

17 April 2024

Our ref: 23SYD4783

Statewide Project Management Pty Limited  
79 Alexander Street  
CROWS NEST NSW 2065

Attention: Brent Jones

Dear Brent,

**Response to Northern Beaches Council (NBC) Request for Further Information (RFI)  
Development Application No: DA2023/1224 –Alterations and additions to the existing garden centre  
at 62 Myoora Road, Terrey Hills**

It is understood that NBC has requested further information (dated 14 December 2023) to confirm that the requirements of an IPA have been met by the landscape proposal as outlined below:

*The site has been identified as an Inner Protection Area (IPA) for its entirety. Please provide more information outlining that the requirements of the IPA are being met by the landscape proposal e.g., 15% tree canopy cover (proposed trees and existing trees to be retained) etc.*

This landscape bushfire compliance assessment is based on a desktop assessment of the Landscape Plan prepared by Site Image Landscape Architects (SS21-4790, Revision F) dated 10 April 2024 (Appendix A) against the recommended Conditions 1 and 5 (identified in Table 1) of the RFS Bush Fire Safety Authority (reference number DA20230922004243-Original-1, dated 3 October 2023).

With regards to the identified Conditions 3 and 5, the following was observed:

**Table 1: Landscape plan compliance certification assessment**

Requirement	Requirement number	Compliance	Comments
<p><b>Condition 1:</b>            From the start of building works, and in perpetuity to ensure ongoing protection from the impact of bush fires, the entire property must be managed as an inner protection area (IPA) in accordance with the requirements of Appendix 4 of <i>Planning for Bush Fire Protection 2019</i>.            When establishing and maintaining an IPA the following requirements apply:</p>			
Tree canopy cover should be less than 15% at maturity;	1a	Complies	Proposed tree canopy cover achieves less than 15 % cover across the site.
Trees (at maturity) should not touch or overhang the building	1b	Complies - ongoing management requirement	Trees located within boundary plantings greater than 15 m from buildings. Small trees adjacent to buildings to incorporate formative pruning within landscape management plan to maintain separation that canopy does not touch or overhang building.  <u>Recommendation:</u> Add ongoing pruning and tree maintenance to Landscape Plan to ensure trees do not overhang buildings.
Lower limbs should be removed up to a height of 2 m above ground;	1c	Ongoing management requirement	<u>Recommendation:</u> Add ongoing pruning and tree maintenance to Landscape Plan to ensure trees do not overhang buildings.
Canopies should be separated by 2 to 5 m; and	1d	Does not comply	Landscaping shows some trees are planted in pairs or small groups within boundary planting areas to the north, south and west.  <u>Recommendation:</u> Trees planted in pairs and small groups to be separated from other pairs/small groups so that canopies at maturity are separated by 2-5 m and no shrubs planted under this canopy.
Preference should be given to smooth barked and evergreen trees	1e	Does not comply	<u>Recommendation:</u> Remove the following tree species from the Landscape Plan – <i>Melaleuca decora</i> , <i>M. quinquenervia</i> , <i>M. stypheloides</i> and <i>Angophora floribunda</i> .

Requirement	Requirement number	Compliance	Comments
Create large discontinuities or gaps in the vegetation to slow down or break the progress of fire towards buildings should be provided;	1f	Complies	Vegetation is separated from buildings by open car park areas and access roads. Planting areas do not provide direct fire paths to buildings.
Shrubs should not be located under trees;	1g	Complies	Shrubs are not located under trees
Shrubs should not form more than 10% ground cover;	1h	Complies	Shrub planting areas are less than 10% ground cover for the entire APZ.
Clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.	1i	Complies	Shrubs are not proposed to be planted against any buildings and achieve this separation distance.
Grass should be kept mown (as a guide grass should be kept to no more than 100 mm in height)	1j	N/A	No lawn areas. <u>Recommendation:</u> Remove <i>Poa labillardieri</i> from the Landscape Plan as it's highly flammable.
Leaves and vegetation debris should be removed	1k	Ongoing management requirement	<u>Recommendation:</u> Add requirement for ongoing removal of leaves and vegetative debris to Landscape Plan.
<b>Condition 5:</b>			
Landscaping within the required asset protection zone must comply with Appendix 4 of <i>Planning for Bush Fire Protection 2019</i> (PBP) In this regard, the following principles are to be incorporated:			
The Landscaping proposed within the APZ complies with appendix 4 of PBP 2019 as identified above and has incorporated the following principles below.			
Minimum 1 metre wide area, suitable for pedestrian traffic, must be provided around the immediate curtilage of the building;	5a	Complies	Area around building comprised of access roads and car parks provides for a 1 m wide area suitable for pedestrian traffic.
Planting is limited in the immediate vicinity of the building;	5b	Complies	Only planting in the vicinity of the building are isolated trees within the parking areas.
Planting does not provide a continuous canopy to the building (i.e. trees or shrubs are isolated or located in small clusters);	5c	Complies	No continuous canopy towards the building – separation provided by access roads and car parks.
Landscape species are chosen to ensure tree canopy cover is less than 15% (IPA), and less than 30% (OPA) at maturity and trees	5d	Complies	As for requirement 1a above.

Requirement	Requirement number	Compliance	Comments
do not touch or overhang buildings;			
Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;	5e	Does not comply	<u>Recommendation</u> : Species selection for plantings under trees and shrubs consists low flammability groundcovers only. Landscape management plan is to include annual removal of bark and vegetation debris in August and December each year or as required in response to local weather/growing conditions.
Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;	5f	Does not comply	See recommendation in requirement 1e above to remove more flammable species from Landscape Plan. <u>Recommendation</u> : Either remove <i>Westringia spp</i> from the Landscape Plan or include a clause ensuring ongoing management of these shrubs for removal of deadwood at least annually in August.
Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);	5g	Complies	Proposed species selection does not include deciduous species.
Avoid climbing species to walls and pergolas;	5h	Complies	No climbing species proposed to walls or pergolas within APZ.
Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;	5i	Complies	Combustible materials within the APZ are located away from the building. <u>Recommendation</u> : Mulch material is not outlined in the Landscape Plan and in accord with the RFS document 'Standards for Asset Protection Zones' (RFS 2005) that is referenced in Appendix 4 of PBP, all mulch within an APZ should be inorganic – e.g. pebbles or scoria,
Locate combustible structures such as garden sheds, pergolas and materials such as timber garden furniture away from the building; and	5j	Complies – ongoing management requirement	Combustible structures within the APZ are located away from the building. <u>Recommendation</u> : Include in the Landscape Plan a comment that all combustible structures must

Requirement	Requirement number	Compliance	Comments
			be kept away from the building including (but not limited to) garden sheds, pergolas and timber garden furniture.
Low flammability vegetation species are used.	5k	Does not comply	<u>Recommendation</u> : Higher flammability species as outlined in requirements 1e, 1j and 5f are to be removed from the Landscape Plan.

### Conclusion and Recommendations

This report provides an assessment to issue a bushfire compliance certificate of the landscape plan (SS21-4790, Rev. F) for the proposed alterations and additions to the existing garden centre at 62 Myoora Road, Terrey Hills in line with the recommended Conditions 1 and 5 (identified in Table 1: **Landscape plan compliance certification assessment**

) of the RFS Bush Fire Safety Authority (reference number DA20230922004243-Original-1, dated 3 October 2023).

In the author’s opinion, plans SS21-4790, Rev F, dated 10 April 2024, including planting schedule, comply with the relevant APZ specifications of PBP 2019 and RFS Standards for APZ, as outlined in Table 1, provided that the following recommendations are implemented within the Landscape Plan:

- 1b and 1c. Add ongoing pruning and tree maintenance to Landscape Plan to ensure trees do not overhang buildings.
- 1d. Trees planted in pairs and small groups to be separated from other pairs/small groups so that canopies at maturity are separated by 2-5 m and no shrubs planted under this canopy.
- 1e. Remove the following tree species from the Landscape Plan – *Melaleuca decora*, *M. quinquenervia*, *M. stypheloides* and *Angophora floribunda*.
- 1j. Remove *Poa labillardieri* from the Landscape Plan as it’s highly flammable.
- 1k. Add requirement for ongoing removal of leaves and vegetative debris to Landscape Plan.
- 5e. Species selection for plantings under trees and shrubs consists low flammability groundcovers only. Landscape management plan is to include annual removal of bark and vegetation debris in August and December each year or as required in response to local weather/growing conditions.
- 5f. Either remove *Westringia spp* from the Landscape Plan or include a clause ensuring ongoing management of these shrubs for removal of deadwood at least annually in August.
- 5i. Mulch material is not outlined in the Landscape Plan and in accord with the RFS document ‘Standards for Asset Protection Zones’ (RFS 2005) that is referenced in Appendix 4 of PBP, all mulch within an APZ should be inorganic – e.g. pebbles or scoria,

5j. Include in the Landscape Plan a comment that all combustible structures must be kept away from the building including (but not limited to) garden sheds, pergolas and timber garden furniture.

5k. Higher flammability species as outlined in requirements 1e, 1j and 5f are to be removed from the Landscape Plan.

Regards,



Melinda Losh  
**Senior Bushfire Consultant**



Susan Courtney  
**Senior Bushfire Planner**  
**FPAA BPAD Accredited Practitioner No. BPAD23573-L2**



Appendix A – Landscape Plans

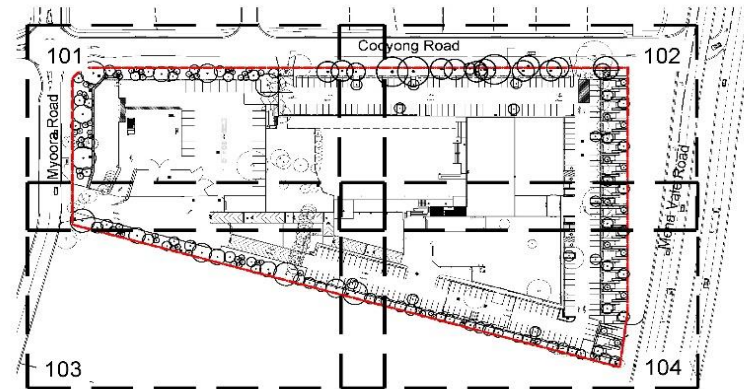
# Flower Power Garden Centre

## Landscape Development Application

Flower Power Garden Centre, 277 Mona Vale Road, Terrey Hills, NSW

Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
001	Landscape Plan	1:500
101	Landscape Plan - 1	1:200
102	Landscape Plan - 2	1:200
103	Landscape Plan - 3	1:200
104	Landscape Plan - 4	1:200
501	Landscape Details	As Shown
502	Landscape Details	As Shown



Site Plan | 1:1000

**NOT FOR CONSTRUCTION**

© 2024 ECO LOGICAL AUSTRALIA PTY LTD. ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF ECO LOGICAL AUSTRALIA PTY LTD. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF ECO LOGICAL AUSTRALIA PTY LTD. THE DESIGN AND DRAWINGS OF THIS DOCUMENT ARE THE PROPERTY OF ECO LOGICAL AUSTRALIA PTY LTD. AND ARE NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF ECO LOGICAL AUSTRALIA PTY LTD.

This document is not to be used for any other purpose without the written permission of ECO LOGICAL AUSTRALIA PTY LTD. The design and drawings of this document are the property of ECO LOGICAL AUSTRALIA PTY LTD. and are not to be reproduced, copied, or distributed in any form or by any means, without the written permission of ECO LOGICAL AUSTRALIA PTY LTD.

1	Development Engineer	ECP	NSW	11/10/1994
1	Architect	ECP	NSW	29/05/1994
D	Architectural Coordinator	LPT	NSW	24/08/1983
E	Architectural Coordinator	LPT	NSW	27/08/1983
E	Architectural Coordinator	LPT	NSW	21/02/2022
E	Architectural Coordinator	LPT	NSW	27/07/2022
Issue	Revised 2024: 0000	Issue	Issue	Date



Client  
**Flower Power**

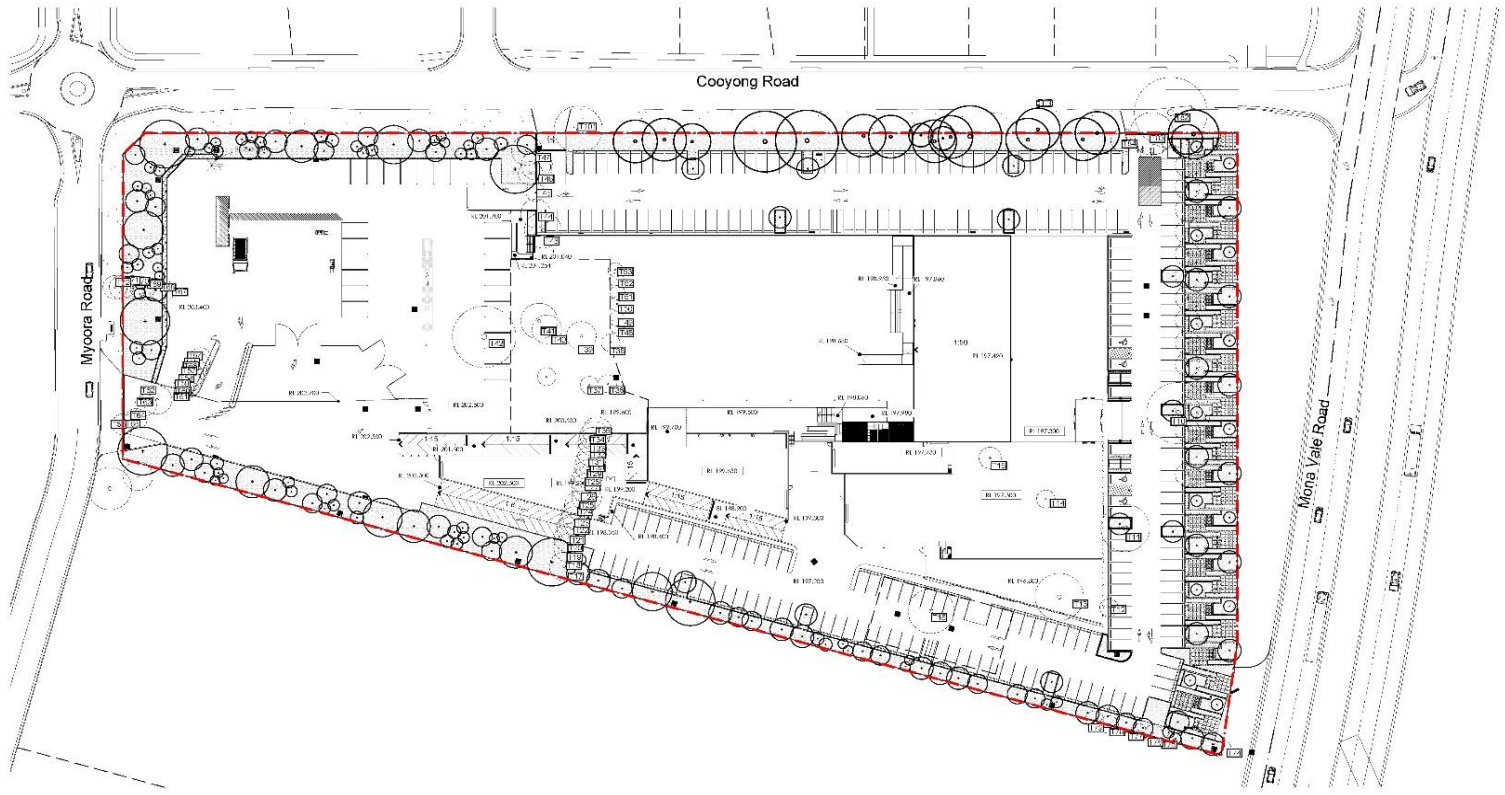
Drawing Name  
**Coversheet**

Project  
**Flower Power Garden Centre  
277 Mona Vale Road  
Terrey Hills, NSW**

Application Type  
**Development Application**

Site As Shown  
Job Number  
**SS21-4790**

Sheet Number  
**000 F**



**NOT FOR CONSTRUCTION**

© 2023 Site Image Pty Ltd. All rights reserved. This drawing is the property of Site Image Pty Ltd. It is not to be used for any other purpose without the written consent of Site Image Pty Ltd. The information contained herein is for informational purposes only and does not constitute an offer of any financial product or service. For a full and complete understanding of the terms and conditions of any financial product or service, please refer to the relevant product disclosure document.

1. Development Application	LP	NO	13/01/2023
2. For Council	LP	NO	27/03/2024
3. Interim Construction	LV	NO	21/05/2023
4. Certificate of Compliance	LV	NO	21/04/2023
5. Interim Construction	LV	NO	21/05/2023
6. Final Approval	LV	NO	21/01/2023

Site Boundary	Ground Cover (Refer to Schedule and Detail)
Proposed Trees (Refer to Schedule and Detail)	Boundary Planting Matrix (refer to schedule and detail)
Existing Trees to be Retained	Shrubs and Accents (Refer to Schedule and Detail)
Existing Trees to be Removed	Existing Turf

Key Plan



**SITE IMAGE**

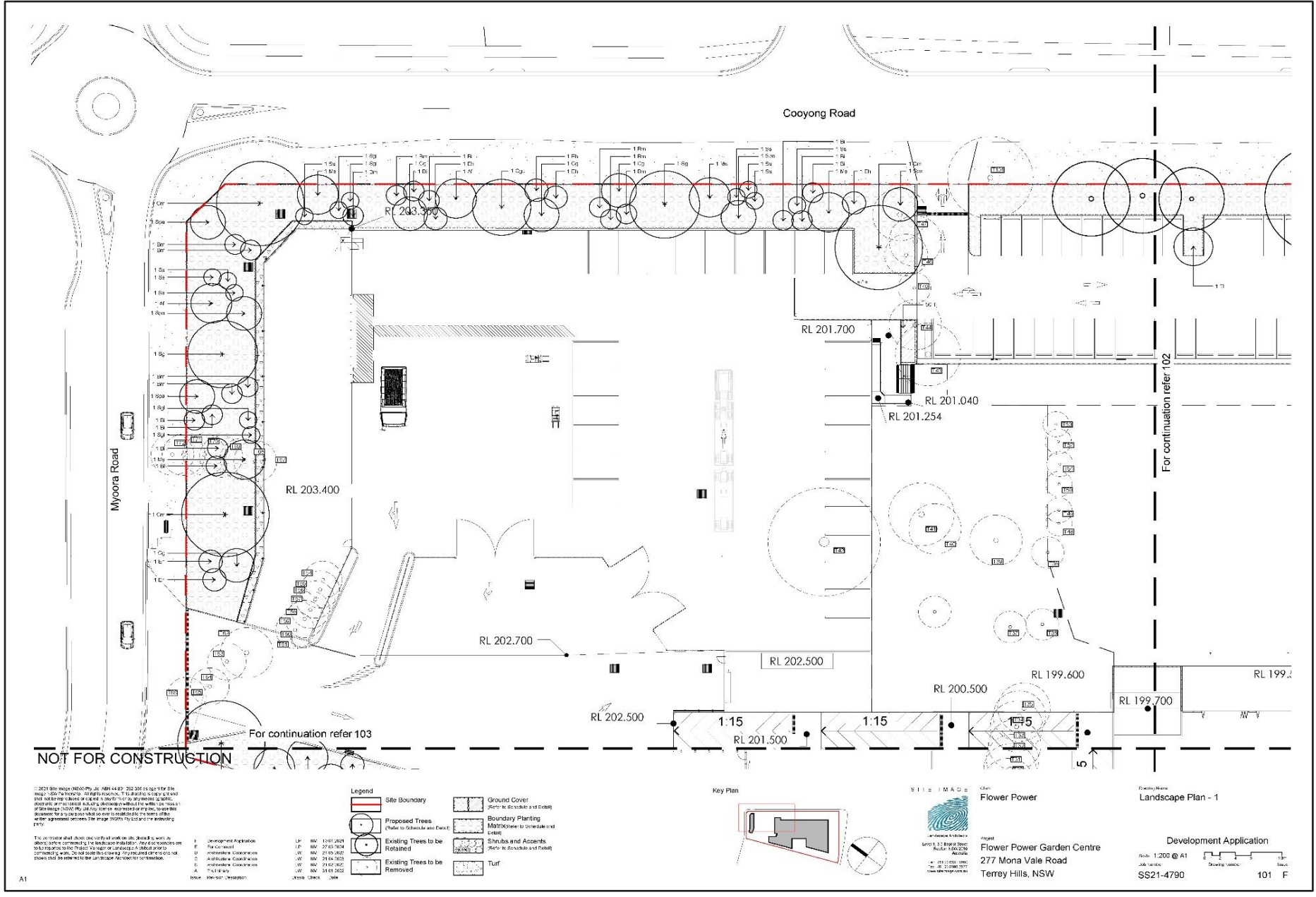
Flower Power  
277 Mona Vale Road  
Terrey Hills, NSW

Development Application  
SS21-4790  
001 F

Flower Power  
277 Mona Vale Road  
Terrey Hills, NSW

Development Application  
SS21-4790  
001 F



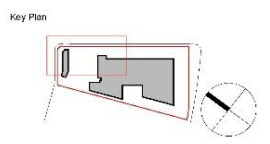


NOT FOR CONSTRUCTION

© 2021 Site Image NSW Pty. Ltd. ABN 44 002 302 356 is the copyright owner of this image. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means, electronic, mechanical, photocopying, recording, or otherwise, without the written consent of Site Image NSW Pty. Ltd. All other intellectual property rights are reserved. No liability is accepted for any damage or loss resulting from the use of this drawing. For more information, please contact Site Image NSW Pty. Ltd. on 1300 646 131.

This site plan shall show the site and work on the site, and shall be subject to the approval of the relevant authority. The site plan shall be subject to the approval of the relevant authority. The site plan shall be subject to the approval of the relevant authority. The site plan shall be subject to the approval of the relevant authority.

Code	Description	Code	Description
LP	Lot Plan	LP	Lot Plan
EP	Environmental Protection	EP	Environmental Protection
LI	Lot Information	LI	Lot Information
LA	Lot Area	LA	Lot Area
LC	Lot Coverage	LC	Lot Coverage
LD	Lot Density	LD	Lot Density
LE	Lot Elevation	LE	Lot Elevation
LF	Lot Frontage	LF	Lot Frontage
LG	Lot Gradient	LG	Lot Gradient
LH	Lot Height	LH	Lot Height
LI	Lot Information	LI	Lot Information
LA	Lot Area	LA	Lot Area
LC	Lot Coverage	LC	Lot Coverage
LD	Lot Density	LD	Lot Density
LE	Lot Elevation	LE	Lot Elevation
LF	Lot Frontage	LF	Lot Frontage
LG	Lot Gradient	LG	Lot Gradient
LH	Lot Height	LH	Lot Height

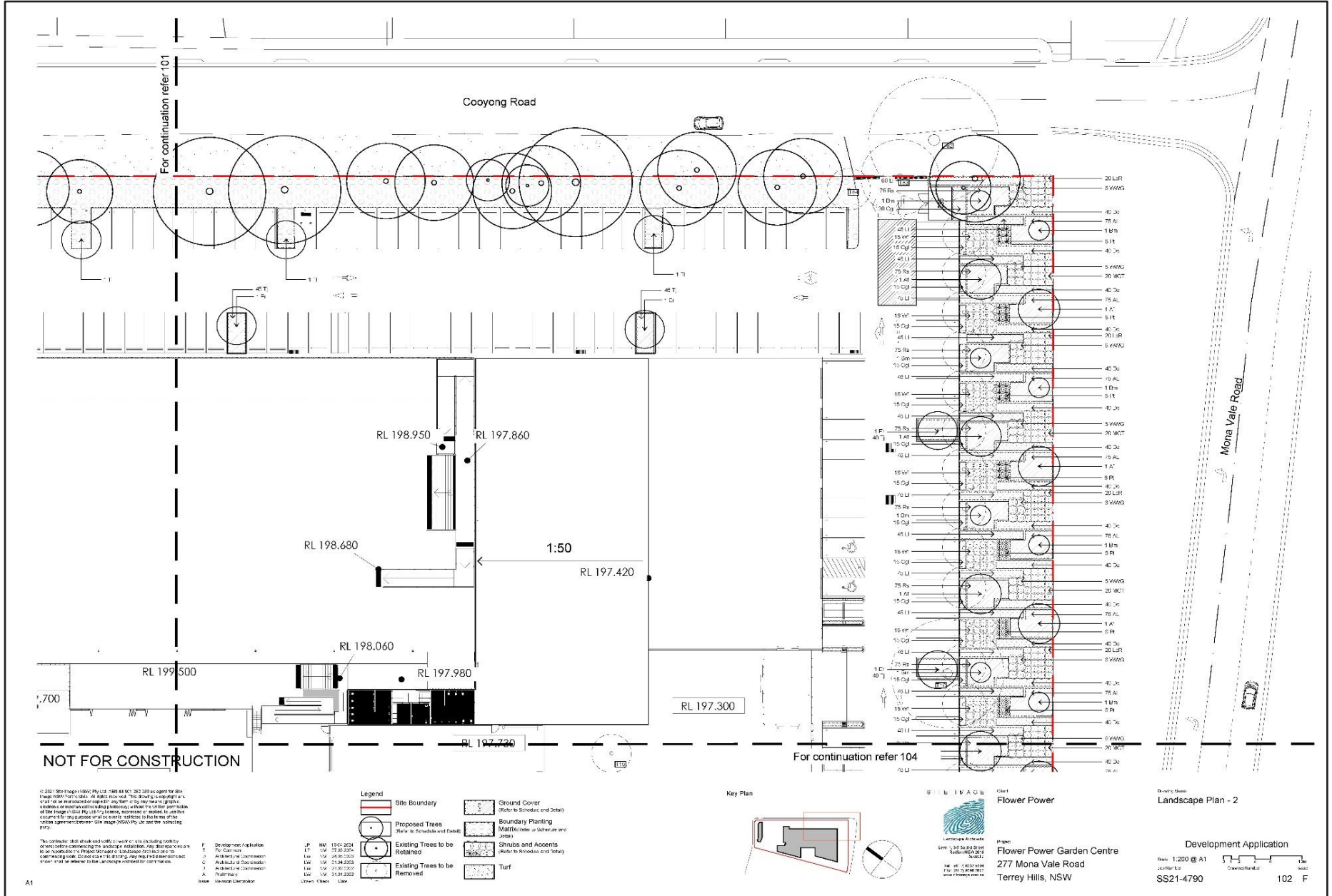


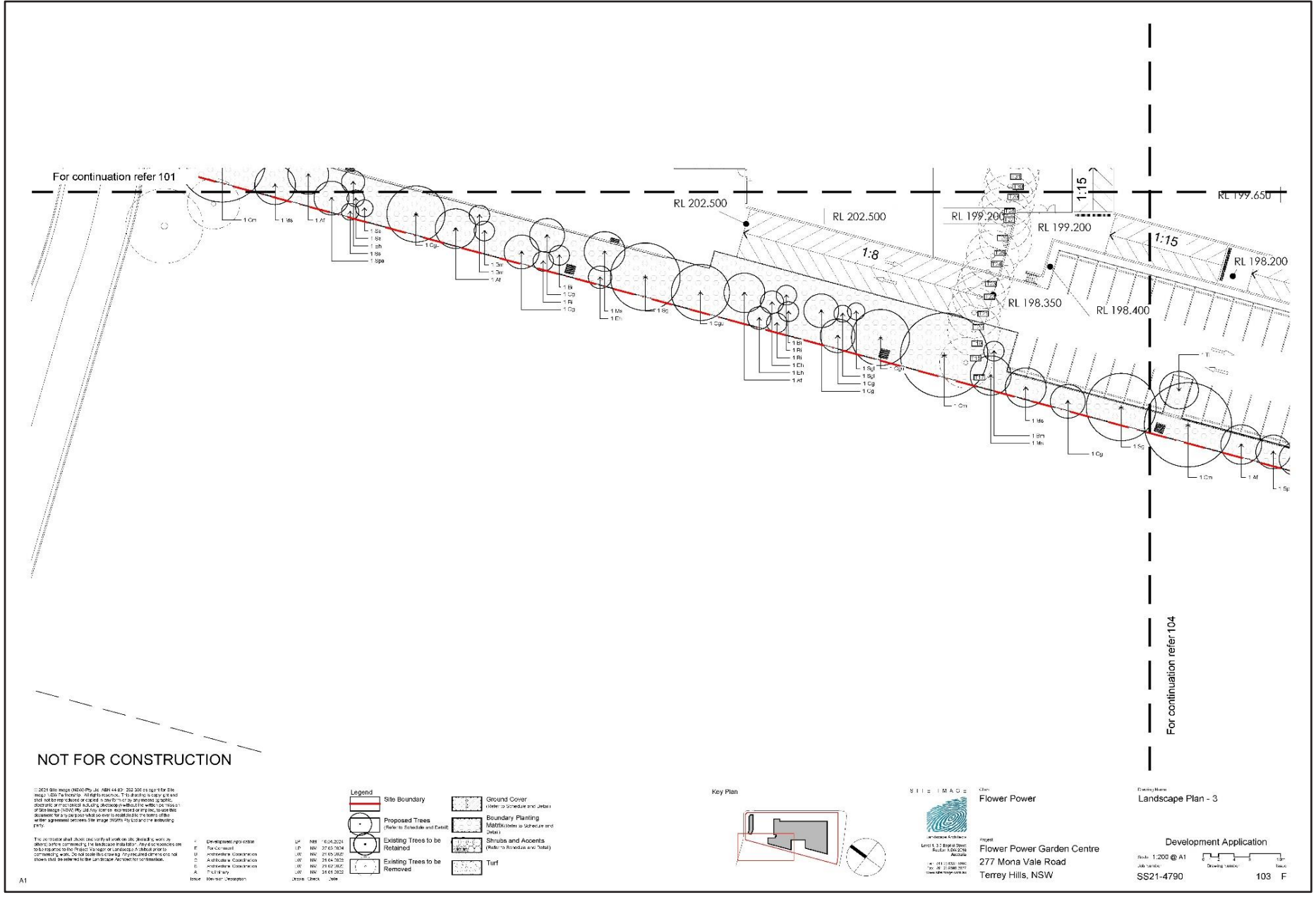
**SITE IMAGE**

Client: Flower Power

Project: Flower Power Garden Centre  
277 Mona Vale Road  
Terrey Hills, NSW

Development Application  
Scale: 1:200 @ A1  
Job Number: SS21-4790  
Drawing Number: 101 F



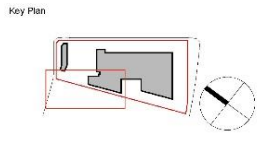


NOT FOR CONSTRUCTION

© 2021 BVA Image Pty Ltd. All rights reserved. This drawing is for the use of the client only and is not to be used for any other purpose. The client is responsible for ensuring that all information provided is accurate and up-to-date. The client is also responsible for ensuring that all information provided is accurate and up-to-date. The client is also responsible for ensuring that all information provided is accurate and up-to-date.

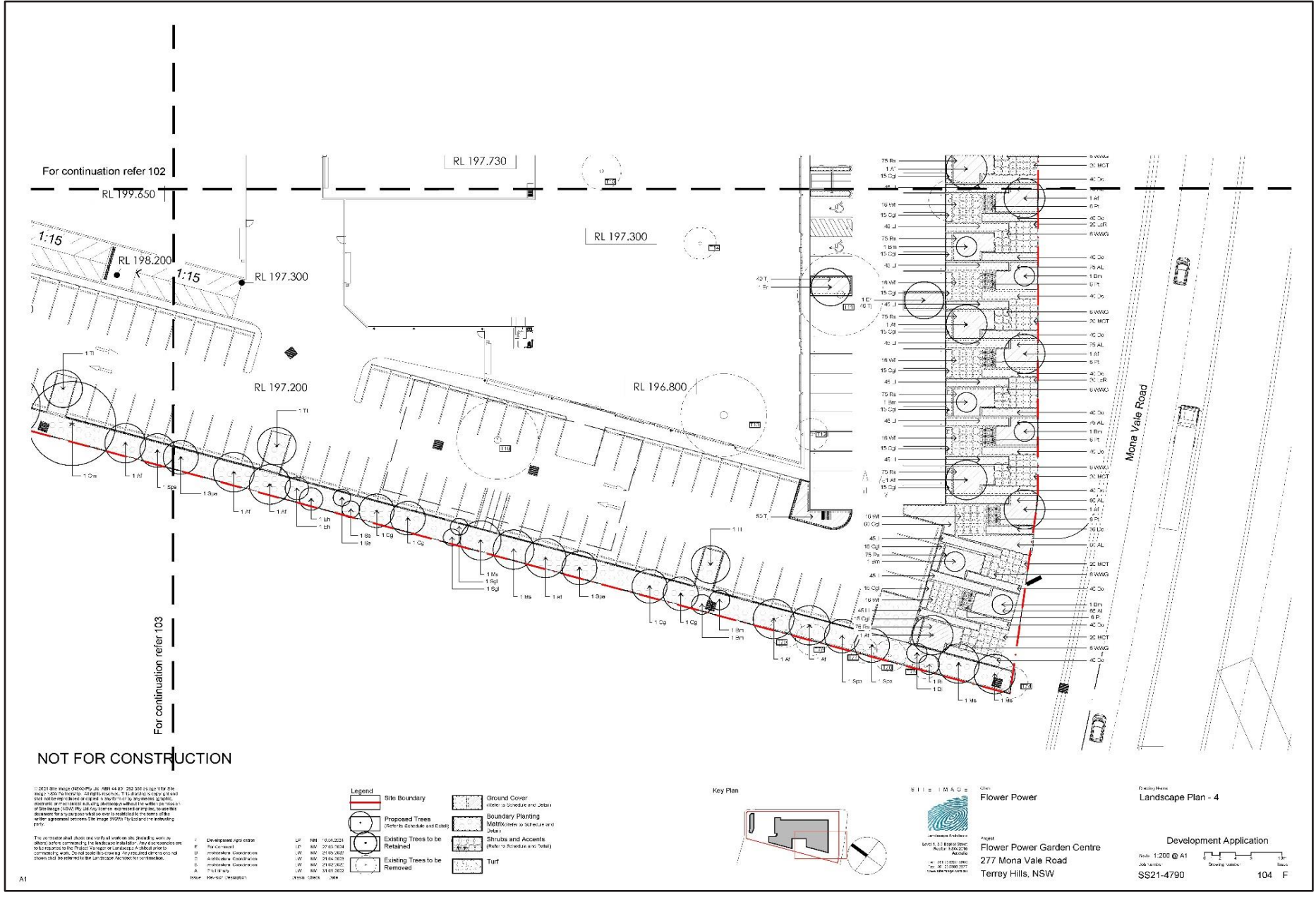
Development Application	DA	NH	6.04.2021
For Council	FC	NH	27.03.2024
Interim Commencement	IC	NH	21.05.2022
Final Commencement	FC	NH	29.04.2023
Final Approval	FA	NH	29.05.2022
Final Construction	FC	NH	31.01.2022

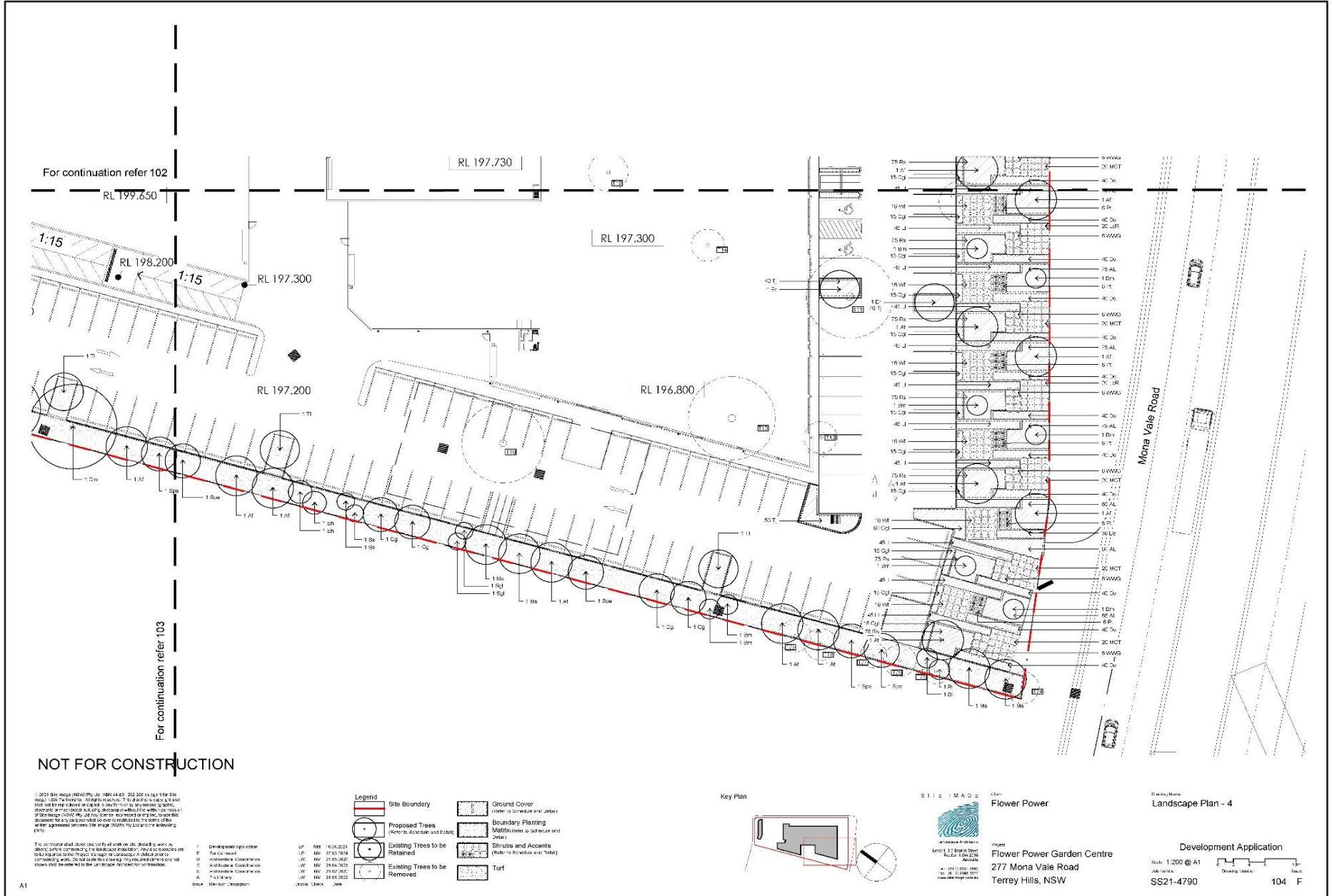
Site Boundary	Ground Cover (Refer to Schedule and Detail)
Proposed Trees (Refer to Schedule and Detail)	Boundary Planting Matrix (Refer to Schedule and Detail)
Existing Trees to be Retained	Shrubs and Accents (Refer to Schedule and Detail)
Existing Trees to be Removed	Turf



**VIS IMAGE**  
 Flower Power  
 Project:  
 Flower Power Garden Centre  
 277 Mona Vale Road  
 Terrey Hills, NSW

Client:  
 Flower Power  
 Drawing Name:  
 Landscape Plan - 3  
 Development Application  
 Scale: 1:200 @ A1  
 Drawing Number: SS21-4790  
 Date: 10/3/2024  
 103 F





For continuation refer 102

RL 199.350

RL 197.730

RL 197.300

1:15

RL 198.200

1:15

RL 197.300

RL 197.200

RL 196.800

For continuation refer 103

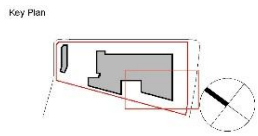
NOT FOR CONSTRUCTION

© 2021 ECO LOGICAL AUSTRALIA PTY LTD. ALL RIGHTS RESERVED. THIS DRAWING IS THE PROPERTY OF ECO LOGICAL AUSTRALIA PTY LTD. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ECO LOGICAL AUSTRALIA PTY LTD. ANY REPRODUCTION OR TRANSMISSION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF ECO LOGICAL AUSTRALIA PTY LTD. IS A BREACH OF THE COPYRIGHT LAWS OF AUSTRALIA AND MAY BE SUBJECT TO PROSECUTION.

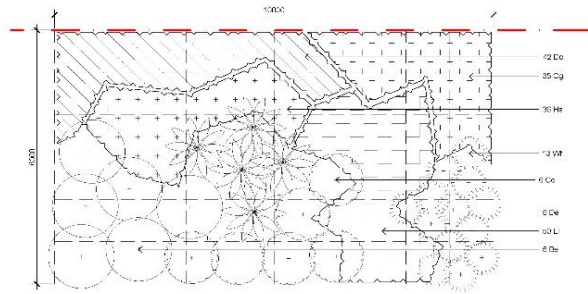
The contractor shall ensure that all work on site complies with any relevant codes of practice and standards. Any discrepancies are to be reported to the Project Manager or Supervisor immediately. The contractor shall ensure that all work on site complies with any relevant codes of practice and standards. Any discrepancies are to be reported to the Project Manager or Supervisor immediately.

1	Design/Drawings/Engineering	SP	16/04/2024
2	Final Check	LP	27/05/2024
3	Approval/Consolidation	AW	21/05/2024
4	Approval/Consolidation	AW	21/05/2024
5	Approval/Consolidation	AW	21/05/2024
6	Final Check	AW	21/05/2024

	Site Boundary		Ground Cover (Refer to Schedule and Context)
	Proposed Trees (Refer to Schedule and Context)		Boundary Planting Matrix (Refer to Schedule and Context)
	Existing Trees to be Retained		Structures and Accents (Refer to Schedule and Context)
	Existing Trees to be Removed		Turf



Client: Flower Power  
 Project: Flower Power Garden Centre  
 277 Mona Vale Road  
 Terrey Hills, NSW  
 Drawing Name: Landscape Plan - 4  
 Scale: 1:200 @ A1  
 Job Number: SS21-4790  
 Drawing Number: 104 F



**01** Boundary Planting Matrix  
**502**

Shrubs to be cleared away from existing and proposed trees to ensure shrub and tree canopy are not concealed

**NOT FOR CONSTRUCTION**

© 2021 Flower Power Pty. Ltd. All rights reserved. This document is the property of Flower Power Pty. Ltd. and is confidential. It is not to be used, copied, or distributed without the prior written consent of Flower Power Pty. Ltd. Any use of this document without the prior written consent of Flower Power Pty. Ltd. is strictly prohibited. Flower Power Pty. Ltd. is not responsible for any loss or damage arising from the use of this document.

The information contained in this document is for general information only. It is not intended to constitute an offer of any financial product or service. It is not intended to be relied upon in making any investment decision. It is not intended to be used as a basis for any investment decision.

F	Final Design	10/04/2024
L	Issue for Construction	21/03/2024
D	Final Design	24/02/2024
C	Final Design	21/01/2024
B	Final Design	21/02/2024
A	Final Design	21/01/2024
Issue	Final Design	2024



**Flower Power**  
Landscape Architecture  
277 Mona Vale Road  
Terrey Hills, NSW

Project Name  
**Landscape Details**

Development Application  
Site No: 277/2024/DA  
Site No: 277/2024/DA  
Site No: 277/2024/DA  
Site No: 277/2024/DA