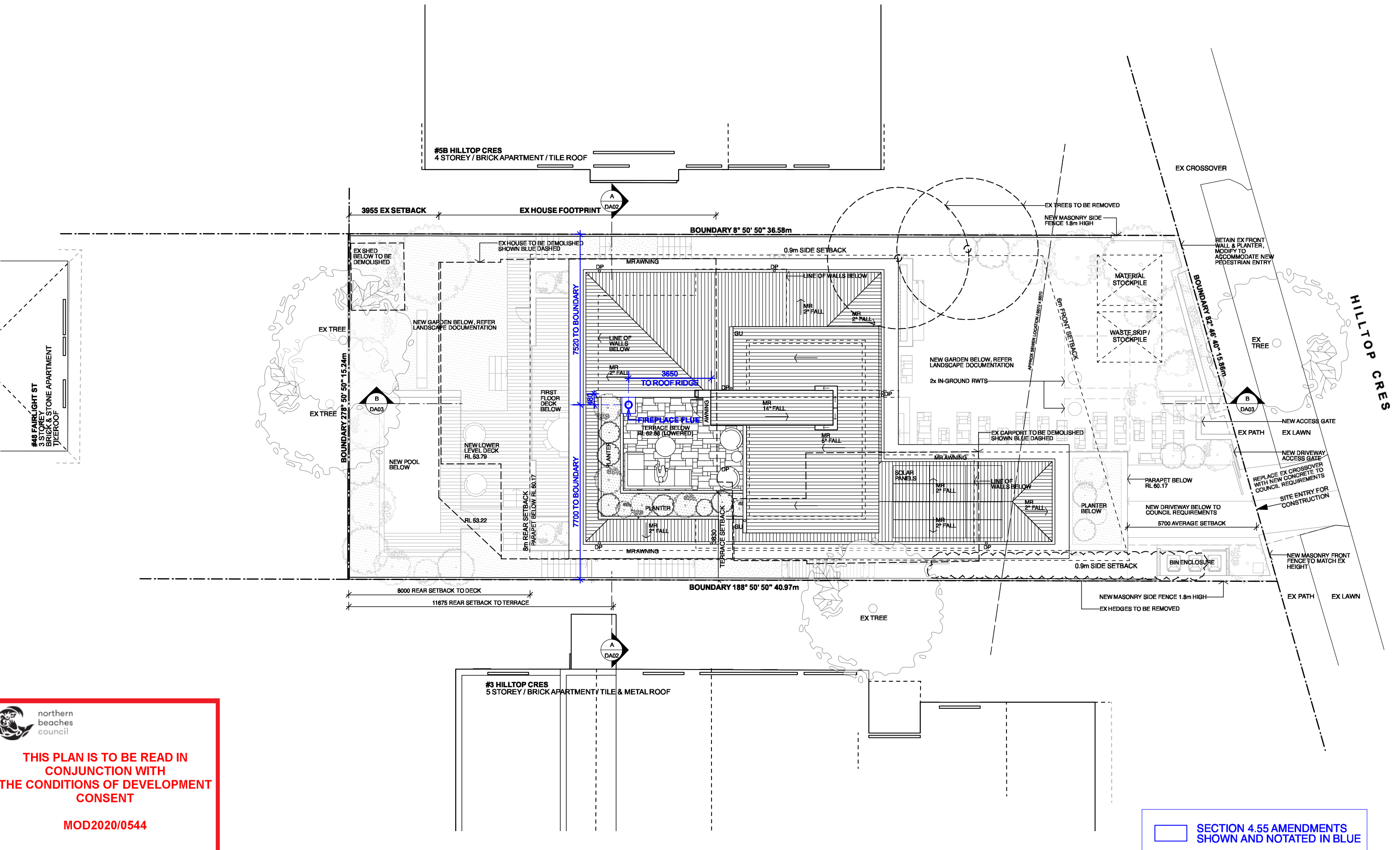




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J	DA ISSUE	26.03.19
K	SHADOW REVIEW	30.04.19
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L	AMENDED DA ISSUE	14.08.19
M	SECTION 4.55 ISSUE	13.10.20



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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA02
PROJECT	New Residence	TITLE	Site & Roof Plan Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:150 @ A3		

#5B HILLTOP CRES
4 STOREY / BRICK APARTMENT / TILE ROOF

EX CROSSOVER

3955 EX SETBACK

EX HOUSE FOOTPRINT

BOUNDARY 8° 50' 50" 36.58m

EX TREES TO BE REMOVED

NEW MASONRY SIDE FENCE 1.8m HIGH

RETAIN EX FRONT WALL & PLANTER, MODIFY TO ACCOMMODATE NEW PEDESTRIAN ENTRY

6m FRONT SETBACK

BOUNDARY 82° 46' 40" 15.86m
HILLTOP CRES

EX TREE

EX PATH

EX SHED BELOW TO BE DEMOLISHED

EX HOUSE TO BE DEMOLISHED SHOWN BLUE DASHED

NEW GARDEN BELOW, REFER LANDSCAPE DOCUMENTATION

0.9m SIDE SETBACK

NEW GARDEN BELOW, REFER LANDSCAPE DOCUMENTATION

2x IN-GROUND RWTS

NEW ACCESS GATE

NEW DRIVEWAY ACCESS GATE

AMEND & REPLACE EX CROSSOVER WITH NEW CONCRETE TO COUNCIL REQUIREMENTS

NEW DRIVEWAY BELOW TO COUNCIL REQUIREMENTS

5700 AVERAGE SETBACK

BIN ENCLOSURE

NEW MASONRY SIDE FENCE 1.8m HIGH

EX HEDGES TO BE REMOVED

BOUNDARY 188° 50' 50" 40.97m

EX TREE

FOR DRIVEWAY EXTENTS, SEE DA02

SECTION 4.55 AMENDMENTS SHOWN AND NOTATED IN BLUE

B
DA03

B
DA03

A
DA02

#3 HILLTOP CRES
5 STOREY / BRICK APARTMENT / TILE & METAL ROOF

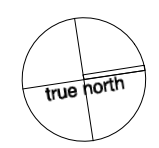
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
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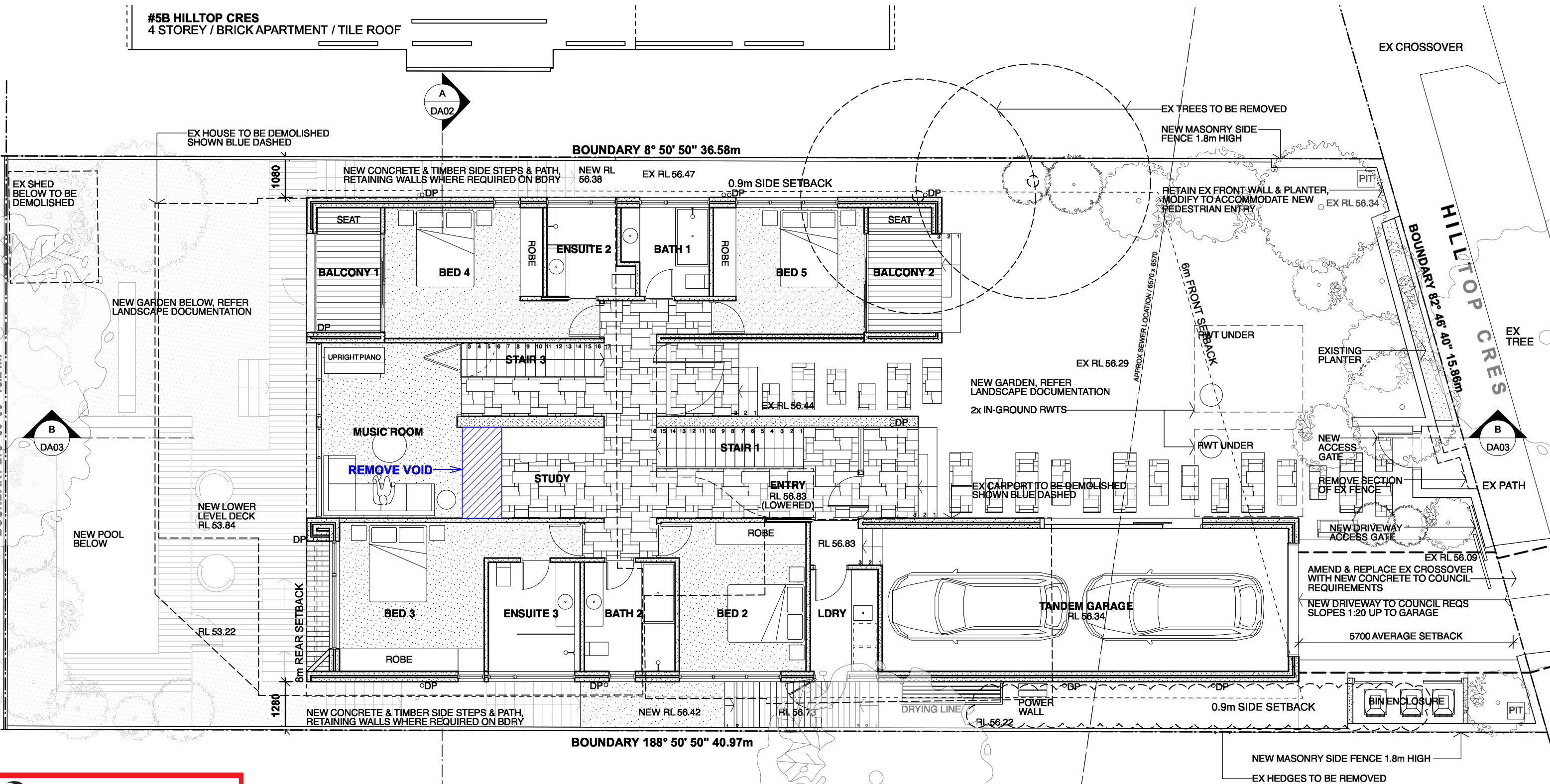
Phone: 02 9977 1076 Fax: 02 9976 0625 info@watershreddesign.com.au



CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA03
PROJECT	New Residence	TITLE	Roof Terrace Plan Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		

#5B HILLTOP CRES
4 STOREY / BRICK APARTMENT / TILE ROOF

EX CROSSOVER





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#3 HILLTOP CRES
5 STOREY / BRICK APARTMENT / TILE & METAL ROOF

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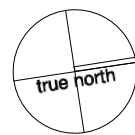
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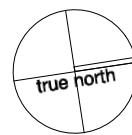


CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA04
PROJECT	New Residence	TITLE	Ground Floor Plan Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		

[illegible]

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ADDRESS	5A Hilltop Crescent, Fairlight
TITLE	Upper Floor Plan Section 4.55

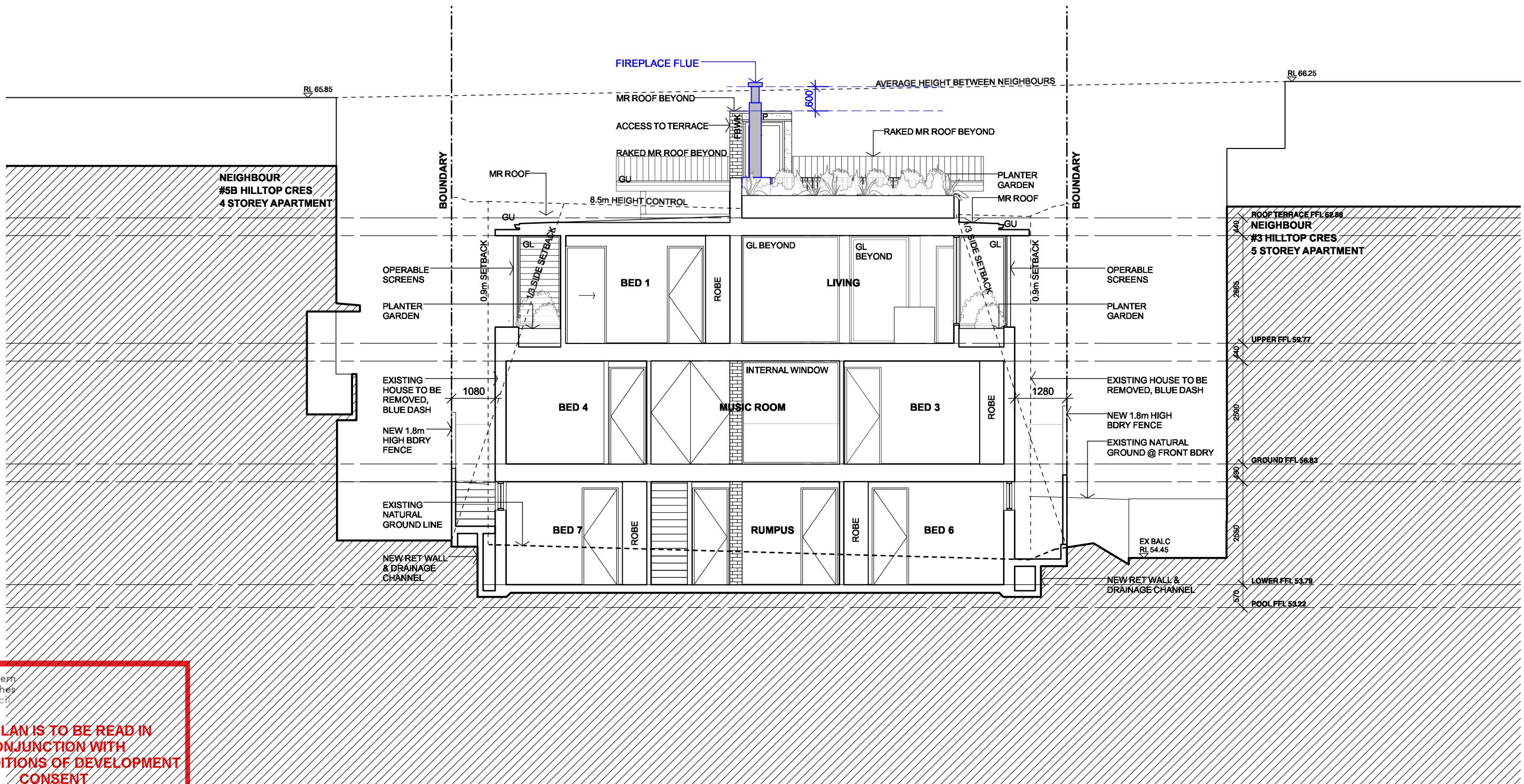
JOB NO	18021	DRAWING NO
DRAWN	NT	DA05
CHECKED	MK	ISSUE
SCALE	1:100 @ A3	M

FOR DRIVEWAY EXTENTS, SEE DA02

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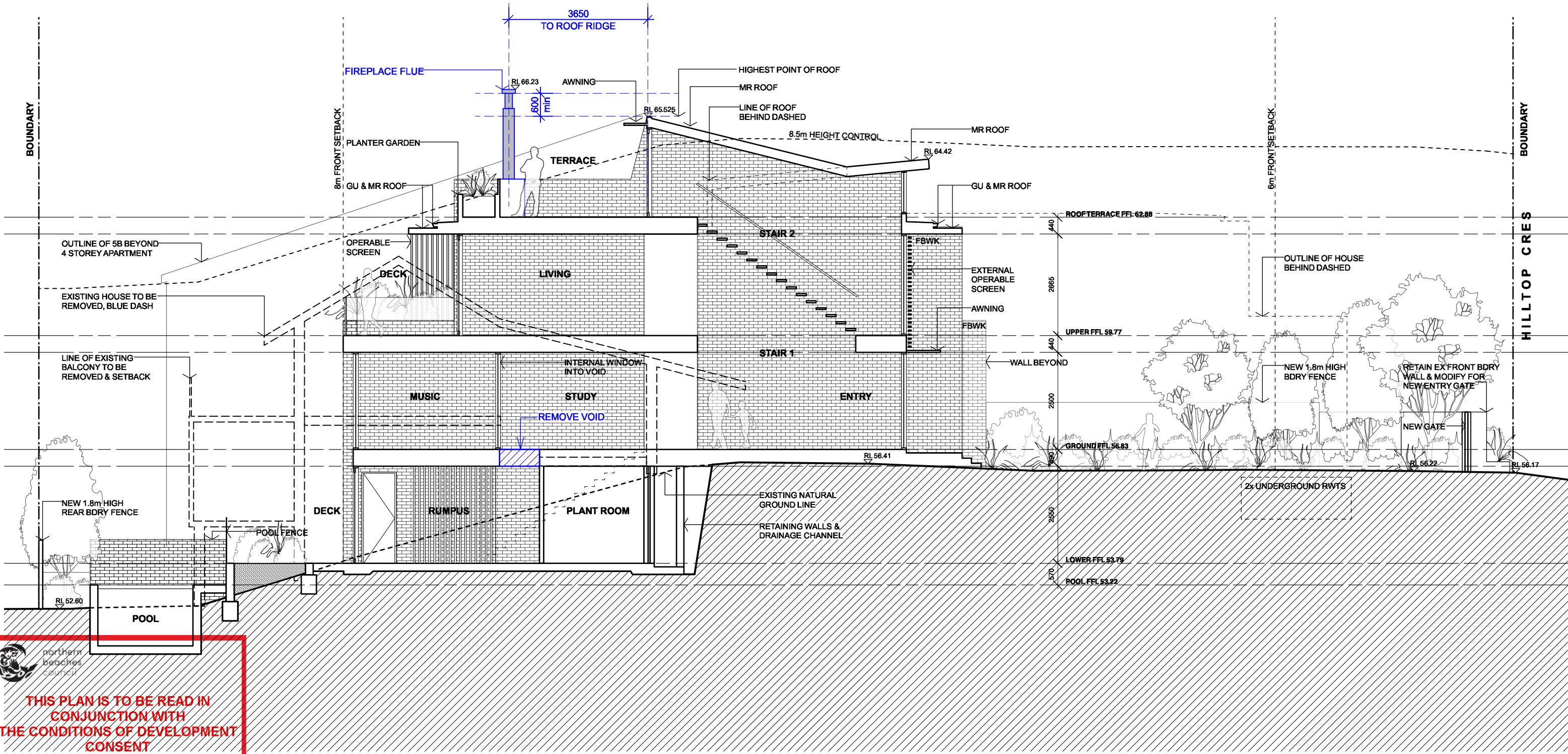
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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA08
PROJECT	New Residence	TITLE	Section A-A Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		



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CLIENT Monique & Andrew
Tompson

PROJECT New Residence

ADDRESS 5A Hilltop Crescent,
Fairlight

TITLE **Section B-B**
Section 4.55

JOB NO 18021

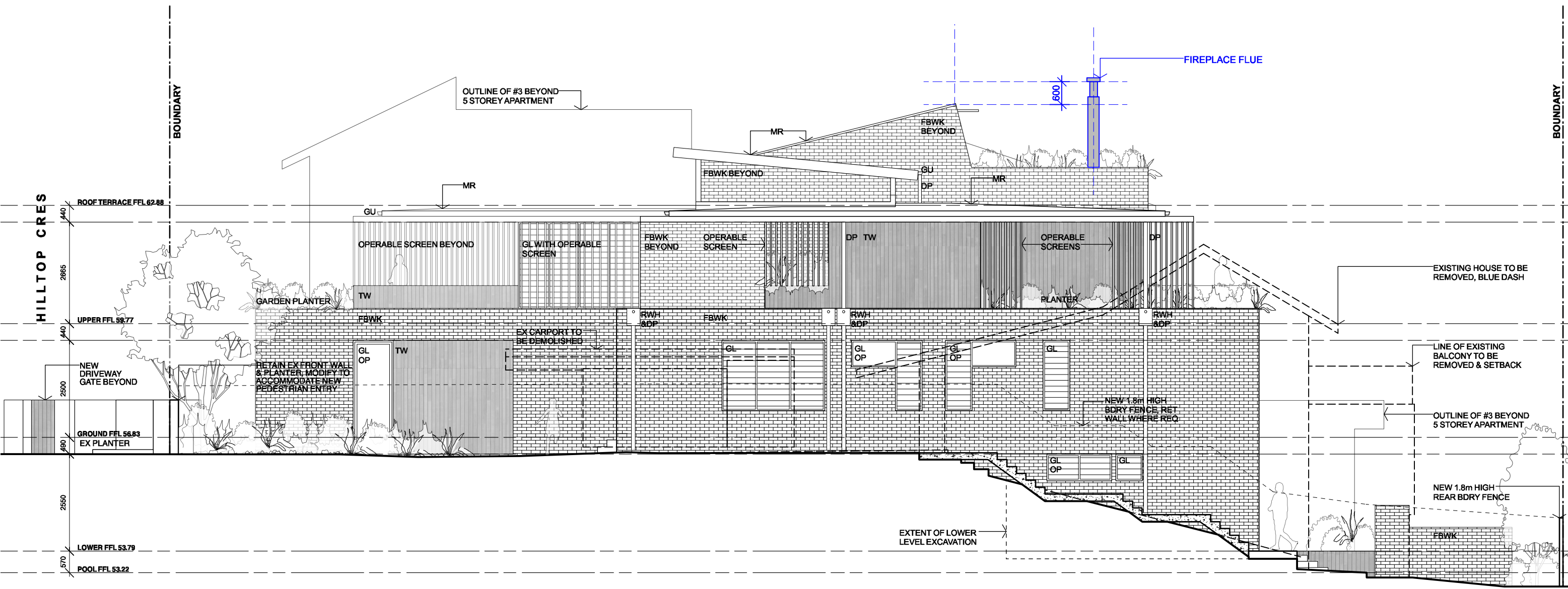
DRAWN NT

CHECKED MK

SCALE 1:100
@ A3

DRAWING NO **DA09**

ISSUE **M**





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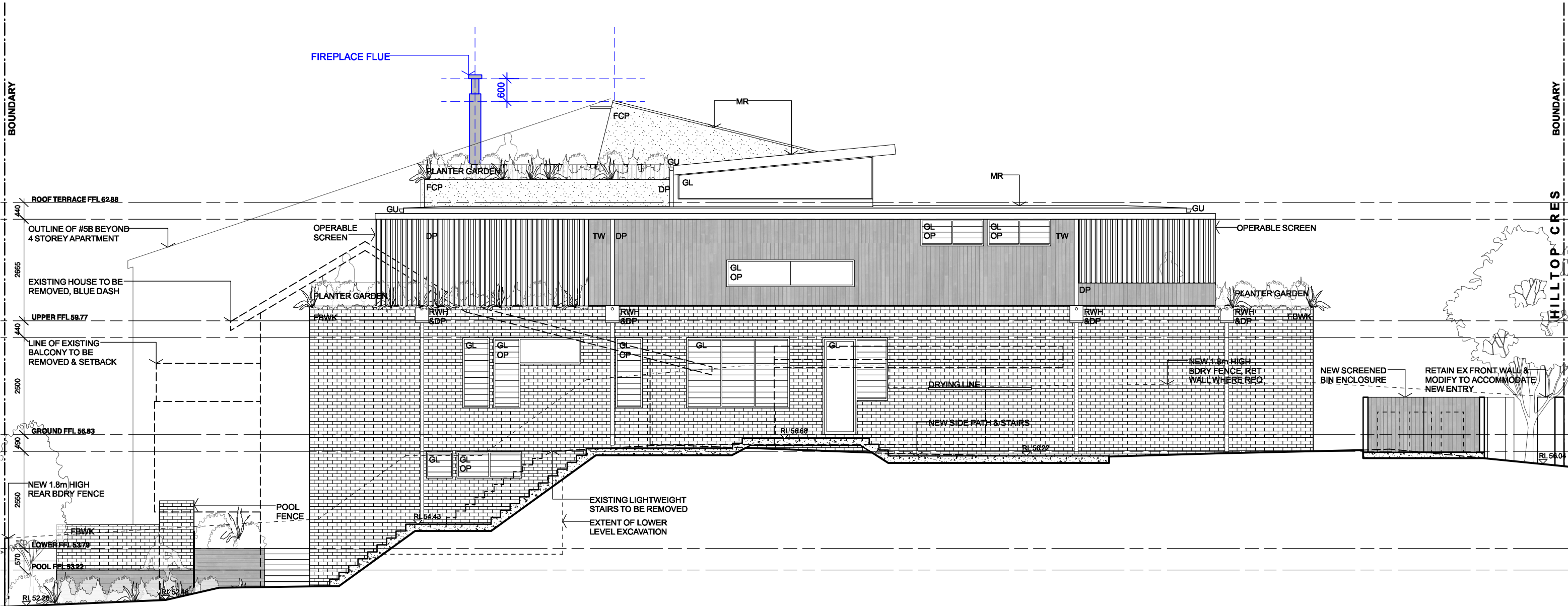
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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA10
PROJECT	New Residence	TITLE	West Elevation Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		



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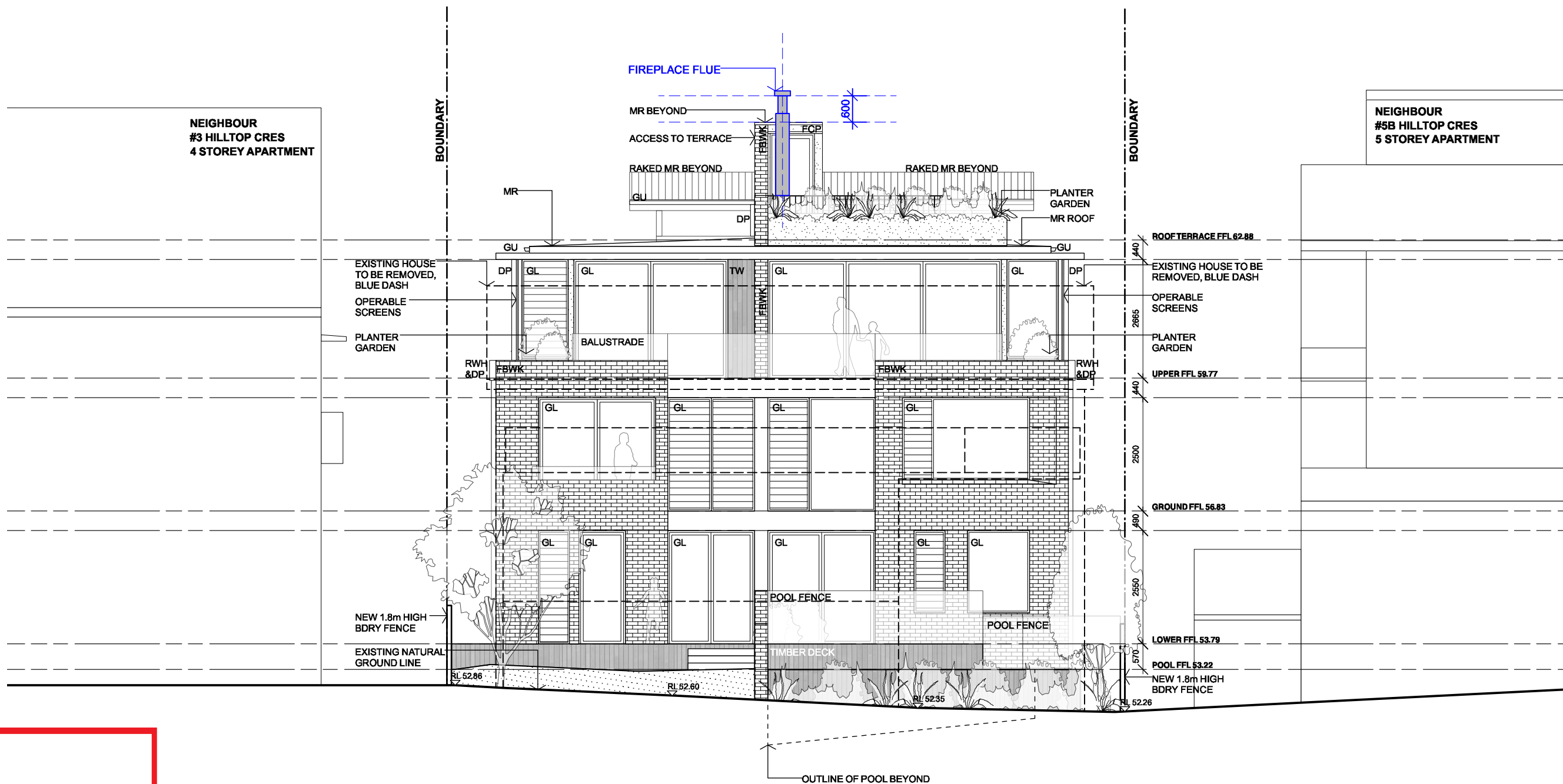


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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA11
PROJECT	New Residence	TITLE	East Elevation Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		





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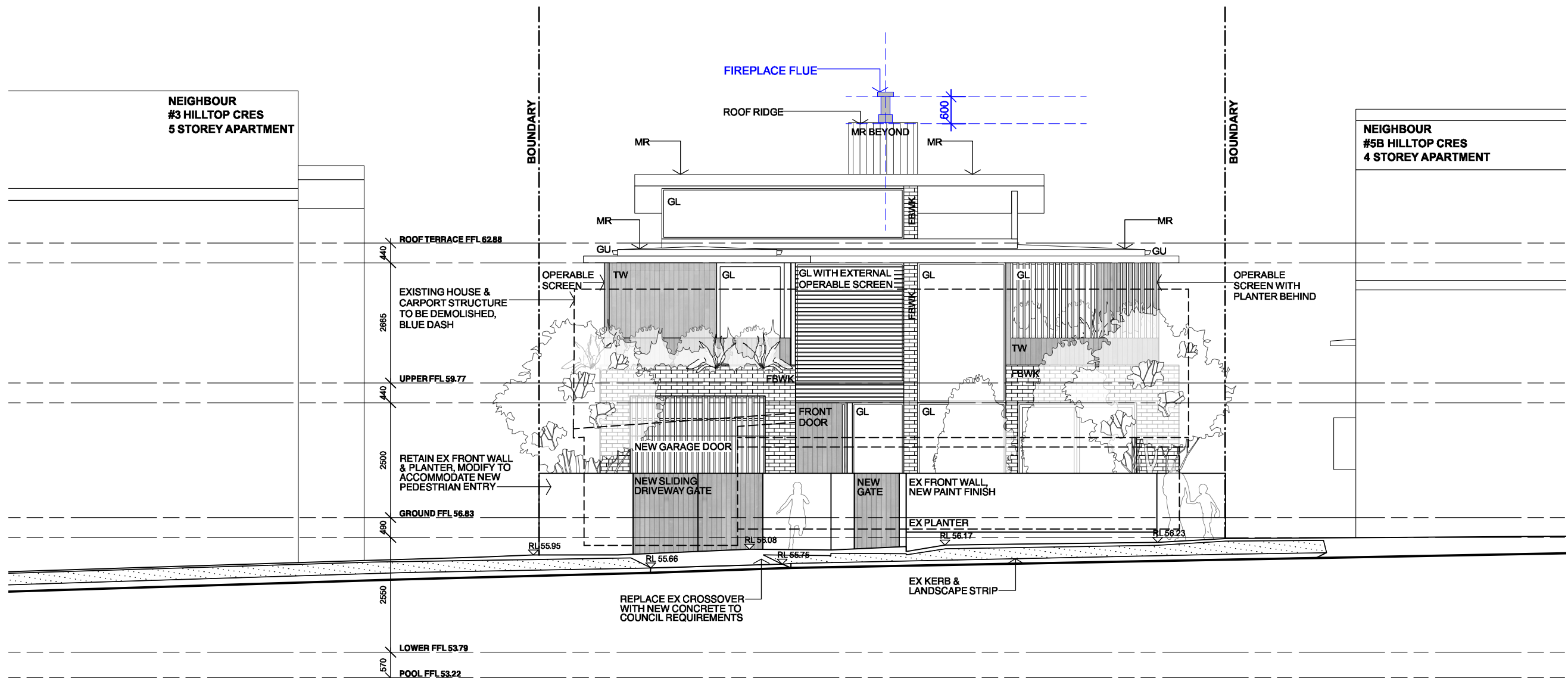
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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA12
PROJECT	New Residence	TITLE	South Elevation (Rear) Section 4.55	DRAWN	NT	ISSUE	M
				CHECKED	MK		
				SCALE	1:100 @ A3		



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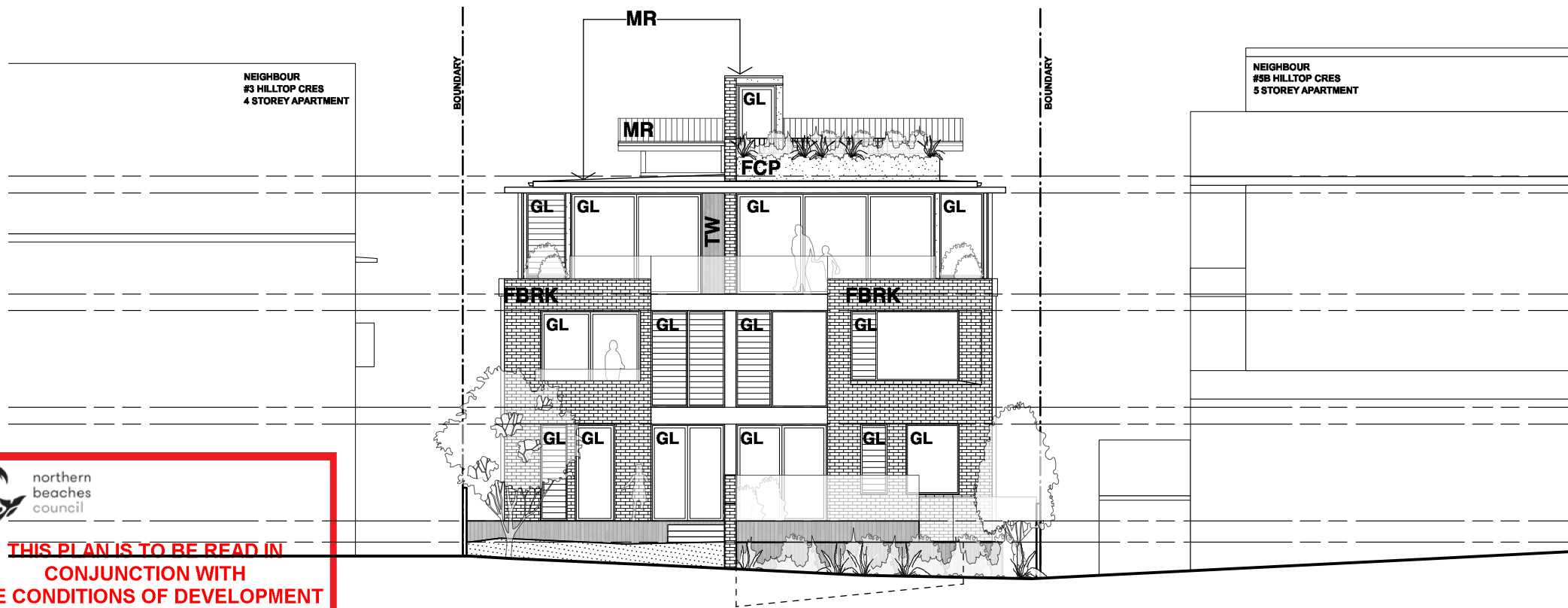
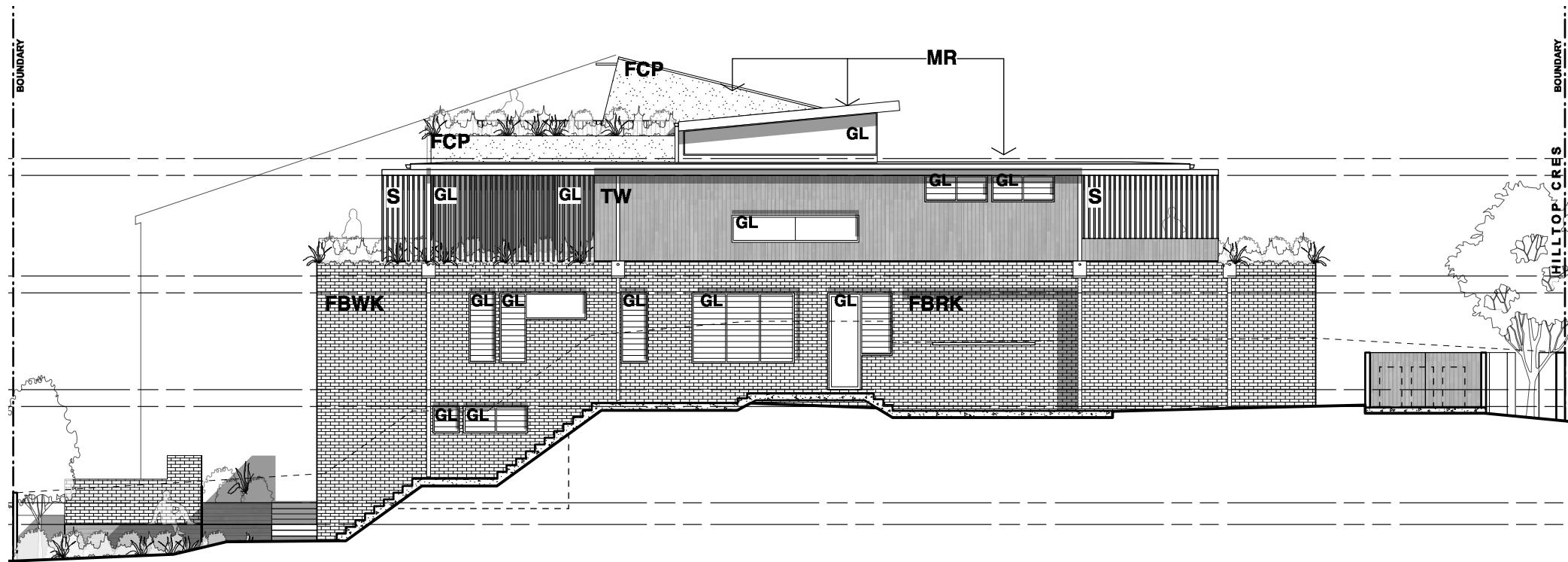
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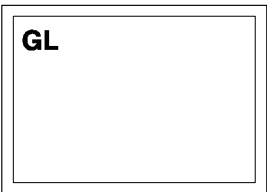
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CLIENT	Monique & Andrew Tompson	ADDRESS	5A Hilltop Crescent, Fairlight	JOB NO	18021	DRAWING NO	DA13
PROJECT	New Residence	TITLE	North Elevation Section 4.55	DRAWN	NT	ISSUE	M
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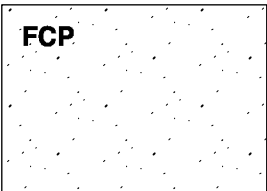


EXTERNAL COLOURS AND FINISHES



GLAZING
ANODISED OR POWDERCOATED ALUMINIUM
WINDOWS & DOORS WITH CLEAR OR
OPAQUE GLAZING

FRAME COLOUR: MONUMENT / BLACK



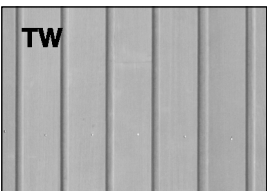
FIBRE CEMENT PANEL
BARESTONE LIGHTWEIGHT CLADDING

COLOUR: GREY



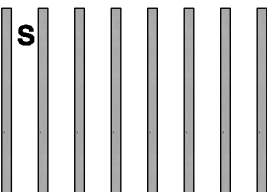
FACE BRICKWORK / MASONRY

COLOUR: GREY OR WHITE TBC



TIMBER WEATHERBOARD

COLOUR: CLEAR FINISH



SCREEN (OPERABLE)

COLOUR: CLEAR FINISH TIMBER
OR METAL (BLACK) TBC



METAL ROOF SHEET
COLOUR: COLORBOND BASALT TBC

**ROOF CHANGED TO COLORBOND ULTRA
FOR GREATER CORROSION RESISTANCE
COLOUR : WINDSPRAY
(WITHIN SAME BASIX COLOUR
CLASSIFICATION MEDIUM (0.475 < SA < 0.7)**



**SECTION 4.55 AMENDMENTS
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CLIENT **Monique & Andrew
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PROJECT **New Residence**

ADDRESS **5A Hilltop Crescent,
Fairlight**

TITLE **External Materials &
Finishes Schedule
Section 4.55**

JOB NO **18021**

DRAWN **NT**

CHECKED **MK**

SCALE **1:300
@ A3**

DRAWING NO

DA20

ISSUE

M