-21
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. Copyright 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	MASTER		MASTE	R CHECKED	PAGE: 21
				ABIN: 42119000220. BL: 2200406. OR WHOLE FORBIDDEN	N	VI		-	SCALE: 1:1

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY SQUARE SET CORNICE TO CEILING THROUGHOUT.
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510
 - UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB) - FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
- EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

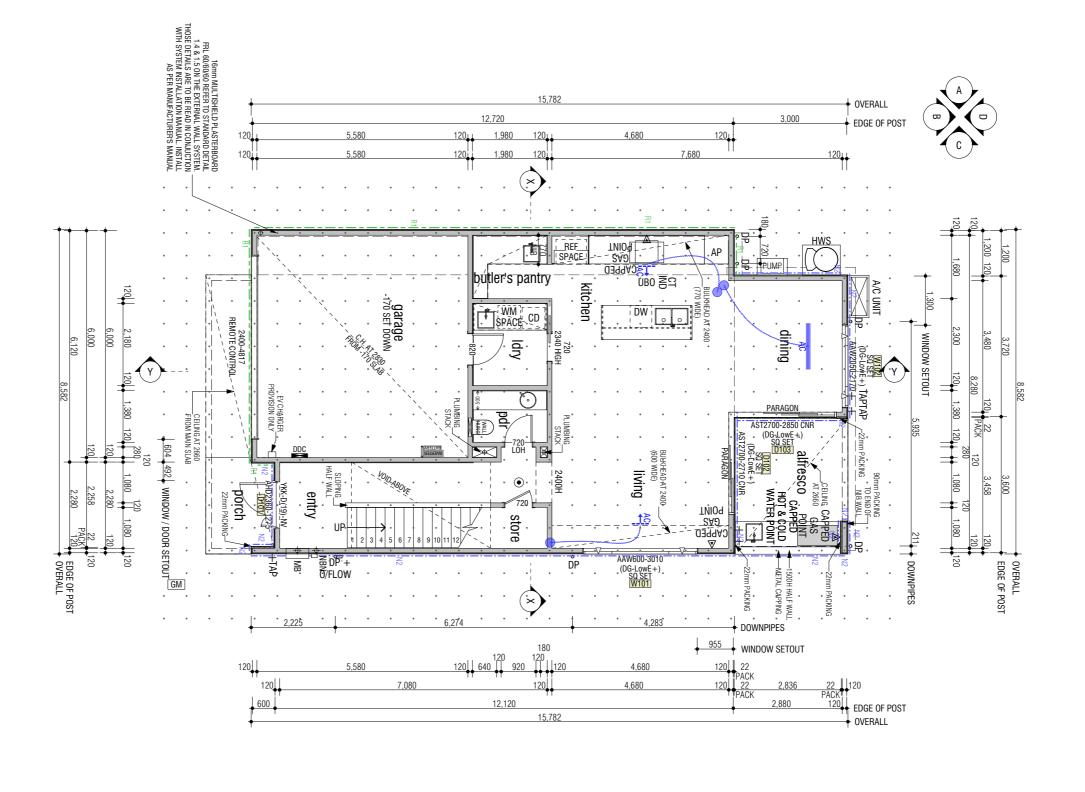
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVI

LEGEND

_ _ _ N1 _ _ _ - STANDARD FUGE .__.N2 .__ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ - RENDER 2 ___ - RENDER 3

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL

(Ŷ) LY] - CEILING VENTS 🛛 - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF (DG-LowF) : DOUBLE GLAZED WITH LOWF

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

Floor Areas DA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 18 First flr. 94.84 18 Garage 35.43 18 Ground flr. 84.30 Total 214.57 18 Alfresco 10.66 18 Porch 4.38 8.39 18 Void Total 238.00

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 17 - TL07 F01 - G.F.P

Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

MODEL TL -FACADE STOREY D ACCOM GARAGE -SHEET DA-22 CONTRACT No: NM105719 PAGE: **22** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY
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- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
- FF CEILING HEIGHT = 2510 UNLESS NOTED OTHERWISE
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
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- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

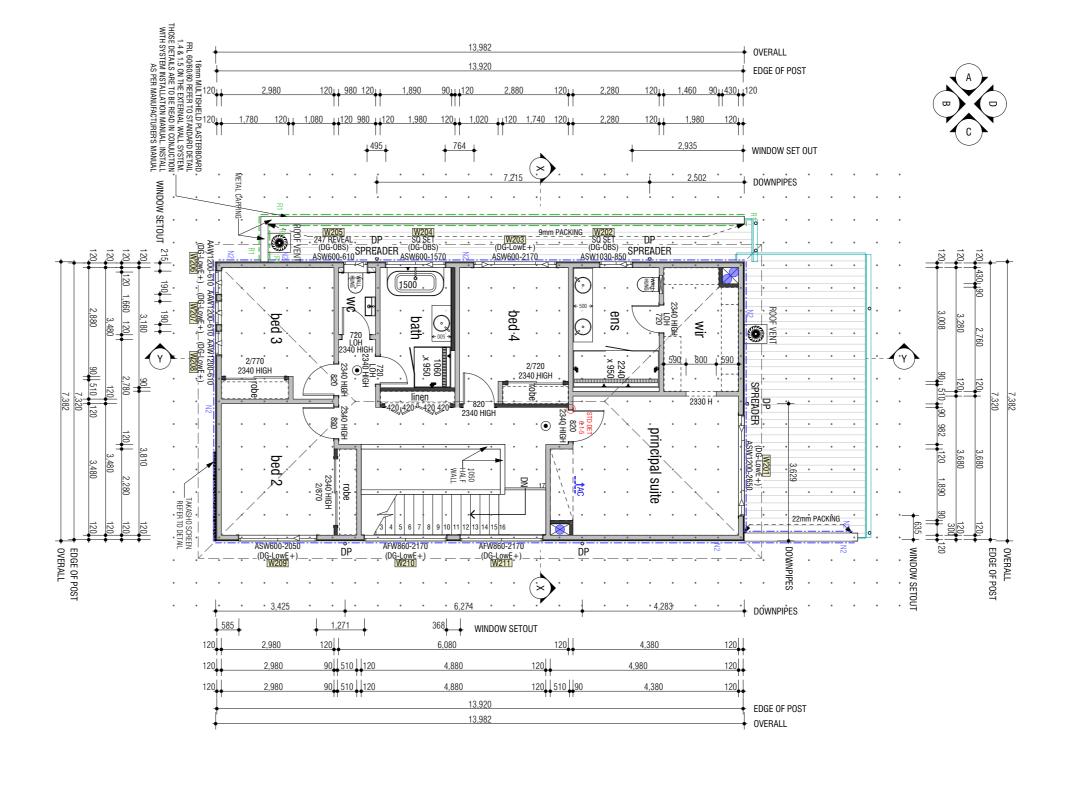
PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVIS

LEGEND

_ _ _ N1 _ _ _ - STANDARD FUGE .__.N2.___ - FEATURE FUGE _ __R1 __ _ - RENDERED __ . <u>R2</u> . __ - RENDER 2 ___ - RENDER 3

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST

 SMOKE ALARM (DIRECT WIRED) - 120mm WALL

- 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF (DG-LowF) : DOUBLE GLAZED WITH LOWF

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

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ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

LOT 17 - TL07 F01 - F.F.P

MODEL TL -FACADE STOREY ACCOM GARAGE -SHEET:DA-23 CONTRACT No: NM105719 PAGE: **23** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

							Windo	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW600-3010		600	3,010	117	×		M M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W102	AAW2050-2170		2,050	2,170	117	×		V V		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W201	ASW1200-2650		1,200	2,650	130			*		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W202	ASW1030-850		1,030	850	117	×				DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W203	ASW600-2170		600	2,170	130			3 8		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W204	ASW600-1570		600	1,570	117					DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W205	ASW600-610		600	610	247		×	E		DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W206	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W207	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W208	AAW1200-610		1,200	610	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W209	ASW600-2050		600	2,050	130			E		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W210	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W211	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
13														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2700-2710 CNR	×	2,700	2,710	139	×	← ←	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
D103	AST2700-2850 CNR	×	2,700	2,850	139	×	\rightarrow	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
2												

RE		BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,	1074	7 1471	NDOW	/ DOO!	
01	IDA PLANS	NM	26.03.2025	1 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	I LUI 1	/ - WI	NUUW	/ DOOI	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025					, =	
\perp	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
\vdash		├		\\//	MODEL	TL -	FACADE	01	
\vdash		_				_		 	
\vdash		_		SHAWOOD	STOREY	D	ACCOM	1	GARAGE -
\vdash						· · · · · ·			CHEET-DA OA
\perp				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	CT No: NM10	5719		SHEET DA-24
				, ,	MACTED	DECION	MACTI	ר פוובפויבם	PAGE: 24
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	MASTER	DESIGN	MAST	R CHECKED	
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN	N	М		-	SCALE: 1:1

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- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVI

LEGEND

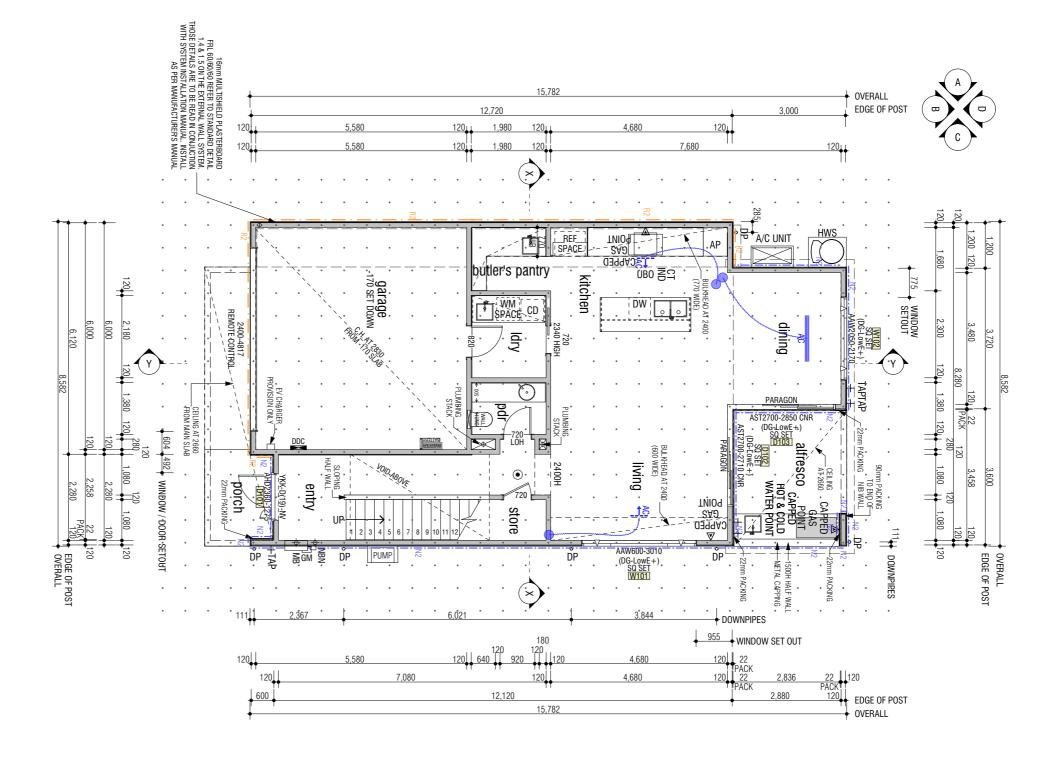
___N1____ - STANDARD FUGE

___.N2 ___ - FEATURE FUGE

___<u>R1</u>___ - RENDERED . . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ **- RENDER 3**

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

- ROOF ACCESS $\begin{bmatrix} R \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL

(V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

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• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) · DOLIBLE GLAZED OBSCURE

(DG-LowF) : DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

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LOT 18 - TL07 F02 - G.F.P

MODEL TL -FACADE STOREY ACCOM GARAGE -CONTRACT No: NM105720

SHEET:DA-25 PAGE: **25** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

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PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1____ - STANDARD FUGE

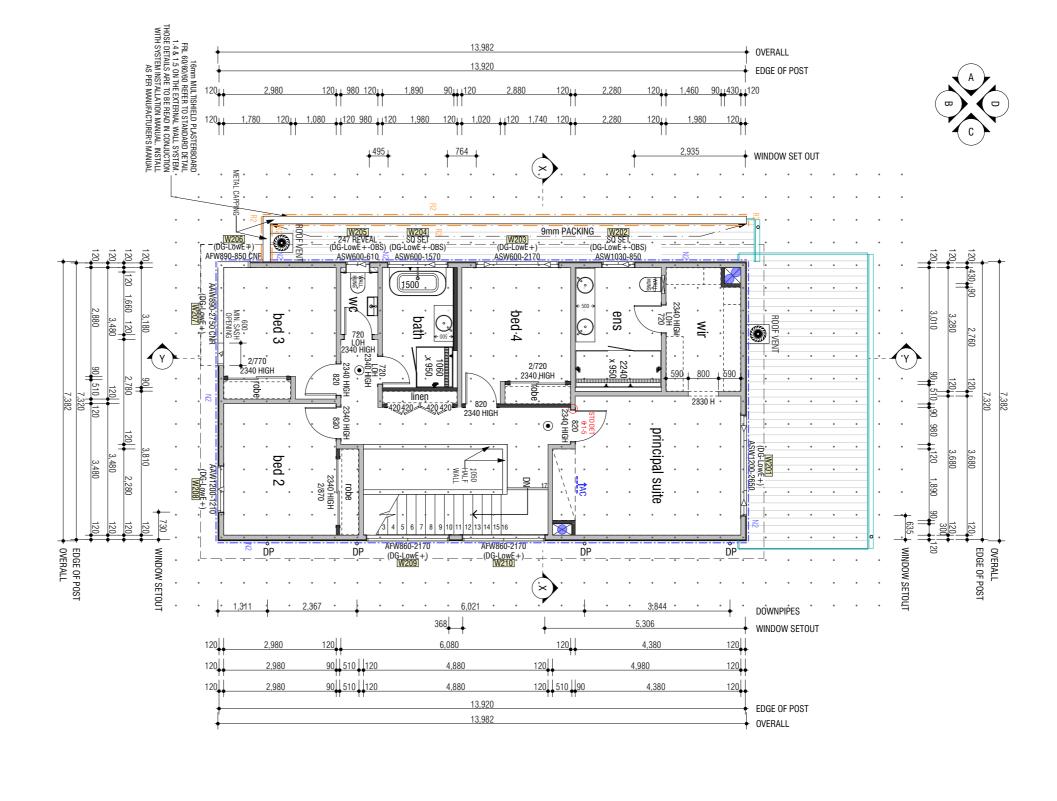
___.N2 ___ - FEATURE FUGE

___<u>R1</u>___ - RENDERED

. <u>R3</u> . __ **-** RENDER 3

. . <u>R2</u> . __ - RENDER 2

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

- ROOF ACCESS $\begin{bmatrix} R \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST

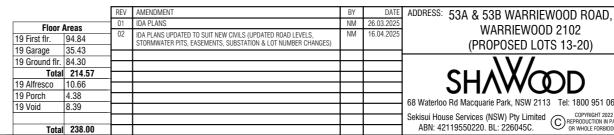
SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF (DG-LowF) : DOUBLE GLAZED WITH LOWF

(DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS WINDOW AND DOOR CODES ASW · ALLIM SLIDING WINDOW ARW · ALLIM BI-FOLD WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR

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ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 18 - TL07 F02 - F.F.P MODEL

TL -FACADE 01 STOREY ACCOM GARAGE -SHEET:DA-26 CONTRACT No: NM105720 PAGE: **26** MASTER DESIGN MASTER CHECKED

SCALE: 1:100, 1:1

							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW600-3010		600	3,010	117	×		M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W102	AAW2050-2170		2,050	2,170	117	×		V V		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W201	ASW1200-2650		1,200	2,650	130			>		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W202	ASW1030-850		1,030	850	117	×				DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-102-028	3.10	0.47
W203	ASW600-2170		600	2,170	130			3 8		DG-LowE+:- Double Glass with LowE PLUS		WID-102-028	3.10	0.47
W204	ASW600-1570		600	1,570	117	×				DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure		WID-102-028	3.10	0.47
W205	ASW600-610		600	610	247			WWW ELS		DG-LowE+- OBS:- Double Glass with LowE PLUS Obscure	-	WID-102-028	3.10	0.47
W206	AFW890-850 CNR		890	850	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W207	AAW890-2750 CNR		890	2,750	130					DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W208	AAW1200-1210		1,200	1,210	130			$oxed{igwedge}$		DG-LowE+:- Double Glass with LowE PLUS	ı	WID-101-012	3.20	0.45
W209	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W210	AFW860-2170		860	2,170	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
12														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2700-2710 CNR	×	2,700	2,710	139	×	← ←	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
D103	AST2700-2850 CNR	×	2,700	2,850	139	×	\rightarrow	DG-LowE+:- Double Glass with LowE PLUS		WID-124-029	3.30	0.45
2												

REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,					
01	IDA PLANS	NM	26.03.2025	,	I OT 1	R - WI	ททกพ	' / DOO!	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	WARRIEWOOD 2102	0			, 500	00
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
_				\\//	MODEL	TL -	FACADE	01	
\vdash		_				_		 	
\vdash				SHAWOOD	STOREY	D	ACCOM		GARAGE -
⊢					CONTRAC	T NI NINAAO	F700	•	SHEET:DA-27
⊢				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CUNTRAC	CT No: NM10	5/20		
⊢				Sakisui Hausa Sanisas (NSW) Phy Limited COPYRIGHT 2022	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 27
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	IVII TO I ETT		14171011	IN OFFICINED	20115 44
				ABIN: 42119000220. BL: 2200400. OR WHOLE FORBIDDEN	N-	W		-	SCALE: 1:1

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
- MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH NCC VOL2 PART H4
- · WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
- REFER ENGINEER'S DRAWING FOR BRACING WALLS INFORMATION.
- REF, FRE, W.M AND C.D SYMBOLS INDICATE POSITION ONLY . SOLIARE SET CORNICE TO CEILING THROUGHOUT
- "GRID" = CENTER OF SHAWOOD FRAME
- GF CEILING HEIGHT = 2660
 - UNLESS NOTED OTHERWISE
- FF CEILING HEIGHT = 2510
- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm EXTERNAL DOOR HEAD HEIGHT UNLESS OTHERWISE NOTED
- = 2375mm (MEASURE FROM TOP OF SLAB)
- ALL HEIGHTS NOMINATED ARE FROM THE STRUCTURAL SLAB BELOW EXCEPT PORCH AND ALFRESCO
- UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE:
- EXT 151mm=16 CLADDING+15 CAVITY+120 STUD
- INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

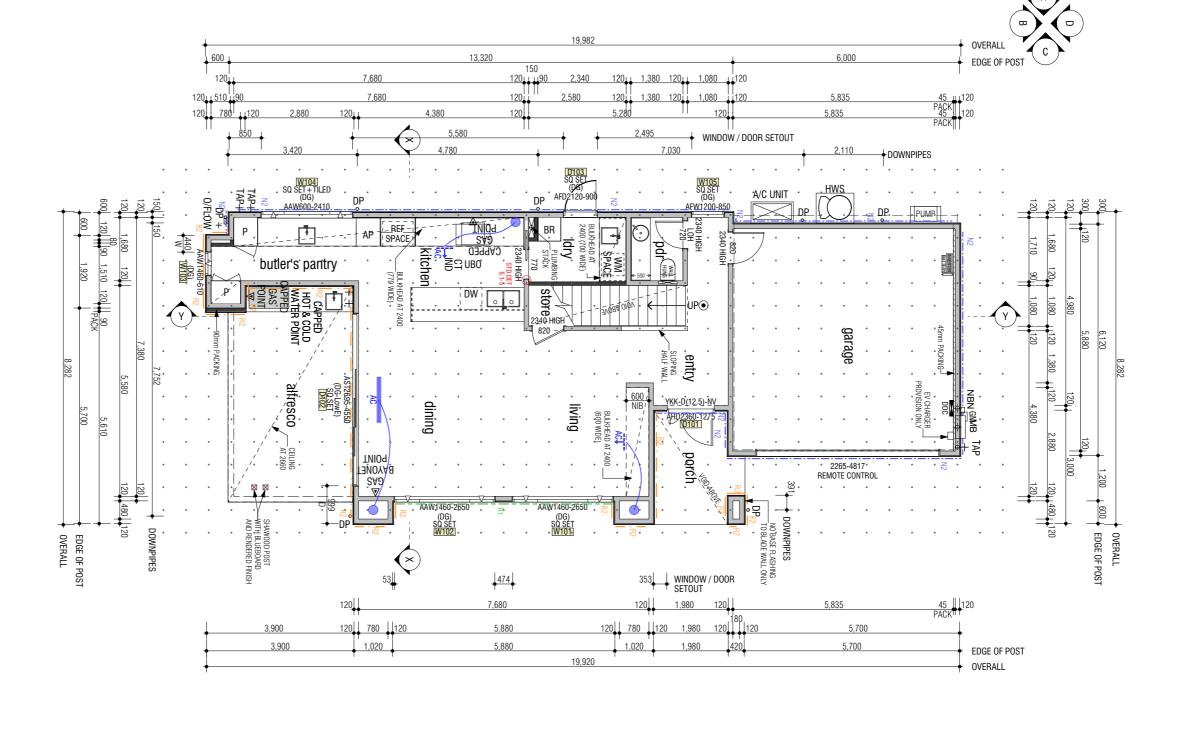
ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

___N1____ - STANDARD FUGE ___.N2 ___ - FEATURE FUGE ___<u>R1</u>___ - RENDERED . . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ **-** RENDER 3

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

• WINDOW GLAZING CODES (OBS): OBSCURED, (SP10): SMART GLASS SP10 CLEAR (DG): DOUBLE GLAZED (DG-OBS) : DOUBLE GLAZED OBSCURF

(DG-LowF) : DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOI D WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

NM Floor Areas OA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 20 First flr. 95.12 20 Garage 37.49 20 Ground flr. 80.34 Total 212.95 20 Alfresco 18.48 20 Pier 2.98 20 Porch 6.60 3.92 20 Void Total 244.93

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 19 - TL08 F01 - G.F.P

Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

MODEL TL -FACADE STOREY ACCOM GARAGE -SHEET:DA-28 CONTRACT No: NM105721 PAGE: **28** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

- DROP SLAB 60MM TO WET AREAS.
- DROP SLAB 70mm TO PORCH AND OUTDOOR LIVING U.N.O.
- WET AREAS IN ACCORDANCE WITH NCC REQUIREMENTS
- WC DOOR REMOVABLE WHERE REQUIRED AND FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC VOL2 PART H4
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 - UNLESS NOTED OTHERWISE
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- EXTERNAL WINDOW HEAD HEIGHT UNLESS NOTED OTHERWISE
- GROUND FLOOR (MEASURE FROM TOP OF SLAB)
- FIRST FLOOR (MEASURE FROM TOP OF PARTICLE BOARD) = 2296mm
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- INTERNAL = 90mm STUD AND 120mm STUD WALL CLADDING OVERHANGS THE SLAB EDGE BY 11mm
- PROVIDE WEATHERTIGHT WINDOW FLASHING TO THE SILL OF ALL WINDOWS AS PER STANDARD DETAIL 4.20-4.22
- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROV

LEGEND

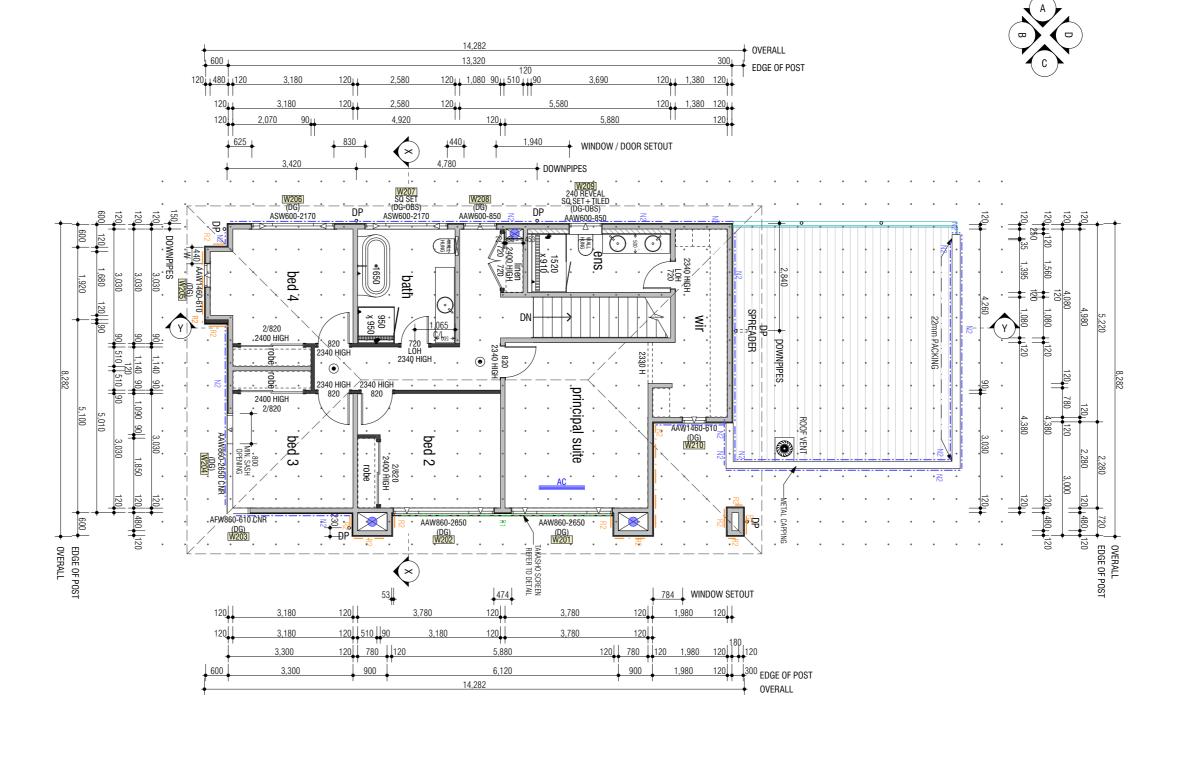
___N1____ - STANDARD FUGE

___.N2 ___ - FEATURE FUGE ___<u>R1</u>___ - RENDERED

. . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ **-** RENDER 3

FOR ORIENTATION OF HOME REFER TO SITE PLAN



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

 $\begin{bmatrix} \overline{RA} \end{bmatrix}$ - ROOF ACCESS $\begin{bmatrix} \overline{R} \\ A \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Lv. - CEILING VENTS ☑ - DENOTES SHAWOOD POST

SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

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(DG-LowF) : DOUBLE GLAZED WITH LOWF (DG-LowE+) : DOUBLE GLAZED WITH LOWE PLUS

WINDOW AND DOOR CODES ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOI D WINDOW ASW: ALUM SLIDING WINDOW, ABW: ALUM BI-FOLD WINDOW AAW: ALUM AWNING WINDOW, AFW: ALUM FIXED WINDOW ASD: ALUM SLIDING DOOR, AST: ALUM STACKER DOOR AFD : ALUM FRENCH DOOR, ABD : ALUM BIFOLD DOOR

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ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 19 - TL08 F02 - F.F.P

MODEL TL -FACADE STOREY D ACCOM GARAGE -SHEET:DA-29 CONTRACT No: NM105721 PAGE: **29** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER

Sekisui House Services (NSW) Pty Limited
ABN: 42119550220. BL: 226045C.

							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW1460-2650		1,460	2,650	117	⊠		\mathbb{V}		DG:- Double Glass		WID-101-032	4.00	0.58
W102	AAW1460-2650		1,460	2,650	117	⊠		V		DG:- Double Glass		WID-101-032	4.00	0.58
W103	AAW1460-610		1,460	610	130			**		DG:- Double Glass		WID-101-032	4.00	0.58
W104	AAW600-2410		600	2,410	117	⊠	×	M M		DG:- Double Glass		WID-101-032	4.00	0.58
W105	AFW1200-850		1,200	850	117	×				DG:- Double Glass		WID-106-017	3.10	0.71
W201	AAW860-2650		860	2,650	130			MM		DG:- Double Glass		WID-101-032	4.00	0.58
W202	AAW860-2650		860	2,650	130			M		DG:- Double Glass		WID-101-032	4.00	0.58
W203	AFW860-610 CNR		860	610	130					DG:- Double Glass		WID-106-017	3.10	0.71
W204	AAW860-2650 CNR		860	2,650	130			M		DG:- Double Glass		WID-101-032	4.00	0.58
W205	AAW1460-610		1,460	610	130			*		DG:- Double Glass		WID-101-032	4.00	0.58
W206	ASW600-2170		600	2,170	130			3 8		DG:- Double Glass		WID-102-018	4.00	0.61
W207	ASW600-2170		600	2,170	117	×				DG-OBS:- Double Glass Obscure		WID-102-018	4.00	0.61
W208	AAW600-850		600	850	130			™		DG:- Double Glass		WID-101-032	4.00	0.58
W209	AAW600-850		600	850	240	⊠	⊠	2		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W210	AAW1460-610		1,460	610	130			₩		DG:- Double Glass		WID-101-032	4.00	0.58
15														

						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2695-4550		2,695	4,550	117	×	<i>}</i>	DG-LowE:- Double Glass with LowE		WID-111-014	3.10	0.52
D103	AFD2120-900	⊠	2,120	900	117	×		DG:- Double Glass		WID-122-017	3.90	0.51
2												

REV	AMENDMENT	BY	DATE						
01	IDA PLANS	NM	26.03.2025	1 ' 1	1 OT 1	9 - WII	MOUN	/ DOO	R SCHEDUL
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025	VV/IIIIILVVOOD 2102	_0	• ••••		, 500	
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			PROPOSED LOTS 13-20)					
				` \\//	MODEL	TL-	FACADE	01	
				J\V/	MODEL	IL-	FACADE	UI	
				SHAWOOD I	STOREY	D I	ACCOM		GARAGE -
									CHEET D A OO
				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	T No: NM105	5721		SHEET DA-30
				1 ' '	MASTER	DESIGN	MASTE	R CHECKED	PAGE: 30
				Sekisui House Services (NSW) Pty Limited ABN: 42119550220, BL: 226045C. COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN			IVIAGIL	IT OF ILUNED	
				ABN: 42119550220. BL: 226045C.	Nŧ	VI		-	SCALE: 1:1
				±					

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- STANDARD DETAIL VERSION: 2024-11

PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PROVI

LEGEND

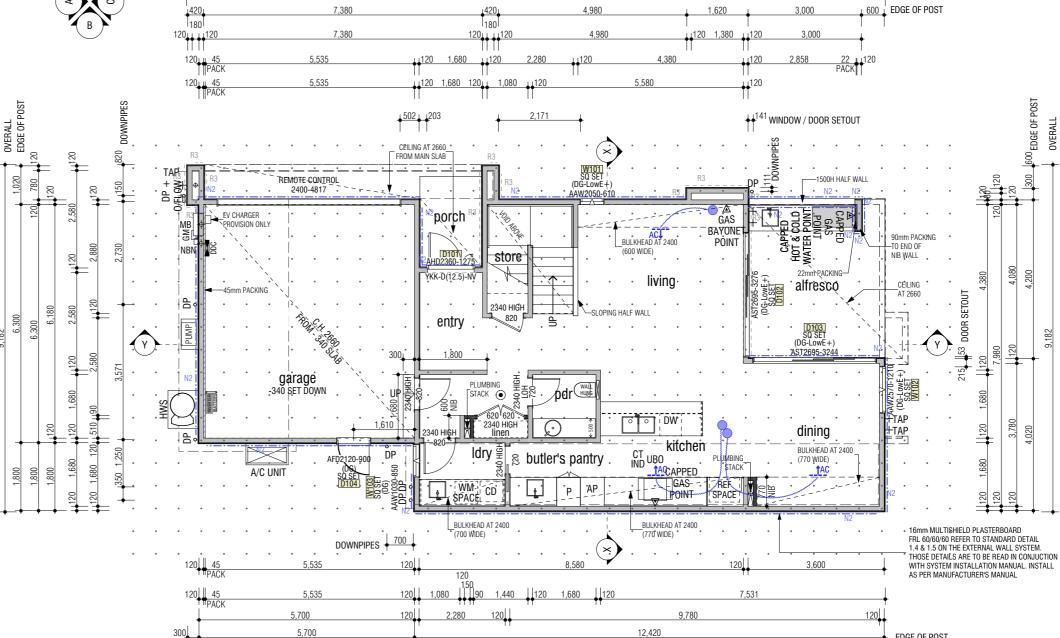
___N1____ - STANDARD FUGE

___N2 ___ - FEATURE FUGE

. __<u>R1</u> __ _ - RENDERED . . <u>R2</u> . __ - RENDER 2

. <u>R3</u> . __ **-** RENDER 3





18,482

LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

- ROOF ACCESS $\begin{bmatrix} R_A \end{bmatrix}$ - RETURN AIR CEILING GRILL

(V) Ly; - CEILING VENTS 🛛 - DENOTES SHAWOOD POST SMOKE ALARM (DIRECT WIRED)

- 120mm WALL - 90mm WALL

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Floor Areas NM 26.03.202 21 First flr. 96.52 OA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 21 Garage 37.42 21 Ground flr. 84.88 Total 218.99 21 Alfresco 15.12 21 Pier 2.10 21 Porch 3.87 6.57 21 Void Total 245.67

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20) 68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068 Sekisui House Services (NSW) Pty Limited CREPRODUCTION IN P. ABN: 42119550220. BL: 226045C.

LOT 20 - TL03 F02 - G.F.P

EDGE OF POST

♦ OVERALL

MODEL FACADE TL -STOREY ACCOM GARAGE -SHEET DA-31 CONTRACT No: NM105722 PAGE: **31** MASTER DESIGN MASTER CHECKED SCALE: 1:100, 1:1

REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln

DIMENSIONS SHOWN ON PLAN ARE TAKEN FROM WALL FRAME, NOT FINISHED PLASTER



please consider the environment before printing this sheet

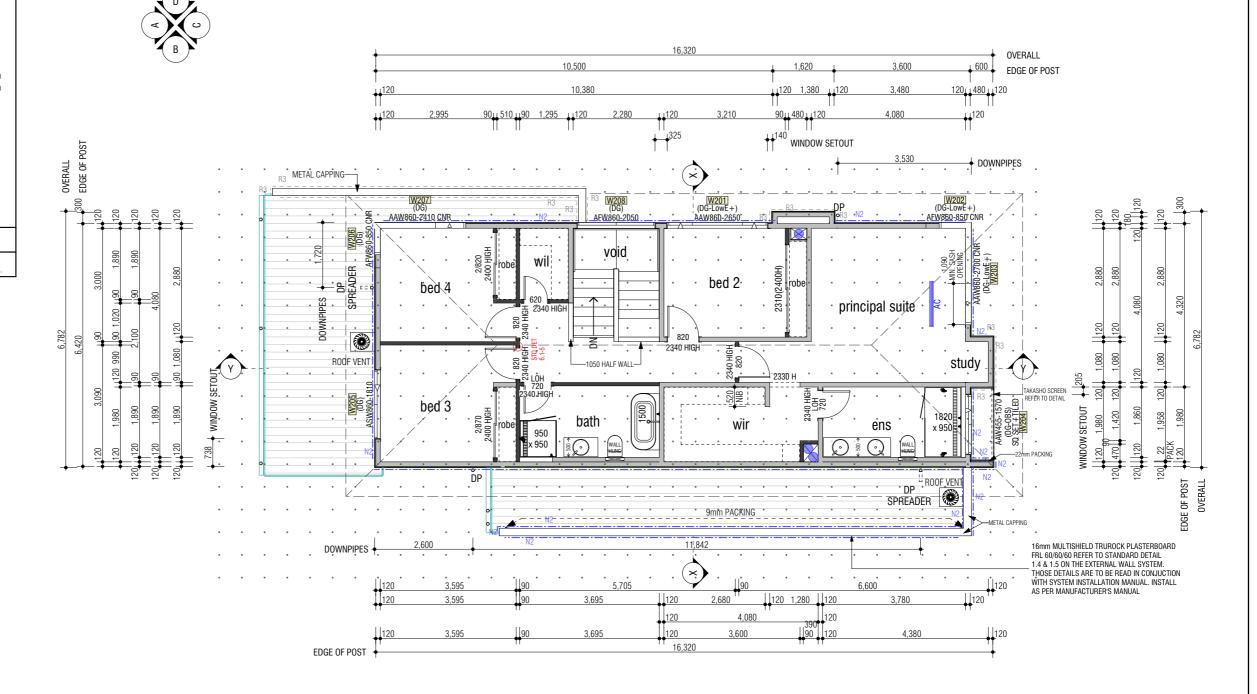
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PROVIDE PLYWOOD LINING TO THE ROOF STRUCTURE AS PER STANDARD DETAILS 5.3-2 to 5.3-5

ACCORDANCE WITH PART 10.8 OF THE HOUSING PRO

LEGEND

___N1____ - STANDARD FUGE ___N2 ___ - FEATURE FUGE ___R1 ___ - RENDERED . <u>R2</u> . __ - RENDER 2 . <u>R3</u> . __ - RENDER 3



LEGEND

- DOWNPIPE. REFER TO STORMWATER MANAGEMENT PLAN FOR CONNECTION TO TANK

- ROOF ACCESS $\begin{bmatrix} R_{\underline{A}} \end{bmatrix}$ - RETURN AIR CEILING GRILL (V) Ly; - CEILING VENTS ☑ - DENOTES SHAWOOD POST

SMOKE ALARM (DIRECT WIRED)

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Floor Areas NM 26.03.202 21 First flr. 96.52 OA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, TORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES) 21 Garage 37.42 21 Ground flr. 84.88 Total 209.72 21 Alfresco | 15.12 21 Pier 2.10 21 Porch 3.87 6.57 21 Void Total 245.79

ADDRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

LOT 20 - TL03 F02 - F.F.P

MODEL FACADE TL -STOREY ACCOM GARAGE -SHEET DA-32 CONTRACT No: NM105722 PAGE: **32** MASTER DESIGN MASTER CHECKED

SCALE: 1:100, 1:1

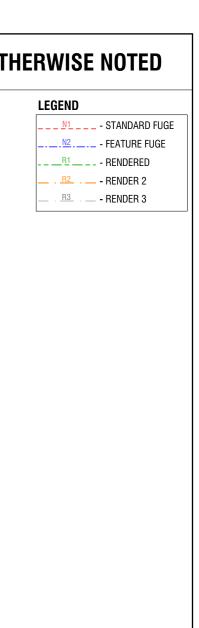
REFER TO ENGINEER'S DRAWING FOR BRACING DETAILS

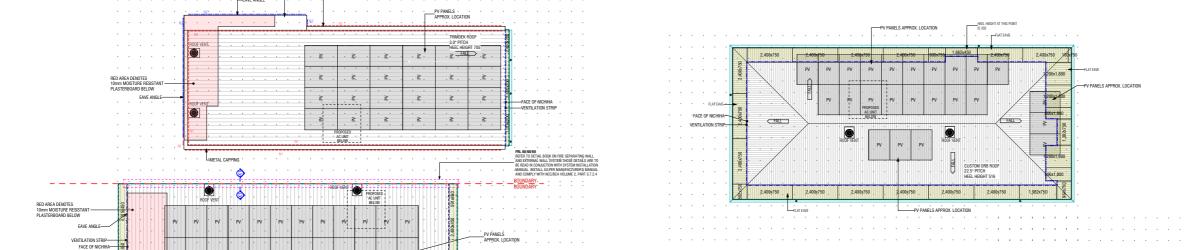
							Wind	ow Schedule						
Element ID	Window Code Parameter	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	Tiled Reveal 6mm gap	View from Opening Side	Special Note	Glazing	BOTTOM Sash	werslink	Uvalue	SHGC
W101	AAW2050-610		2,050	610	117	⊠		***************************************		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W102	AAW2570-1210		2,570	1,210	117	⊠		\bigvee		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W103	AAW1030-850		1,030	850	117	×		M		DG:- Double Glass		WID-101-032	4.00	0.58
W201	AAW860-2650		860	2,650	130			M		DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W202	AFW860-850 CNR		860	850	130					DG-LowE+:- Double Glass with LowE PLUS		WID-106-028	2.10	0.54
W203	AAW860-2700 CNR		860	2,700	130					DG-LowE+:- Double Glass with LowE PLUS		WID-101-012	3.20	0.45
W204	AAW455-1570		455	1,570	117	⊠		592		DG-OBS:- Double Glass Obscure		WID-101-032	4.00	0.58
W205	ASW860-1810		860	1,810	130			*		DG:- Double Glass		WID-102-018	4.00	0.61
W206	AFW860-850 CNR		860	850	130					DG:- Double Glass		WID-106-017	3.10	0.71
W207	AAW860-2410 CNR		860	2,410	130			M		DG:- Double Glass		WID-101-032	4.00	0.58
W208	AFW860-2050		860	2,050	130					DG:- Double Glass		WID-106-017	3.10	0.71
11														

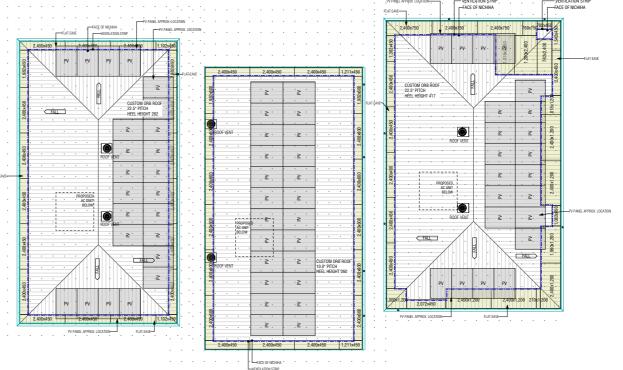
						D	oor Schedule					
Element ID	DoorCodeParam	Paragon	Height	Width	Reveal Thickness	Square Set 2mm gap	View from Opening Side	Glazing	Special Note	werslink	Uvalue	SHGC
D102	AST2695-3276		2,695	3,276	117	×	7	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D103	AST2695-3244		2,695	3,244	117	×	,	DG-LowE+:- Double Glass with LowE PLUS		WID-111-005	2.90	0.48
D104	AFD2120-900	×	2,120	900	117	×		DG:- Double Glass		WID-122-017	3.90	0.51
3												

REV	AMENDMENT	BY	DATE	ADDRESS: 53A & 53B WARRIEWOOD ROAD,					
01	IDA PLANS	NM	26.03.2025	,	1 OT 2	וW - חי	NDOW	' / noo	R SCHEDULE
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS,	NM	16.04.2025		0			, 500	00
	STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)			(PROPOSED LOTS 13-20)					
\vdash		<u> </u>		\\//	MODEL	TL -	FACADE	01	
\vdash		├							
⊢		<u> </u>		SHAWOOD	STOREY	D	ACCOM		GARAGE -
\vdash									SHEET:DA-33
_				68 Waterloo Rd Macquarie Park, NSW 2113 Tel: 1800 951 068	CONTRAC	CT No: NM10	15/22		
				• • •	MASTER	DECICN	МАСТ	R CHECKED	PAGE: 33
			l	Sekisui House Services (NSW) Pty Limited ABN: 42119550220. BL: 226045C. COPYRIGHT 2022 REPRODUCTION IN PART OR WHOLE FORBIDDEN	IVIASTEN		IVIASTI	IN GLIEGKED	
				ABN: 42119550220. BL: 226045C. OR WHOLE FORBIDDEN	N	M		-	SCALE: 1:1

ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED







REV	AMENDMENT	BY	DATE	AD
01	IDA PLANS	NM	26.03.2025	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	
		-		68
				Se

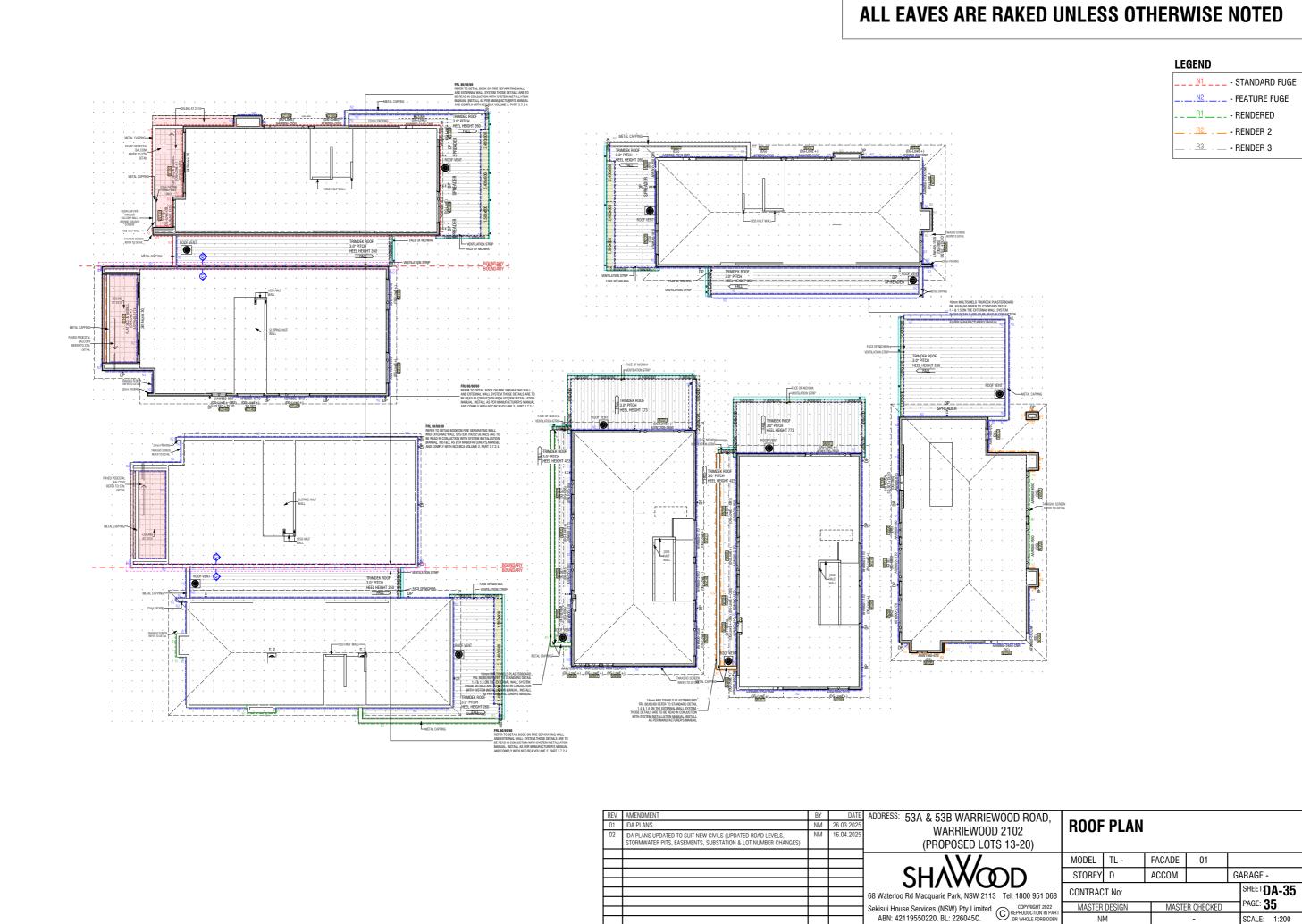
DRESS: 53A & 53B WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

kisui House Services (NSW) Pty Limited REPRODUCTION IN PAR ABN: 42119550220. BL: 226045C.

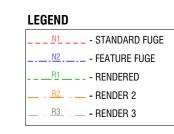
	MODEL	TL -	FACADE	01		
	STOREY	D	ACCOM		G	
68	CONTRACT No:					

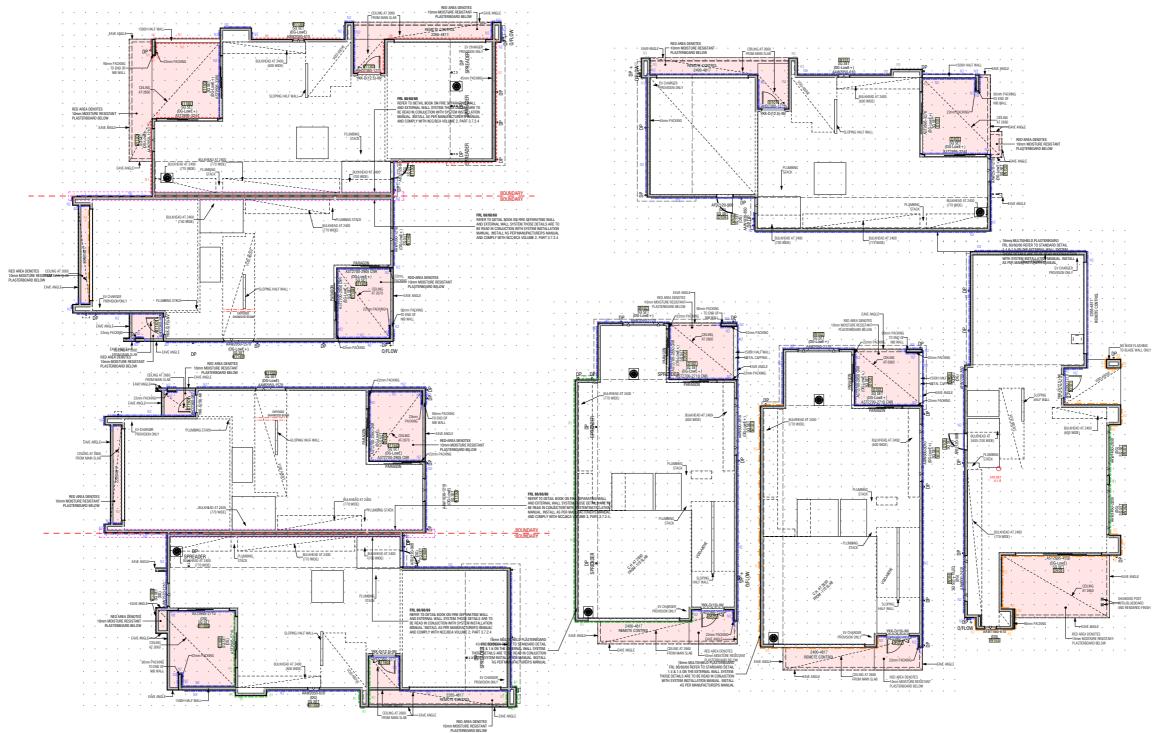
ROOF PLAN

GARAGE -SHEET DA-34 PAGE: **34** MASTER DESIGN SCALE: 1:200



ALL EAVES ARE RAKED UNLESS OTHERWISE NOTED





REV	AMENDMENT	BY	DATE	ADDRE
01	IDA PLANS	NM	26.03.2025	
02	IDA PLANS UPDATED TO SUIT NEW CIVILS (UPDATED ROAD LEVELS, STORMWATER PITS, EASEMENTS, SUBSTATION & LOT NUMBER CHANGES)	NM	16.04.2025	
		<u> </u>		
		_		68 Wat
		\vdash		Sekisui
				4.01

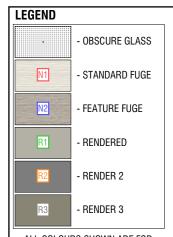
WARRIEWOOD ROAD, WARRIEWOOD 2102 (PROPOSED LOTS 13-20)

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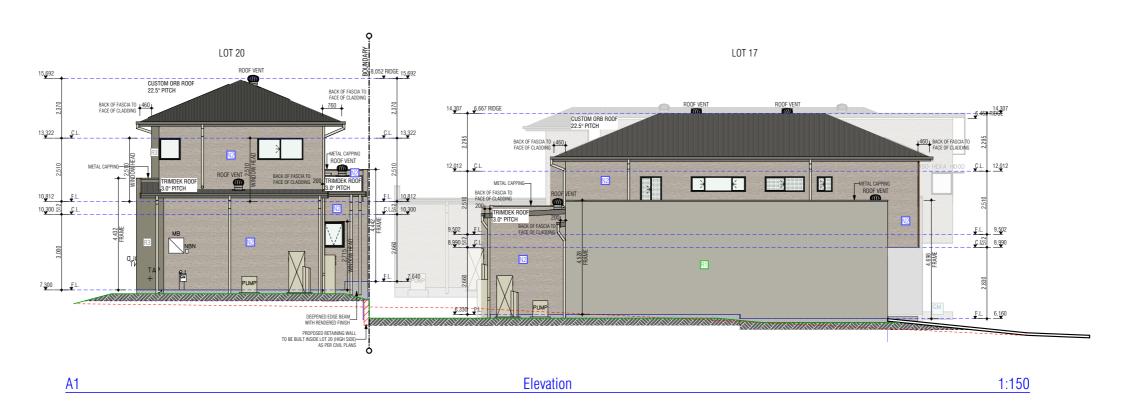
R00F	PLAN

MODEL	TL -	FACADE	01			
STOREY	D	ACCOM		G	ARAGE -	
					SHEET DA-36	
MASTER	DESIGN	MASTE	MASTER CHECKED		PAGE: 36	
N	М		-		SCALE: 1:200	



ALL COLOURS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY. REFER TO THE EXTERIOR COLOUR SELECTION FOR CORRECT COLOURS





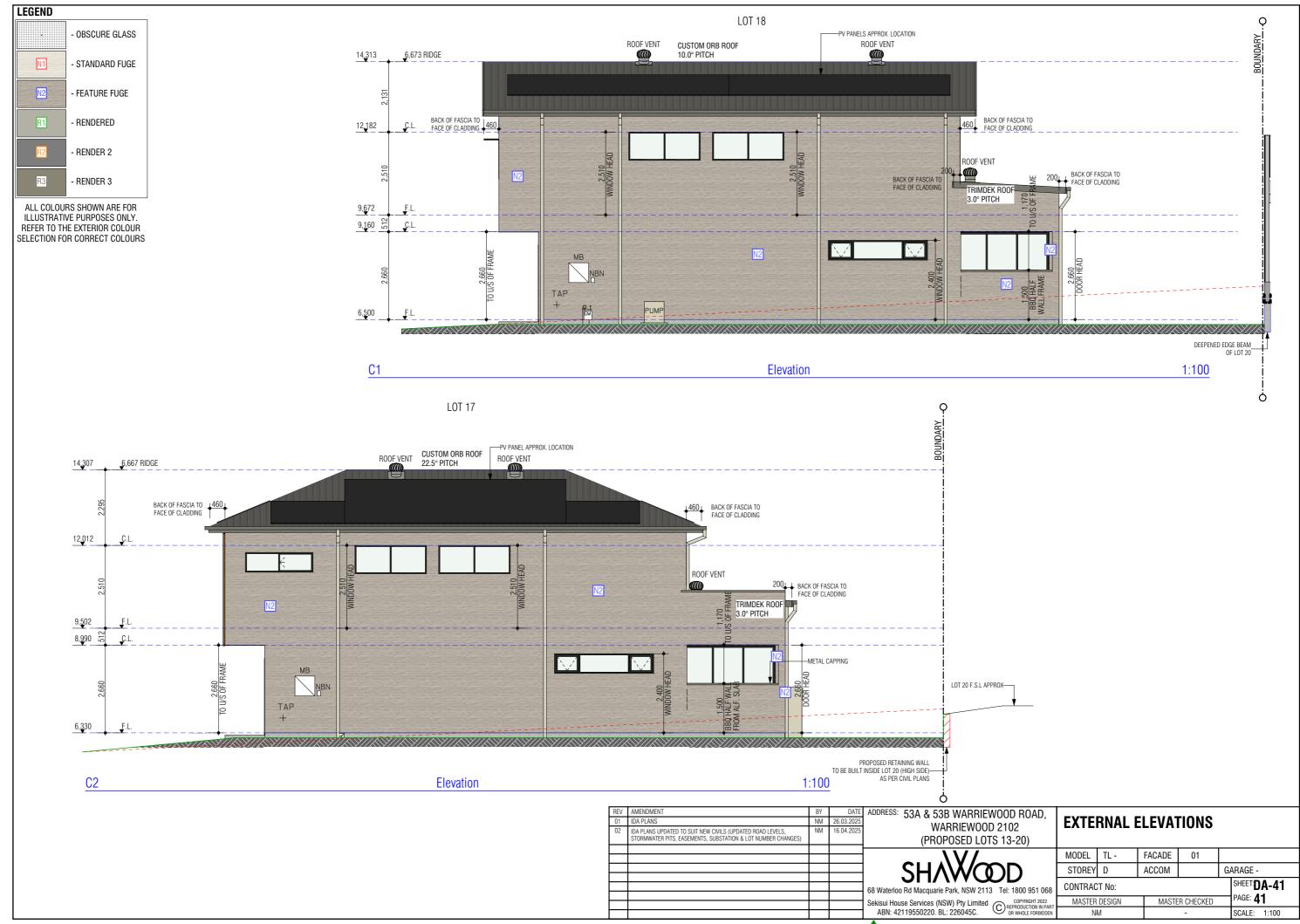






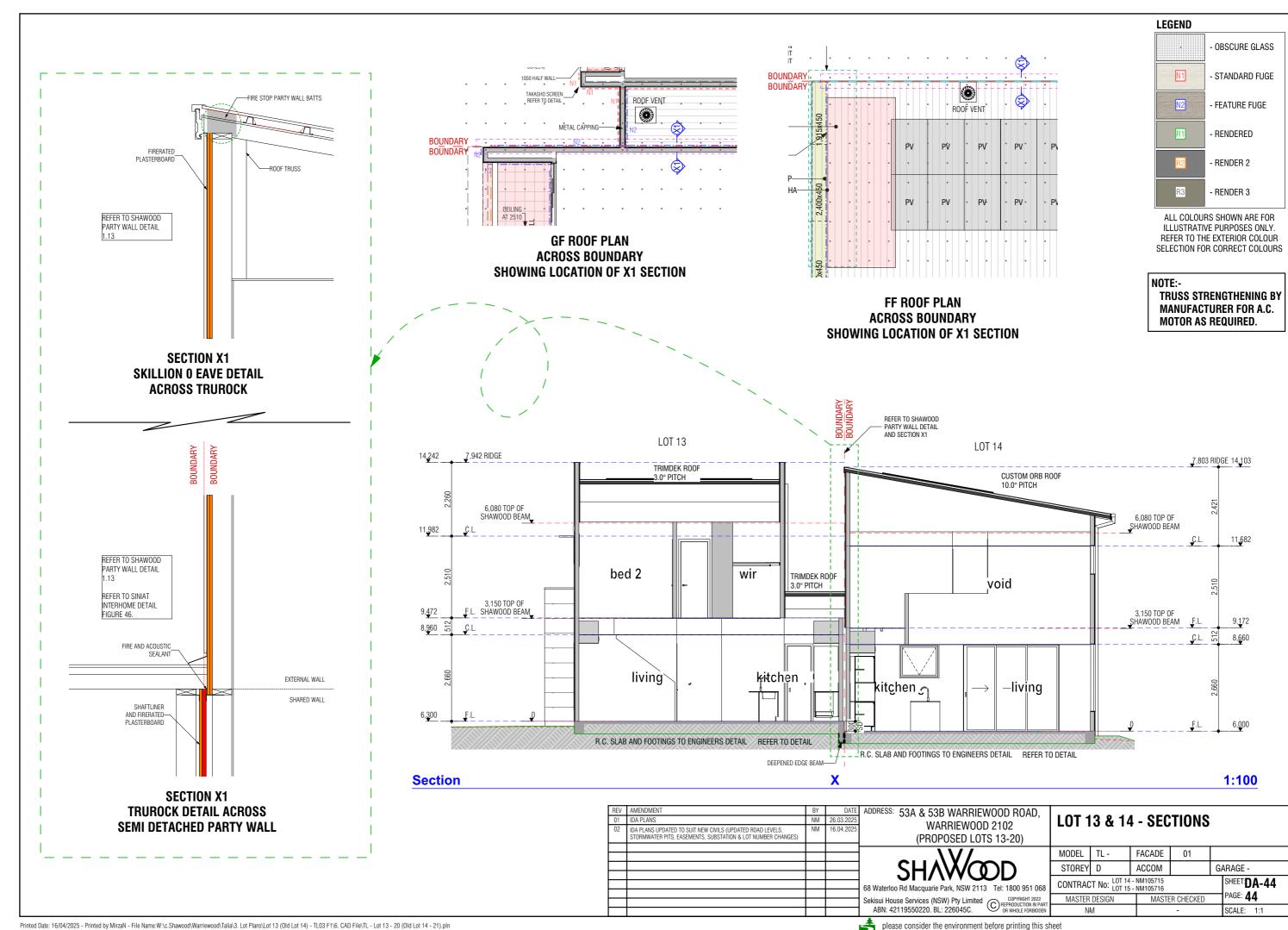


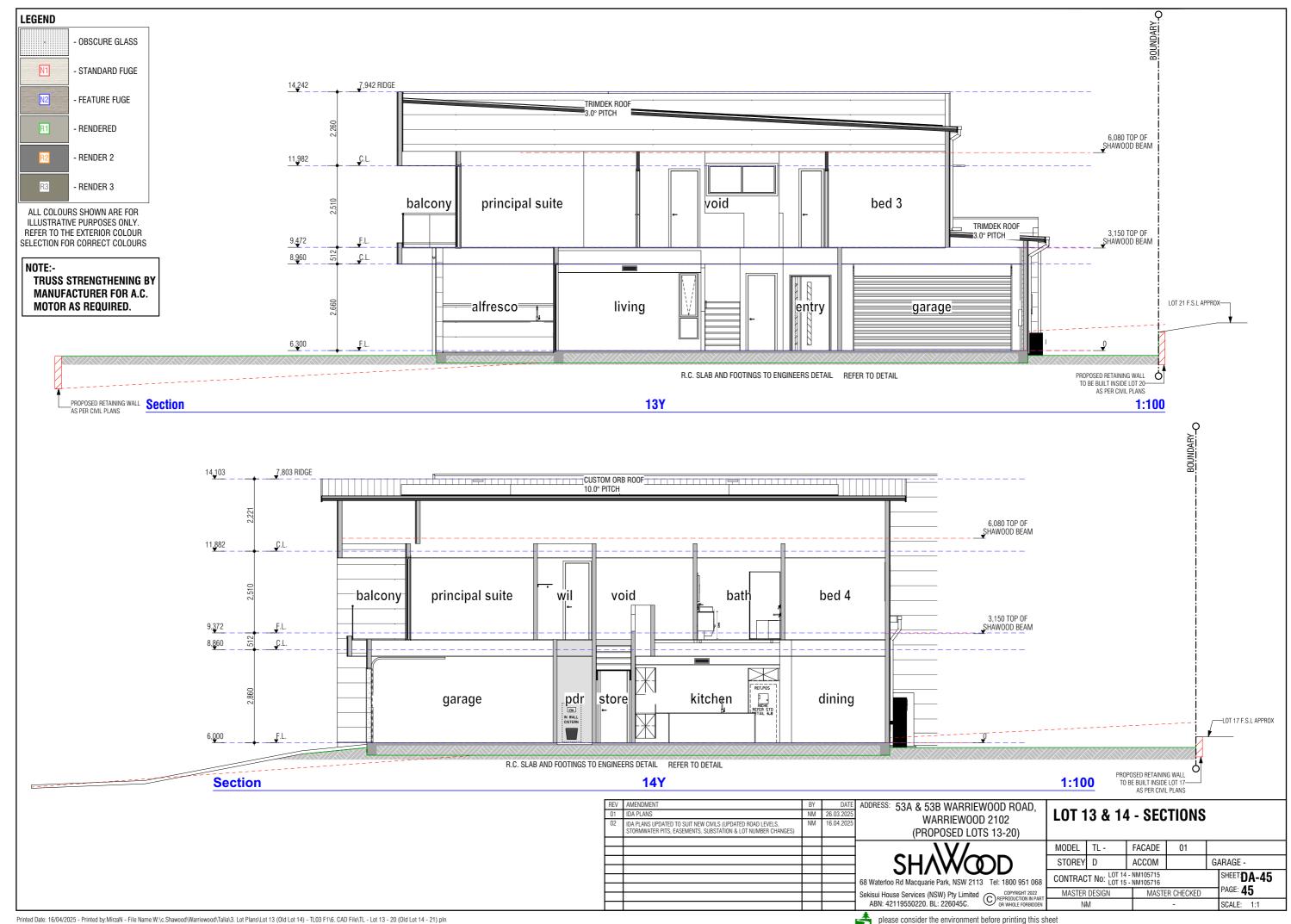
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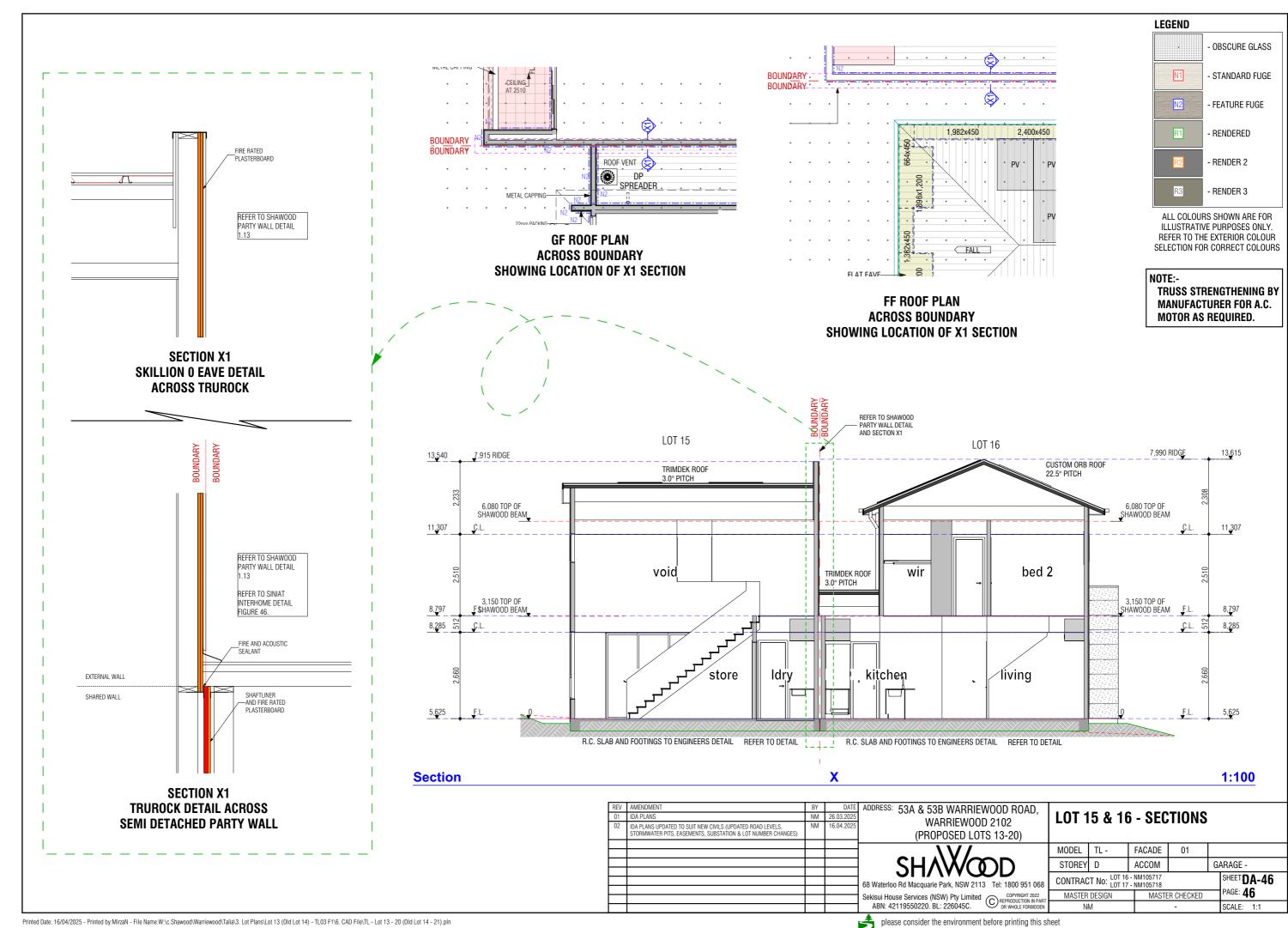


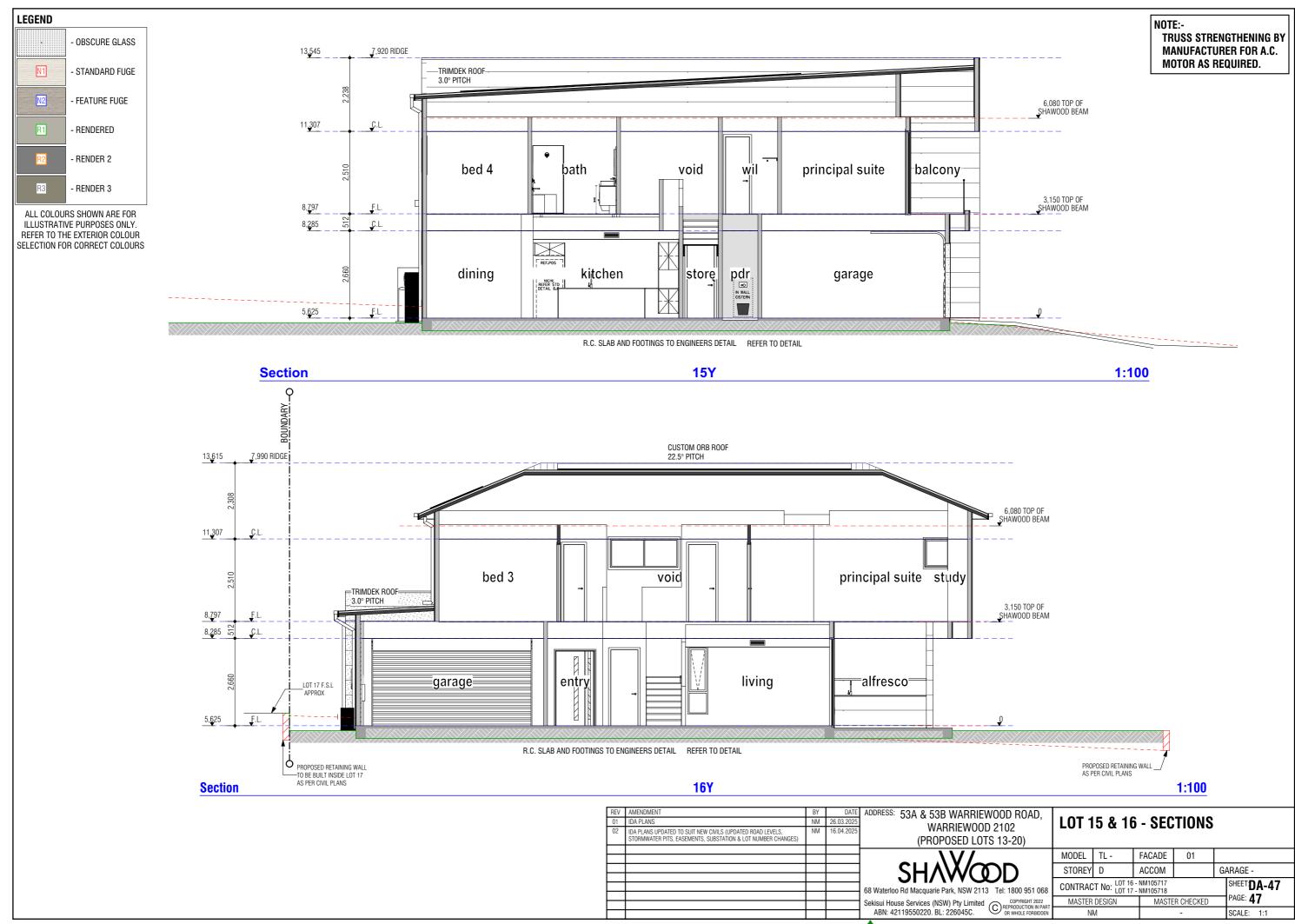


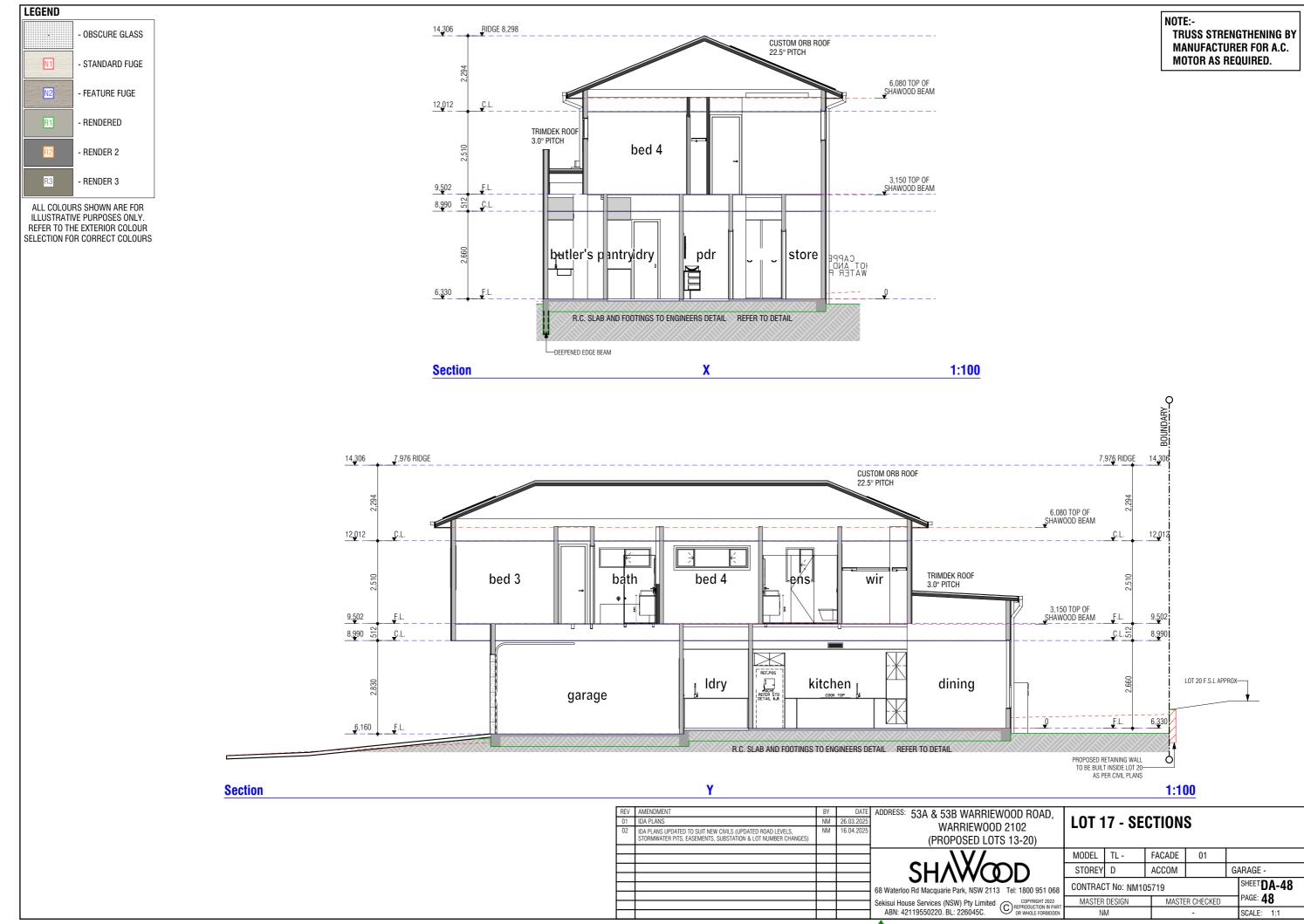


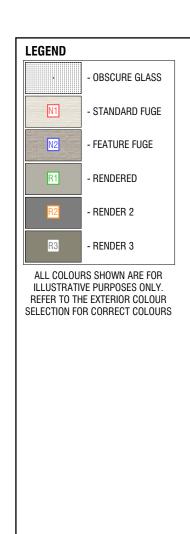






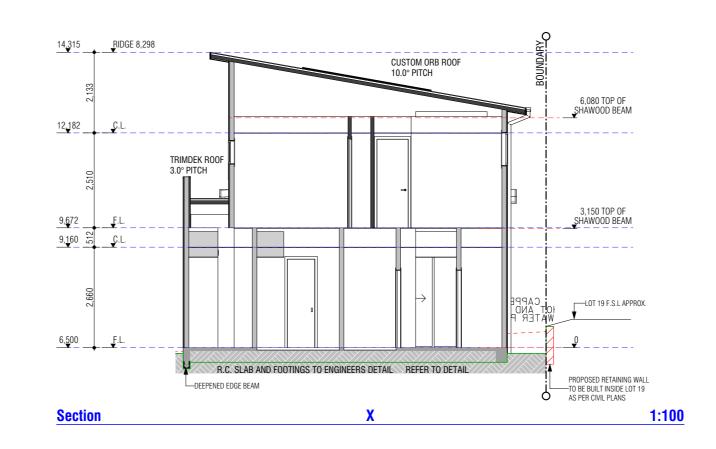


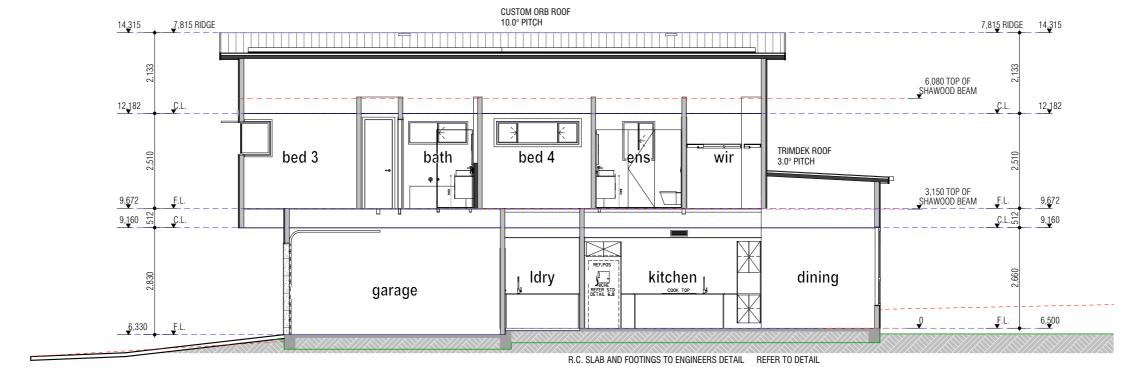




Section

Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln







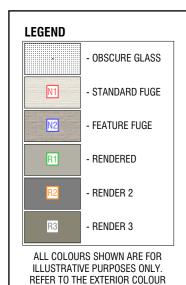
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NOTE:-

TRUSS STRENGTHENING BY

MANUFACTURER FOR A.C.

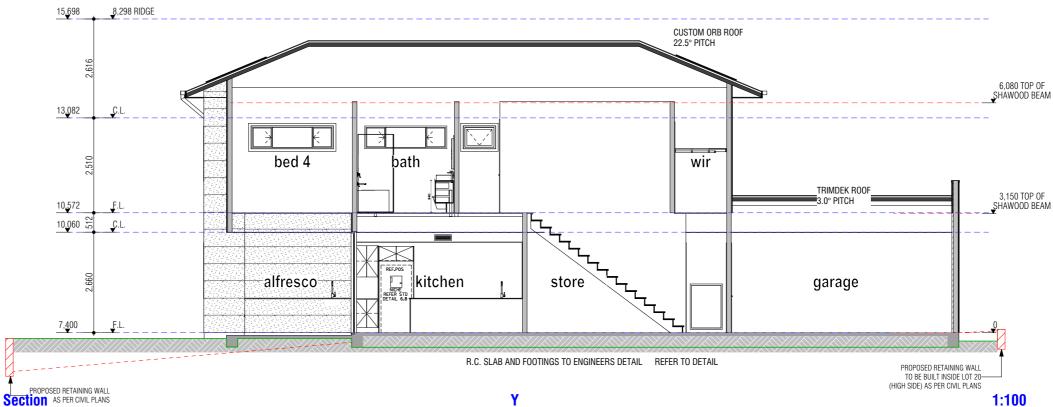
MOTOR AS REQUIRED.



SELECTION FOR CORRECT COLOURS

Printed Date: 16/04/2025 - Printed by:MirzaN - File Name:W:\c.Shawood\Warriewood\Talia\3. Lot Plans\Lot 13 (Old Lot 14) - TL03 F1\6. CAD File\TL - Lot 13 - 20 (Old Lot 14 - 21).pln







NOTE:-

TRUSS STRENGTHENING BY

MANUFACTURER FOR A.C.

MOTOR AS REQUIRED.

