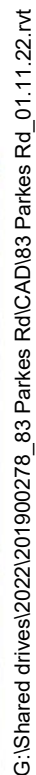


TORRENS TITLE SUBDIVISION OF 1 LOT INTO 2 AND BUILD DOUBLE STOREY DWELLING ON EACH LOT



**BUILDING
DESIGNERS
AUSTRALIA**



1. FALLS, SLIPS, TRIPS

C)a) WORKING AT HEIGHTS

DURING CONSTRUCTION
Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE
For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice,regulations or legislation.

FLOOR FINISHES By Owner

b) SLIPPERY OR UNEVEN SURFACES

Designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

c) STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance,demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access
2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

BUILDING COMPONENTSMechanical lifting of materials and components during construction,maintenance or demolition presents a risk of falling objects.Contractors should ensure that appropriate lifting devices are used,that loads are properly secured and that access to areas below the load is prevented or restricted.
For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.
4. SERVICES

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig),appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:
Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical,disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance withmanufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag.

All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

7. CONFINED SPACES

EXCAVATION
Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES
For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES
For buildings with small spaces where maintenance or other access may be required:Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.
6. HAZARDOUS SUBSTANCES

ASBESTOS
For alterations to a building constructed prior to 1990:If this existing building was constructed prior to: 1990 - it therefore may contain asbestos1986 - it therefore is likely to contain asbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS
Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER
The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding,drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required.The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE
Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS
This building may contain timber floors which have an applied finish.Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's
8. PUBLIC ACCESS use must be carefully considered at all times.

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.
10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordance with code of Practice:Managing Noise and Preventing Hearing Loss at Work.Due to the history of serious incidents it isrecommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

NATIONAL CONSTRUCTION CODE (NCC)

Section A General Provisions

Vol. 2 Part 1.3, Clause 1.3.2 Classifications:
CLASS 1: One or more buildings which in association constitute -
(a) Class 1A - A single dwelling, being -
(i) a detached house, or
(ii) one or more attached dwellings, each being a building, separated by a fire-resisting wall, including a row house, terrace house, town house or villa unit;
CLASS 10: A non-habitable building being a private garage, carport, shed, or the like.

Section C Fire Separation

Part 3.7.1 Fire Separation
3.7.1.1 Application
Compliance with this Part satisfies Performance Requirement P2.3.1 for fire separation.
3.7.1.2 General Concession - Non-combustible materials
The following materials, though combustible or containing combustible fibres, may be used wherever a non-combustible is required in the Housing Provisions:
(a) plasterboard, and
(b) perforated gypsum lath with a normal paper finish, and
(c) fibrous-plaster sheet, and
(d) fibre-reinforced cement sheeting, and
(e) pre-finished metal sheeting having a combustible surface finish not exceeding 1mm thick and where the Spread-of-Flame Index of the product is not more than 0; and
(f) bonded laminated materials, where -
(i) each laminate is non-combustible; and
(ii) each adhesive layer is not more than 1mm thick; and
(iii) the total thickness of adhesive layers is not more than 2mm; and
(iv) the Spred-of-Flame Index and the Smoke-Development Index of the laminated material as a whole does not exceed 0 and 3 respectively.
3.7.1.3 External Walls of Class 1 buildings
An external wall of a Class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than-
(a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or other public space; or
(b) 1.8m from another building on the same allotment other than appurtenant Class 10 building or a detached part of the same Class 1 building.

3.7.1.4 Measurement of distances
(a) The distance from any point on an external wall of a building to an allotment boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5.
(b) Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in that manner.
3.7.1.5 Construction of External Walls
(a) External walls (including gables) required to be fire-resisting [Referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must-
(i) have an FRL of not less than 60/60/60 when tested from the outside; or
(ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or
(iii) be of masonry construction not less than 90mm thick.
(B) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or

3.7.1.6] must be protected by-
(i) non-operable fire-windows or other construction with an FRL of not less than --/60/-- : or
(ii) self-closing solid-core doors not less than 35mm thick.
(c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above.
(d) Concessions for non-habitable room windows, conduits and the like- Despite the requirements in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same allotment, not less than 1.2m from that building; providing that-
(i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm; or
(ii) in a room other than referred to in (i), opening has an area of not more than 0.54sqm; and-
(A) the window is steel-framed, there are no opening sashes and it is glazed in wire glass; or
(B) the opening is enclosed with hollow glass blocks.
3.7.1.8 Separating walls
(a) A wall that separates Class 1 dwellings, or separates a Class 1 building from a Class 10a building which is not apurtenant to that Class 1 building, must have an FRL of not less than 60/60/60, and-
(i) commence at the footings or ground slab; and
(ii) extend-
(A) if the building has a non-comustible roof covering, to the underside of the roof covering; or
(B) if the building has a combustible roof covering, to not less than 450mm above the roof covering.

SPECIFICATION C1.10 Fire Hazard Properties
Materials used in the building having flamability, smoke developed and spread-of-flame indices as set-out in Spec. C1.10.

SECTION F Health and Amenity

Part F1: Damp and Weatherproofing
-Stormwater drainage must comply with AS/NZS 3500.3.2
-Roof covering to comply with F1.5
-Sarking must comply with AS/NZS 4200, Parts 1 and 2
-Water proofing of wet areas in buildings to comply with F1.7
-Damp-proofing of floors on ground to comply with F1.11

Part F3.7: Fire safety
-Automatic fire detection system to be provided in accordance with Part 3.7.2 General concession:
Part 3.7.2: Smoke alarms - requirements for smoke alarms:
(a) Smoke alarms must be installed in:
(i) any storey containing bedrooms.

Part 3.8: Health and amenity
-Wet areas within the building must comply with the requirements of Part 3.8.1 Wet areas.
Part 3.8.6: Sound insulation requirements
3.8.6.1 Application - Compliance with this Part satisfies performance requirement P2.4.6 for sound insulation.
3.8.6.2 Sound insulation requirements
(a) to provide insulation from air-born and impact sound, a separating wall between two or more Class 1 buildings, must-
(i) achieve the weighted sound reduction with spectrum adaption term [Rw+Ctr] and discontinuous construction requirements, as required by Table 3.8.6.1; and
(ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.
(b) For the purpose of this Part, the Rw+Ctr must be determined in accordance with As/NZS 1276.2 or ISO 717.1, using results from laboratory measurements.

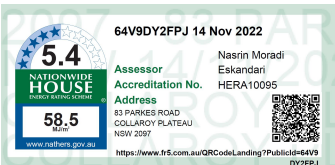
Part 3.9: Safe movement and access
-The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 General requirements.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (But is not excluded to): OWNER,BUILDER,SUB-CONTACTORS,CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINORS, DEMOLISHERS.





BM BENCH MARK
GM GAS METER
GP GULLY PIT
GSIP GRATED SURFACE INLET
PIT
H HYDRANT
JP JUNCTION PIT
KIP KERB INLET PIT
NS NATURAL SURFACE
PC PRAM CROSSING
S SEWER
SV STOP VALVE
T TREE
TEL TELSTRA PIT
VC VEHICLE CROSSING
WM WATER METER



SITE DATA LOT 101

SITE DETAILS

LOTNUMBER: 101
DP NUMBER: 27885
SITE AREA: 588sq m

DWELLINGS AREAS

Name	Area	Square
LOT 101 ALFRESCO	7 m ²	0.8
LOT 101 BALCONY	19 m ²	2.0
LOT 101 FF LIVING	135 m ²	14.6
LOT 101 GARAGE	33 m ²	3.6
LOT 101 GF LIVING	115 m ²	12.4
LOT 101 COVERED	9 m ²	1.0
GROUND FLOOR	318 m ²	34.4

Required: Max. 294sqm/50% Lot area
Proposed: 148sqm/25.1% Lot area

FIRST FLOOR
Required: Max. 176.4sqm/30% Lot area
Proposed: 143sqm/22.9% Lot area

LANDSCAPE
Required: Max. 219.9sqm/30% Lot area
Proposed: 350sqm/59.5% Lot area

PPOS
Required: 24sqm
Proposed: 24sqm

SITE DATA LOT 102

SITE DETAILS

LOTNUMBER: 102
DP NUMBER: 27885
SITE AREA: 733sq m

DWELLINGS AREAS

Name	Area	Square
LOT 102 ALFRESCO	21 m ²	2.3
LOT 102 BALCONY	6 m ²	0.7
LOT 102 BALCONY	11 m ²	1.2
LOT 102 FF LIVING	143 m ²	15.4
LOT 102 GARAGE	34 m ²	3.7
LOT 102 GF LIVING	120 m ²	13.0
LOT 102 COVERED	5 m ²	0.6
GROUND FLOOR	341 m ²	36.9

Required: Max. 366.5sqm/50% Lot area
Proposed: 274sqm/37.3% Lot area

FIRST FLOOR
Required: Max. 219.9sqm/30% Lot area
Proposed: 143sqm/19.5% Lot area

LANDSCAPE
Required: Max. 219.9sqm/30% Lot area
Proposed: 480sqm/65% Lot area

PPOS
Required: 24sqm



1 Site Analysis 1 : 250

GENERAL NOTES:

- Figured Dimensions shall be taken in preference to scaling.
- Check all Dimensions and Levels on site before commencing work or ordering materials.
- All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder.
- Any discrepancies to be reported to arcINOVATIONZ before proceeding.
- All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
- All Plans are copyright work of arcINOVATIONZ.

CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

SITE ANALYSIS

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.03

Scale

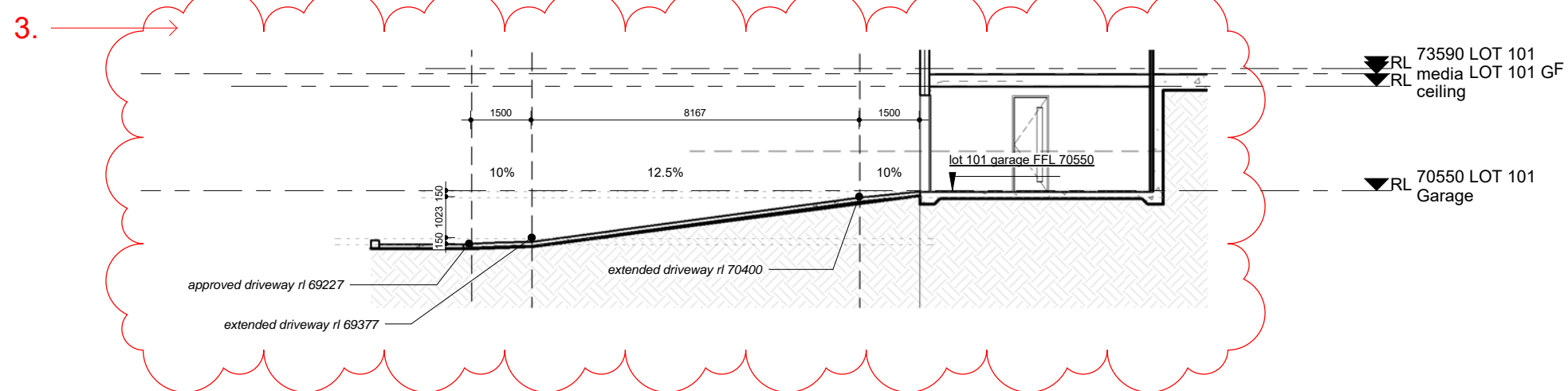
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As indicated

ISSUE FOR CC

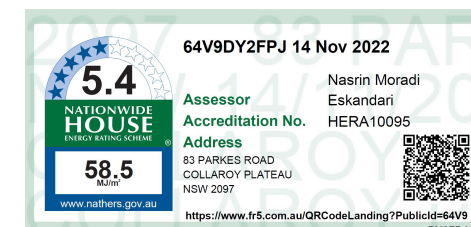
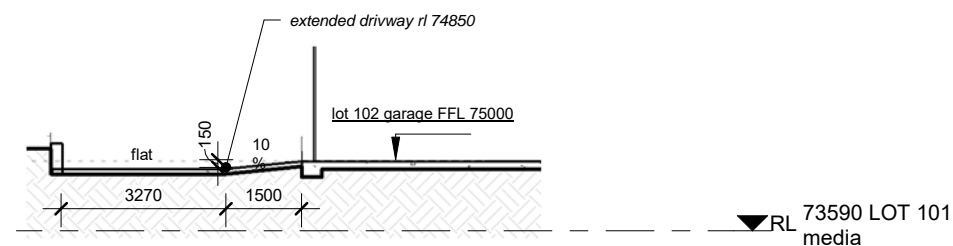
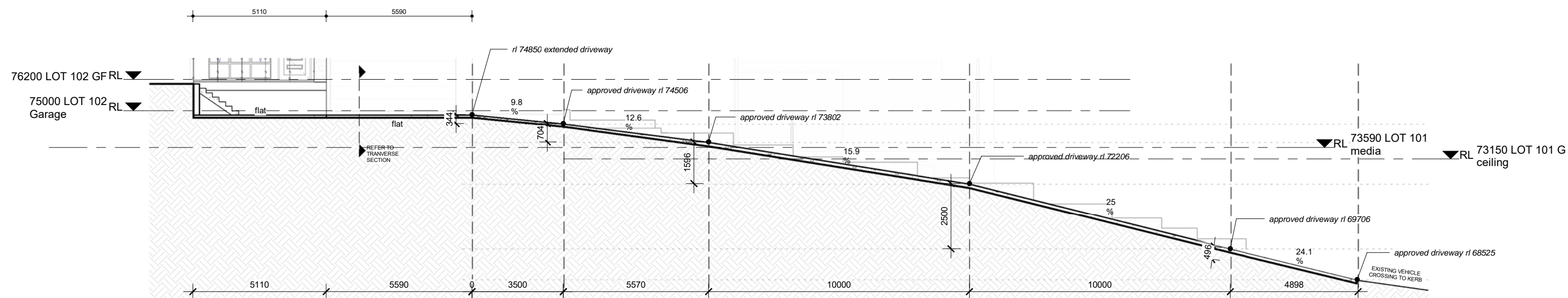



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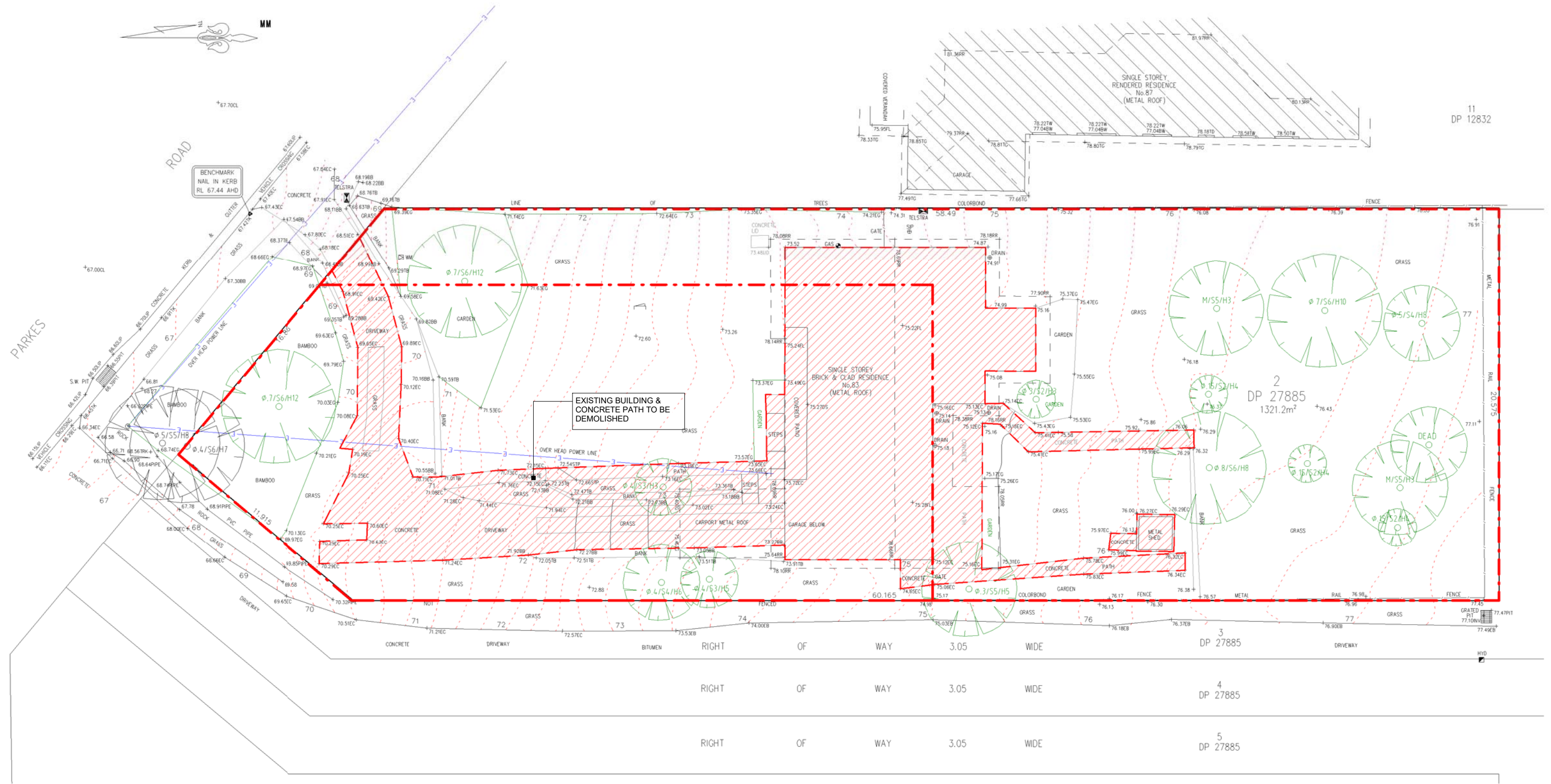
www.arcinovationz.com.au
info@arcinovationz.com.au



LOT 101 DRIVEWAY CROSS SECTION



 Office: 46 Buller St, North Parramatta, NSW 2151 Tel: 02 96 307 307 M: 0423 211 914 Fax: 02 8076 1576 www.arcinnovationz.com.au info@arcinnovationz.com.au	GENERAL NOTES: 1. Figured Dimensions shall be taken in preference to scaling. 2. Check all Dimensions and Levels on site before commencing work or ordering materials. 3. All Existing Ground Lines and tree locations are approximate, therefore to be verified on-site by the builder. 4. Any discrepancies to be reported to arcINOVATIONZ before proceeding. 5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards. 6. All Plans are copyright work of arcINOVATIONZ.	CLIENT: PROJECT LOT 83 PARKES ROAD, COLLAROY PLATEAU	DRIVEWAY CROSS SECTION Project number: 201900278 Date: 08.11.2019 Drawn by: Author Checked by: Checker	<table><tr><td></td><td></td><td></td></tr><tr><td>Issue For Section 4.55</td><td>01.11.22</td><td>D</td></tr><tr><td>Issue for CC</td><td>12.10.22</td><td>C</td></tr><tr><td>Revised as per Council letter</td><td>11.05.20</td><td>B</td></tr><tr><td>Revised as per Council letter</td><td>02.12.19</td><td>A</td></tr><tr><td>DESCRIPTION</td><td>DATE</td><td>ISSUE</td></tr></table>				Issue For Section 4.55	01.11.22	D	Issue for CC	12.10.22	C	Revised as per Council letter	11.05.20	B	Revised as per Council letter	02.12.19	A	DESCRIPTION	DATE	ISSUE	<div>DW.04.0</div> <div>Scale</div> <div>1 : 150</div> <div>ISSUE FOR CC</div>	<div>D</div> <div>1 : 150</div>
Issue For Section 4.55	01.11.22	D																						
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Revised as per Council letter	11.05.20	B																						
Revised as per Council letter	02.12.19	A																						
DESCRIPTION	DATE	ISSUE																						



1 Demolition Plan

1 : 200

5.4

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

58.5

MJ/m²

www.nathers.gov.au

64V9DY2FFJ 14 Nov 2022

Assessor
Accreditation No. HERA10095

Address
83 PARKES ROAD
COLLAROY PLATEAU
NSW 2097

https://www.fr5.com.au/QRCodeLanding?PublicId=64V9DY2FFJ

Nasrin Moradi
Eskandari

GENERAL NOTES:
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4. Any discrepancies to be reported to arcINOVATIONZ before proceeding.
5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
6. All Plans are copyright work of arcINOVATIONZ.

CLIENT:

PROJECT
LOT 83 PARKES ROAD, COLLAROY
PLATEAU

DEMOLITION PLAN

Project number 201900278
Date 08.11.2019
Drawn by Author
Checked by Checker

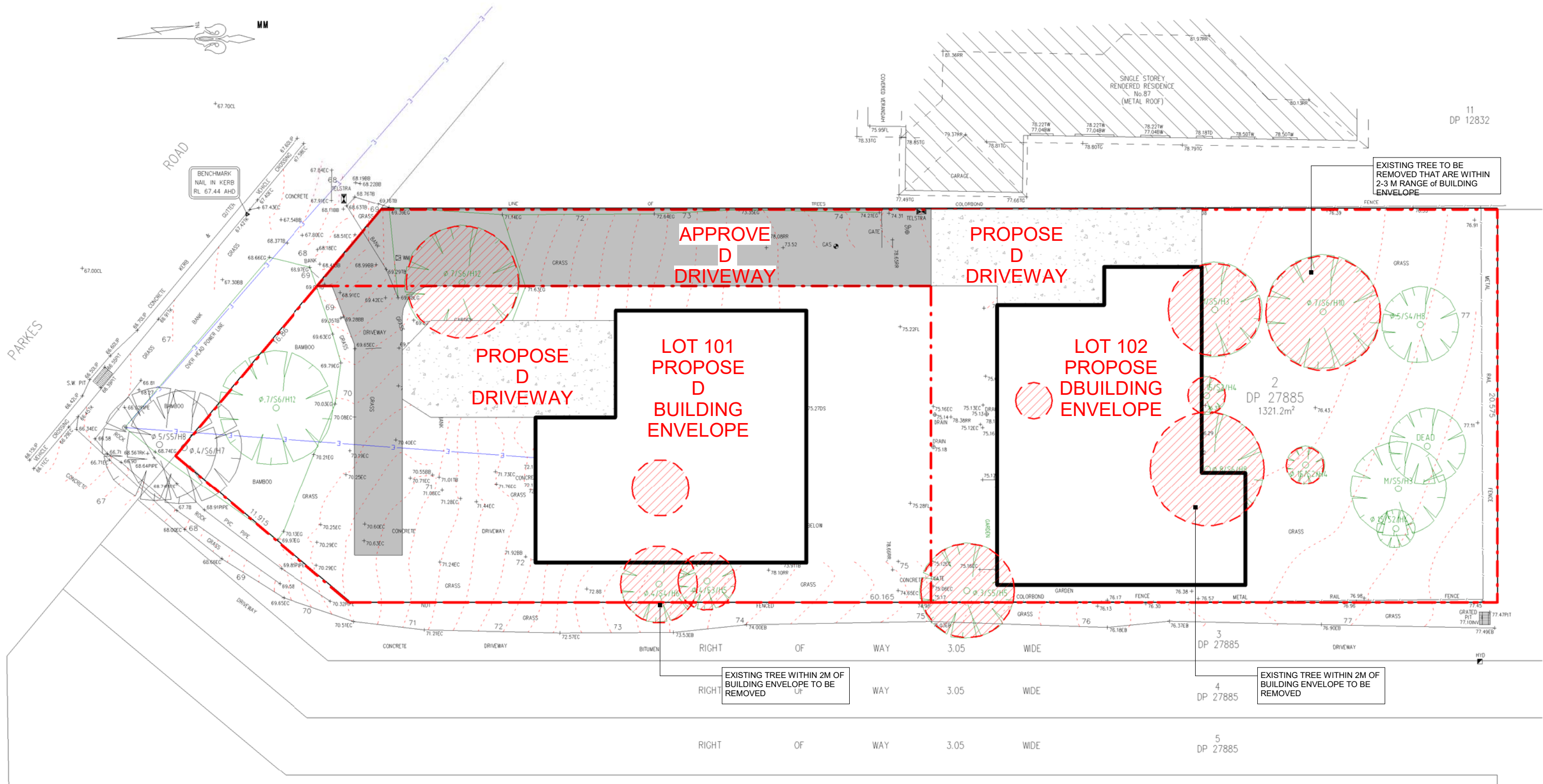
DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.04.1
Scale

ISSUE FOR CC

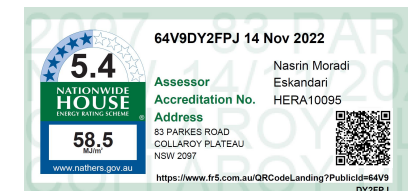
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1 Tree Removal Plan

1 : 200



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GENERAL NOTES:

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5. All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
6. All Plans are copyright work of arcINNOVATIONZ.

CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

TREE REMOVAL PLAN

Project number 201900278
Date 08.11.2019
Drawn by Author
Checked by Checker

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.04.3

Scale

ISSUE FOR CC

D
1 : 200

3.8.5.2 Ventilation requirements

Ventilation must be provided to a *habitable room*, *sanitary compartment*, bathroom, shower room, laundry and any other room occupied by a person for any purpose by any of the following means:

- Openings, *windows*, doors or other devices which can be opened—
 - with a ventilating area not less than 5% of the *floor area* of the room *required* to be ventilated; and
 - open to—
 - a suitably sized court, or space open to the sky; or
 - an open verandah, carport, or the like; or
 - an adjoining room in accordance with HYPERLINK \l "(b)".
- Natural ventilation to a room may come through a *window*, opening, door or other device from an adjoining room (including an enclosed verandah) if—
 - the room to be ventilated or the adjoining room is not a *sanitary compartment*; and
 - the *window*, opening, door or other device has a ventilating area of not less than 5% of the *floor area* of the room to be ventilated; and
 - the adjoining room has a *window*, opening, door or other device with a ventilating area of not less than 5% of the combined *floor areas* of both rooms; and
 - the ventilating areas specified may be reduced as appropriate if direct natural ventilation is provided from another source.

- (c) An exhaust fan or other means of mechanical ventilation may be used to ventilate a *sanitary compartment*, laundry, kitchen or bathroom, or where mechanical ventilation is provided in accordance with 3.8.5.3(b), provided contaminated air exhausts comply with 3.8.7.3.

3.7.5.5 Requirements for smoke alarms
Smoke alarms required by 3.7.5.3 and 3.7.5.4 must be installed on or near the ceiling, in accordance with the following
(a) Where a smoke alarm is located on the ceiling it must be—
(i) a minimum of 300 mm away from the corner junction of the wall and ceiling; and
(ii) between 500 mm and 1500 mm away from the high point and apexes of the ceiling, if the room has a sloping ceiling.
(b) Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

LEGEND

	INTERCONNECTED SMOKE ALARM		STORAGE BIN
	RAIN WATER DOWN PIPE		ARTICULATION JOINT
	RAIN WATER TANK		EAVE LINE ABOVE
	AIR-CONDITIONING UNIT		DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
	HOT WATER SYSTEM		FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE

1 LOT 101 GF
1 : 100

GENERAL NOTES:

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- All Workmanship and materials shall comply with all the relevant codes and Australian Standards.
- All Plans are copyright work of arcINOVATIONZ.

CLIENT:**PROJECT**

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 GROUND FLOOR

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.05

Scale

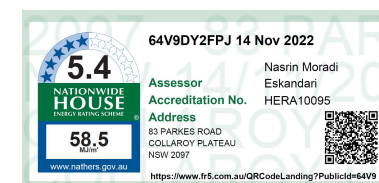
D

1 : 100

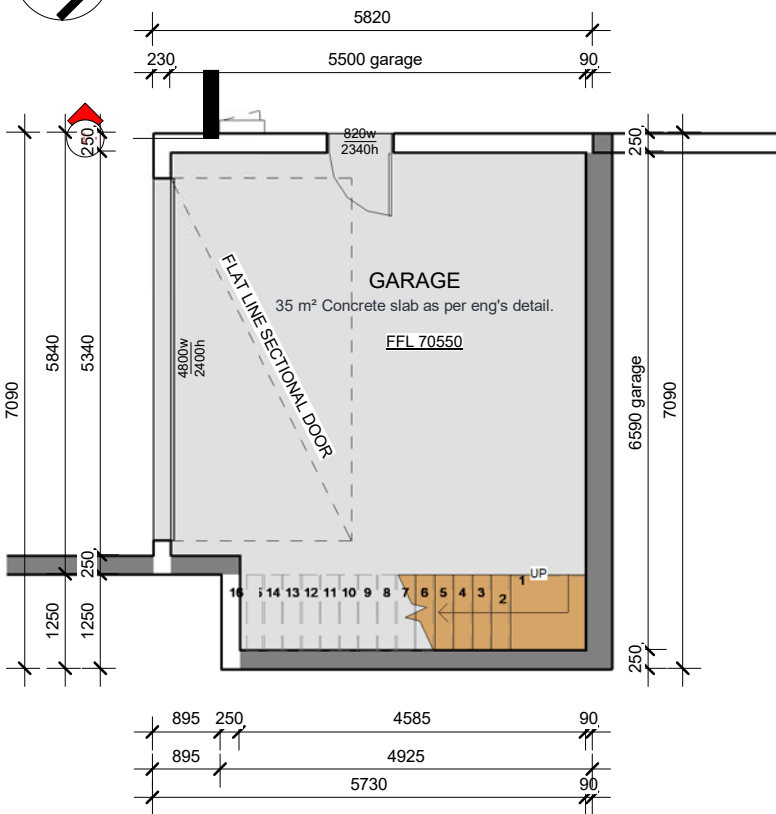
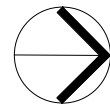
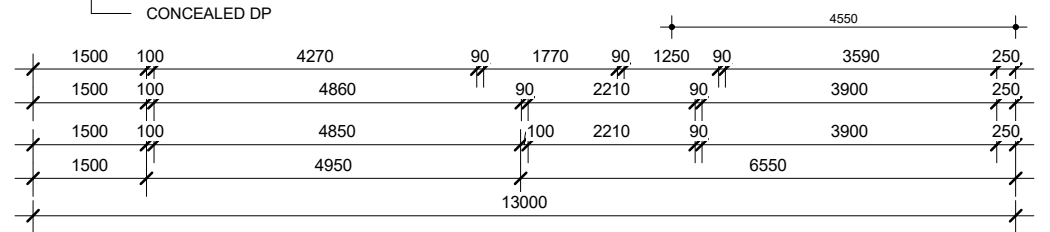
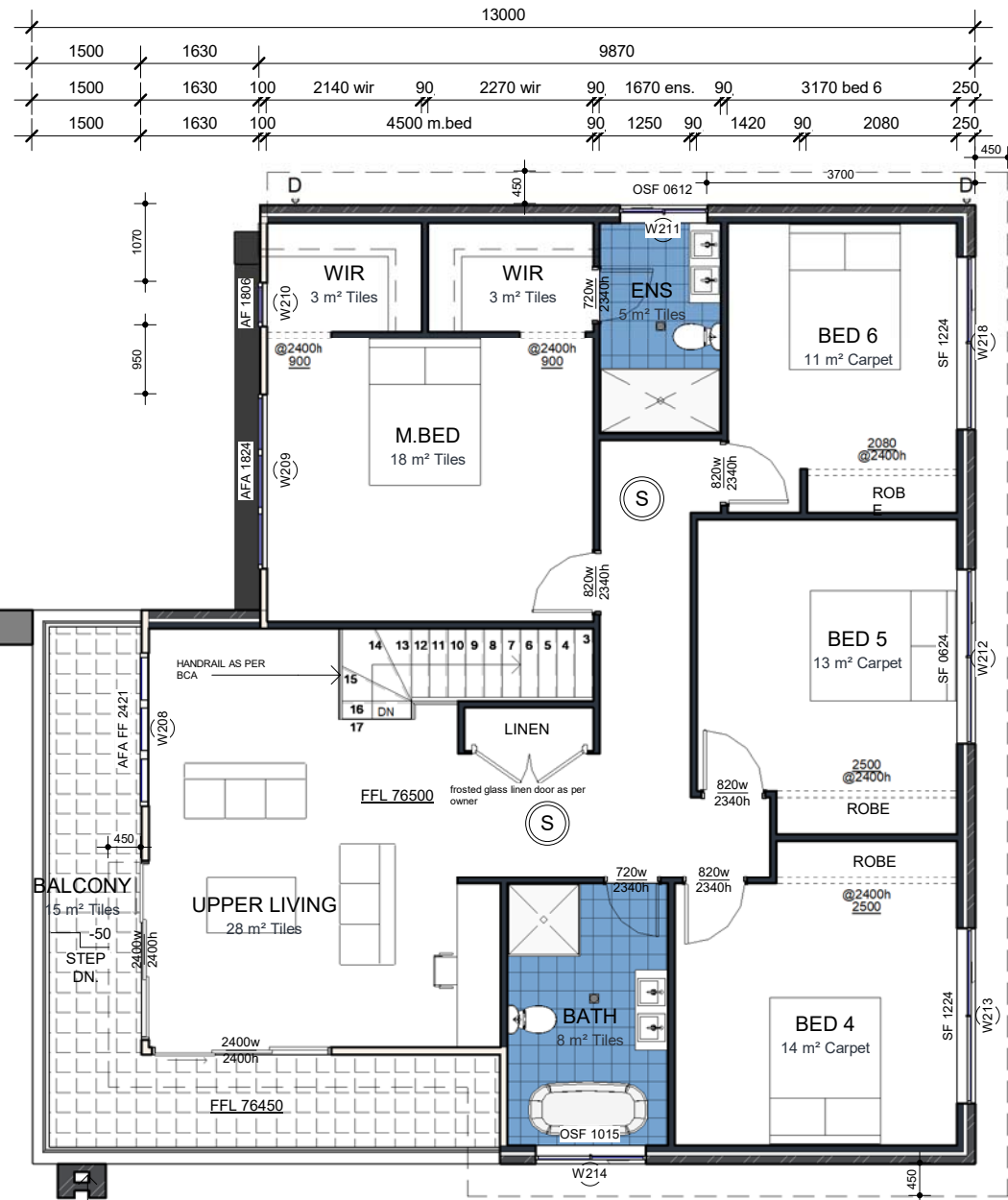
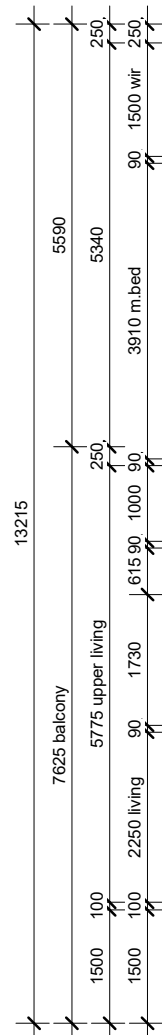
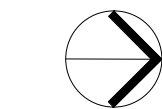
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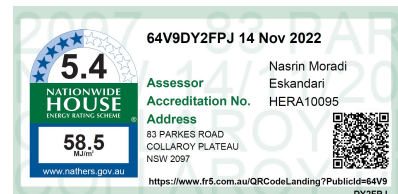
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64V9DY2FPJ 14 Nov 2022
Assessor: Nasrin Moradi
Accreditation No.: Eskandari
Address: 83 PARKES ROAD, COLLAROY PLATEAU, NSW 2097
www.natfhrs.gov.au
https://www.fr5.com.au/QRCodeLanding?PublicId=64V9DY2FPJ



2 LOT 101 Garage 1 : 100



Window Schedule unit 2				
Mark	Type	Height	Width	Location
W201	AF 2406	2400	600	PORCH
W202	AF 2406	2400	600	PORCH
W203	AFA FF 2421	2400	2100	PORCH
W204	SF 1218	1200	1810	BED 3
W205	OSF 0612	600	1200	BATH
W206	BF 0618	600	1800	ALFRESCO
W207	F 0624	600	2400	KITCHEN
W208	AFA FF 2421	2400	2100	UPPER LIVING
W209	AFA 1824	1800	2400	M.BED
W210	AF 1806	1800	600	WIR
W211	OSF 0612	600	1200	ENS
W212	SF 0624	600	2400	BED 5
W213	SF 1224	1200	2400	BED 4
W214	OSF 1015	1000	1510	BATH
W216	AF 1806	1800	600	RUMPUS
W217	AF 1806	1800	600	RUMPUS
W218	SF 1224	1200	2400	BED 6
W219	AFA 1824	1800	2400	MEDIA
W220	AF 1806	1800	600	MEDIA

Door Schedule Copy 1				
Type	Height	Width	Location	Note
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2420	2400	2000	RUMPUS	External Glaze
Grand total: 3				

NOTE:

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-FALL PREVENTION FROM WINDOWS

-WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5

1-If Opening within 1700 mm above the floor;and climbable elements between 150 and 750 mm above the floor;Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen.

2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor;Opening must be restricted to 125 mm ;or fitted with a removable robust screen.

3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor;Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen

4-If no opening within 1700 mm of the floor.No restrictions apply

WINDOWS KEY LEGEND	
A	AWNING
AF	AWNING-FIXED
AF	AWNING-FIXED-AWNING
A	FIXED
F	FIXED CORNER
FC	FIXED-FIXED
FF	SLIDING-FIXED
SF	SLIDING-FIXED-BOTTOM
SF	FIXED
F	SKYLIGHT
SK	LOURVE
L	

NOTE:
O : OBSCURE GLAZING WINDOW

LEGEND			
(S)	INTERCONNECTED SMOKE ALARM	BIN	STORAGE BIN
RWP	RAIN WATER DOWN PIPE	AJ	ARTICULATION JOINT
RWT	RAIN WATER TANK	—	EAVE LINE ABOVE
AC	AIR-CONDITIONING UNIT	—	DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
HWS	HOT WATER SYSTEM	●	FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 FIRST FLOOR

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.05.1

Scale

As indicated

ISSUE FOR CC

D

SELECTED METAL ROOF SHEETING AS SPECIFIED FOR INDICATED ROOF PITCH

GUTTER DOWN PIPE TO MANUF. SPECIFICATION

LIGHT STRUCTURE CLADDING WALL

75000 LOT 102 Garage

PANEL LIFT GARAGE DOOR AS SELECTED

N.G.L.

RIDGE 80440

3°

▼RL 79240 LOT 101 CL

Balustrade

▼RL 76500 LOT 101 FF

▼RL 76200 LOT 101 GF CL

GLASS RAILING AS MANUF. SPEC.

▼RL 73590 LOT 101 media
▼RL 73150 LOT 101 GF ceiling

N.G.L.

▼RL 70550 LOT 101 Garage

1 LOT 101 South
1 : 100

LIGHT STRUCTURE CLADDING WALL

FINE ETCHED OBSCURE GLAZING WINDOW
TIMBER FRAMED PELMET BLUEBOARD LINED
-WITH TEXTURECOAT FINISH

GLASS RAILING AS MANUF. SPEC.

Balustrade

RENDERED & PAINTED FINISH TO EXTERNAL MASONARY WALL

75000 LOT 102 Garage

N.G.L.

RIDGE 80405

▼RL 79240 LOT 101 CL

▼RL 76500 LOT 101 FF

▼RL 76200 LOT 101 GF CL

ASSOCIATED BRICK MASONRY COLUMN

N.G.L.

▼RL 73590 LOT 101 media
▼RL 73150 LOT 101 GF ceiling

▼RL 70550 LOT 101 Garage

2 LOT 101 East
1 : 100



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 ELEVATIONS

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for Council letter	02.12.19	A

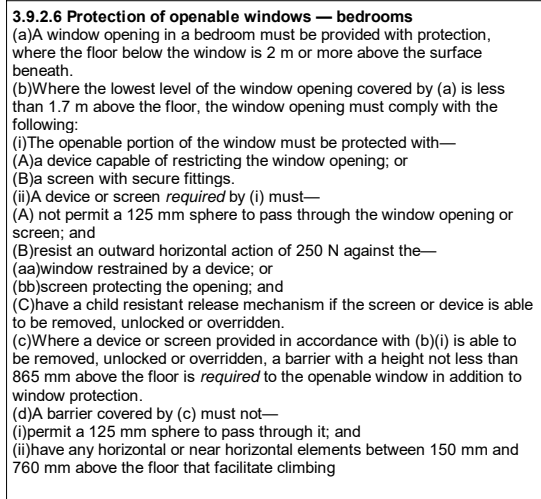
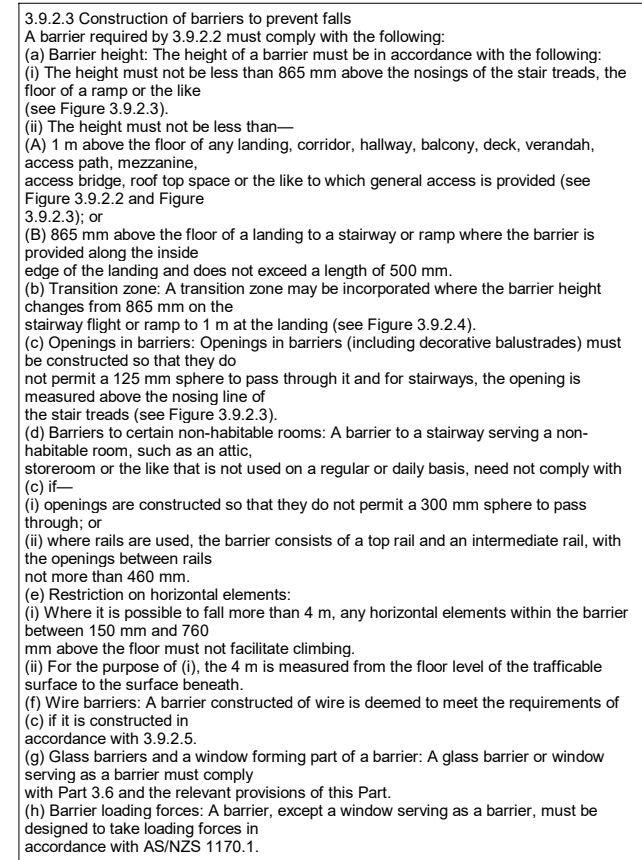
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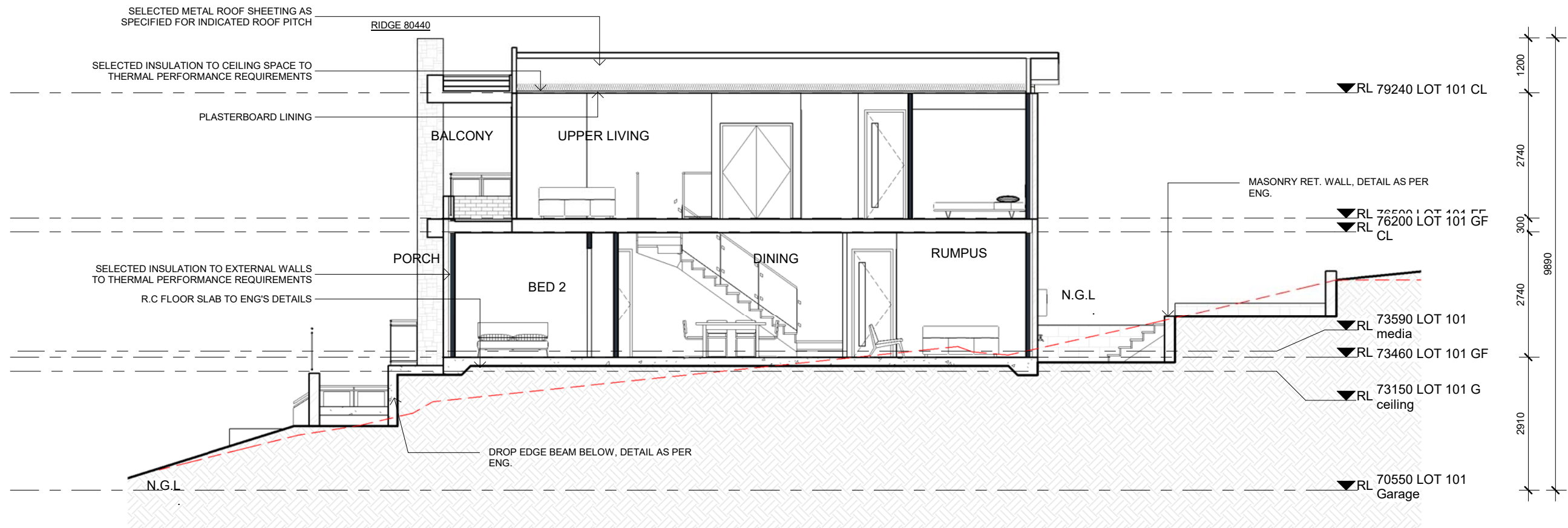
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ISSUE FOR CC

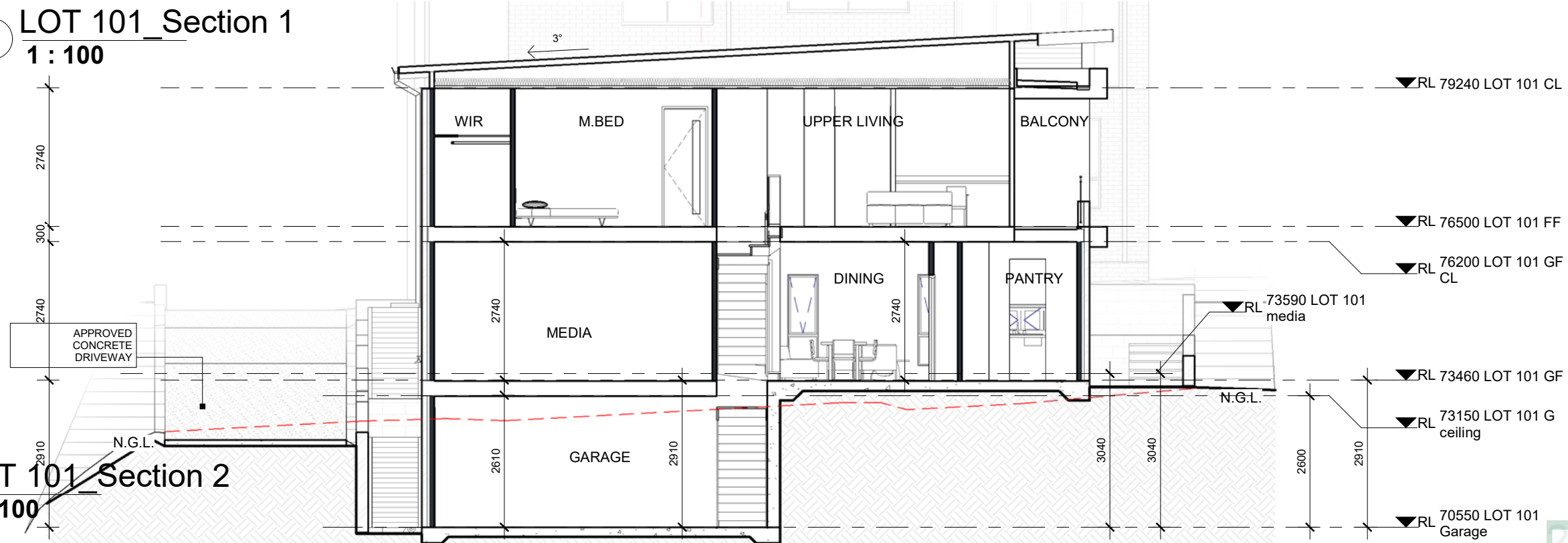
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1 : 100

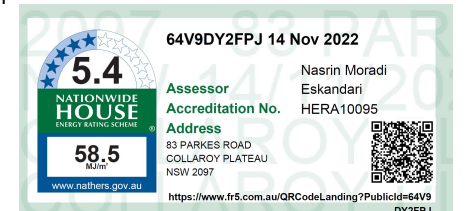




1 LOT 101 Section 1
1 : 100



2 LOT 101 Section 2
1 : 100



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 SECTIONS

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.05.4

Scale

D

1 : 100

ISSUE FOR CC

Door Schedule				
Type	Height	Width	Location	Note
ED 2427	2400	2700	M.BED	External Glaze
ED 2424	2400	2400	UPPER LIVING	External Glaze
ED 2421	2400	2100	M.BED	External Glaze
Grand total: 3				

Window Schedule				
Mark	Type	Height	Width	Location
W101	AFA FF 2424	2400	2400	LIVING
W102	SF 1218	1200	1810	BED 2
W103	OSF 0612	600	1200	BATH
W104	F 1824	1800	2400	DINING
W105	SFS-FFF 1824	1800	2400	RUMPUS
W106	SF 0615	600	1500	KITCHEN
W107	AAF 1812	1800	1200	BED 4
W108	AAF 2412	2400	1200	UPPER LIVING
W109	OSF 1015	1000	1510	BATH
W110	SF 1218	1200	1810	BED 4
W111	OSF 0906	900	600	ENS
W112	SF 0924	900	2400	M.BED
W113	SF 1218	1200	1810	BED 3
W114	AAF 1812	1800	1200	BED 4
W115	SF FF 1812	1800	1200	RUMPUS
W116	SF FF 1812	1800	1200	RUMPUS

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2-If opening between 865 and 1700 mm above the floor;and no climbable elements between 150 and 760 mm above the floor,Opening must be restricted to 125 mm ;or fitted with a removable robust screen

3-If opening between 865 of the floor;and climbable elements between 150 and 760 mm above the floor,Opening must be permanently restricted to 125 mm ;or fitted with a non-removable robust screen

4-If no opening within 1700 mm of the floor.No restrictions apply

WINDOWS KEY LEGEND	
A	AWNING
AF	AWNING-FIXED
AF	AWNING-FIXED-AWNING
A	FIXED
F	FIXED CORNER
FC	FIXED-FIXED
FF	SLIDING-FIXED
SF	SLIDING-FIXED-BOTTOM
SF	FIXED
F	SKYLIGHT
SK	LOURVE
L	
NOTE: O : OBSCURE GLAZING WINDOW	

LEGEND	
(S)	INTERCONNECTED SMOKE ALARM
RWP	RAIN WATER DOWN PIPE
RWT	RAIN WATER TANK
AC	AIR-CONDITIONING UNIT
HWS	HOT WATER SYSTEM
BIN	STORAGE BIN
ART	ARTICULATION JOINT
EAVE	EAVE LINE ABOVE
DROP	DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
FLOOR	FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE



design & construction

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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 GROUND FLOOR

Project number 201900278

Date 08.11.2019

Drawn by DM

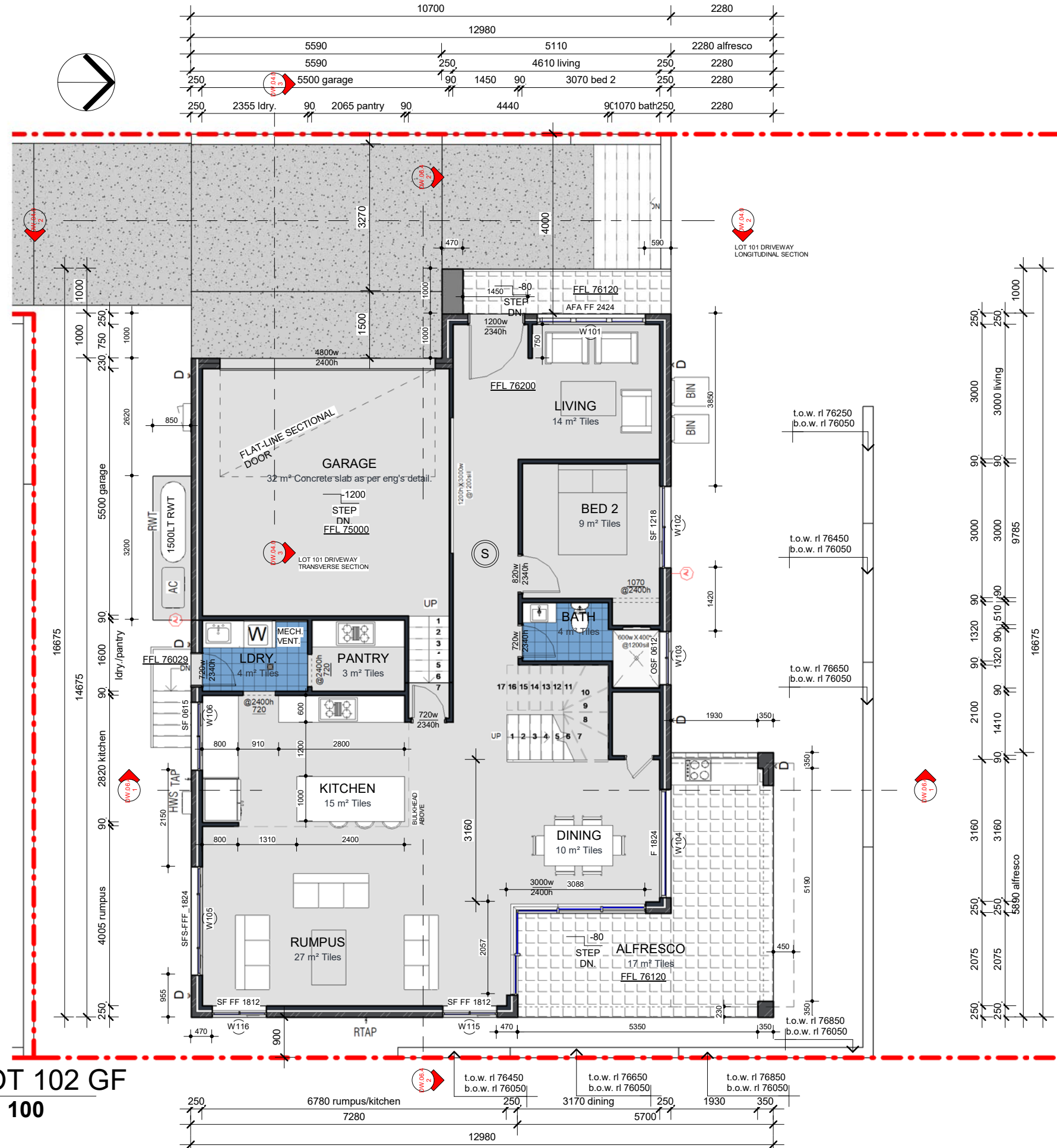
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DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.06

Scale As indicated

ISSUE FOR CC



3.7.5.5 Requirements for smoke alarms

Smoke alarms required by 3.7.5.3 and 3.7.5.4 must be installed on or near the ceiling, in accordance with the following

(a)Where a smoke alarm is located on the ceiling it must be—

(i)a minimum of 300 mm away from the corner junction of the wall and ceiling; and

(ii)between 500 mm and 1500 mm away from the high point and apexes of the ceiling,

if the room has a sloping ceiling.

(b)Where (a) is not possible, the smoke alarm may be installed on the wall, and located a minimum of 300 mm and a maximum of 500 mm off the ceiling at the junction with the wall.

- 3.8.5.2 Ventilation requirements**
- Ventilation must be provided to a *habitable room*, *sanitary compartment*, bathroom, shower room, laundry and any other room occupied by a person for any purpose by any of the following means:
- a. Openings, *windows*, doors or other devices which can be opened—
1. with a ventilating area not less than 5% of the *floor area* of the room *required* to be ventilated; and
 2. open to—
 3. a suitably sized court, or space open to the sky; or
 4. an open verandah, carport, or the like; or
 5. an adjoining room in accordance with HYPERLINK \l "(b).
- b. Natural ventilation to a room may come through a *window*, opening, door or other device from an adjoining room (including an enclosed verandah) if—
1. the room to be ventilated or the adjoining room is not a *sanitary compartment*; and
 2. the *window*, opening, door or other device has a ventilating area of not less than 5% of the *floor area* of the room to be ventilated; and
 3. the adjoining room has a *window*, opening, door or other device with a ventilating area of not less than 5% of the combined *floor areas* of both rooms; and the ventilating areas specified may be reduced as appropriate if direct natural ventilation is provided from another source.
 - 4.

(c) An exhaust fan or other means of mechanical ventilation may be used to ventilate a *sanitary compartment*, laundry, kitchen or bathroom, or where mechanical ventilation is provided in accordance with 3.8.5.3(b), provided contaminated air exhausts comply with 3.8.7.3.

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NOTE:
THE PRIVACY SCREEN SHALL BE OF FIXED
PANELS OR LOUVER STYLE CONSTRUCTION
(WITH A MAXIMUM
SPACING OF 20MM)

LEGEND			
(S)	INTERCONNECTED SMOKE ALARM	BIN	STORAGE BIN
RWP	RAIN WATER DOWN PIPE	AJ	ARTICULATION JOINT
RWT	RAIN WATER TANK	—	EAVE LINE ABOVE
AC	AIR-CONDITIONING UNIT	—	DROP EDGE BEAM BELOW AS PER ENG'S DETAIL
HWS	HOT WATER SYSTEM	●	FLOOR WASTE

NOTE: ALL WALL OPENING ARE SET AT 2400H UNLESS NOTED OTHERWISE

1 LOT 102 FF
1 : 100



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CLIENT:

PROJECT
LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 FIRST FLOOR PLAN

Project number 201900278
Date 08.11.2019
Drawn by DM
Checked by JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
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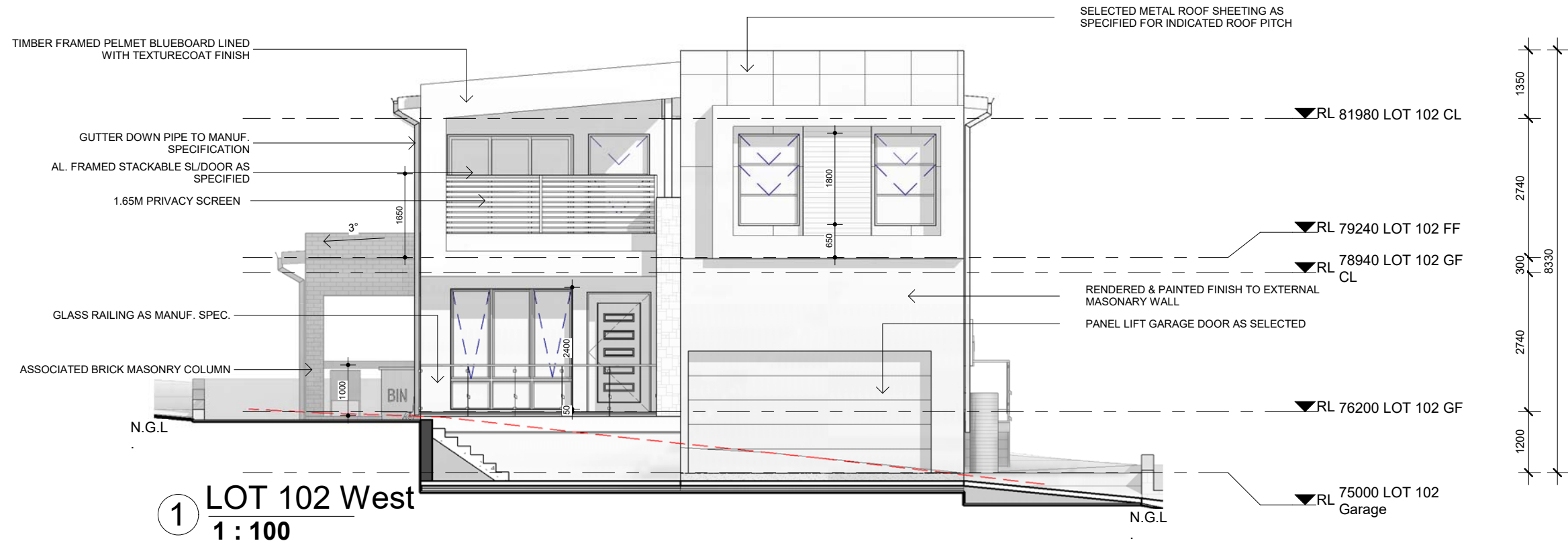
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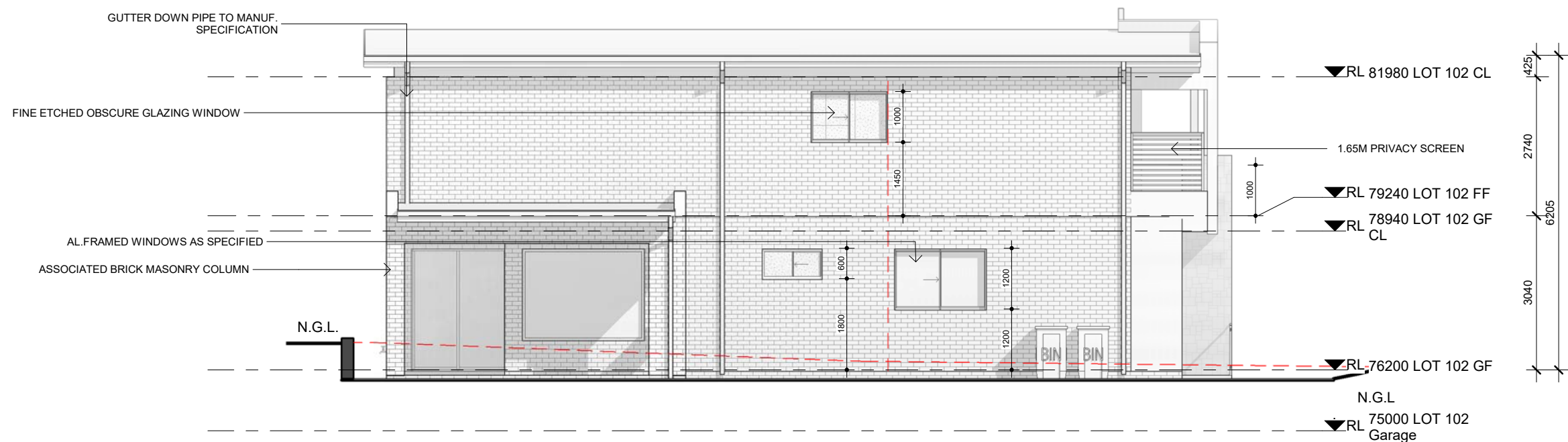
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1 : 100

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3.9.2.3 Construction of barriers to prevent falls
A barrier required by 3.9.2.2 must comply with the following:
(a) Barrier height: The height of a barrier must be in accordance with the following:
(i) The height must not be less than 865 mm above the nosings of the stair treads, the floor of a ramp or the like (see Figure 3.9.2.3).
(ii) The height must not be less than—
(A) 1 m above the floor of any landing, corridor, hallway, balcony, deck, verandah, access path, mezzanine, access bridge, roof top space or the like to which general access is provided (see Figure 3.9.2.2 and Figure 3.9.2.3); or
(B) 865 mm above the floor of a landing to a stairway or ramp where the barrier is provided along the inside edge of the landing and does not exceed a length of 500 mm.
(b) Transition zone: A transition zone may be incorporated where the barrier height changes from 865 mm on the stairway flight or ramp to 1 m at the landing (see Figure 3.9.2.4).
(c) Openings in barriers: Openings in barriers (including decorative balustrades) must be constructed so that they do not permit a 125 mm sphere to pass through it and for stairways, the opening is measured above the nosing line of the stair treads (see Figure 3.9.2.3).
(d) Barriers to certain non-habitable rooms: A barrier to a stairway serving a non-habitable room, such as an attic, storeroom or the like that is not used on a regular or daily basis, need not comply with (c) if—
(i) openings are constructed so that they do not permit a 300 mm sphere to pass through; or
(ii) where rails are used, the barrier consists of a top rail and an intermediate rail, with the openings between rails not more than 460 mm.
(e) Restriction on horizontal elements:
(i) Where it is possible to fall more than 4 m, any horizontal elements within the barrier between 150 mm and 760 mm above the floor must not facilitate climbing.
(ii) For the purpose of (i), the 4 m is measured from the floor level of the trafficable surface to the surface beneath.
(f) Wire barriers: A barrier constructed of wire is deemed to meet the requirements of (c) if it is constructed in accordance with 3.9.2.5.
(g) Glass barriers and a window forming part of a barrier: A glass barrier or window serving as a barrier must comply with Part 3.6 and the relevant provisions of this Part.
(h) Barrier loading forces: A barrier, except a window serving as a barrier, must be designed to take loading forces in accordance with AS/NZS 1170.1.



3.9.2.6 Protection of openable windows — bedrooms
(a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.
(b) Where the lowest level of the window opening covered by (a) is less than 1.7 m above the floor, the window opening must comply with the following:
(i) The openable portion of the window must be protected with—
(A) a device capable of restricting the window opening; or
(B) a screen with secure fittings.
(ii) A device or screen required by (i) must—
(A) not permit a 125 mm sphere to pass through the window opening or screen; and
(B) resist an outward horizontal action of 250 N against the—
(aa) window restrained by a device; or
(bb) screen protecting the opening; and
(C) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
(c) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.
(d) A barrier covered by (c) must not—
(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing

NOTE:
THE PRIVACY SCREEN SHALL BE OF FIXED PANELS OR LOUVER
STYLE CONSTRUCTION (WITH A MAXIMUM
SPACING OF 20MM)

GENERAL NOTES:

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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

LOT 102 ELEVATIONS

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

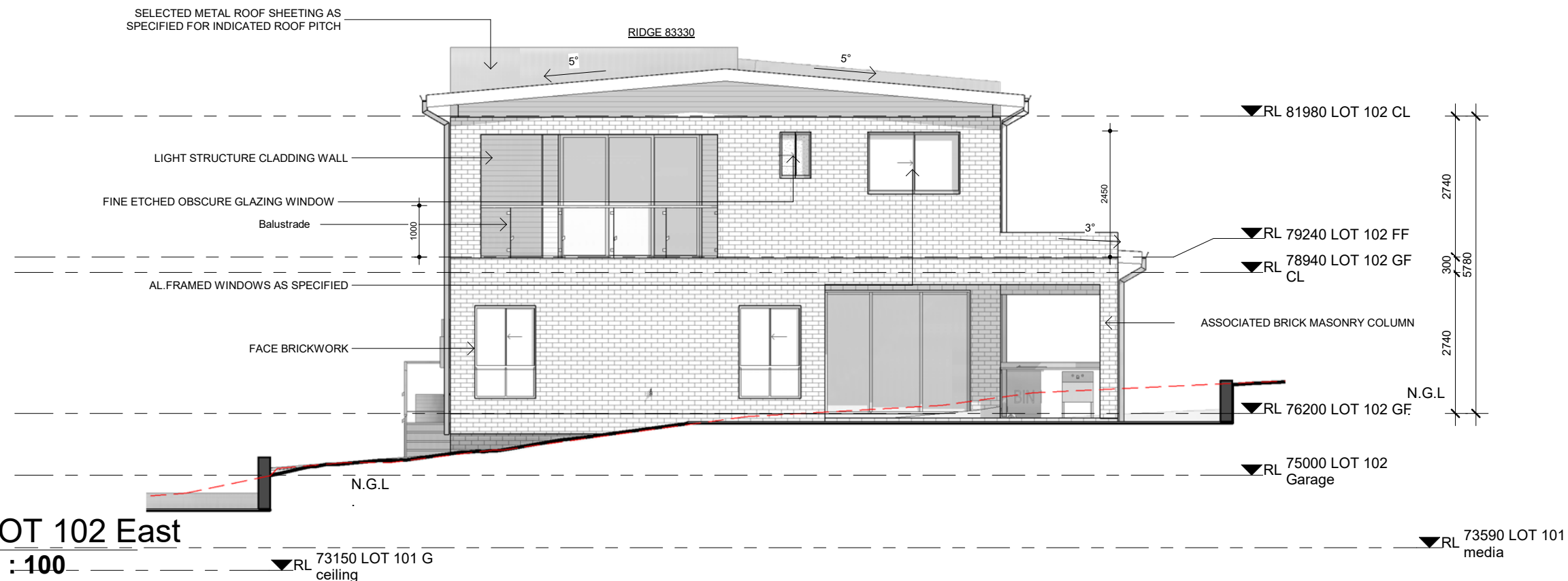
DW.06.2

Scale

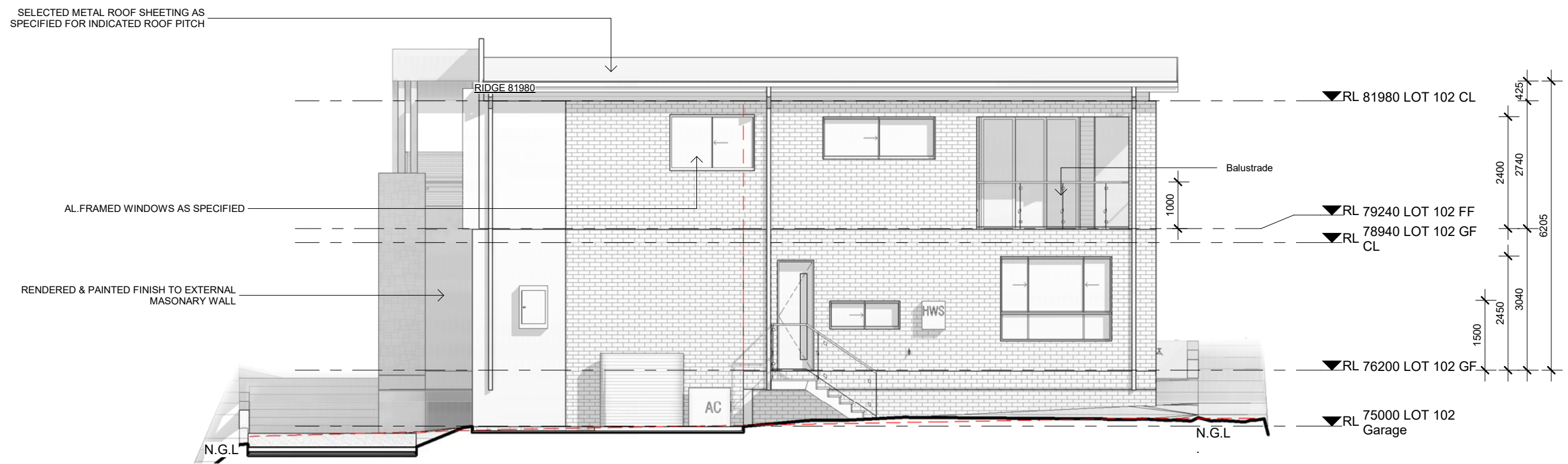
D

1 : 100

ISSUE FOR CC

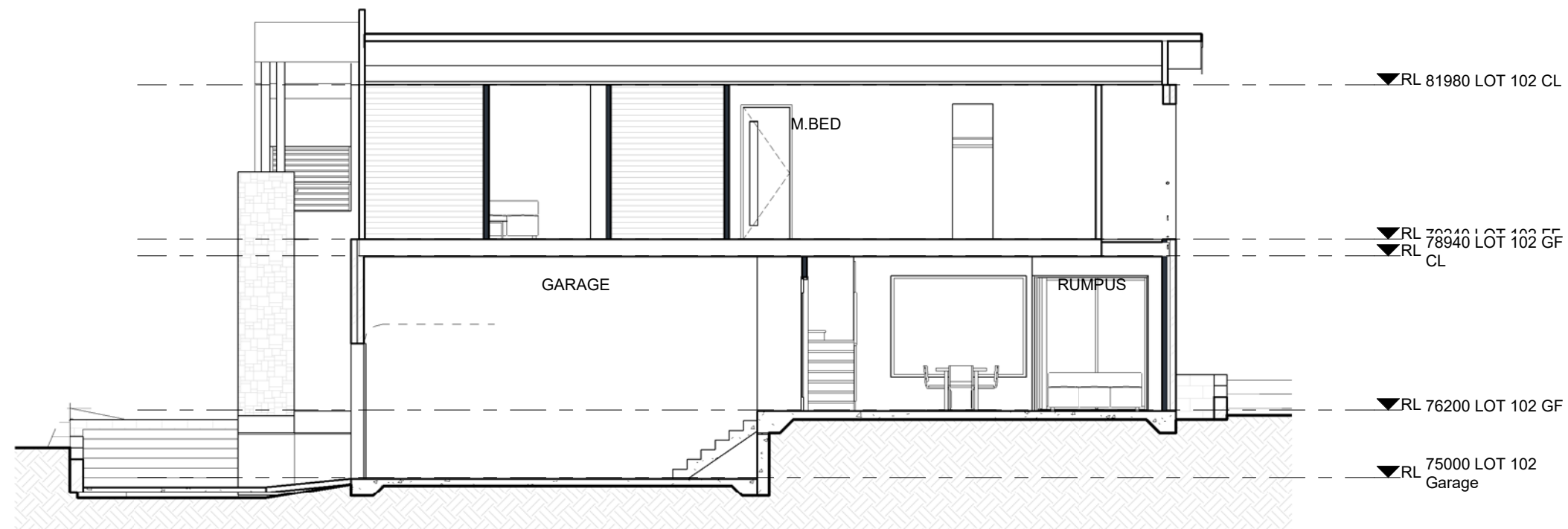
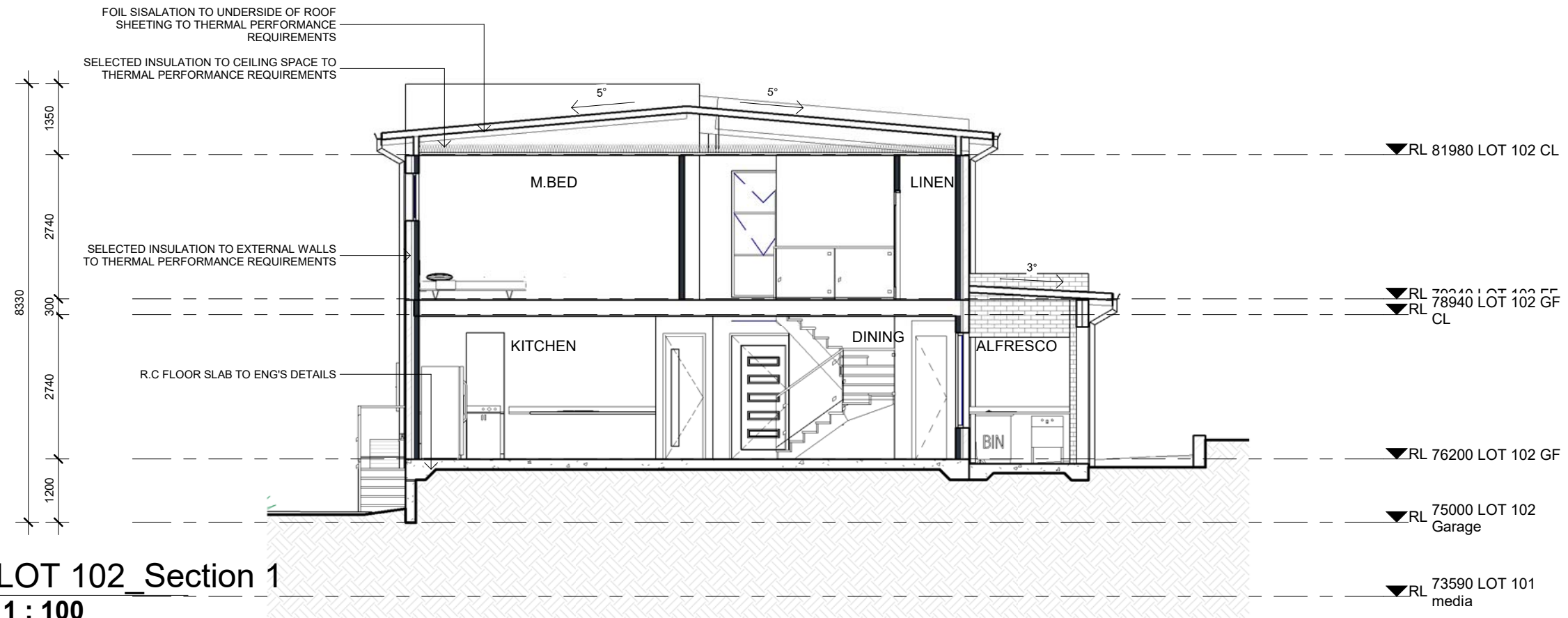


1 LOT 102 East
1 : 100



2 LOT 102 South
1 : 100

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 SECTIONS

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

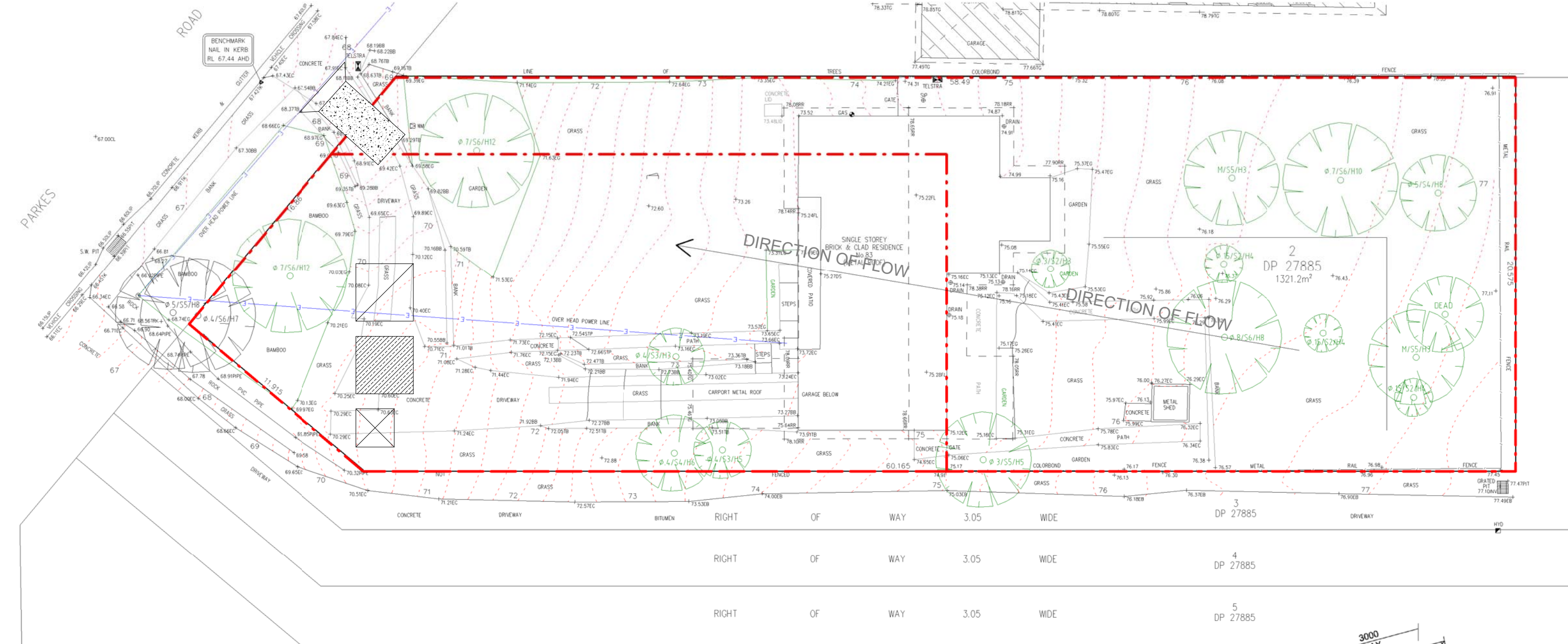
DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.06.4

Scale

ISSUE FOR CC

D
1 : 100



1 Sediment Control

1 : 200

SOIL EROSION NOTES

TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS SUCH AS DRAINAGE LINES. THIS TOPSOIL IS TO BE RE-SPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (i.e ALL FOOT-PATHS, BATTERS, SITE, REGRAIDING AREAS, DRAINAGE RESERVES AND CHANNELS). TOP SOIL SHALL NOT BE SPREAD ON ANY OTHER AREAS SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF THEY ARE TO REMAIN FOR LONGER THAN ONE MONTH STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWN STREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.

THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. (NO SILT SHALL BE PLACED OUTSIDE THE LIMITS OF WORKS). THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.

NOTES

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY CONTRACTOR/SITE MANAGER.
2. MINIMISE DISTURBED AREAS.
3. ALL STOCKPILES TO BE CLEARED FROM DRAINS, GUTTERS AND FOOTPATHS.
4. DRAINAGE IS TO BE CONNECTED TO STORM WATER SYSTEM AS SOON AS POSSIBLE.
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY
6. UNDER SECTION 16 OF THE CLEAN WATERS ACT HEAVY FINES, INCLUDING A \$600 ON THE SPOT FINE, MAY BE IMPOSED IF A PERSON ALLOWS SOIL, CEMENT SLURRY OR OTHER BUILDING MATERIALS TO BE PUMPED, DRAINED OR ALLOWED TO ENTER THE STORM WATER SYSTEM.

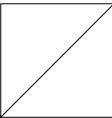
SEDIMENT NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE AND PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5 m LONG STAR PICKETS INTO GROUND Max 3 m Ctrs.
3. DIG A 150 mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF SUPPORTING GEOTEXILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A Min LAP OF 150 mm.

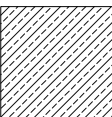
LEGEND



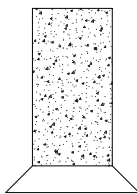
PORTABLE
W.C.



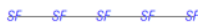
PROVISIONAL AREA FOR STOCKPIILING OF
MATERIALS



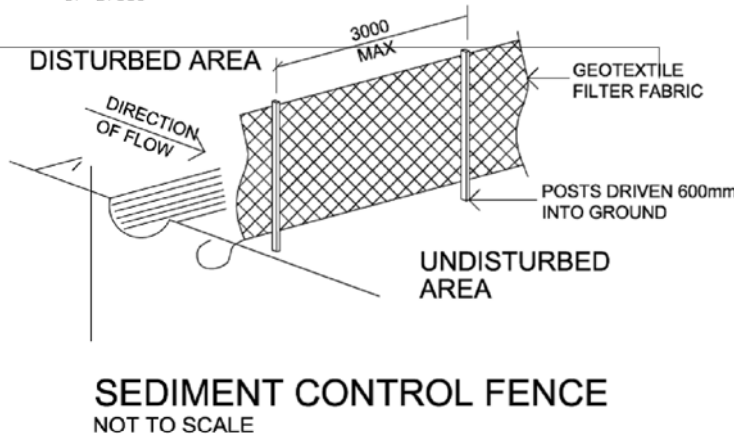
GEOTEXTILE TRADE WASTE
RECEPTABLE



VC AND STABILISED
ENTRY



SEDIMENT CONTROL
FENCE



***THIS DRAWING SHALL BE READ IN
CONJUNCTION WITH THE FOLLOWING:**

- 1-ARCHITECTURAL PLANS
- 2-CONTOUR AND DETAIL SURVEY



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY
PLATEAU

SEDIMENT CONTROL

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS



DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A

DW.07

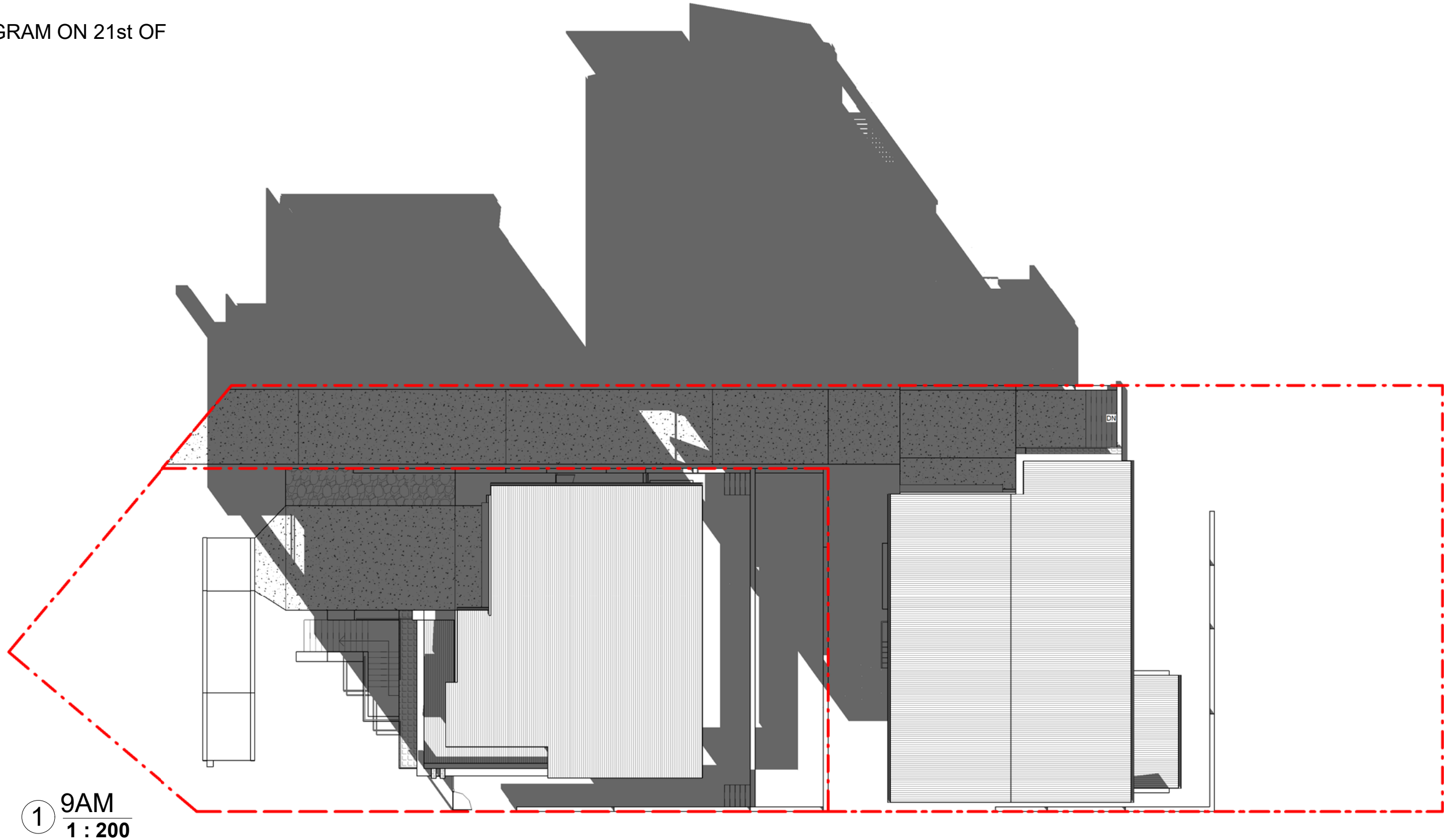
Scale

D

1 : 200

ISSUE FOR CC

SHADOW DIAGRAM ON 21st OF JUNE



1 9AM
1 : 200

5.4

NATIONWIDE HOUSE

58.5

www.nathans.gov.au

64V9DY2FPJ 14 Nov 2022

Assessor Nasrin Moradi

Accreditation No. Eskandari

Address HERA10095

83 PARKES ROAD

COLLARROY PLATEAU

NSW 2097

https://www.fr5.com.au/QRCodeLanding?PublicId=64V9DY2FPJ



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LOT 83 PARKES ROAD, COLLARROY PLATEAU

SHADOW DIAGRAM

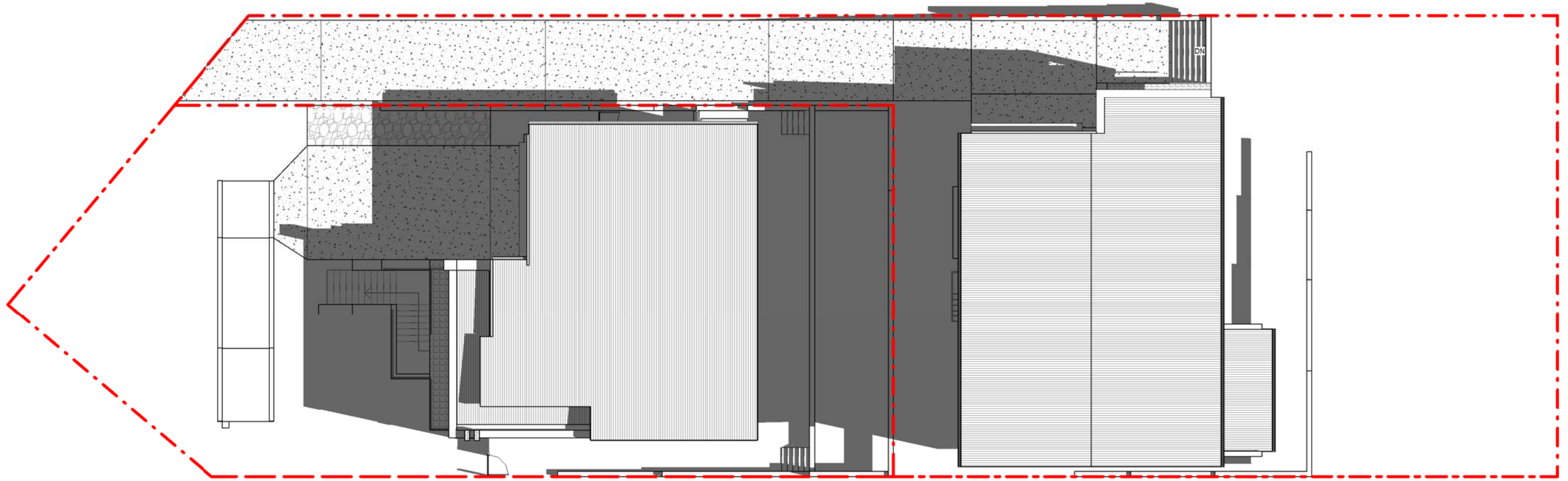
Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
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Issue for DA Approval	02.12.19	A

DW.08
Scale

D
1 : 200

ISSUE FOR CC



1 12PM
1 : 200



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLARROY
PLATEAU

SHADOW DIAGRAM

Project number 201900278
Date 08.11.2019
Drawn by Author
Checked by Checker

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
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DW.08.1

Scale

ISSUE FOR CC

D
1 : 200



1 3PM
1 : 200



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PROJECT
LOT 83 PARKES ROAD, COLLARROY PLATEAU

SHADOW DIAGRAM

Project number 201900278
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Drawn by Author
Checked by Checker

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Issue for DA Approval	02.12.19	A

DW.08.2
Scale 1 : 200

ISSUE FOR CC

D
1 : 200



70*35 TIMBER EDGE
(TREATED H4 PINE)
NAILED ONTO TIMBER
PEG

100 DEPTH MULCH

150 TOPSOIL & FERTILISER
MIX

70*35 TIMBER PEG
(TREATED H4 PINE)
@1200 APART

50mm GRAVEL BED

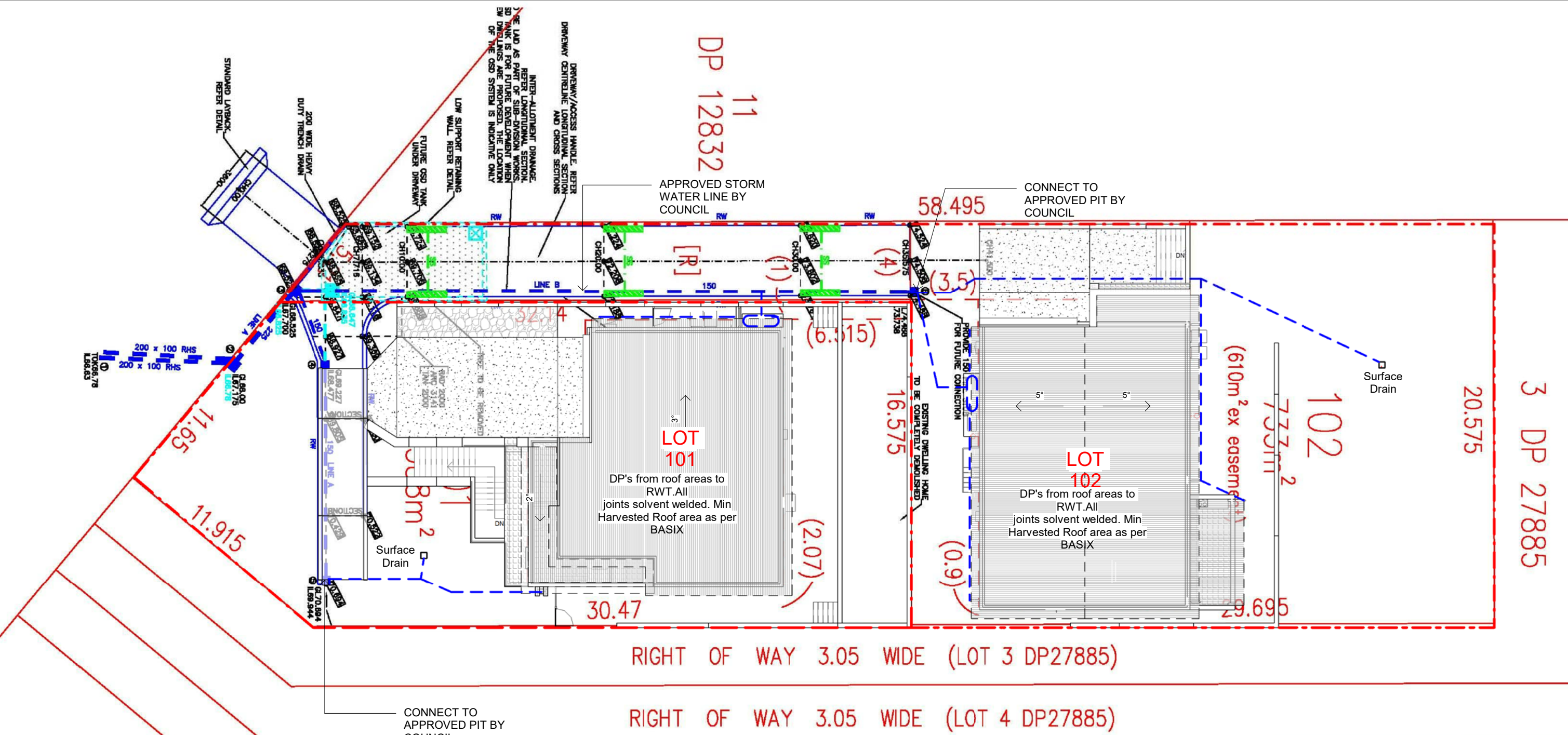
SELECTED TURF -
LAY TURF IN STRETCHER
PATTERN WITH CLOSE BUTT
JOINT
LIGHTLY TAMP TO AN EVEN
SURFACE AFTER LAYING
AND WATER UNTIL TOPSOIL IS
MOISTENED TO ITS FULL DEPTH

SUB-GRADE BROKEN
UP TO 150 DEPTH
SHAPE SUB-SOIL TO FALL TO
SUB-SOIL DRAINS

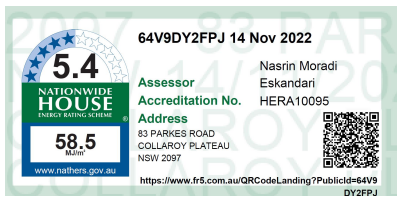
A diagram of a door with a height dimension of 1100. The door is represented by a rectangle with a handle and a lock. The height is indicated by a vertical line with arrows at both ends, labeled '1100'.

Letter Box Detail
1 : 50

ISSUE FOR CC



1 Roof Plan
1 : 200

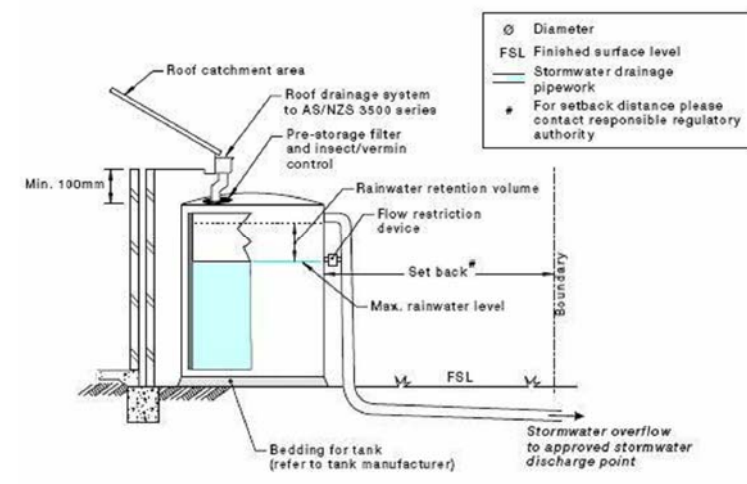


LEGEND

- SURFACE DRAIN 300MM
- FLOW WATER DIRECTION IN PIPES Ø100 PVC
- STORMWATER ACCESS
- GUTTER
- AREA DRAIN TO RAINWATER TANK
- RWP RAIN WATER PIPE
- RWT RAIN WATER TANK
- 22.5° ROOF PITCH TO DIRECTION

- NOTES:**
- ALL WORK TO BE DONE TO SATISFACTION OF CITY COUNCIL.
 - PROPOSED CONCRETE DRIVEWAY TO BE CONSTRUCTED IN ACCORDANCE WITH PLANS, SPECIFICATION, AND LEVELS ISSUED SEPARATELY BY COUNCIL.
 - ALL PIPES TO BE MIN. 100MM DIA UNLESS NOTED OTHERWISE (UNO).
 - ALL PIPES TO BE GRADE UPVC AT MIN 1% UNO.
 - MINIMUM FALL OF 1:80 WITH 300mm COVER
 - DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES

- RAINWATER HARVESTING NOTES:**
- RAINWATER FOR ON SITE STORMWATER HARVEST IS ONLY TO BE SOURCED FROM THE ROOF.
 - AN APPROPRIATE BACK FLOW PREVENTION DEVICE IS TO BE INSTALLED IN ACCORDANCE WITH AS3500.
 - FIRST FLUSH SYSTEM TO BE INCORPORATED.
 - TANK TO BE CONNECTED FOR USE IN TOILET FLUSHING, IRRIGATION, LAUNDRY.
 - THE REQUIRED PUMP IS NOT TO EXCEED 5dB[a] ABOVE AMBIENT BACKGROUND NOISE MEASURED AT THE NEAREST LOT BOUNDARY.
- ALL OTHER SURFACE WATERS TO BE STRICTLY CONNECTED TO A SEPARATE SYSTEM IN ACCORDANCE WITH AS 3500:3:2003 AND BCA PART 3.1.2.3.
- RAINWATER TANKS WITH PUMPS TO SUPPLY GARDEN TAPS AND INTERNAL RE-USE AS PER BASIX ASSESSMENT



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

STORMWATER CONCEPT

Project number	201900278
Date	08.11.2019
Drawn by	DM
Checked by	JS

Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.10
Scale

ISSUE FOR CC

D
1 : 200

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MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FR01		COLORBOND ROOF CUSTOM ORB PROFILE
FR06		DOWNPIPE COLORBOND SURFMIST
FSD01		COLORTHROUGH CONCRETE DRIVEWAY
FWB01		AUSTRAL BRICK WILDERNESS DESIGN BLACKBUTT

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FWC01		CLADDING AS SELECTED BY CLIENT
FWI01		WINDOW FRAME COLORBOND SURFMIST
FWP01		DULUX LEXICON
FWP02		DULUX WAYWARD GREY



1 F_Lot 101 East
1 : 200



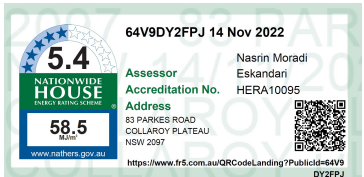
2 F_Lot 101 North
1 : 200



3 F_Lot 101 West
1 : 200



4 F_Lot 101 South
1 : 200



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PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 101 FINISHES SCHEDULE

Project number
Date
Drawn by
Checked by

201900278
08.11.2019
Author
Checker

DESCRIPTION	DATE	ISSUE
Issue For Section 4.55	01.11.22	D
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DW.11.1

Scale

ISSUE FOR CC

D

1 : 200



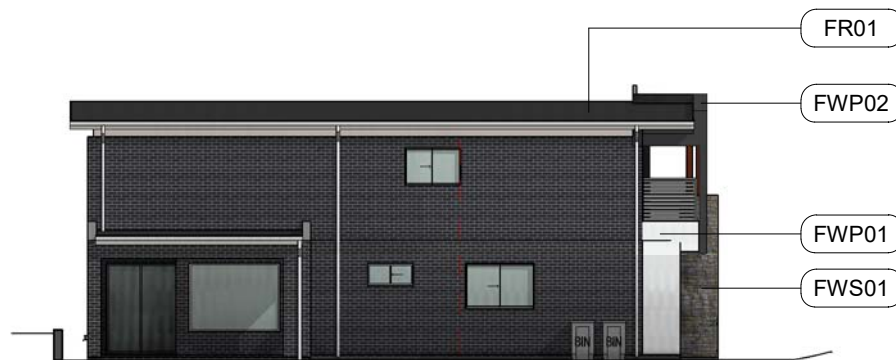
1 F_LOT 102 East
1 : 200



3 F_LOT 102 West
1 : 200

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FR01		COLORBOND ROOF CUSTOM ORB PROFILE
FR06		DOWNPIPE COLORBOND SURFMIST
FSD01		COLORTHROUGH CONCRETE DRIVEWAY
FWB01		AUSTRAL BRICK WILDERNESS DESIGN BLACKBUTT

MATERAIL AND FINISHES SCHEDULE		
Material: Keynote	Material: Rendering Image	Material: Comments
FWC01		CLADDING AS SELECTED BY CLIENT
FWI01		WINDOW FRAME COLORBOND SURFMIST
FWP01		DULUX LEXICON
FWP02		DULUX WAYWARD GREY



2 F_LOT 102 North
1 : 200



4 F_LOT 102 South
1 : 200



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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLAROY PLATEAU

LOT 102 FINISHES SCHEDULE

Project number	201900278
Date	08.11.2019
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Checked by	JS

DESCRIPTION	DATE	ISSUE
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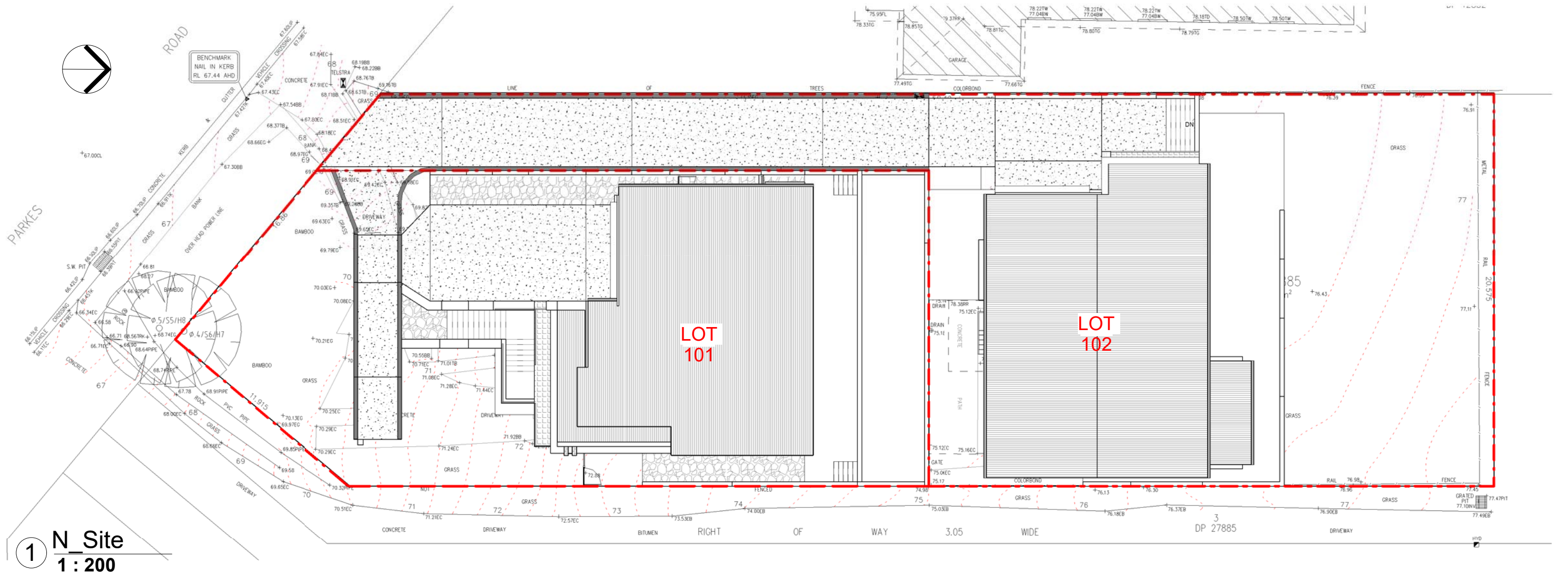
DW.11.2

Scale

ISSUE FOR CC

D

1 : 200



1 N Site
1 : 200

5.4

NATIONWIDE HOUSE

INSOLVING CREDS

58.5

www.nuthers.gov.au

64V9DY2FPJ 14 Nov 2022

Assessor

Accreditation No.

Address

NSW 2097

https://www.fr.com.au/QRcode/Landing?PublicId=64V9DY2FPJ

Nasrin Moradi

Eskandari

HERA10095

83 PARKES ROAD

COLLAROY PLATEAU

NSW 2097

QR CODE

design & construction

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CLIENT:

PROJECT

LOT 83 PARKES ROAD, COLLARROY PLATEAU

NOTIFICATION SITE PLAN

Project number

201900278

Date

08.11.2019

Drawn by

DM

Checked by

JS

Issue For Section 4.55	01.11.22	D
Issue for CC	12.10.22	C
Revised as per Council letter	11.05.20	B
Issue for DA Approval	02.12.19	A
DESCRIPTION	DATE	ISSUE

DW.12

Scale

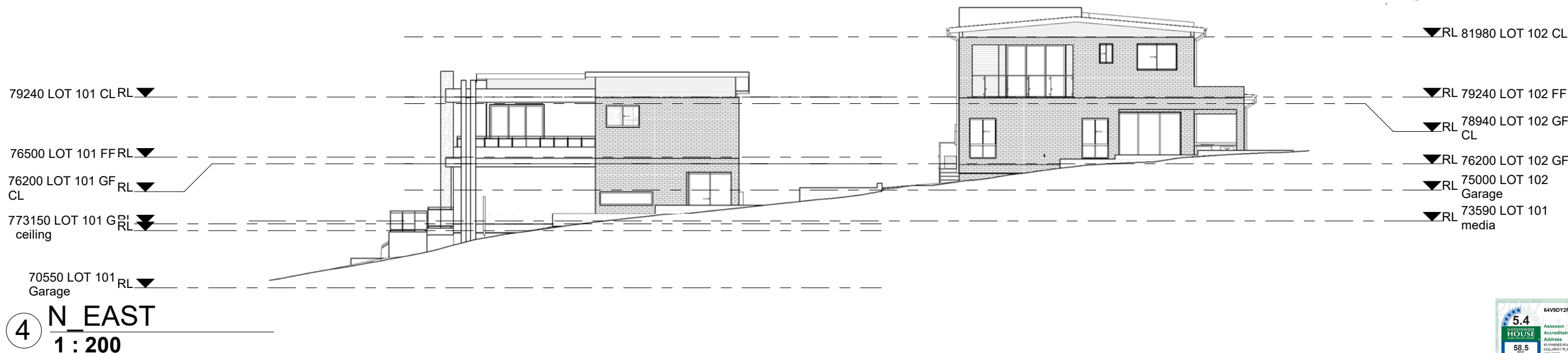
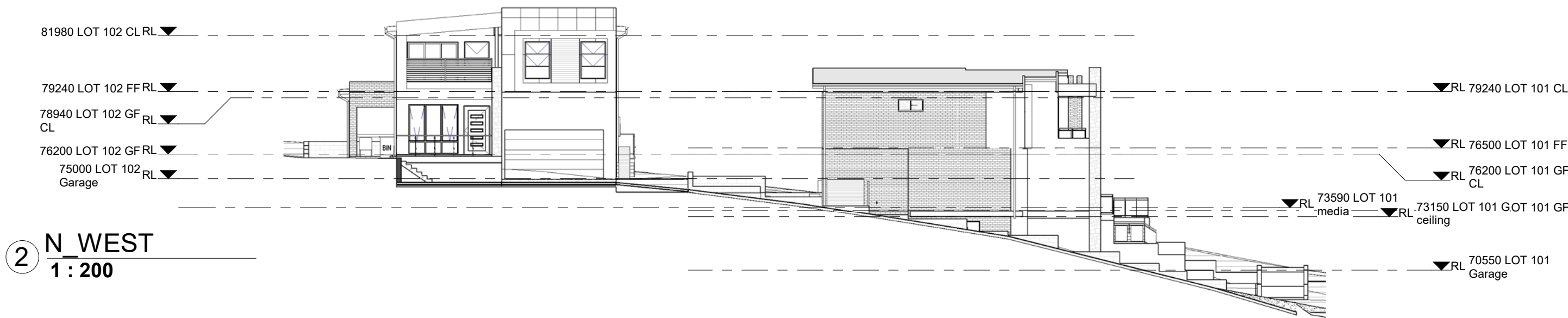
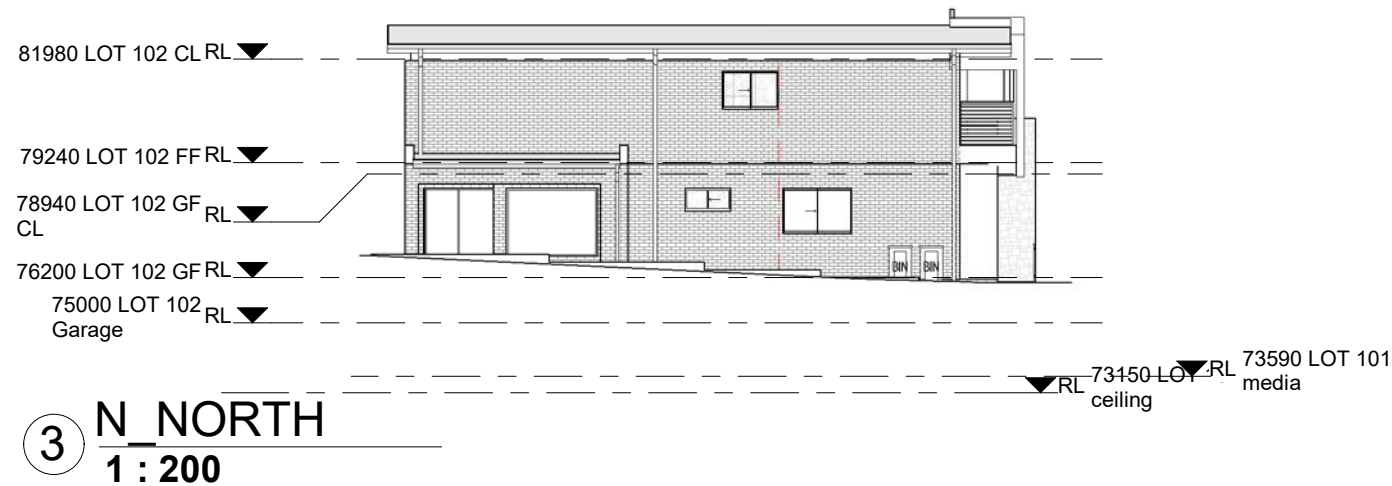
1 : 200

ISSUE FOR CC

D

1 : 200

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CLIENT:

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LOT 83 PARKES ROAD, COLLAROY PLATEAU

NOTIFICATION ELEVATIONS

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DW.12.1

Scale

D

1 : 200

ISSUE FOR CC