



10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 - DEVELOPMENT APPLICATION

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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

ISSUE	DATE	DESCRIPTION	ISSUE	DATE	DESCRIPTION	PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE						
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE	10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 CLIENTS GEORGE AND KATHY CASHA													
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE														
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 EOIN Architects 2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 8975 M 0449 121 346 E info@eoinarchitects.com						PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104 CLIENTS GEORGE AND KATHY CASHA		NORTH SHEET TITLE COVER PAGE		PROJECT NUMBER 2401		SHEET SCALE LOS / EH EH		SHEET SIZE A3		SHEET NUMBER DA001		ISSUE L	

NOTES:

BCA REQUIREMENTS - PLEASE REFER TO THE ACCOMPANYING BCA REPORT

GENERAL NOTATION

1. All materials, components, equipment and workmanship shall comply with all Statutory Authority codes and regulations, the current National Construction Code (NCC), Australian Standards, and any other regulations, rules or by-laws applicable to both design and execution.
2. Where necessary, provide Shop Drawings and technical information to demonstrate compliance with the Design Drawings and Specification, and comply with the approvals process specified.
3. Obtain and submit all approvals, certificates and any other documents required by the Statutory Authorities to permit use and/or occupation of the Works.
4. Comply with any approval conditions imposed by Statutory Authorities to which the works are subject.
5. At the appropriate time provide the Architect with Contract samples as listed in the Component Specification. These samples shall be kept as a record of materials incorporated into the Works and used as references for controlling consistency.
6. The Contractor is responsible for obtaining the Certificate of Occupancy as well as meeting any other regulatory requirements associated with the Certificate of Occupancy.
7. All Architectural drawings to be read in conjunction with all consultants and all suppliers drawings.
8. Prototypes & samples to be presented and approved by Architect, Structural Engineer (where required) & Client prior to approval and fabrication. Required prototypes are set out in Component Specification.

PERFORMANCE SPECIFICATION - STEELWORK:


- General:** The Main Contractor must ensure all member sizes, fixings and details are designed to sustain all relevant loads. The Main Contractor must notify both the Architect and Structural Engineer of any proposed amendments to such details and seek approval prior to commencement of any work.
- CAM:** All steel work and connections to be designed, 3D CAD modelled, computer numerically controlled (CNC) set out and computer aided manufactured (CAM).
- Galvanisation:** All associated bolts screws hold down bolts and threaded rods to be hot dipped galvanised to AS 1214. Refer to Structural Engineer's drawings and specification for all connection details and member sizes.
- Separation:** Ensure appropriate separation / isolation between dissimilar metals in accordance with AS 1562.1D
- Shop Drawings:** A complete set of steel fabrication shop drawings for all steel work elements & connections to be issued to and approved by Architect, Structural Engineer & Client prior to approval & fabrication.
- Prototypes:** Connection prototypes to be fabricated & approved by Architect, Structural Engineer & Client prior to fabrication process commencing. Connection prototypes required.

STAGED INSPECTIONS - HOLD POINTS

Note: Main Contractor to notify the Architect 7 business days in advance of any of the following stages, in order to organise the relevant party to carry out their inspections.

- A) After excavation for and prior to placement of any footings.
- B) Prior to pouring any in-situ reinforced concrete building element.
- C) Prior to covering of the framework for any floor, wall, roof or other building element.
- D) Prior to covering waterproofing in any wet areas.
- F) Prior to covering any storm water drainage connections.
relation to the building.- Inspection by PCA.

FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

ISSUE	DATE	DESCRIPTION				PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH	SHEET TITLE						
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE	CLIENTS GEORGE AND KATHY CASHA					NOTES						
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 EOIN Architects <small>2/343 SYDNEY RD, BALGOWLAH NSW 2093 AUSTRALIA T +61 2 8005 8975 M 0449 121 346 E info@eoinarchitects.com</small>						<small>EOIN ARCHITECTS ABN 25 673 855 845 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261 THIS DRAWING SHOULD BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATION, REPORT AND DRAWINGS. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION. COPYRIGHT OF THIS DRAWING IS VESTED IN EOIN.</small>				2401		LOS / EH EH		A3		DA002 L	

Alterations and Additions

Certificate number: A1762493

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 02 September 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project address	
Project name	10 kookaburra Close, Bayview NSW
Street address	10 KOOKABURRA - BAYVIEW 2104
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP204996
Lot number	39
Section number	-
Project type	
Dwelling type	Dwelling house (attached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa).
N/A	N/A
Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name	BONNEFIN CONSULTING PTY LTD
ABN (if applicable)	95164564210

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.			
	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
suspended floor with open subfloor: framed (R0.7).	R0.8 (down) (or R1.50 including construction)	N/A	
floor above existing dwelling or building.	nil	N/A	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)		
internal wall shared with garage: plasterboard (R0.36)	nil		
flat ceiling, flat roof: framed	ceiling: R0.25 (up), roof: 50 mm foil backed polystyrene board	light (solar absorptance < 0.475)	

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors			
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.			
The following requirements must also be satisfied in relation to each window and glazed door:			
	✓	✓	✓
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.		✓	✓
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓




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Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
upper bed	N	16.42	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
retreat	N	9.63	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
office	N	12.78	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
living	N	25.75	0	0	eave/verandah/ pergola/balcony >=900 mm	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
living	E	5.4	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
dining N	N	16.5	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
dining E	E	8.1	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors glazing requirements									
Window/door number	Orientation	Area of glass including frame (m2)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type			
owder	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
robes	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
ensuite	S	1.8	0	0	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			
foyer E	E	4.8	0	0	none	timber or uPVC, double Lo-Tsol/air gap/clear, (U-value: 2.3, SHGC: 0.19)			
foyer W	W	6.9	3	2.5	none	aluminium: thermally broken, double Lo-Tsol/air gap/clear, (U-value: 3.1, SHGC: 0.27)			

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

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EOIN ARCHITECTS ABN 25 673 855 845
 NOMINATED ARCHITECT EOIN PATRICK HEALY 11133 / CLASS 2 - REGISTERED PRACTITIONER - DEP 0003261
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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

PROJECT: CONCEPT DESIGN - LOT 39 DP204996	NORTH	SHEET TITLE
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104		BASIX REQUIREMENTS 'MAIN HOUSE' _ SHEET 2 OF 2
CLIENTS GEORGE AND KATHY CASHA		
PROJECT NUMBER	PLOT DATE	DRAWN
2401		LOS / EH EH
CHECKED	SHEET SCALE	SHEET SIZE
		A3
		SHEET NUMBER
		DA003.2
		ISSUE
		L

Project summary		
Project name	10 kookaburra close bayview secondary dwelling	
Street address	10 KOOKABURRA Close BAYVIEW 2104	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan DP204996	
Lot no.	39	
Section no.	-	
Project type	dwelling house (attached) - secondary dwelling	
No. of bedrooms	3	
Project score		
Water	40	Target 40
Thermal Performance	Pass	Target Pass
Energy	75	Target 68
Materials	-1	Target n/a

This is not a valid certificate.

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 240 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		✓	✓

This is not a valid certificate.

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Description of project

Project address		Assessor details and thermal loads	
Project name	10 kookaburra close bayview secondary dwelling	Assessor number	10056
Street address	10 KOOKABURRA Close BAYVIEW 2104	Certificate number	draft
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan DP204996	Area adjusted cooling load (MJ/m ² .year)	15
Lot no.	39	Area adjusted heating load (MJ/m ² .year)	14
Section no.	-	Project score	
Project type	dwelling house (attached) - secondary dwelling	Water	40 Target 40
No. of bedrooms	3	Thermal Performance	Pass Target Pass
Site details		Energy	75 Target 68
Site area (m ²)	791	Materials	-1 Target n/a
Roof area (m ²)	241		
Conditioned floor area (m ²)	95.3		
Unconditioned floor area (m ²)	3.3		
Total area of garden and lawn (m ²)	200		
Roof area of the existing dwelling (m ²)	430		
Number of bedrooms in the existing dwelling	3		

This is not a valid certificate.

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

This is not a valid certificate.

Version: 4.03 / EUCALYPTUS_03_01_0

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ISSUE	DATE	DESCRIPTION			WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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FOR DESIGN DEVELOPMENT PURPOSES ONLY - NOT FOR PLANNING OR CONSTRUCTION PURPOSES

PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				BASIX REQUIREMENTS 'GRANNY FLAT'_ SHEET 1 OF 2	
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH EH			A3
				SHEET NUMBER	ISSUE
				DA004.1	L

Thermal Performance and Materials commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction					
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.			✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.					✓
Construction	Area - m ²	Insulation			
floor - concrete slab on ground, conventional slab.	98.6	none			
external wall: brick veneer; frame: timber - H2 treated softwood.	all external walls	fibreglass batts or roll+ foil/sarking			
internal wall: plasterboard; frame: timber - H2 treated softwood.	66.8	none			
ceiling and roof - flat ceiling / flat roof, framed - metal roof, timber - H2 treated softwood.	241	ceiling: none; roof: none.			

This is not a valid certificate.

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Energy Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water					
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar with a performance of 26 to 30 STCs or better.			✓	✓	✓
Cooling system					
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.				✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.				✓	✓
Heating system					
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.				✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.				✓	✓
Ventilation					
The applicant must install the following exhaust systems in the development:					
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off				✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off				✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off				✓	✓
Artificial lighting					
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.				✓	✓
Natural lighting					
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.			✓	✓	✓

This is not a valid certificate.

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Thermal Performance and Materials commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazing					
The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.			✓	✓	✓
Frames	Maximum area - m2				
aluminium	27.1				
timber	0				
uPVC	0				
steel	0				
composite	0				
Glazing	Maximum area - m2				
single	27.1				
double	0				
triple	0				

This is not a valid certificate.

Version: 4.03 / EUCALYPTUS_03_01_0

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Energy Commitments			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Other					
The applicant must install an induction cooktop & electric oven in the kitchen of the dwelling.				✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.				✓	

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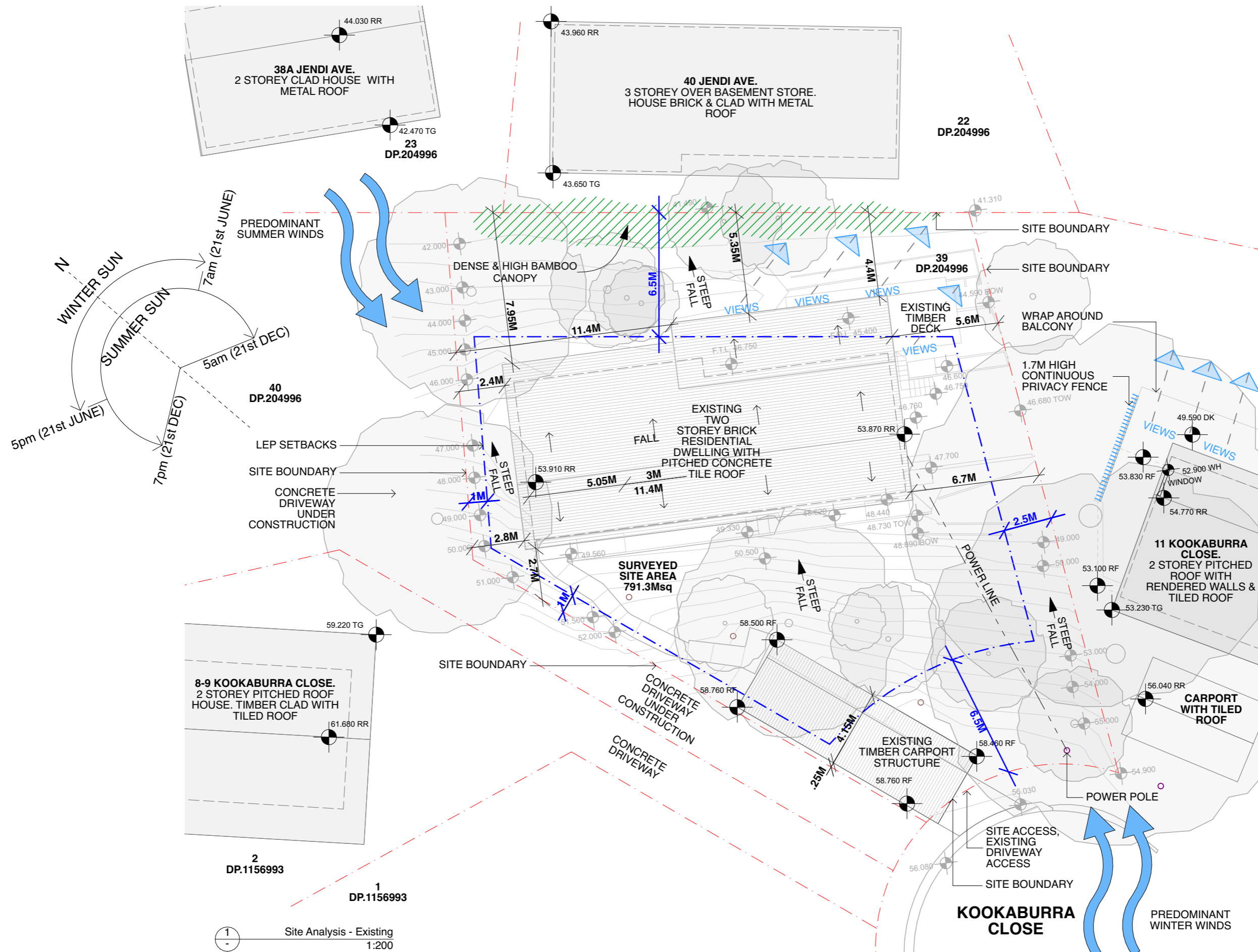
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E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				BASIX REQUIREMENTS 'GRANNY FLAT'_ SHEET 2 OF 2	
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
				SHEET NUMBER	ISSUE
				DA004.2	L



1 - Site Analysis - Existing
1:200

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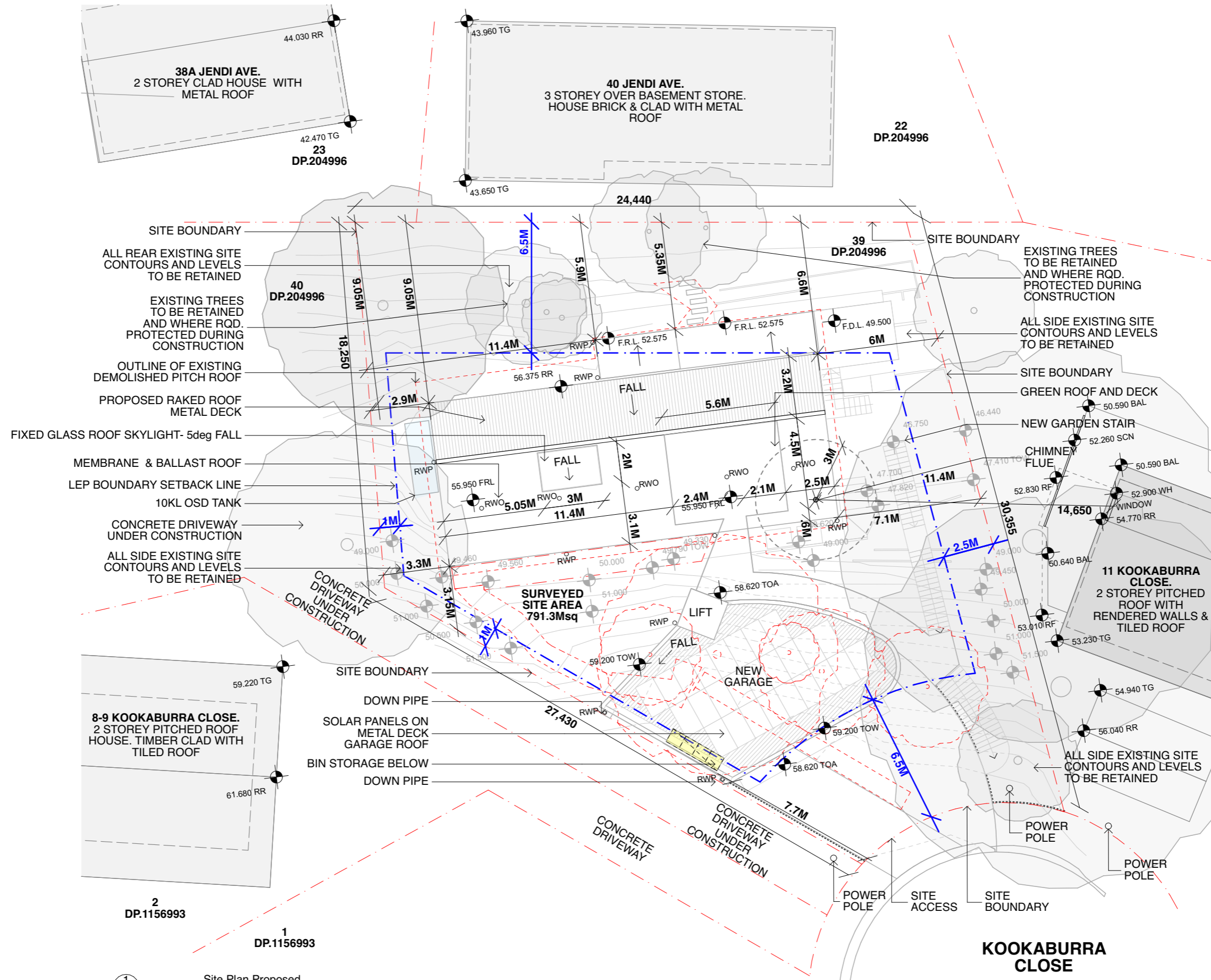
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10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SITE ANALYSIS - EXISTING SITE PLAN	
CLIENTS GEORGE AND KATHY CASHA		PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		SHEET SCALE	
DRAWN LOS / EH EH		CHECKED		SHEET SIZE A3	

SHEET NUMBER		ISSUE	
2401		DA005 L	



- SITE BOUNDARY
- ALL REAR EXISTING SITE CONTOURS AND LEVELS TO BE RETAINED
- EXISTING TREES TO BE RETAINED AND WHERE RQD. PROTECTED DURING CONSTRUCTION
- OUTLINE OF EXISTING DEMOLISHED PITCH ROOF
- PROPOSED RAKED ROOF METAL DECK
- FIXED GLASS ROOF SKYLIGHT- 5deg FALL
- MEMBRANE & BALLAST ROOF
- LEP BOUNDARY SETBACK LINE
- 10KL OSD TANK
- CONCRETE DRIVEWAY UNDER CONSTRUCTION
- ALL SIDE EXISTING SITE CONTOURS AND LEVELS TO BE RETAINED

- EXISTING TREES TO BE RETAINED AND WHERE RQD. PROTECTED DURING CONSTRUCTION
- ALL SIDE EXISTING SITE CONTOURS AND LEVELS TO BE RETAINED
- SITE BOUNDARY
- GREEN ROOF AND DECK
- NEW GARDEN STAIR
- CHIMNEY FLUE

- SITE BOUNDARY
- DOWN PIPE
- SOLAR PANELS ON METAL DECK GARAGE ROOF
- BIN STORAGE BELOW DOWN PIPE

- ALL SIDE EXISTING SITE CONTOURS AND LEVELS TO BE RETAINED
- POWER POLE
- POWER POLE

1
-
Site Plan Proposed
1:200

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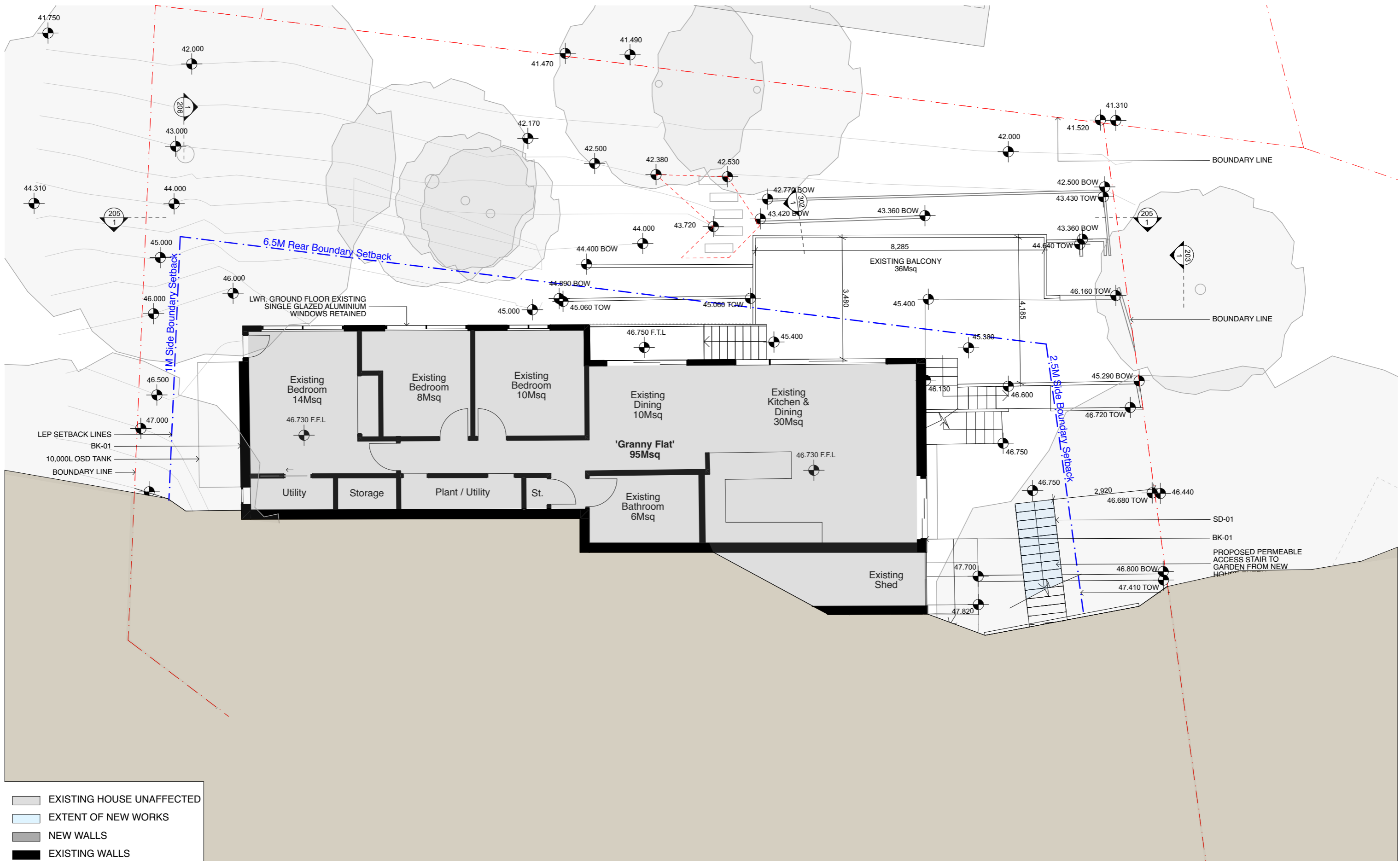
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SITE PLAN / ROOF PLAN - PROPOSED	
CLIENTS GEORGE AND KATHY CASHA				SHEET NUMBER	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3

DA006 L



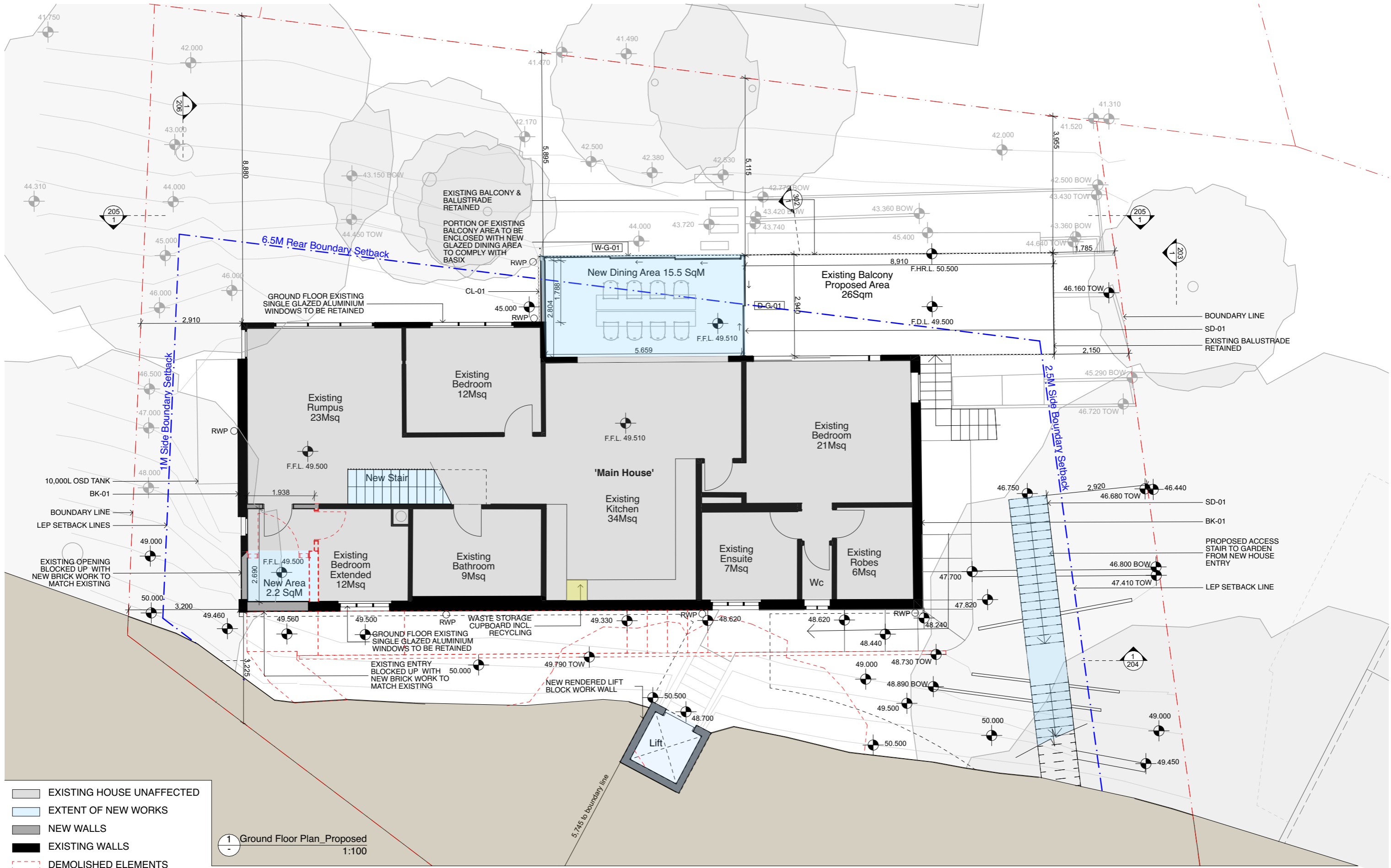
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE	
CLIENTS GEORGE AND KATHY CASHA						LOWER GROUND FLOOR PLAN 'GRANNY FLAT'_PROPOSED	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH	EH		A3		DA101 L



- EXISTING HOUSE UNAFFECTED
- EXTENT OF NEW WORKS
- NEW WALLS
- EXISTING WALLS
- DEMOLISHED ELEMENTS

1 Ground Floor Plan - Proposed
1:100

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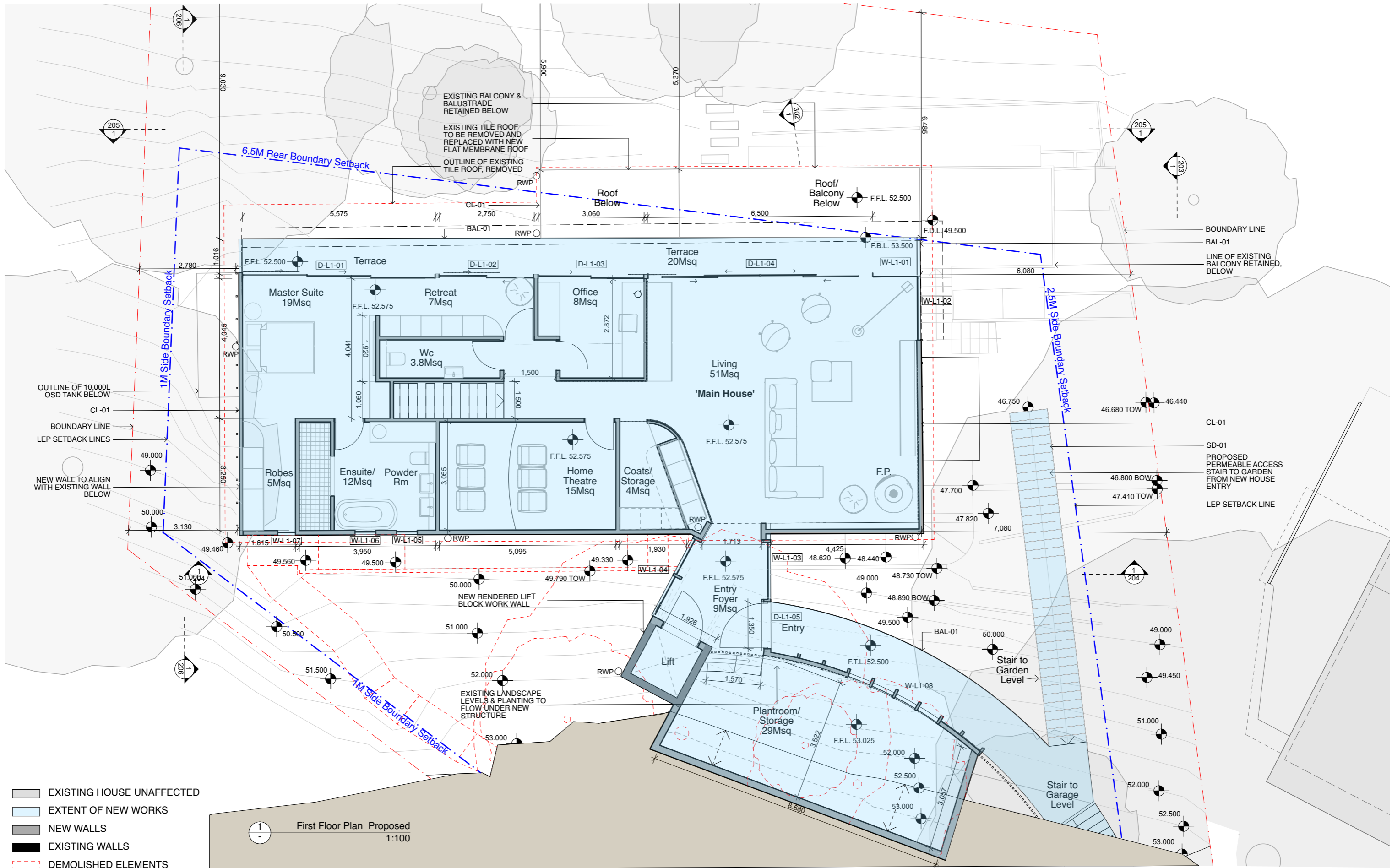
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				GROUND FLOOR PLAN 'MAIN HOUSE'- PROPOSED	
CLIENTS GEORGE AND KATHY CASHA				SHEET NUMBER	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3

ISSUE
DA102 L



First Floor Plan_Proposed
1:100

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A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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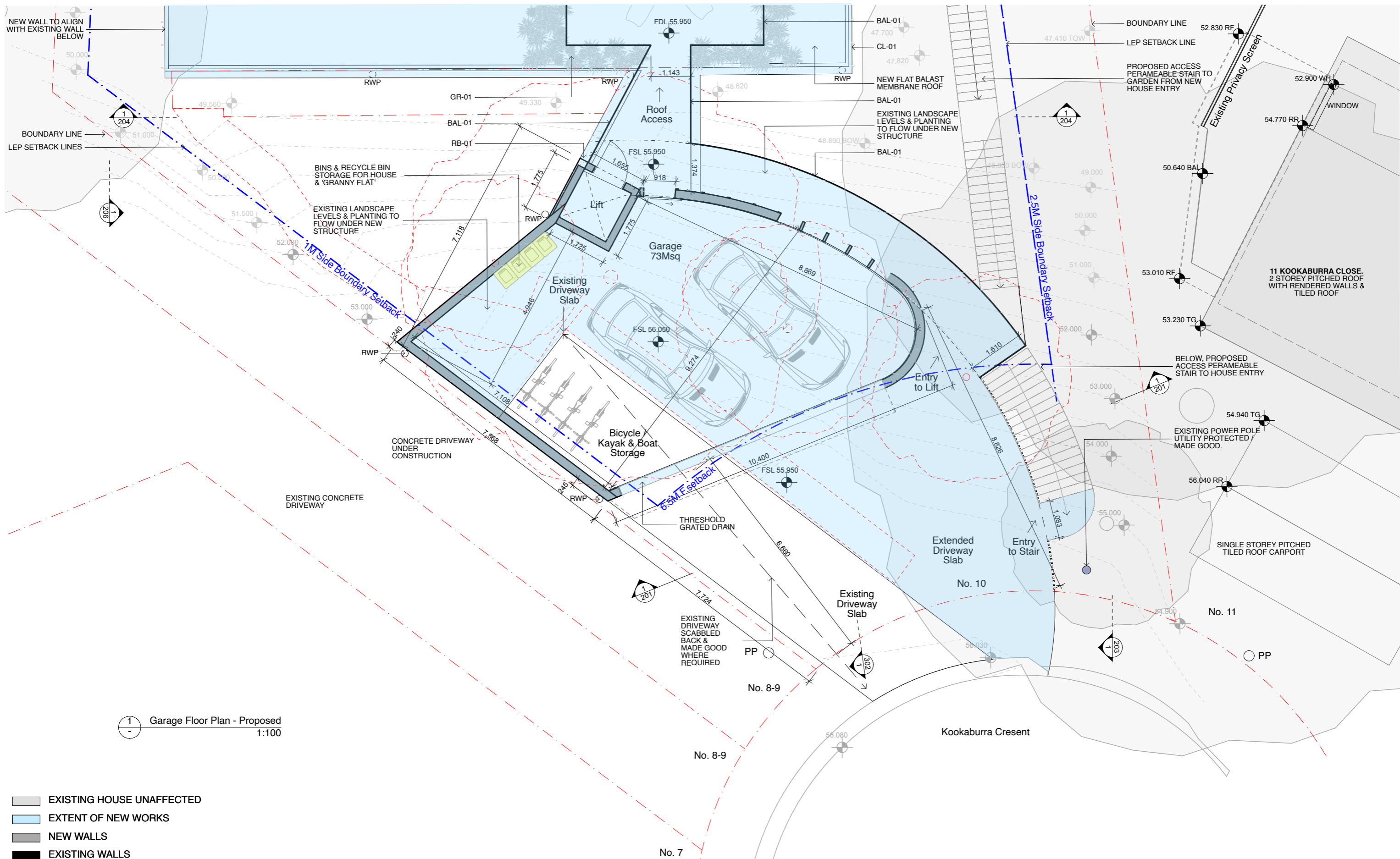
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS: **GEORGE AND KATHY CASHA**

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH	A3		

SHEET TITLE: **FIRST FLOOR PLAN 'MAIN HOUSE' - PROPOSED**

ISSUE: **DA103 L**



1 Garage Floor Plan - Proposed
1:100

- EXISTING HOUSE UNAFFECTED
- EXTENT OF NEW WORKS
- NEW WALLS
- EXISTING WALLS
- DEMOLISHED ELEMENTS

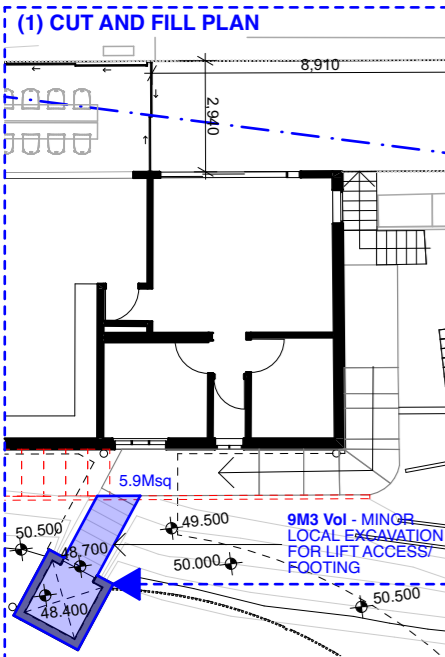
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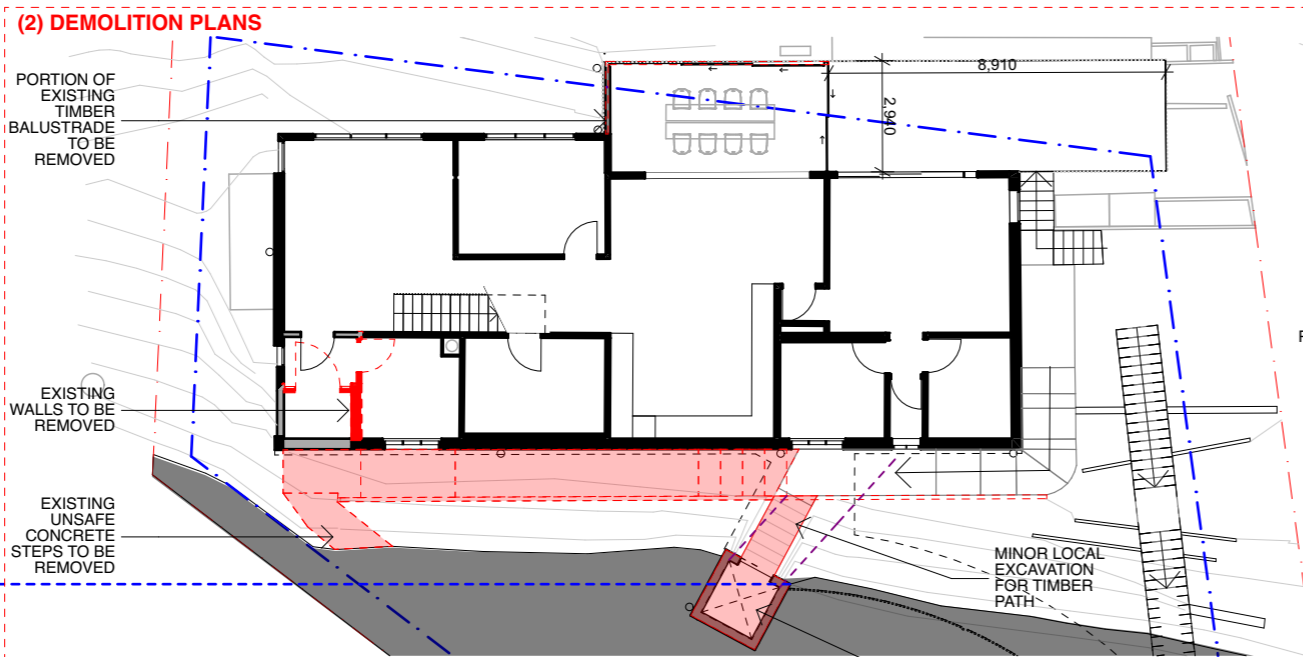
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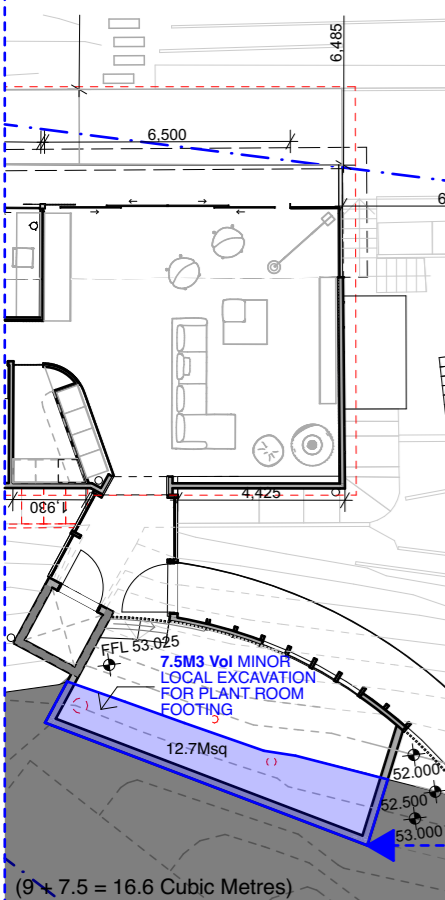
PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				GARAGE FLOOR PLAN - PROPOSED	
CLIENTS: GEORGE AND KATHY CASHA				SHEET NUMBER	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	ISSUE
2401		LOS / EH	EH	A3	DA104 L



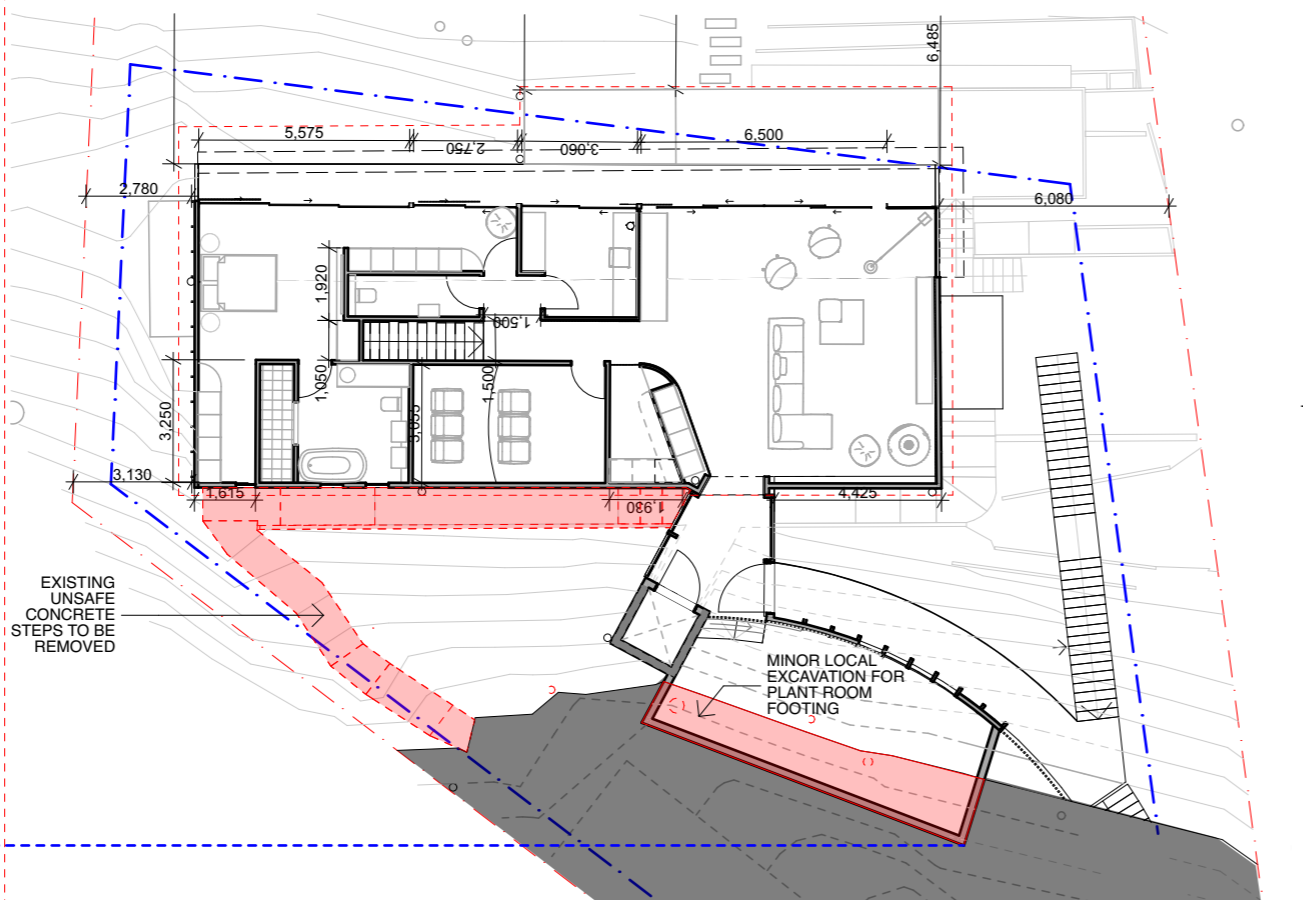
1 Lower Ground Level_Cut & Fill Plan
1:200



1 Lower Ground Level_Demolition Plan
1:200

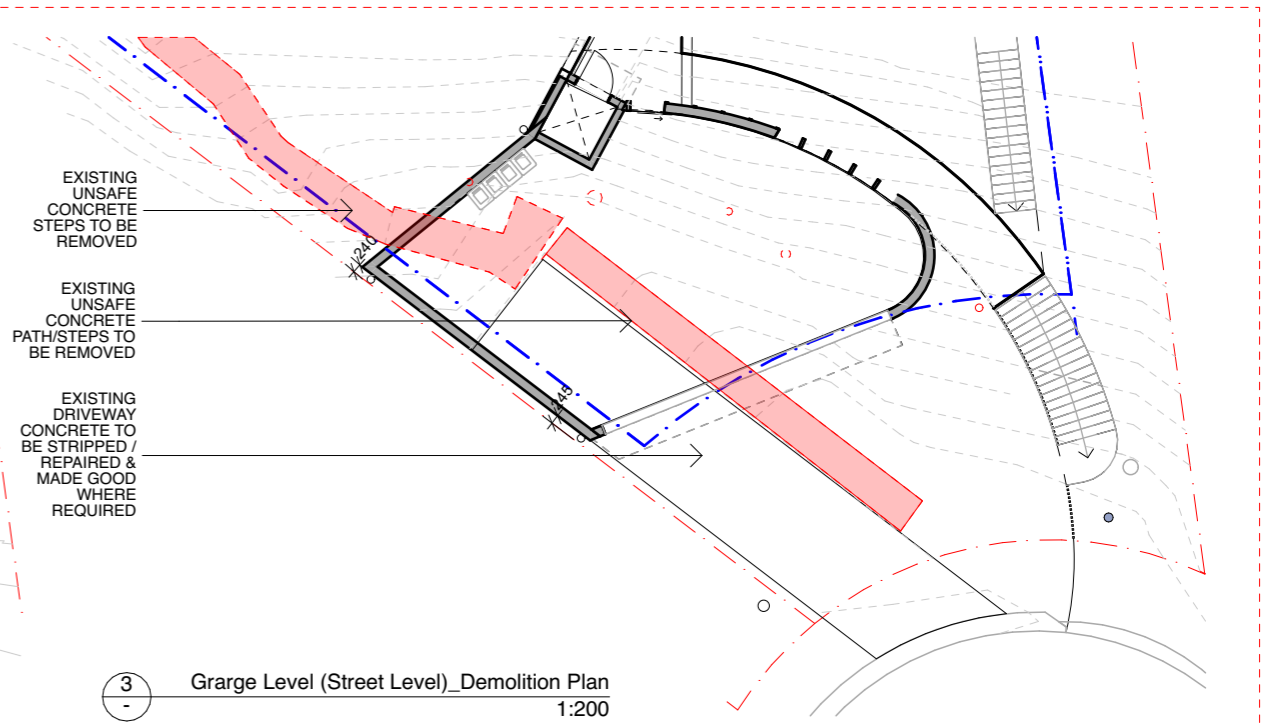


2 Level 1_Cut & Fill Plan
1:200

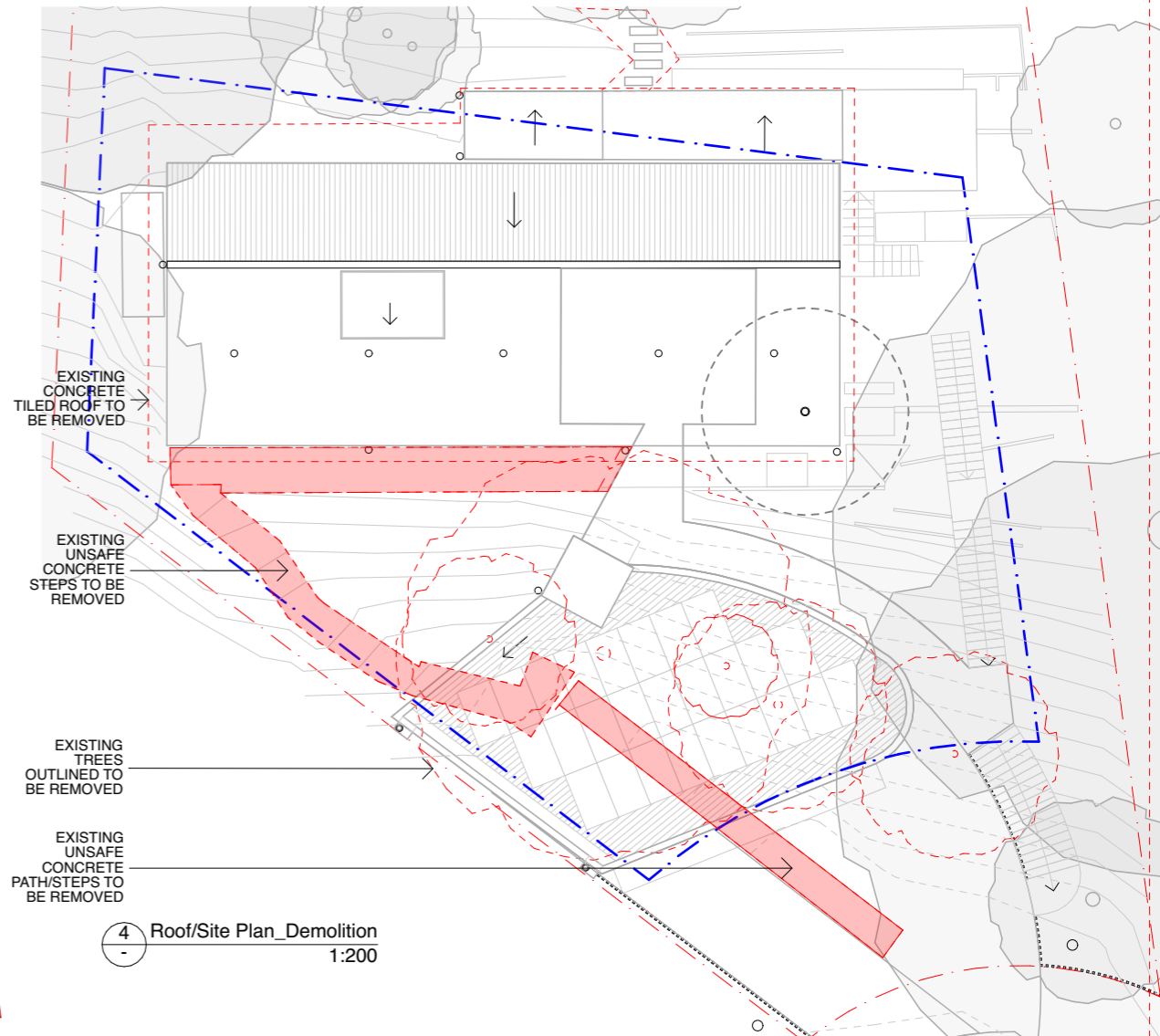


■ CUT AREA (16.6 Cubic Metres)
■ FILL AREA (NO FILL REQUIRED)

■ DEMOLISHED ELEMENTS
■ DEMOLISHED WALLS



3 Garage Level (Street Level)_Demolition Plan
1:200



4 Roof/Site Plan_Demolition
1:200

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J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				FLOOR PLANS - (1)CUT & FILL &(2)DEMOLITION	
CLIENTS		PROJECT NUMBER		SHEET SIZE	
GEORGE AND KATHY CASHA		2401		A3	
DRAWN		CHECKED		SHEET NUMBER	
LOS / EH EH					

ISSUE
DA105 L

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK

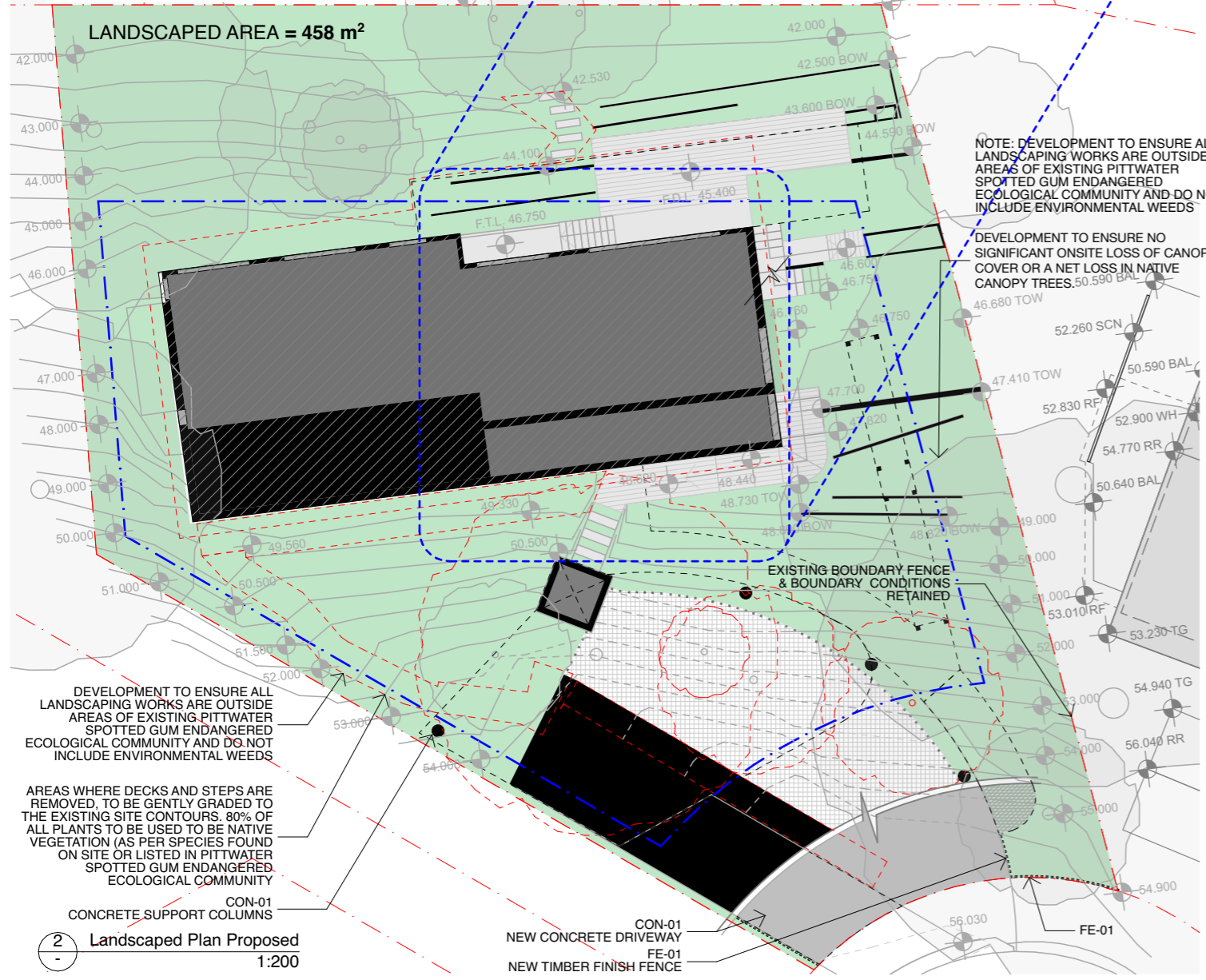
NOTE: REFER TO DA 601

LANDSCAPE AREA CALCULATIONS
 DCP REQUIRED LANDSCAPED AREA = >60%

SURVEYED SITE AREA - 791m²

PROPOSED LANDSCAPED AREA = 458m² + 16m² Roof Garden (474m²)

NOTE: BESIDES THE GREEN ROOF, THE ONLY PLANTING PROPOSED IS WHERE STEPS & DECKS ARE REMOVED. ANY PLANTS USED ARE TO HAVE AT LEAST 80% NATIVE VEGETATION, AS PER SPECIES FOUND ON THE SITE OR LISTED IN PITTWATER SPOTTED GUM ENDANGERED ECOLOGICAL COMMUNITY.



GF-01
 NEW GREEN ROOF PLANTING- 80% OF ALL PLANTS TO BE USED IN GREEN ROOF TO BE NATIVE VEGETATION (AS PER SPECIES FOUND ON SITE OR LISTED IN PITTWATER SPOTTED GUM ENDANGERED ECOLOGICAL COMMUNITY)

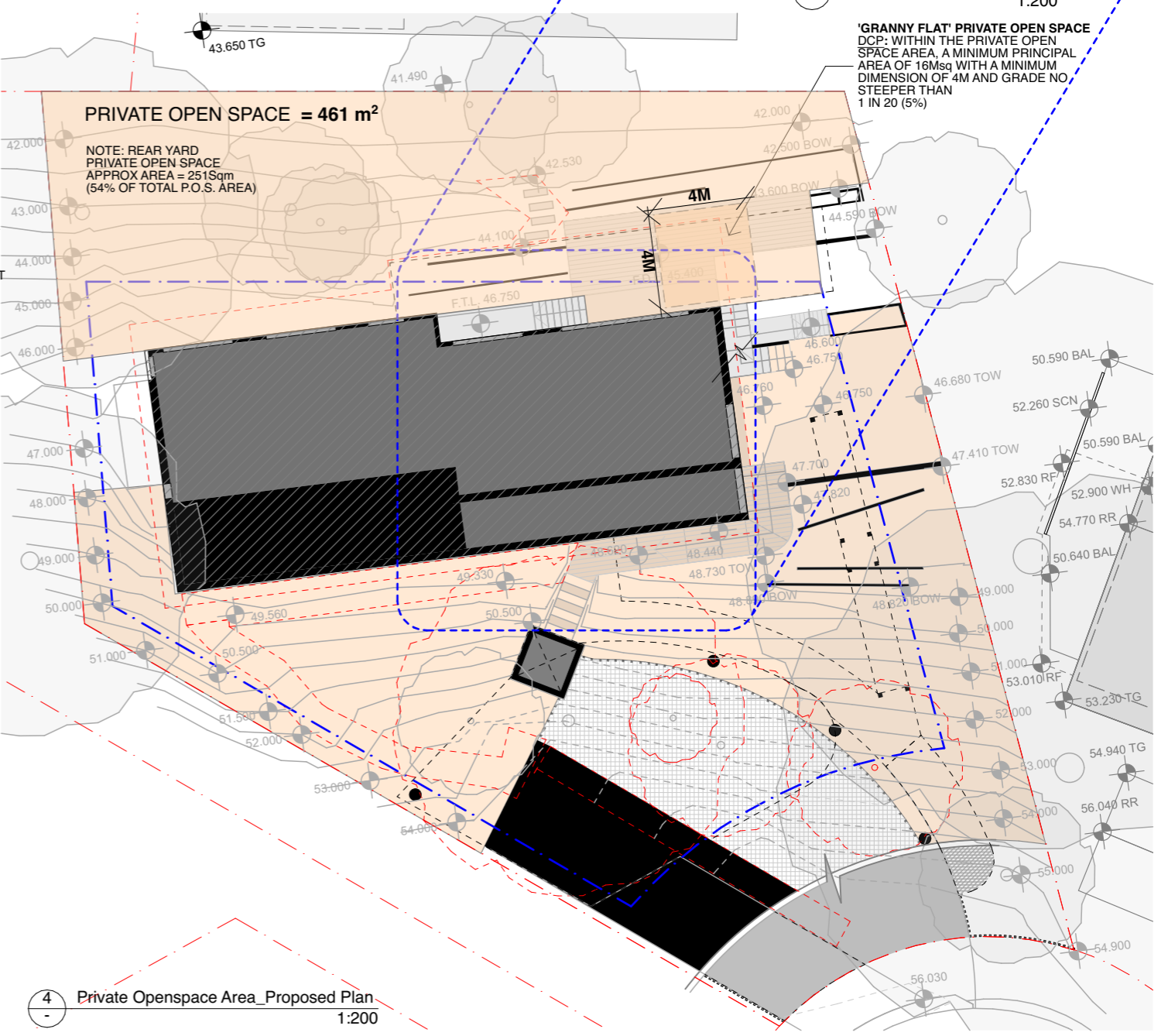
1 Extract - Roof Plan Proposed 1:200

PRIVATE OPEN SPACE AREA CALCULATIONS

SURVEYED SITE AREA - 791m²

NOTE: DCP: MINIMUM 80M² OF PRIVATE OPEN SPACE PER DWELLING AT GROUND LEVEL, WITH NO DIMENSION LESS THAN 3 METRES. NO MORE THAN 75% OF THIS PRIVATE OPEN SPACE IS TO BE PROVIDED IN THE FRONT YARD.

PRIVATE OPEN SPACE AREA = 461m² 54%(251M²) TO REAR



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A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104

CLIENTS
GEORGE AND KATHY CASHA

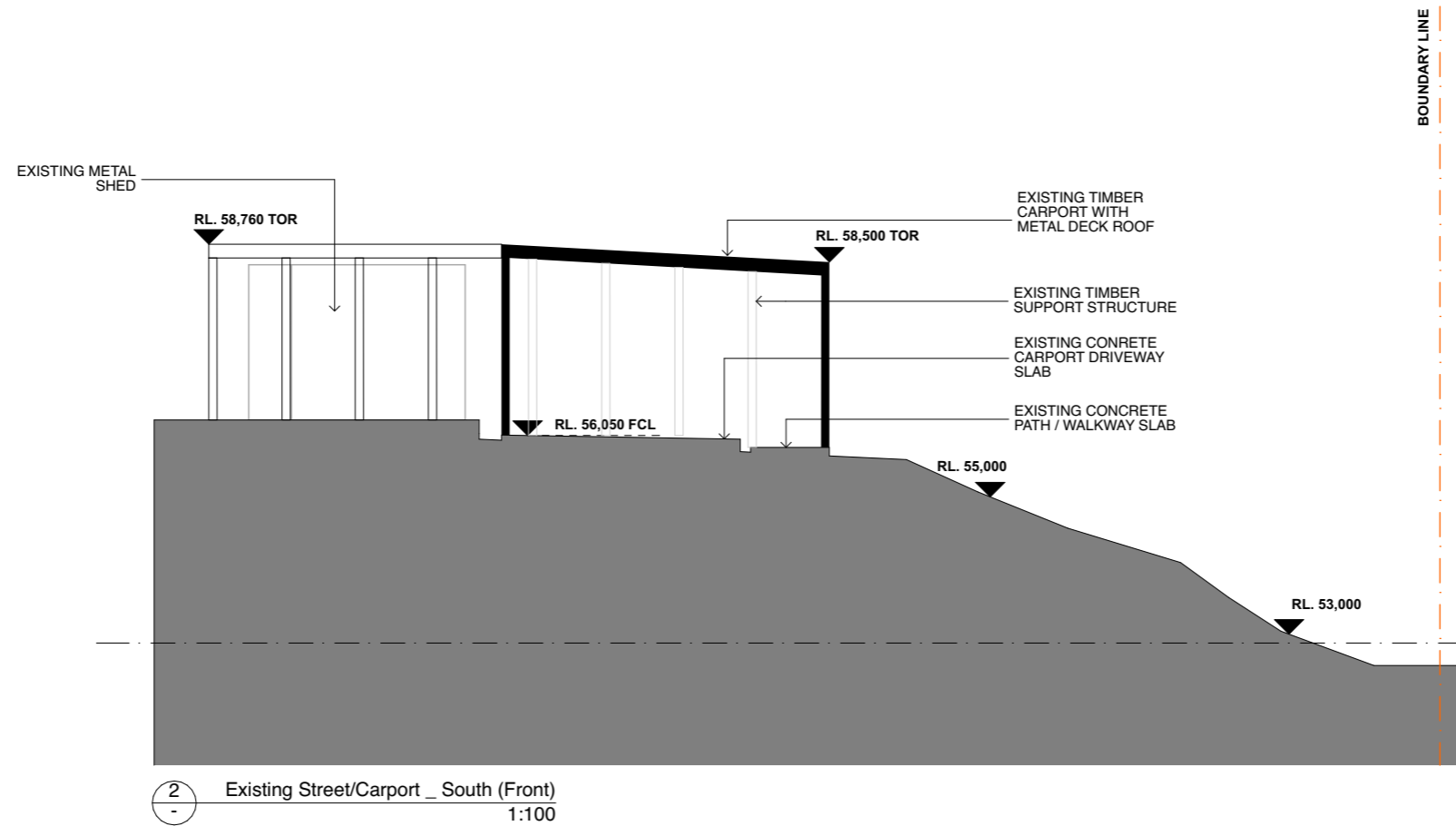
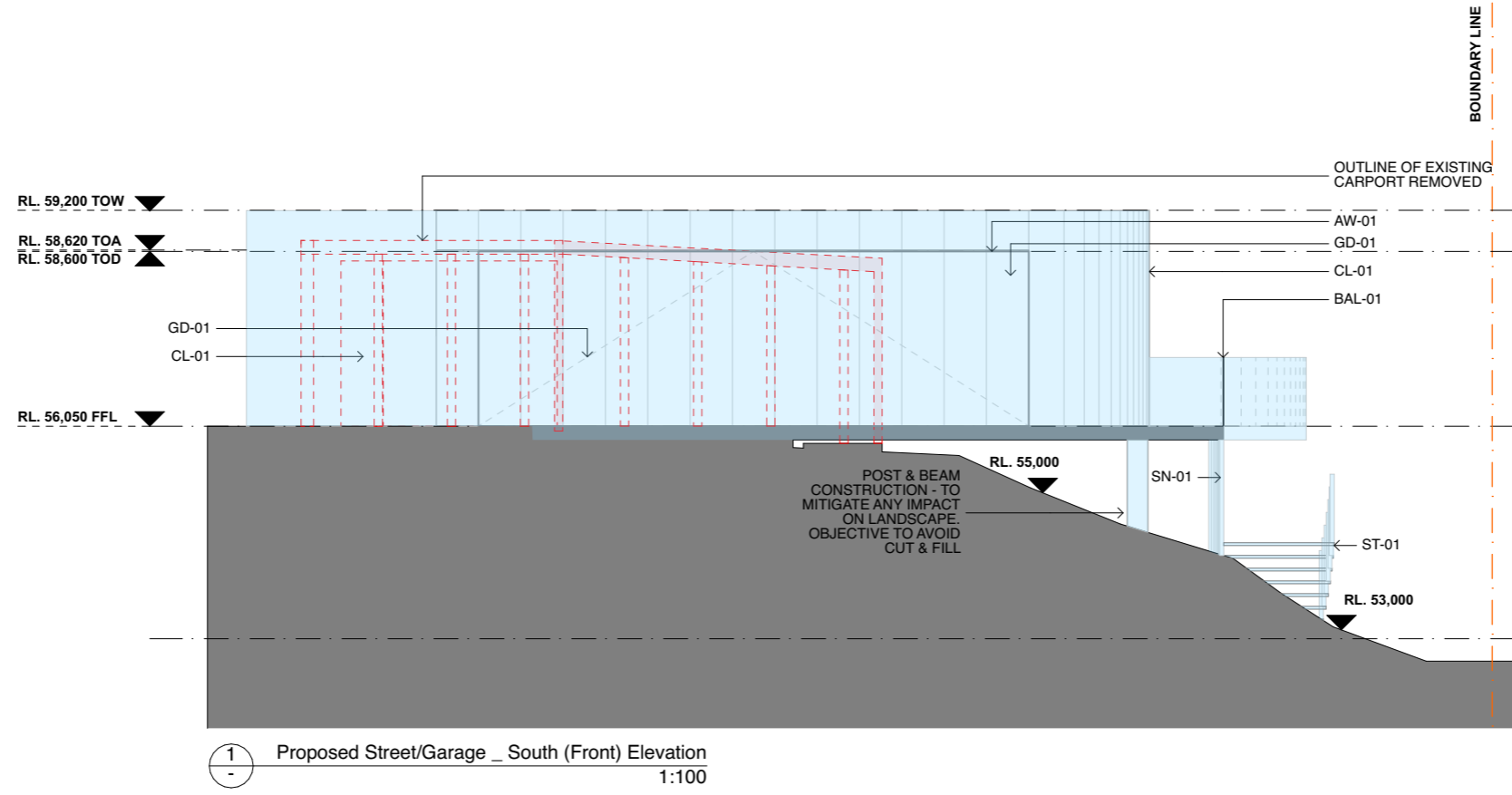
PROJECT NUMBER: **2401** | PLOT DATE: | DRAWN: **LOS / EH EH** | CHECKED: | SHEET SCALE: | SHEET SIZE: **A3** | SHEET NUMBER: | ISSUE: **DA106 L**

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



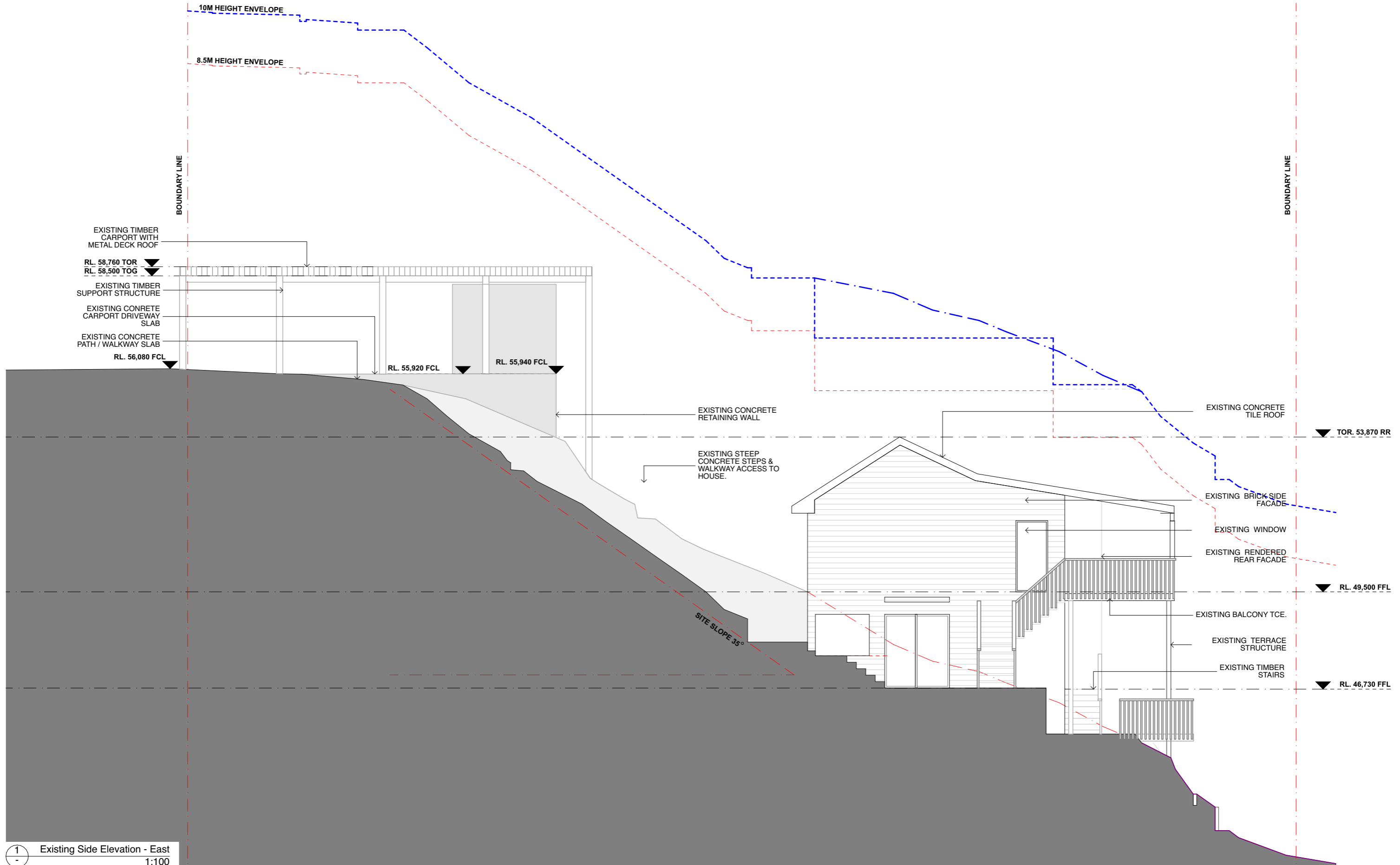
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ISSUE	DATE	DESCRIPTION			ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
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J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH	SHEET TITLE SECTIONAL ELEVATIONS - SHEET 1	
CLIENTS GEORGE AND KATHY CASHA						
PROJECT NUMBER 2401	PLOT DATE	DRAWN LOS / EH	CHECKED EH	SHEET SCALE	SHEET SIZE A3	SHEET NUMBER DA201
						ISSUE L



1 Existing Side Elevation - East
1:100

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ISSUE	DATE	DESCRIPTION	K	L	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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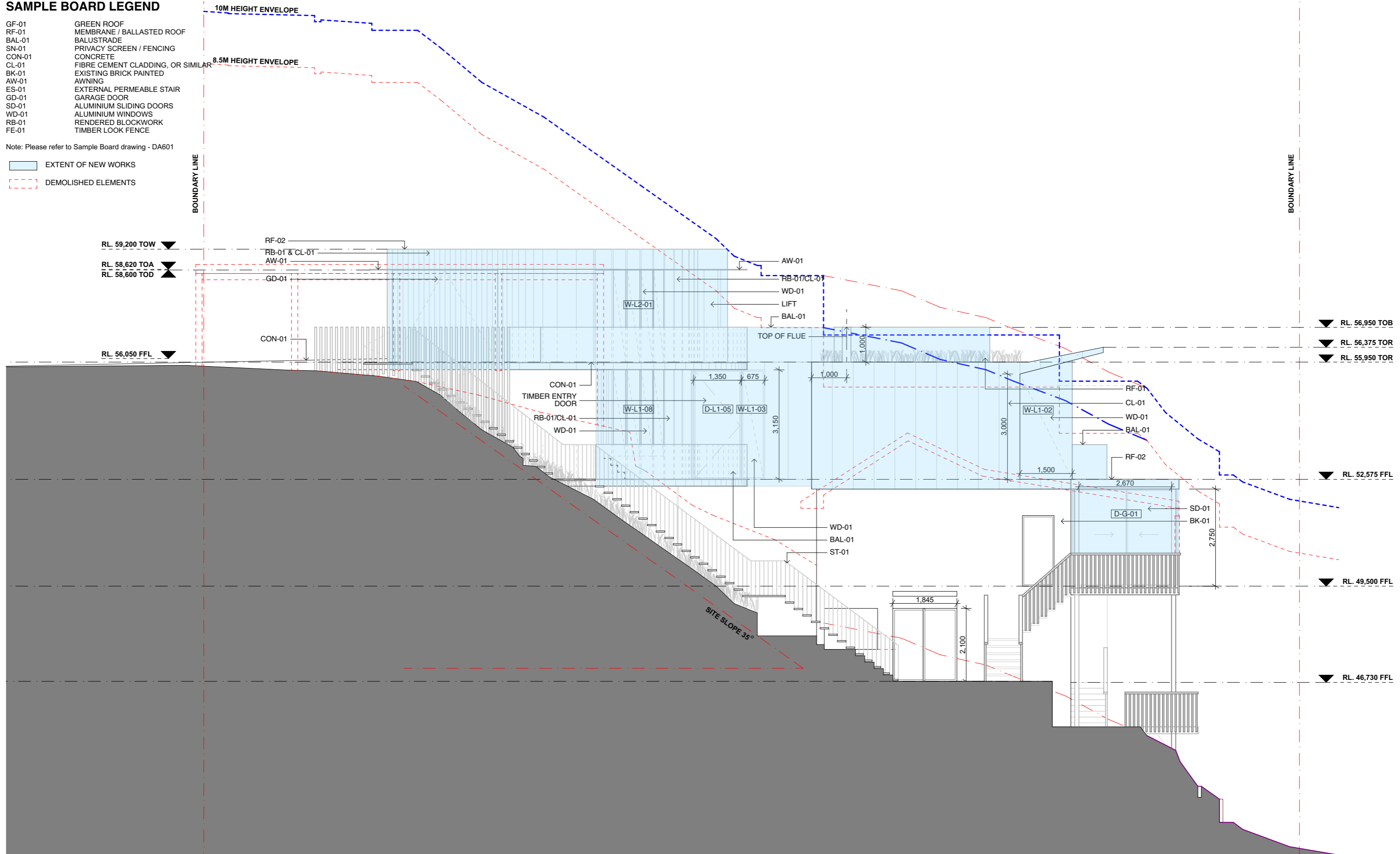
PROJECT: CONCEPT DESIGN - LOT 39 DP204996				NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104						SECTIONAL ELEVATIONS - SHEET 2	
CLIENTS GEORGE AND KATHY CASHA							
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	ISSUE
2401		LOS / EH	EH		A3		DA202 L

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



1 Proposed Side Elevation - East
1:100

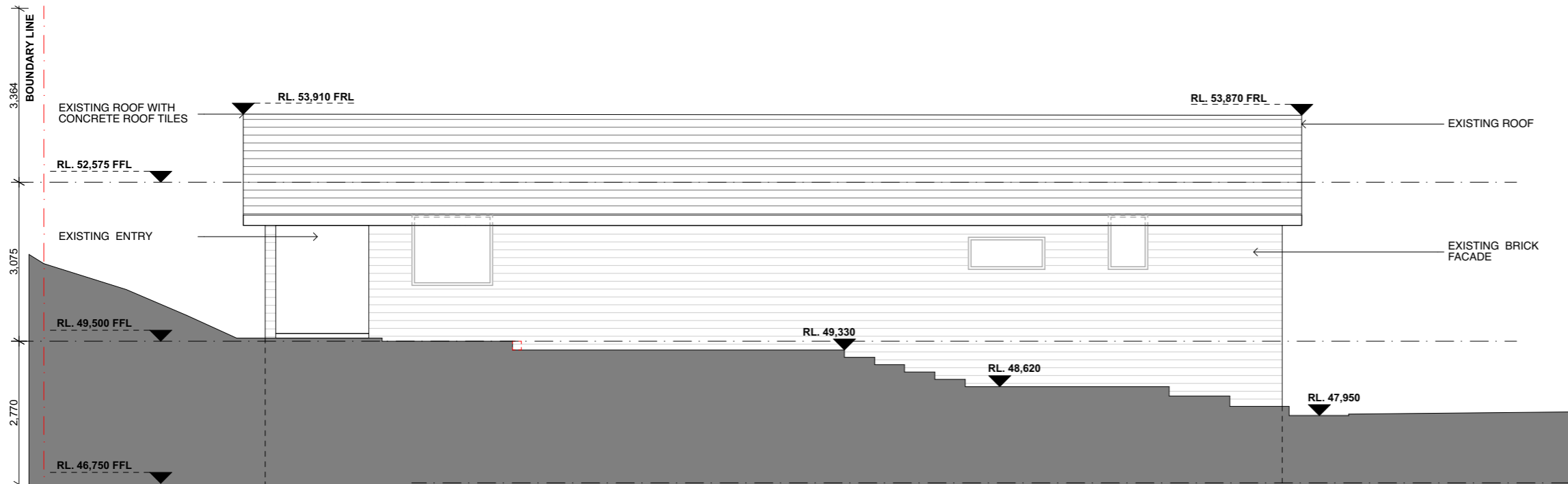
ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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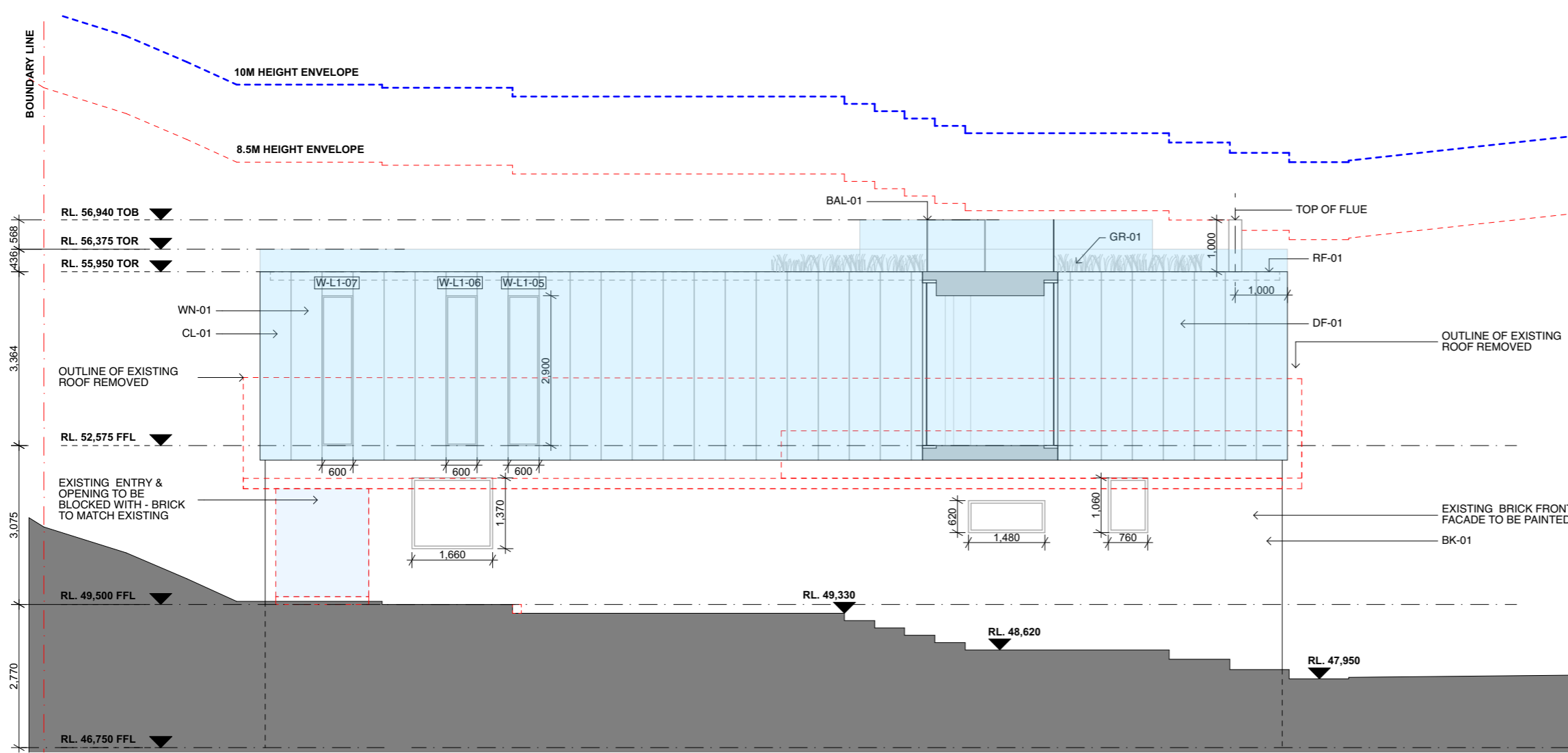
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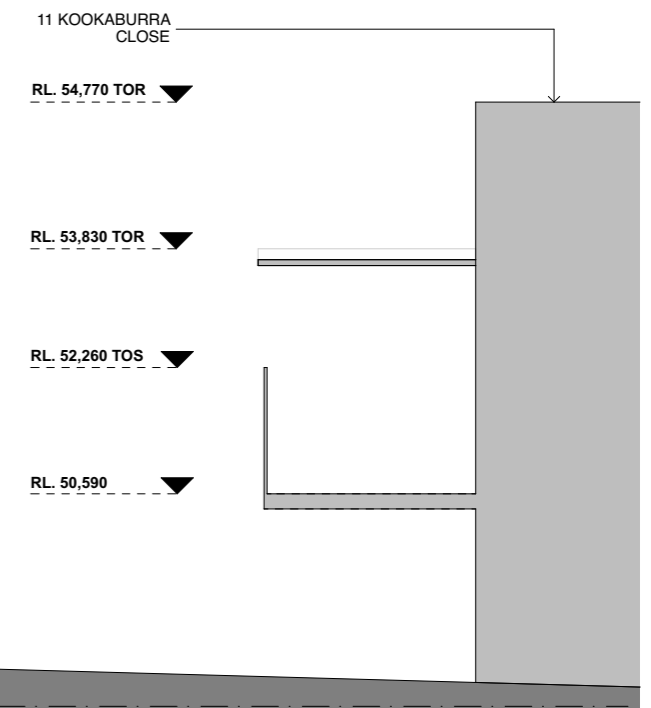
PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE SECTIONAL ELEVATIONS - SHEET 3	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		ISSUE	
				LOS / EH EH		DA203 L	
				CHECKED		SHEET SCALE	
						SHEET SIZE	
						A3	



1 Existing Elevation - South
1:100



2 Proposed Elevation - South
1:100

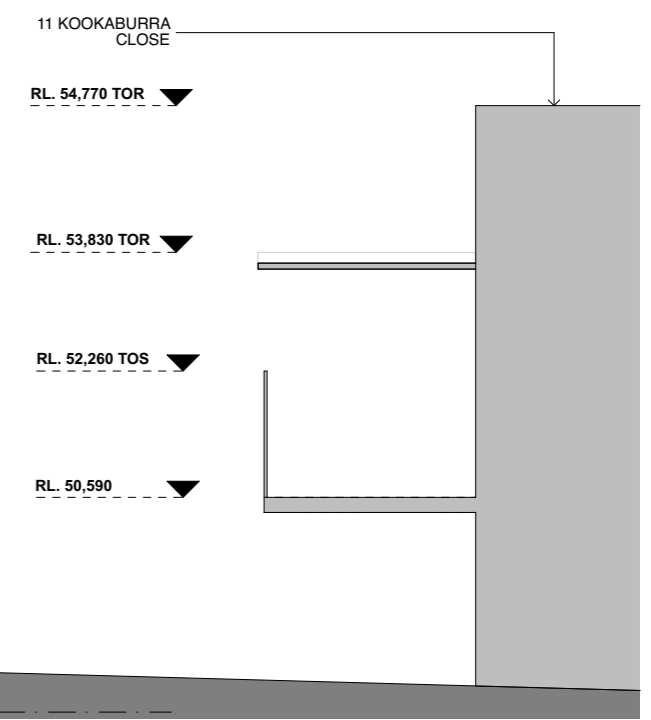


SAMPLE BOARD LEGEND

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- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
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- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



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H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

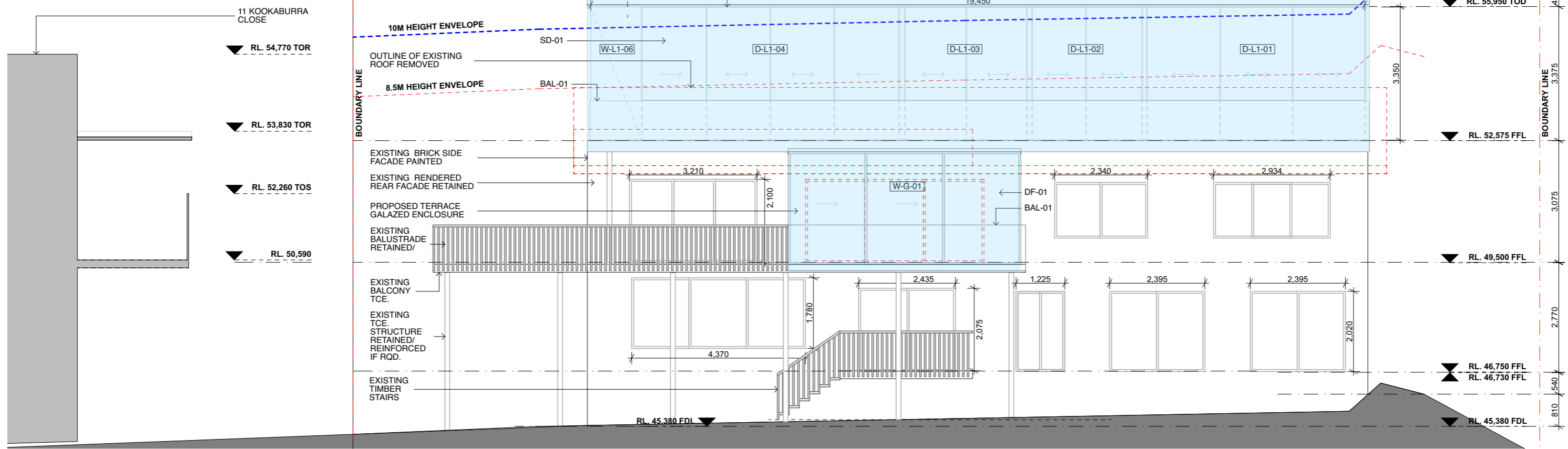
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SECTIONAL ELEVATIONS - SHEET 4	
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
				SHEET NUMBER	ISSUE
				DA204	L



2 Existing Elevation - North
1:100



1 Proposed Elevation - North
1:100

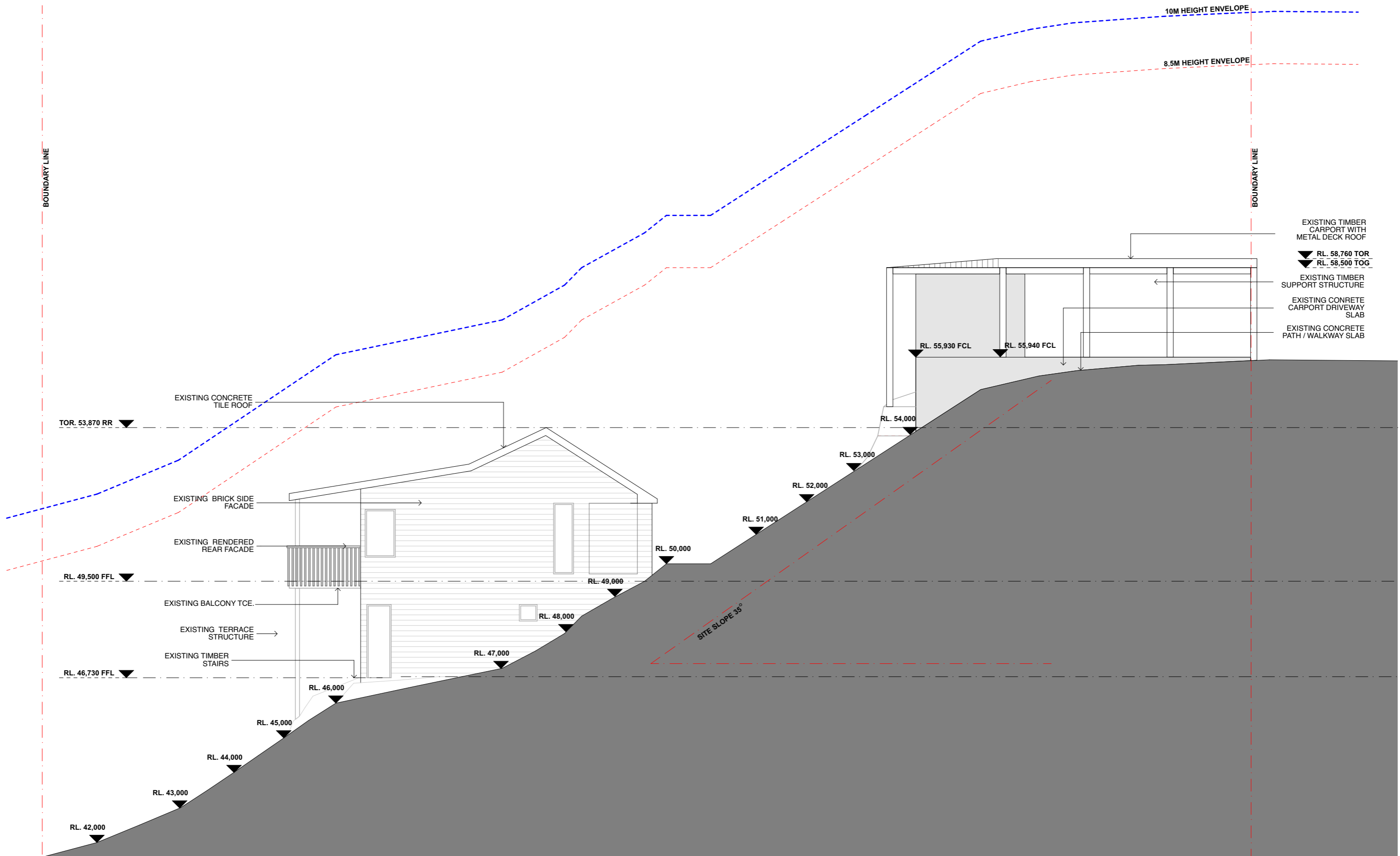
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B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				SECTIONAL ELEVATIONS - SHEET 5	
CLIENTS					
GEORGE AND KATHY CASHA					
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
				SHEET NUMBER	ISSUE
				DA205	L



1 Existing Side Elevation - West
1:100

ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
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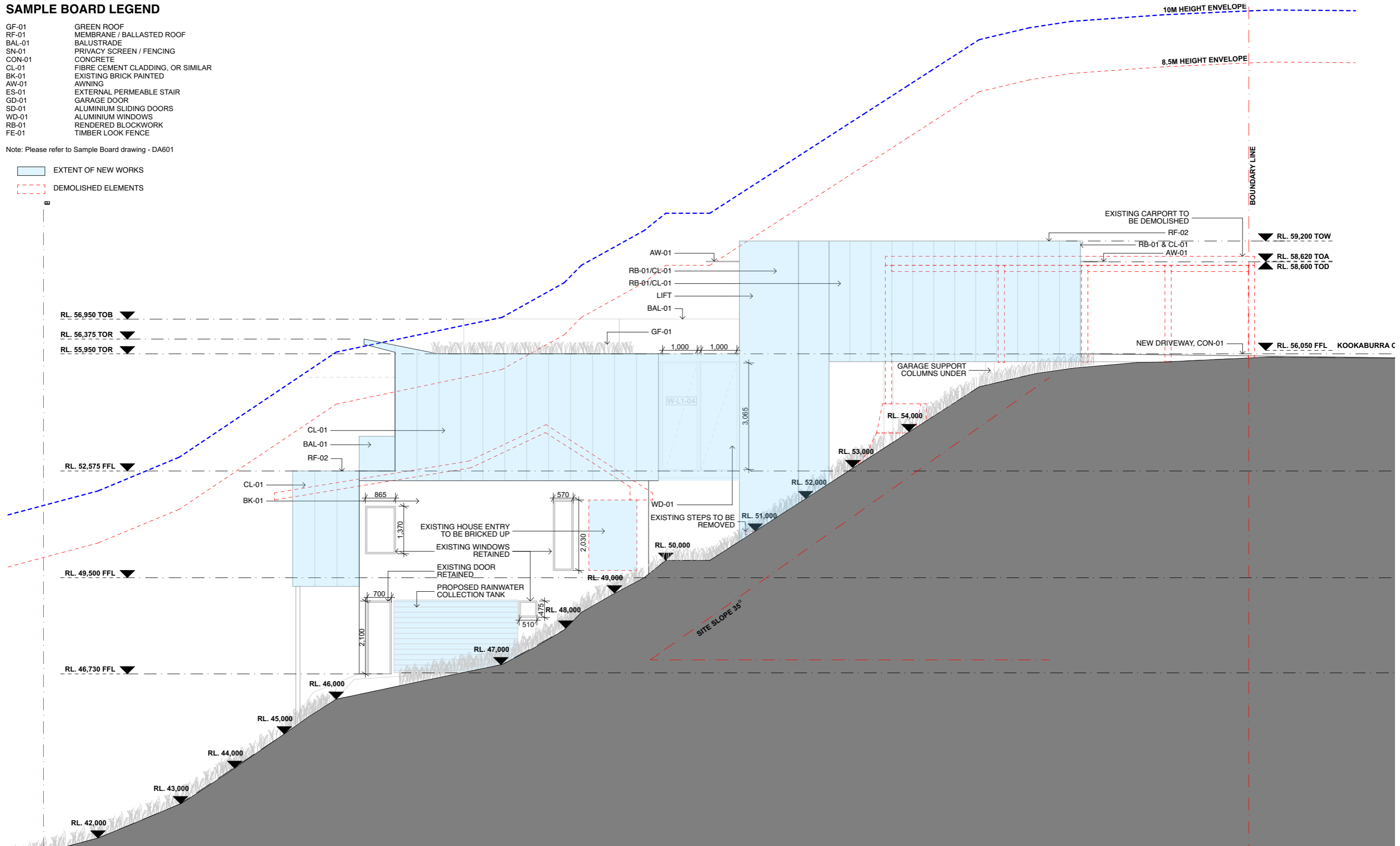
PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH	SHEET TITLE SECTIONAL ELEVATIONS - SHEET 6	
CLIENTS GEORGE AND KATHY CASHA						
PROJECT NUMBER 2401	PLOT DATE	DRAWN LOS / EH	CHECKED EH	SHEET SCALE	SHEET SIZE A3	ISSUE DA206 L
				SHEET NUMBER		

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
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- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK
- FE-01 TIMBER LOOK FENCE

Note: Please refer to Sample Board drawing - DA601

- EXTENT OF NEW WORKS
- DEMOLISHED ELEMENTS



1 Proposed Side Elevation - West
1:100

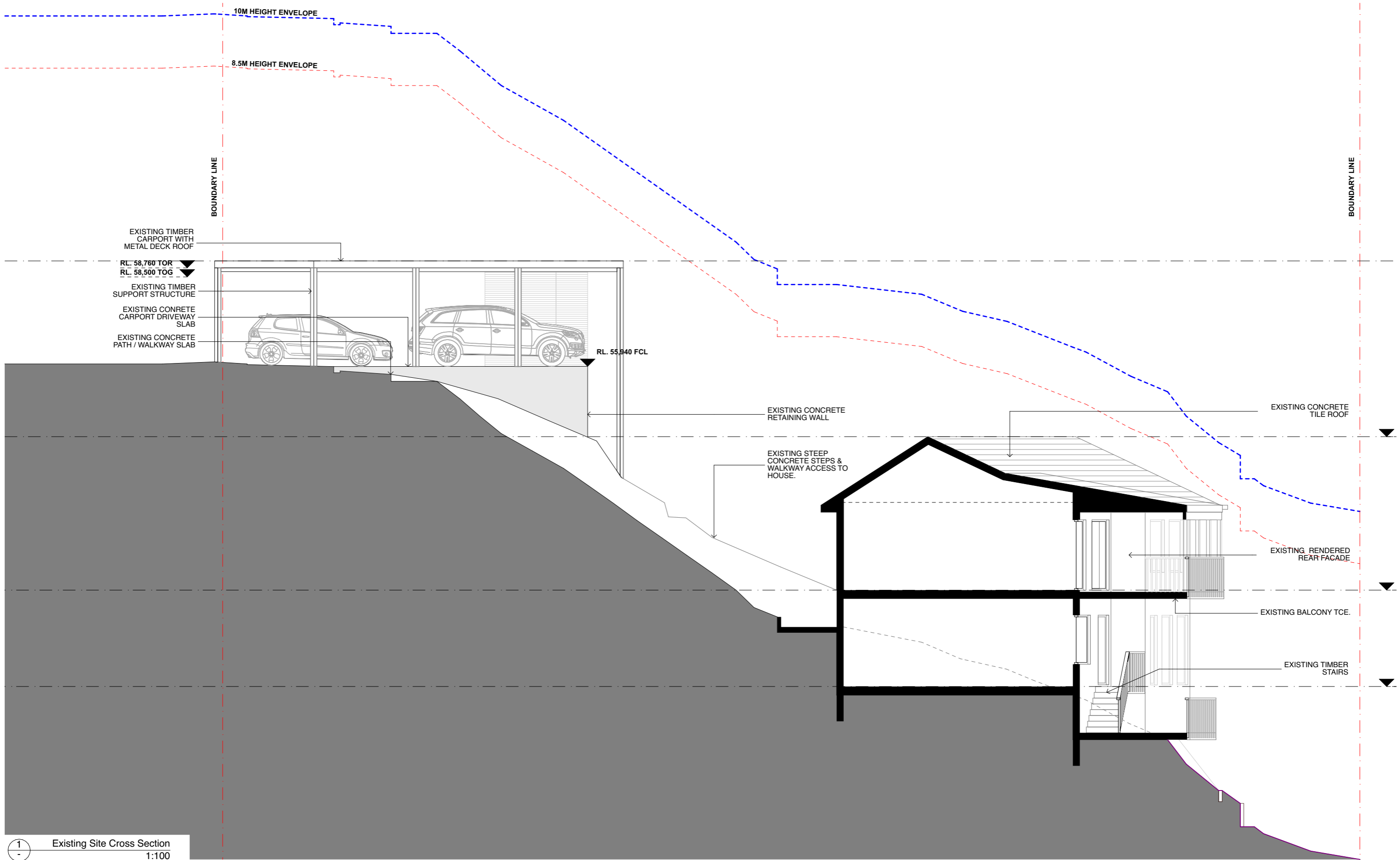
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH	SHEET TITLE SECTIONAL ELEVATIONS - SHEET 7
CLIENTS GEORGE AND KATHY CASHA					
PROJECT NUMBER 2401	PLOT DATE	DRAWN LOS / EH	CHECKED EH	SHEET SCALE	SHEET SIZE A3
					SHEET NUMBER DA207
					ISSUE L



1 Existing Site Cross Section
1:100

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A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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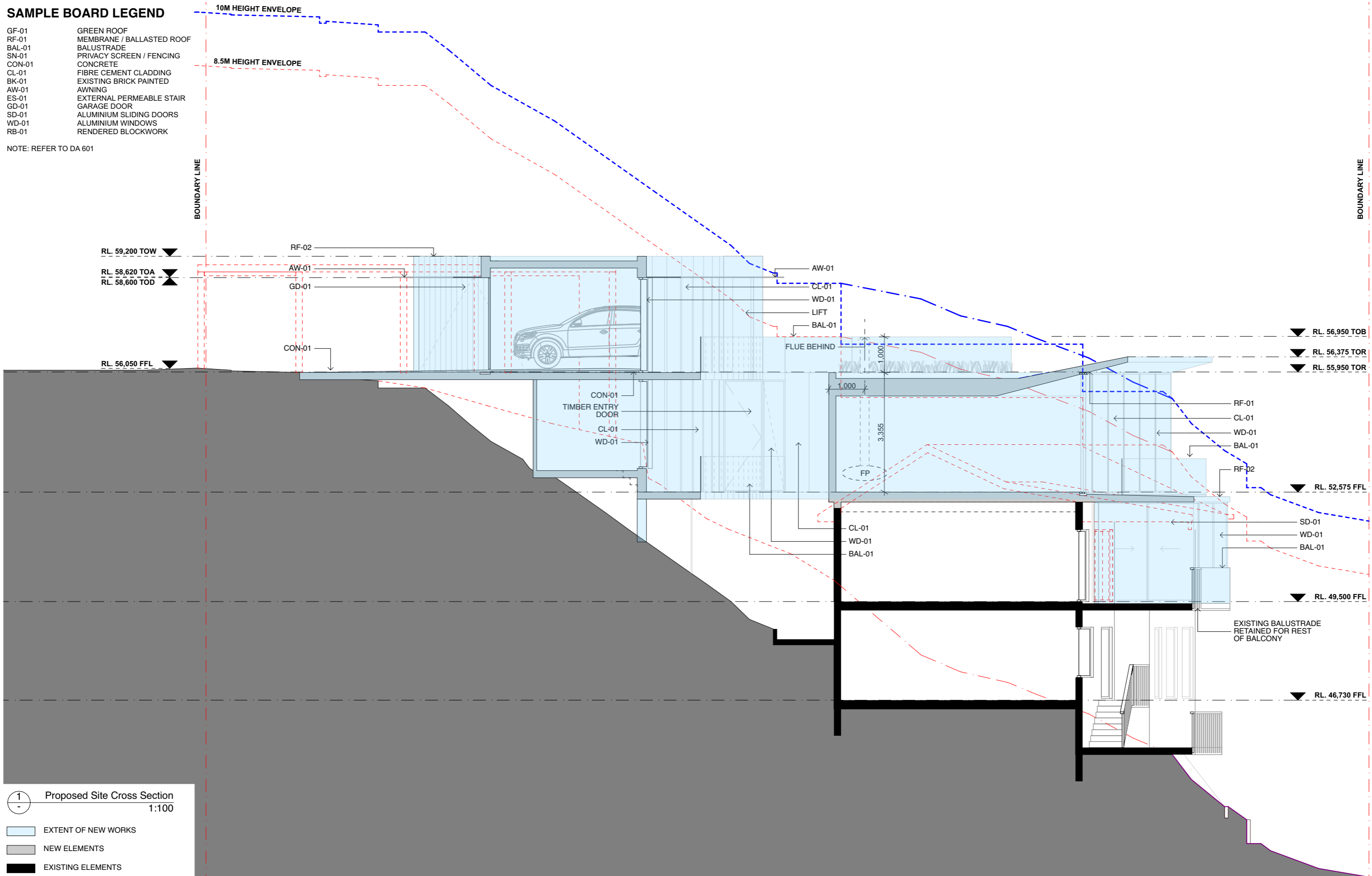
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE SITE CROSS SECTION - EXISTING	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		ISSUE	
				LOS / EH EH		DA301 L	
				SHEET SCALE		SHEET SIZE	
						A3	

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED BLOCKWORK

NOTE: REFER TO DA 601



1 Proposed Site Cross Section
1:100

- EXTENT OF NEW WORKS
- NEW ELEMENTS
- EXISTING ELEMENTS
- DEMOLISHED ELEMENTS

ISSUE	DATE	DESCRIPTION	BY	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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PROJECT: CONCEPT DESIGN - LOT 39 DP204996		10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104		NORTH	SHEET TITLE
CLIENTS		GEORGE AND KATHY CASHA		SITE CROSS SECTION - PROPOSED	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE
2401		LOS / EH	EH		A3
					SHEET NUMBER
					ISSUE
					DA302 L

SAMPLE BOARD LEGEND

- GF-01 GREEN ROOF
- RF-01 MEMBRANE / BALLASTED ROOF
- BAL-01 BALUSTRADE
- SN-01 PRIVACY SCREEN / FENCING
- CON-01 CONCRETE
- CL-01 FIBRE CEMENT CLADDING, OR SIMILAR
- BK-01 EXISTING BRICK PAINTED
- AW-01 AWNING
- ES-01 EXTERNAL PERMEABLE STAIR
- GD-01 GARAGE DOOR
- SD-01 ALUMINIUM SLIDING DOORS
- WD-01 ALUMINIUM WINDOWS
- RB-01 RENDERED CONCRETE BLOCK
- FE-01 TIMBER LOOK FENCE



GF-01 - GREEN ROOF



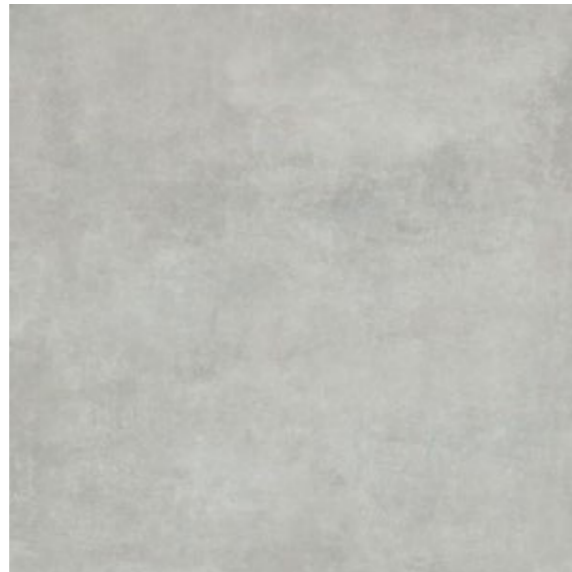
RF-01 - MEMBRANE / BALLASTED ROOF



BAL-01 - GLASS BALUSTRADE



SN-01 - SCREEN / FENCE - TIMBER LOOK



CON-01 - CONCRETE



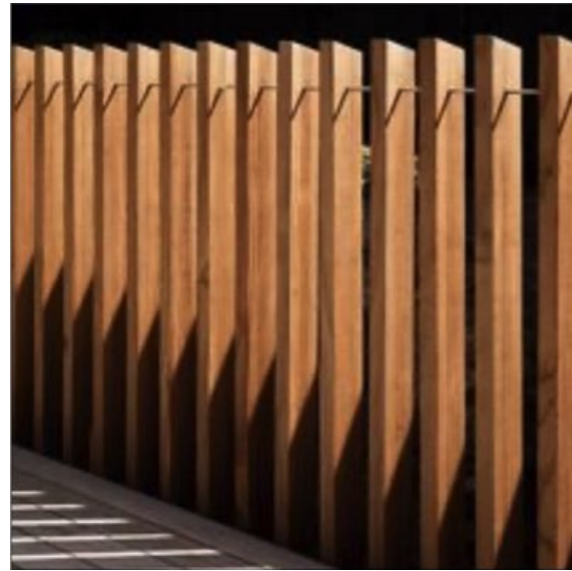
CL-01 - FIBRE CEMENT CLADDING / OR SIM.



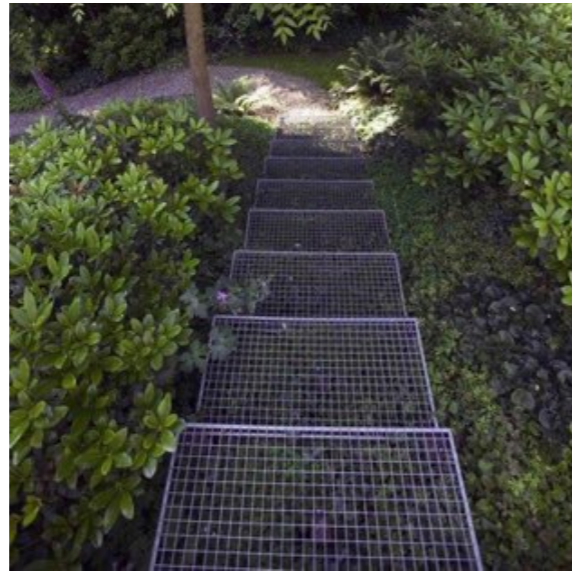
BK-01 - EXISTING BRICK PAINTED



AW-01 - SOLAR / WEATHER AWNING



FE-01 - TIMBER LOOK FENCE



ES-01 - EXTERNAL PERMEABLE STAIRS



GD-01 - GARAGE DOOR



SD-01 - ALUMINIUM SLIDING DOORS



WD-01 - ALUMINIUM WINDOWS
RB-01 - RENDERED CONCRETE BLOCK

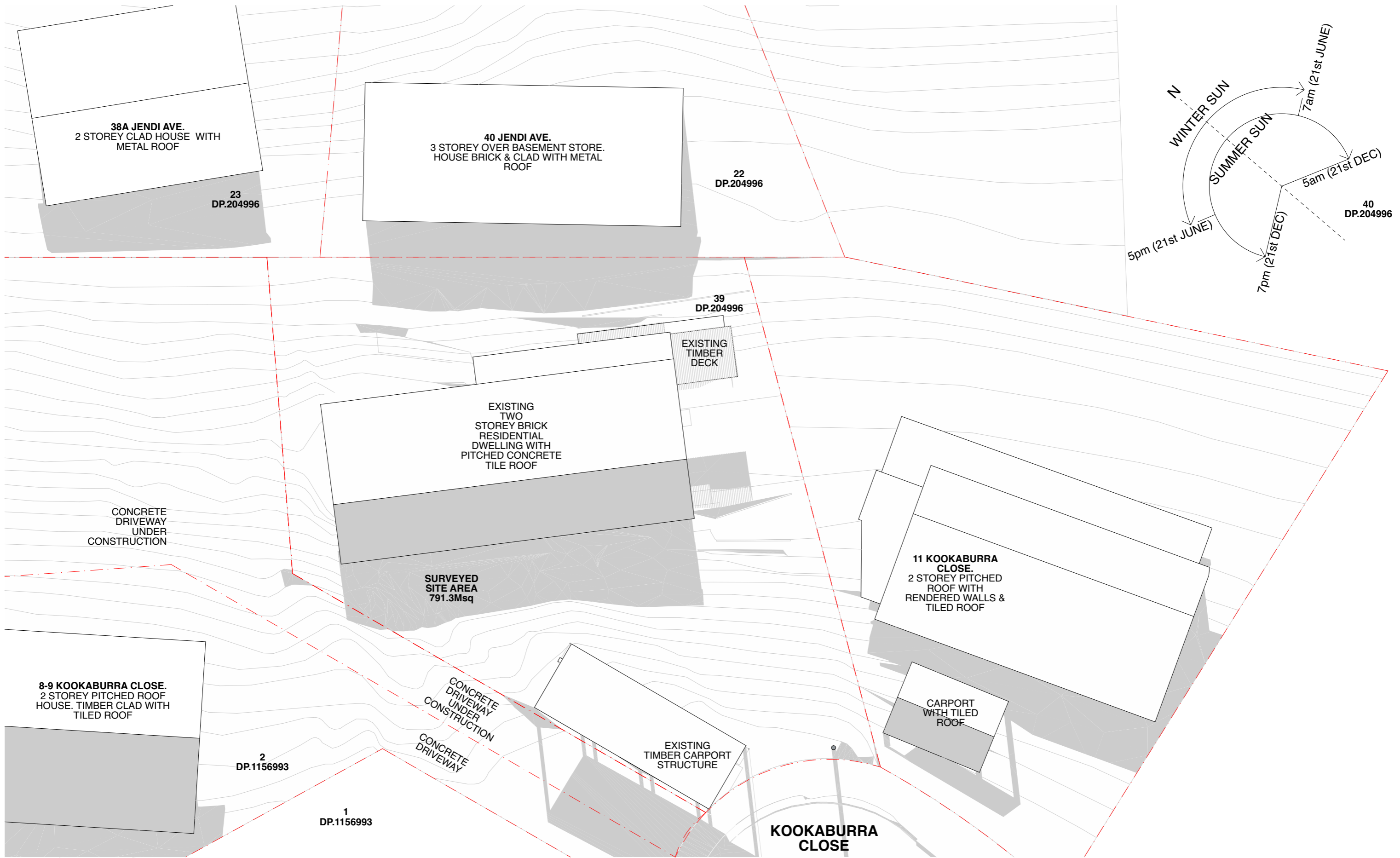
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE FINISHES SCHEDULE	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		ISSUE	
				CHECKED		A3	
				SHEET SCALE		DA601 L	
		LOS / EH EH		SHEET SIZE			



1 EXISTING SHADOW DIAGRAM_JUNE 21_9AM
1:200

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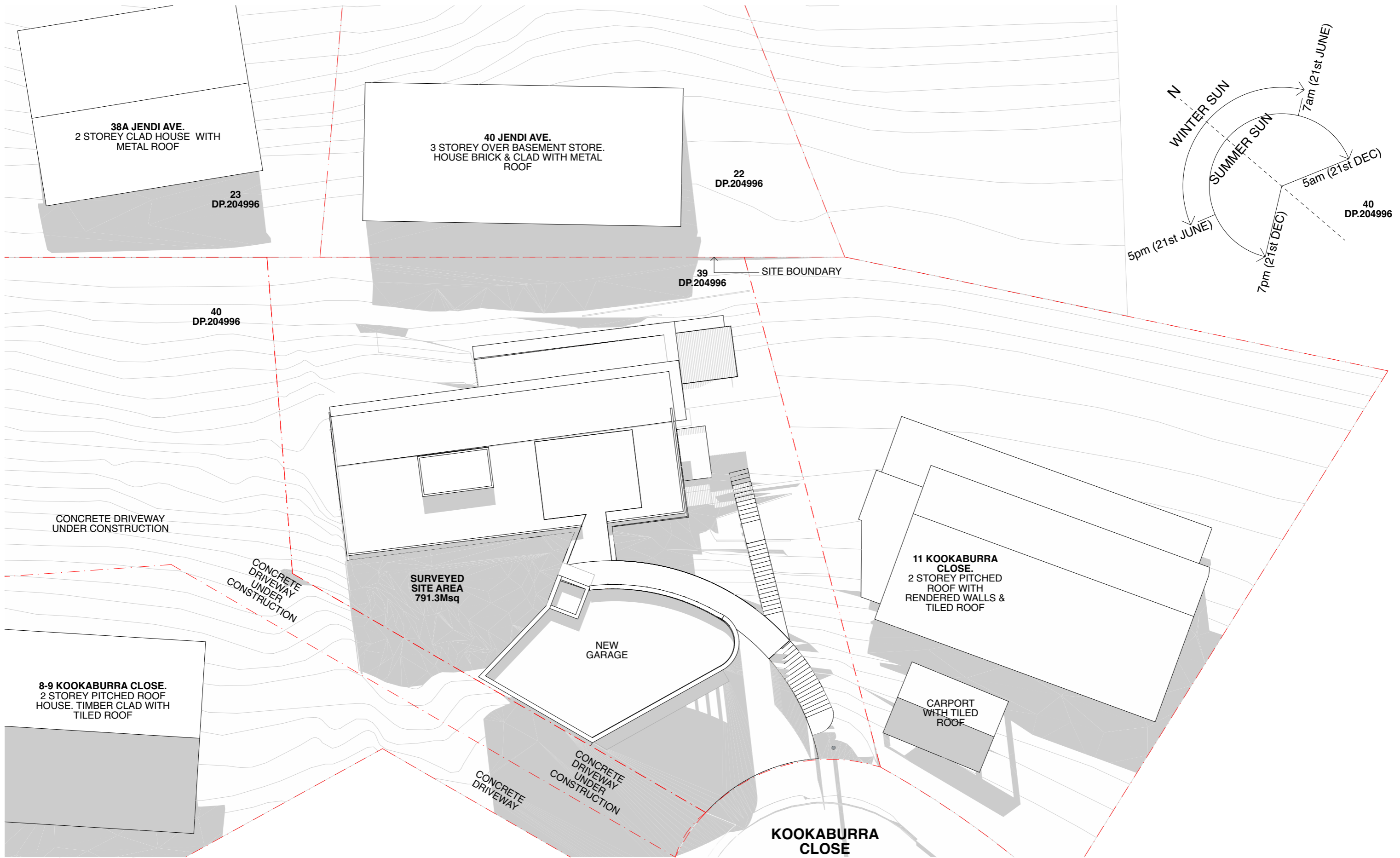
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
2401		LOS / EH	EH	

NORTH
SHEET SIZE
A3

SHEET TITLE
EXISTING SHADOW DIAGRAM - 9AM - JUNE 21
CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438
SHEET NUMBER
DA602.1
ISSUE
L



1 PROPOSED SHADOW DIAGRAM_JUNE 21_9AM
1:200

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10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104

CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH		A3	



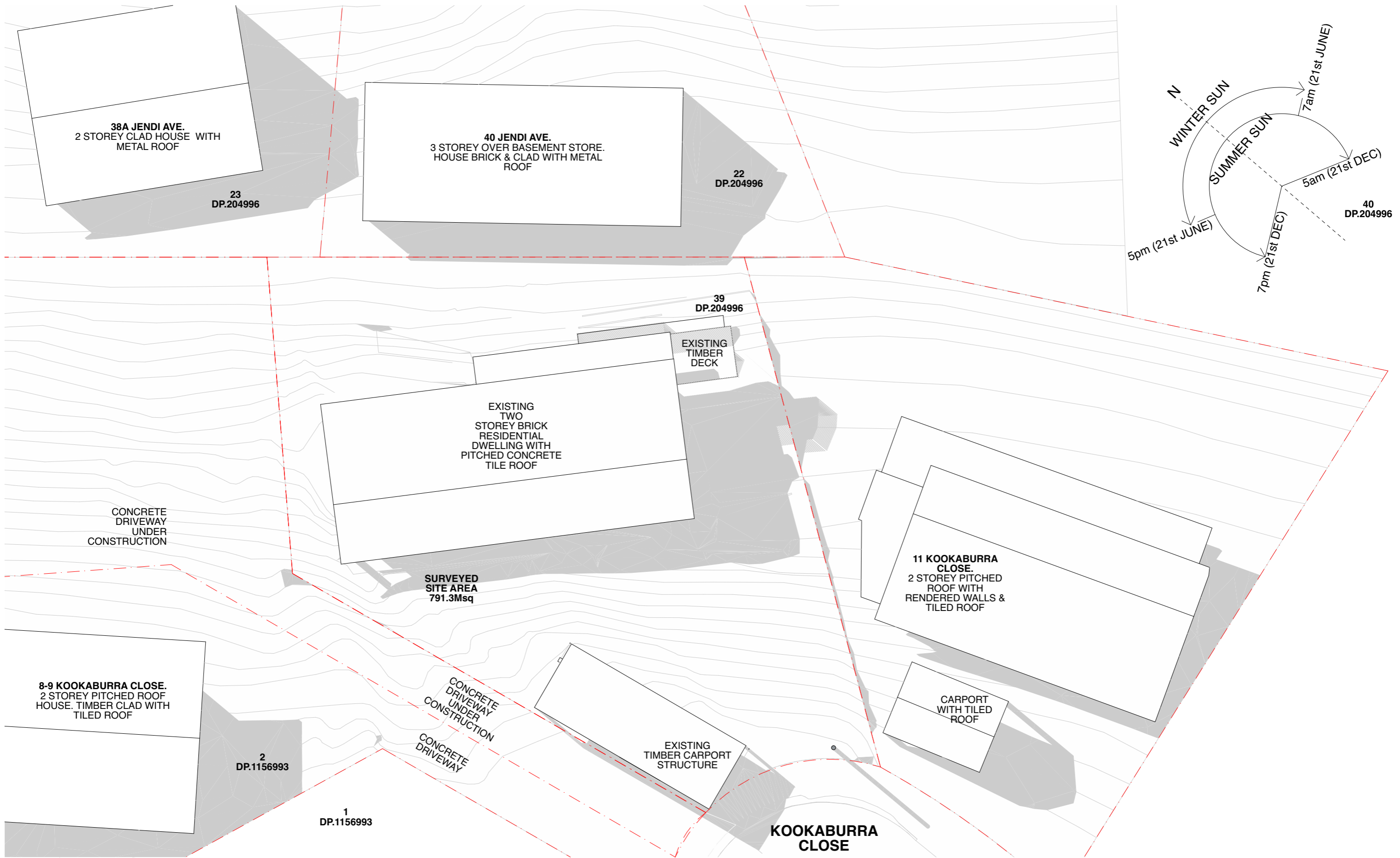
SHEET SIZE
A3

SHEET TITLE
PROPOSED SHADOW DIAGRAM - 9AM - JUNE
CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438

SHEET NUMBER

ISSUE

DA602.2 L



1 - EXISTING SHADOW DIAGRAM_JUNE 21_12PM
1:200

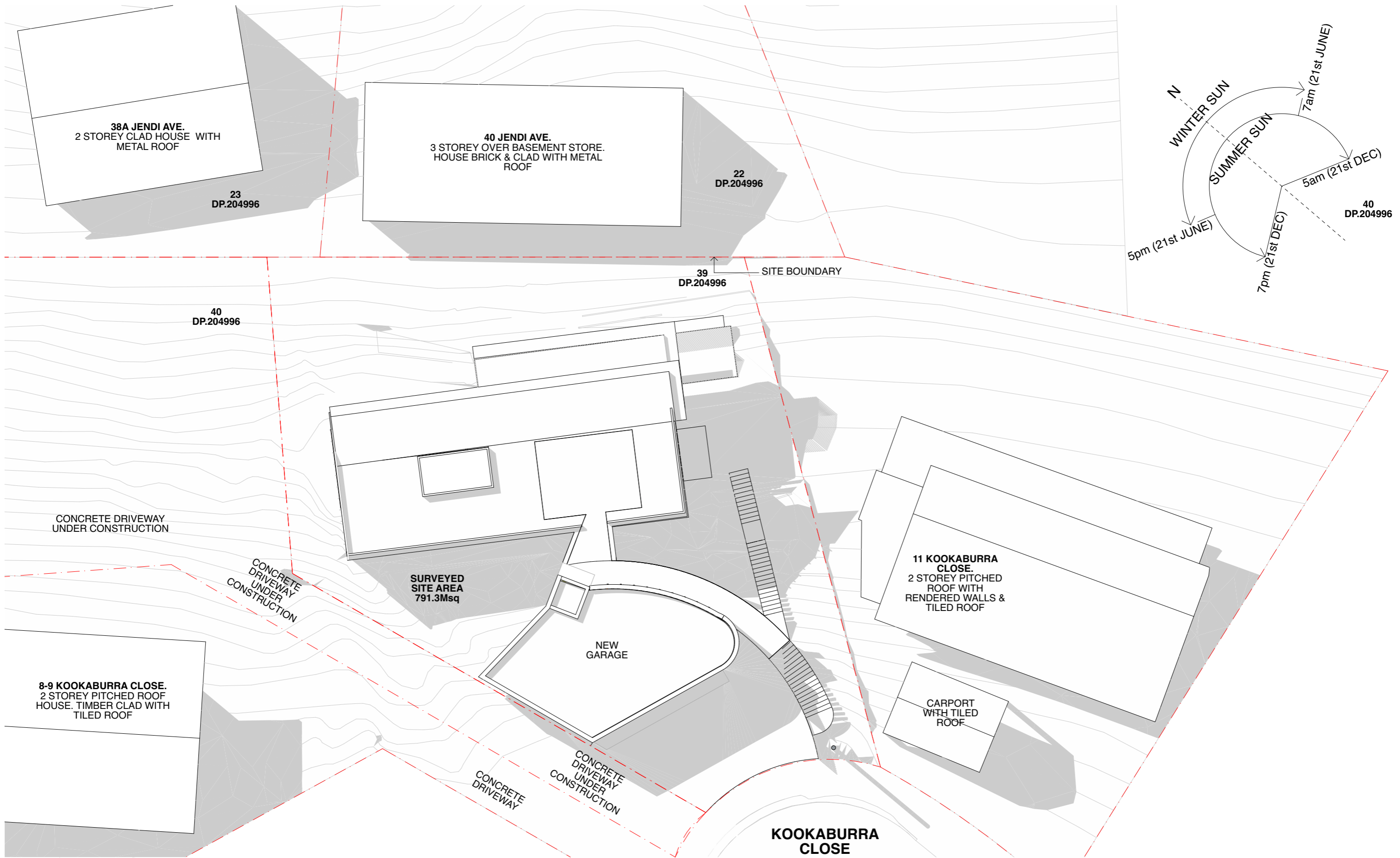
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996				NORTH		SHEET TITLE	
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104						EXISTING SHADOW DIAGRAM - 12PM - JUNE 21	
CLIENTS GEORGE AND KATHY CASHA						CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438	
PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER	
2401		LOS / EH	EH		A3	ISSUE	
						DA603.1 L	



1 PROPOSED SHADOW DIAGRAM_JUNE 21_12PM
1:200

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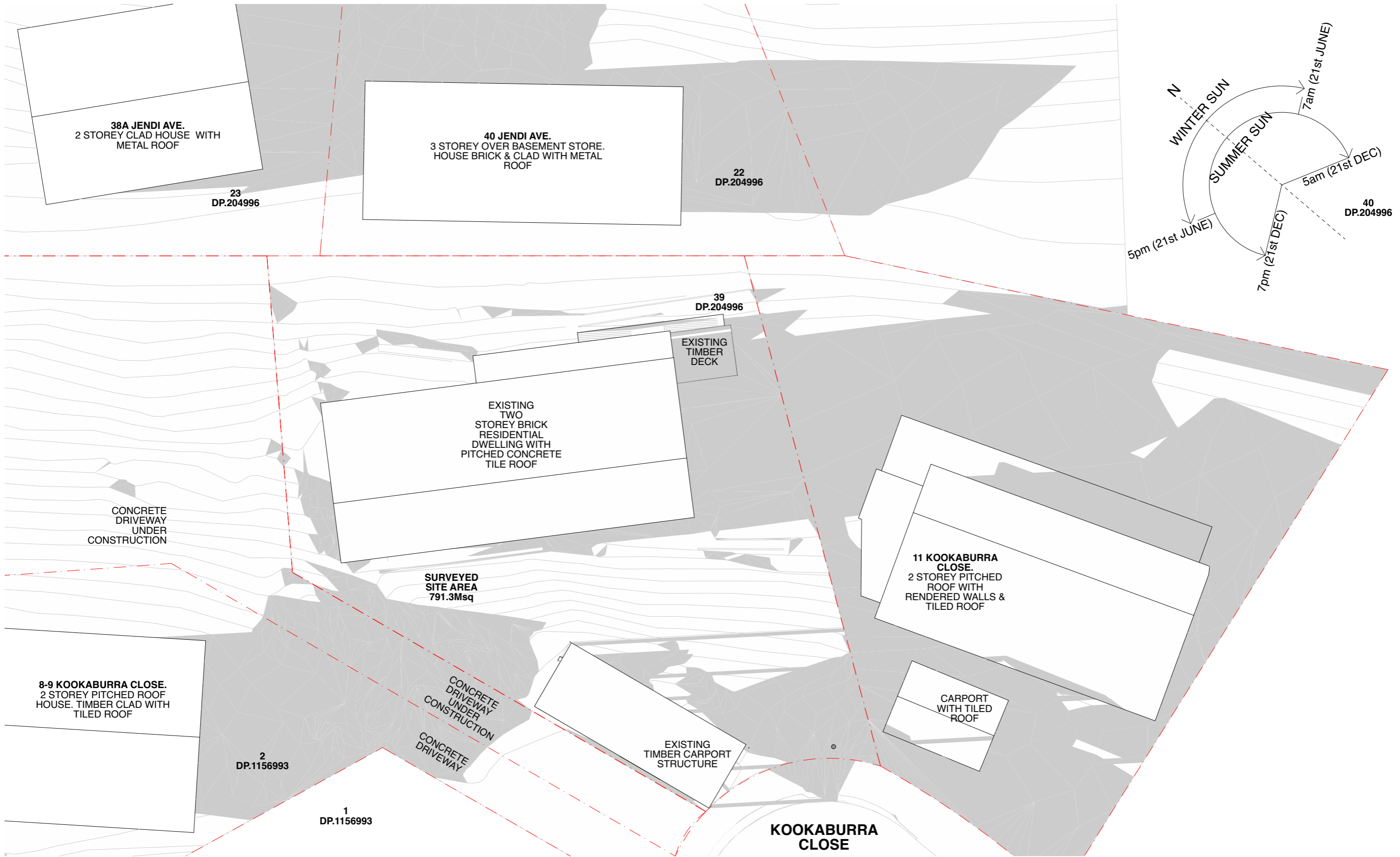
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
2401		LOS / EH	EH	

NORTH
SHEET SIZE
A3

SHEET TITLE
PROPOSED SHADOW DIAGRAM - 12PM - JUNE 21
CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438
SHEET NUMBER
DA603.2
ISSUE
L



1 EXISTING SHADOW DIAGRAM_JUNE 21_3PM
1:200

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ISSUE	DATE	DESCRIPTION	K	L	DATE	ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K		21.08.24	WIP ISSUE
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H	01.08.24	WIP ISSUE				
J	09.08.24	WIP ISSUE				

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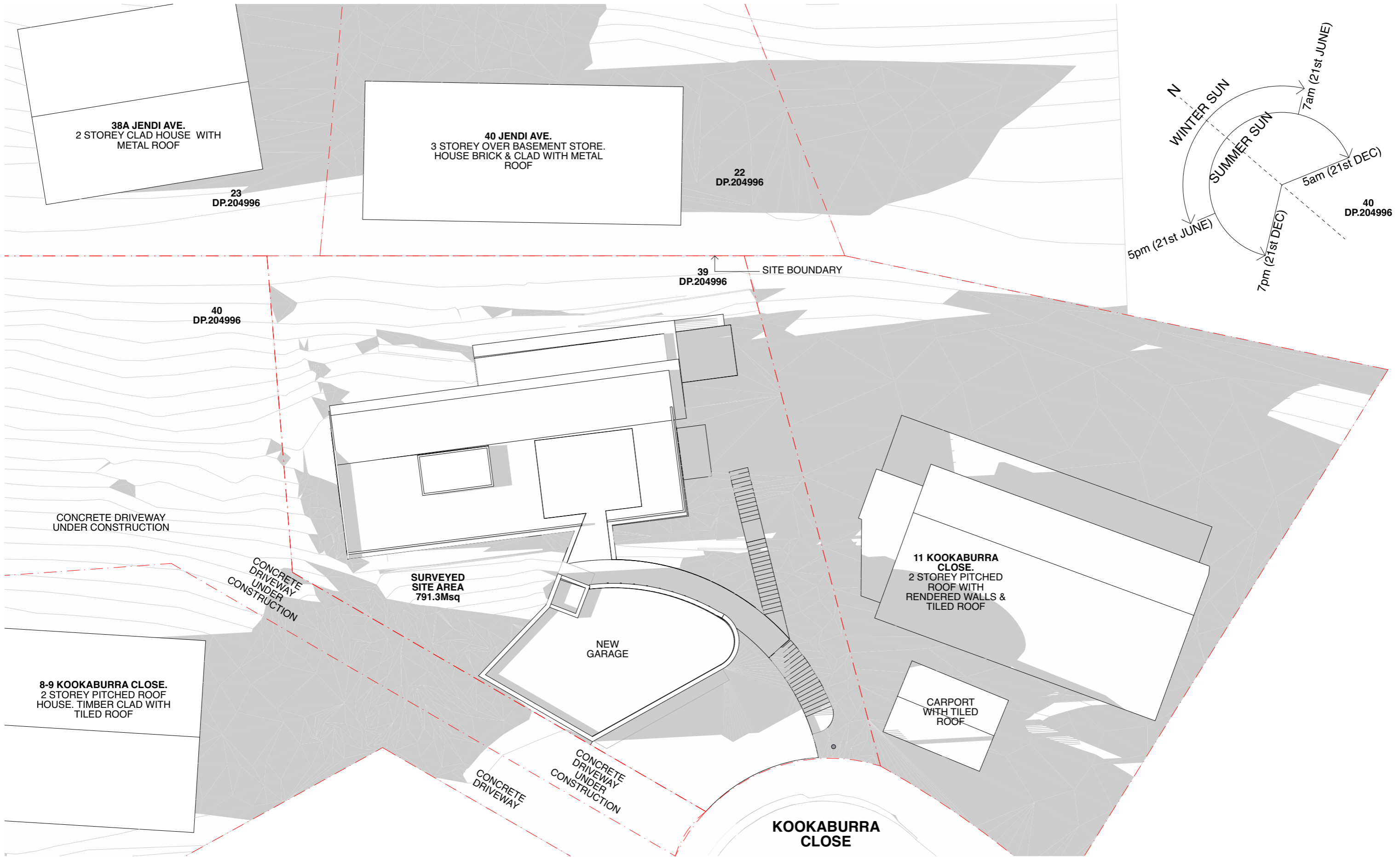
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE
2401		LOS / EH	EH	

NORTH	SHEET SIZE
	A3

SHEET TITLE	SHEET NUMBER	ISSUE
EXISTING SHADOW DIAGRAM - 3PM - JUNE 21 CERTIFIED BY EPH 1133 - BASED ON CMS SURVEY 10438		
	DA604.1	L



1 - PROPOSED SHADOW DIAGRAM_JUNE 21_3PM
1:200

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SHEET SIZE	SHEET NUMBER
A3	
ISSUE	
	DA604.2 L

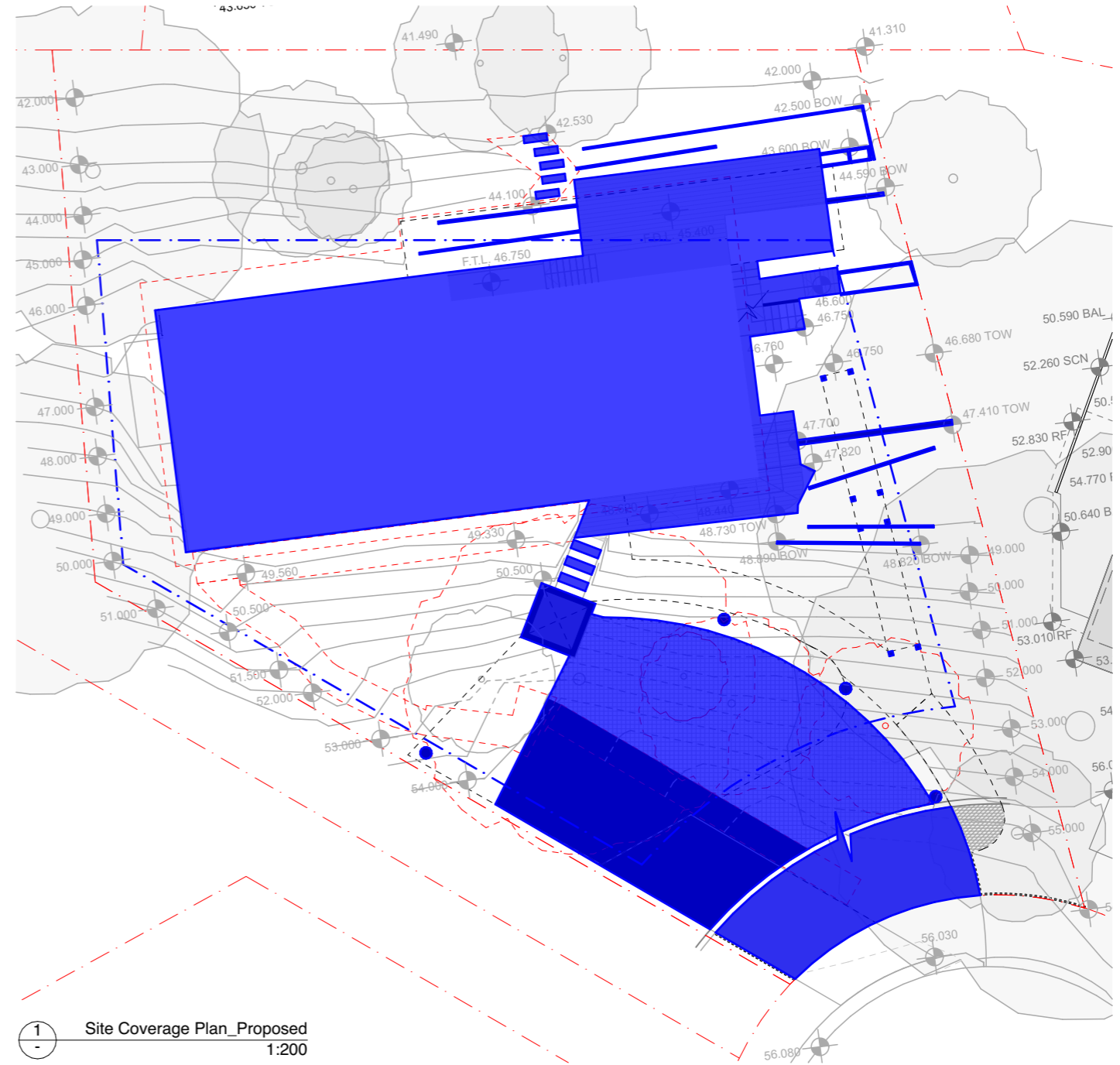
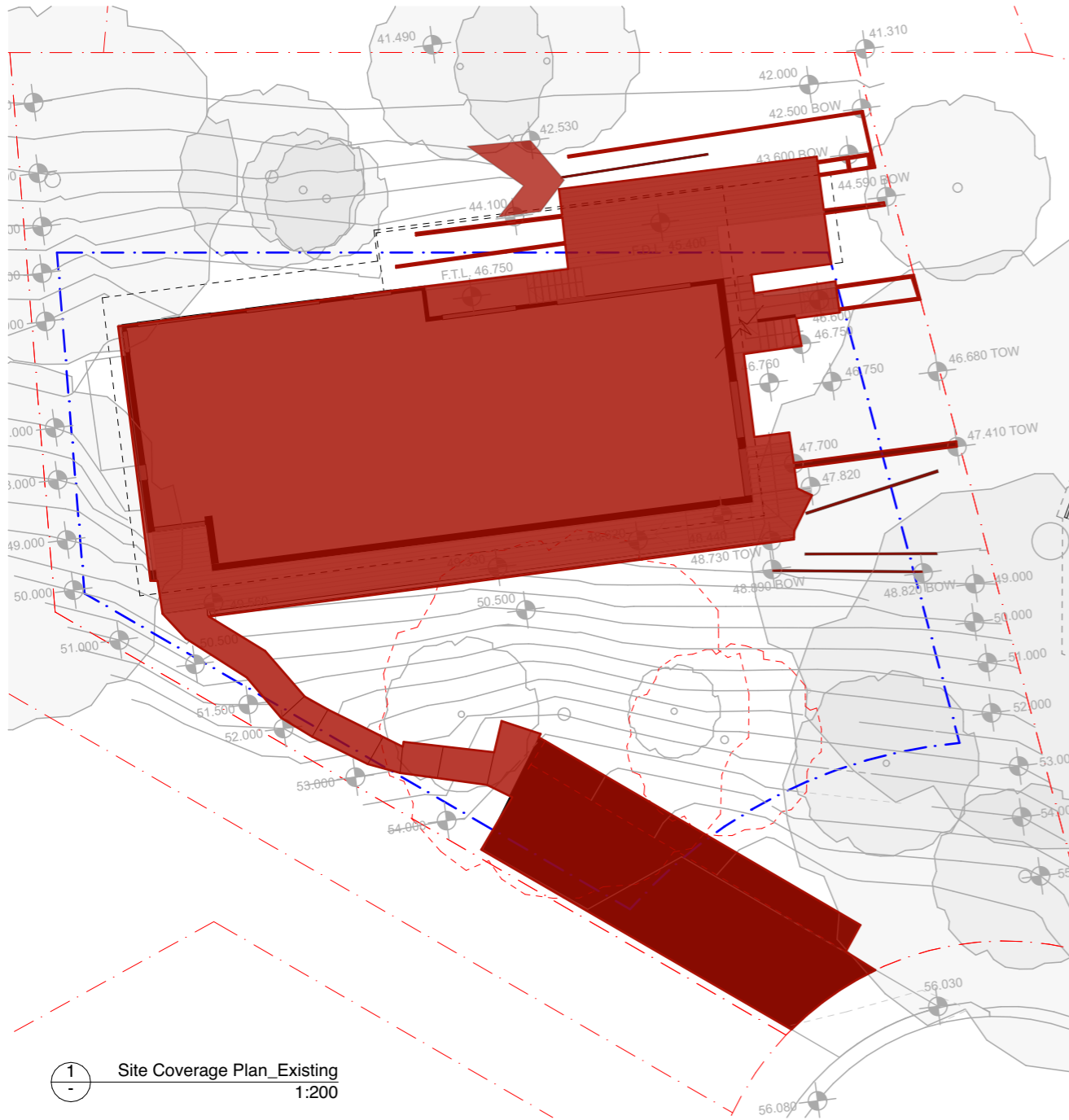
BUILT UPON AREA CALCULATIONS

SURVEYED SITE AREA - 791.3 m²

 **EXISTING BUILT UPON AREA - 301m² (38%)**

 **PROPOSED BUILT UPON AREA - 339m² (42.8%)**
PROPOSED INCREASE OF 38m² (4.8%)

NOTE: PROPOSED REDUCTION NOT INCLUDING PROPOSED GREEN ROOF 14m²



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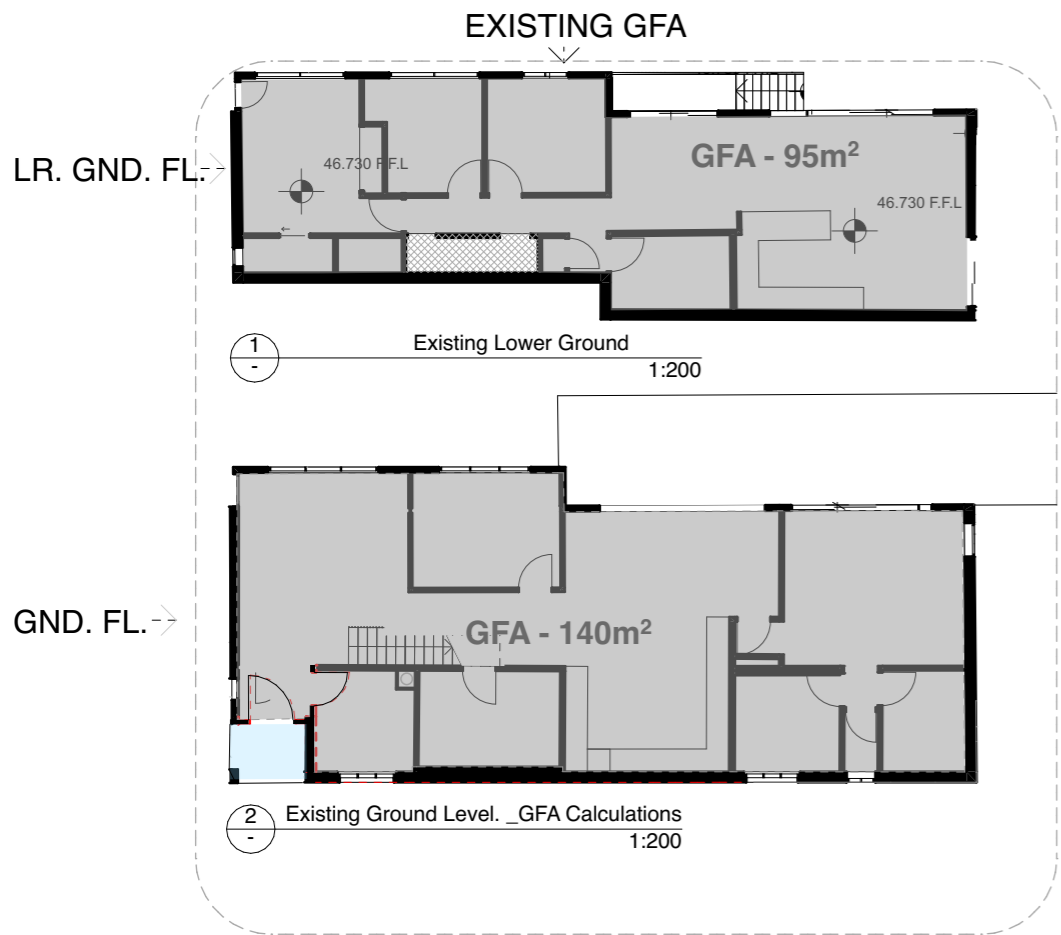
CLIENTS
GEORGE AND KATHY CASHA

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2401		LOS / EH	EH		A3	

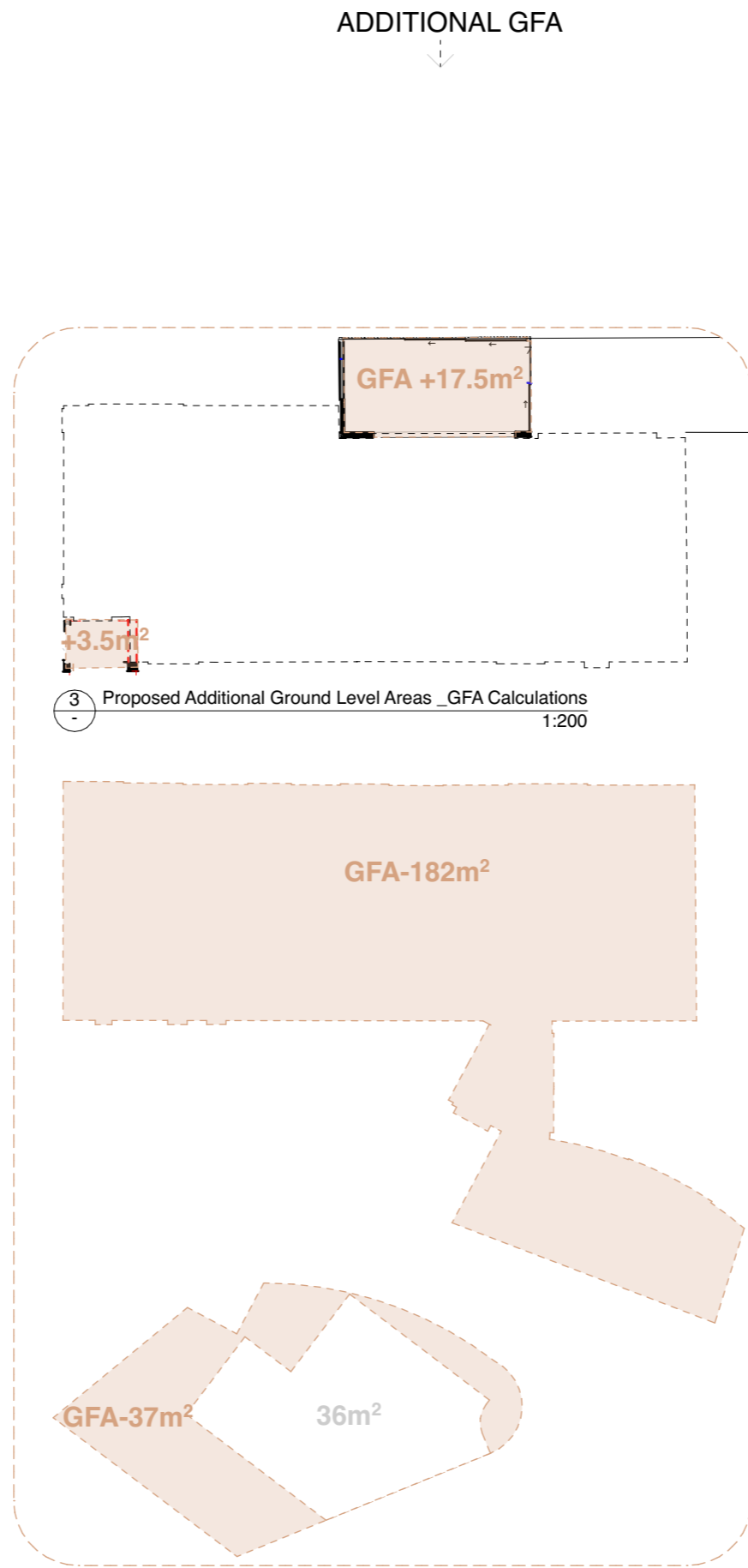


SHEET TITLE
BUILT UPON AREA CALCULATIONS

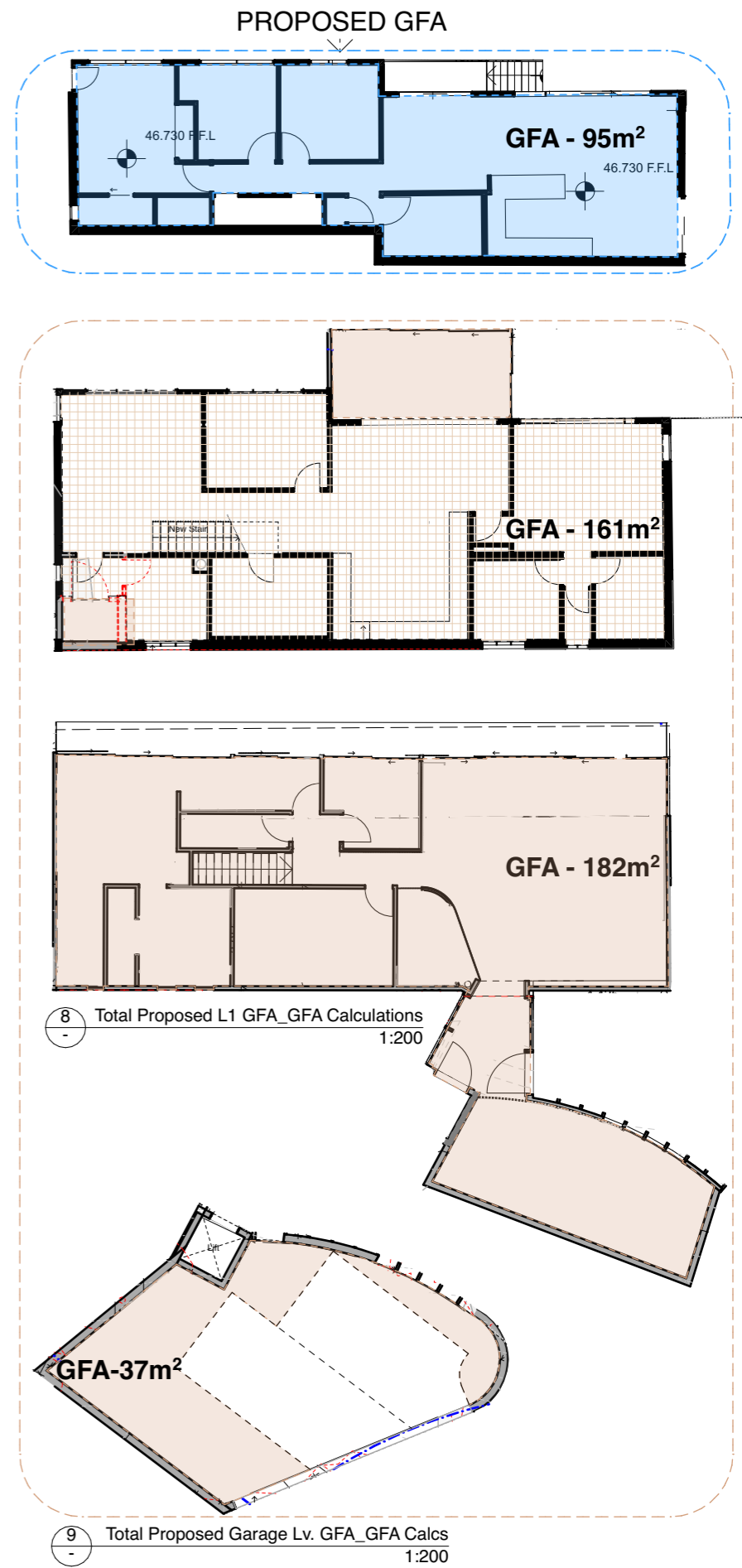
ISSUE
DA605 L



+



=



GFA CALCULATIONS
SURVEYED SITE AREA - 791.3 m²

EXISTING

EXISTING HOUSE
LOWER GND. FL. GFA = 95Msq
GROUND. FL. GFA = 140Msq
EXISTING APPROX TOTAL GFA = 238MSQ

PROPOSED

PROPOSED GRANNY FLAT
LOWER GROUND FLOOR GFA = 95Msq
25% OF PROPOSED MAIN HOUSE GFA

PROPOSED MAIN HOUSE
GROUND FLOOR GFA = 161Msq
FIRST FLOOR GFA = 182Msq
GARAGE FLOOR LV. GFA = 37Msq
PROPOSED APPROX TOTAL GFA = 380MSQ

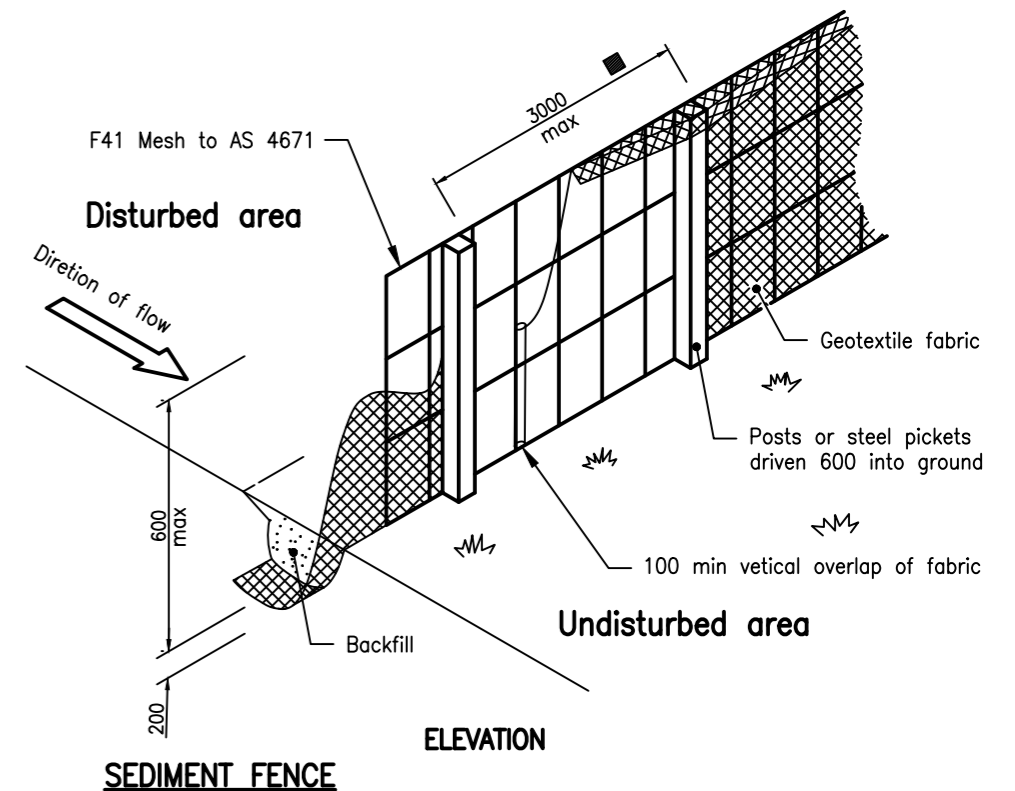
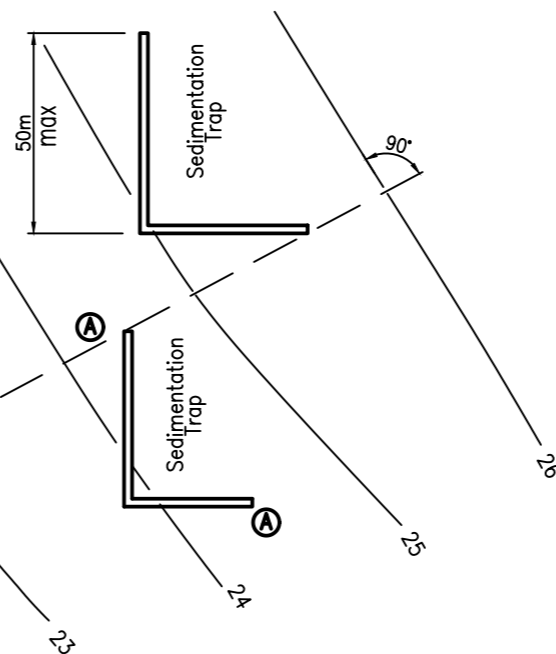
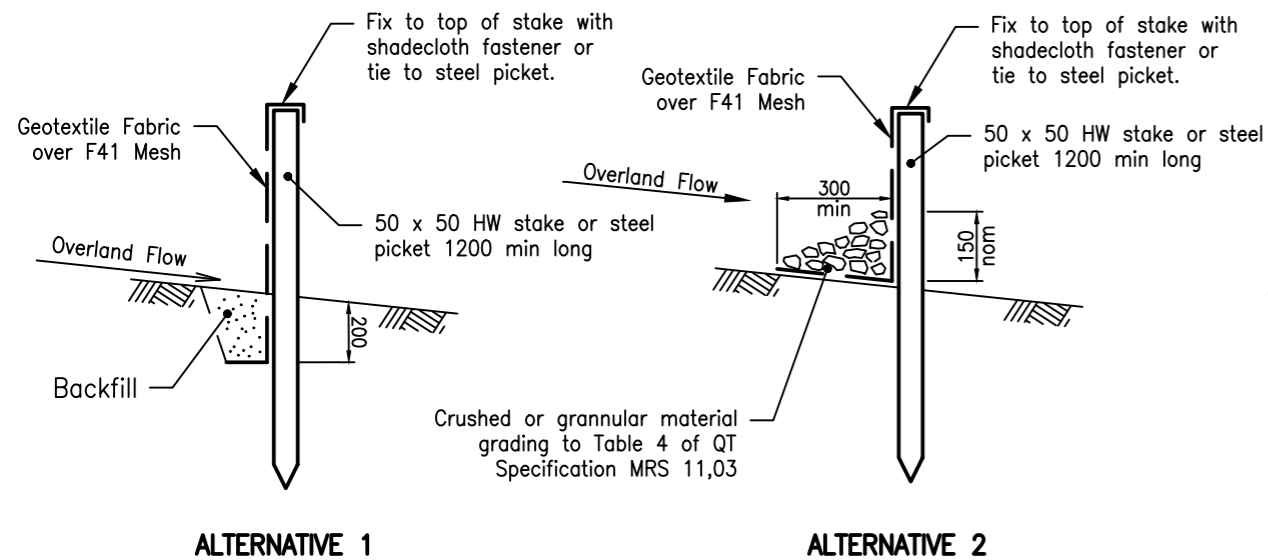
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE GFA CALCULATIONS	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		SHEET SCALE	
				LOS / EH EH		A3	
				CHECKED		ISSUE	
						DA606 L	



NOTES:

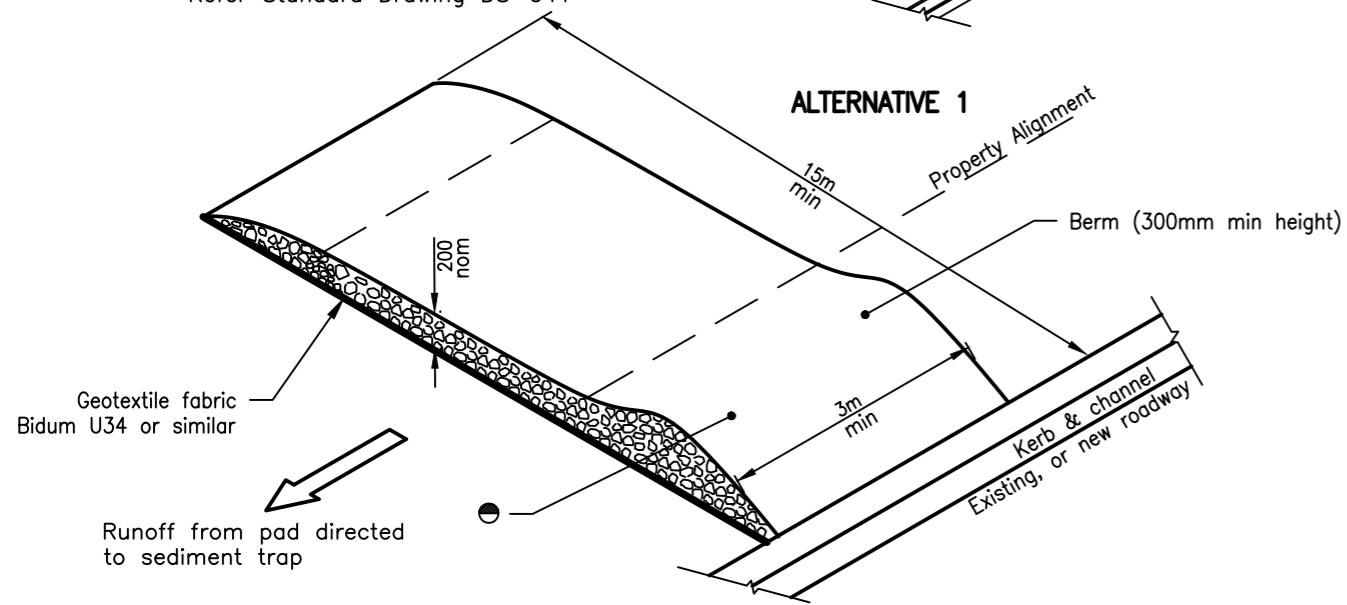
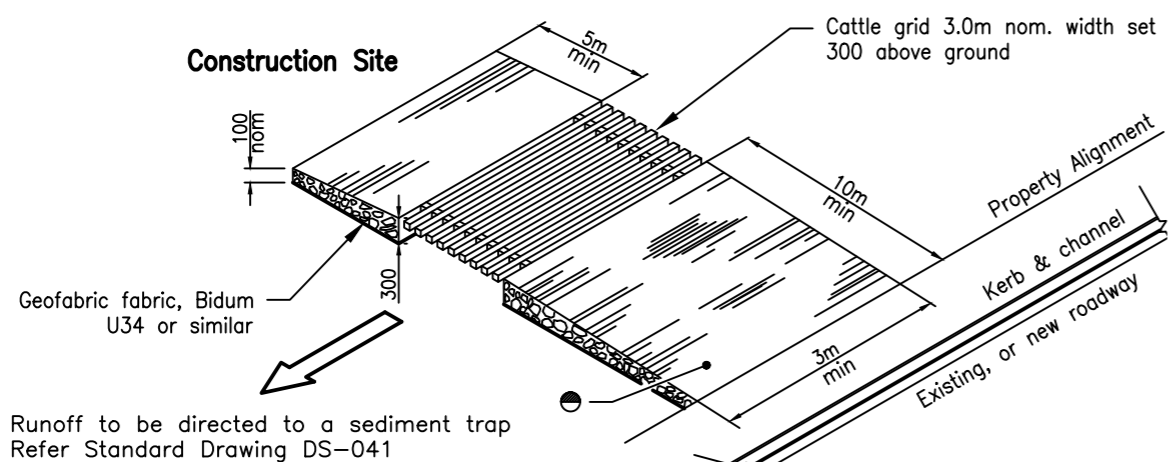
NOTES:

GENERAL

- All erosion and sediment controls to be in accordance with "Best Practice Erosion and Sediment Control", International Erosion and Sediment Control Association (IECA), Australasia Chapter, and to the satisfaction of the superintendent,
- Temporary drainage control. Flow should be diverted around the work site where possible.
- All drainage, erosion and sediment controls to be installed and be operational before commencing up-slope earthworks.
- All control measures to be inspected at least weekly and after significant runoff producing storms.
- Control measures may be removed when on-site erosion is controlled and 70% permanent soil coverage is obtained over all upstream disturbed land.
- In areas where runoff turbidity is to be controlled, exposed surfaces to be either mulched, covered with erosion control blankets or turfed if earthworks are expected to be delayed for more than 14 days.
- Straw bale sediment traps are a secondary option which generally should not be used if other options are available.

SEDIMENT FENCE

- Not to be located in areas of concentrated flow.
- Normally located along the contour with a maximum catchment area 0.6 ha per 100m length of fence.
- Woven fabrics are preferred, non-woven fabrics may be used on small work sites, i.e. operational period less than 6 months or on sites where significant sediment runoff is not expected.
- Where fences need to be located across the contour the layout shall conform to 'Typical Layout Across Grade'.
- Fences are required 2m min from toe of cut or fill batters, where not practical one fence can be at the toe with a second fence 1m min away. Fence should not be located parallel with toe if concentration of flow will occur behind the fence.
- Temp Construction Entry/Exit Sediment Trap.
- Adjacent stormwater runoff to be diverted away from entry/exit.
- Wheel - wash or spray unit may be required during wet weather.
- Safety issues must be considered at all times, incorporate traffic control devices to the satisfaction of the superintendent.
- All dimensions are in millimetres unless shown otherwise.



LEGEND

- Unbound pavement material (gravel) to Grading B Table 9 of QT Specification MRS11.05 exclude material finer than AS sieve 2.36
- Without F41 mesh 2000 max C/C

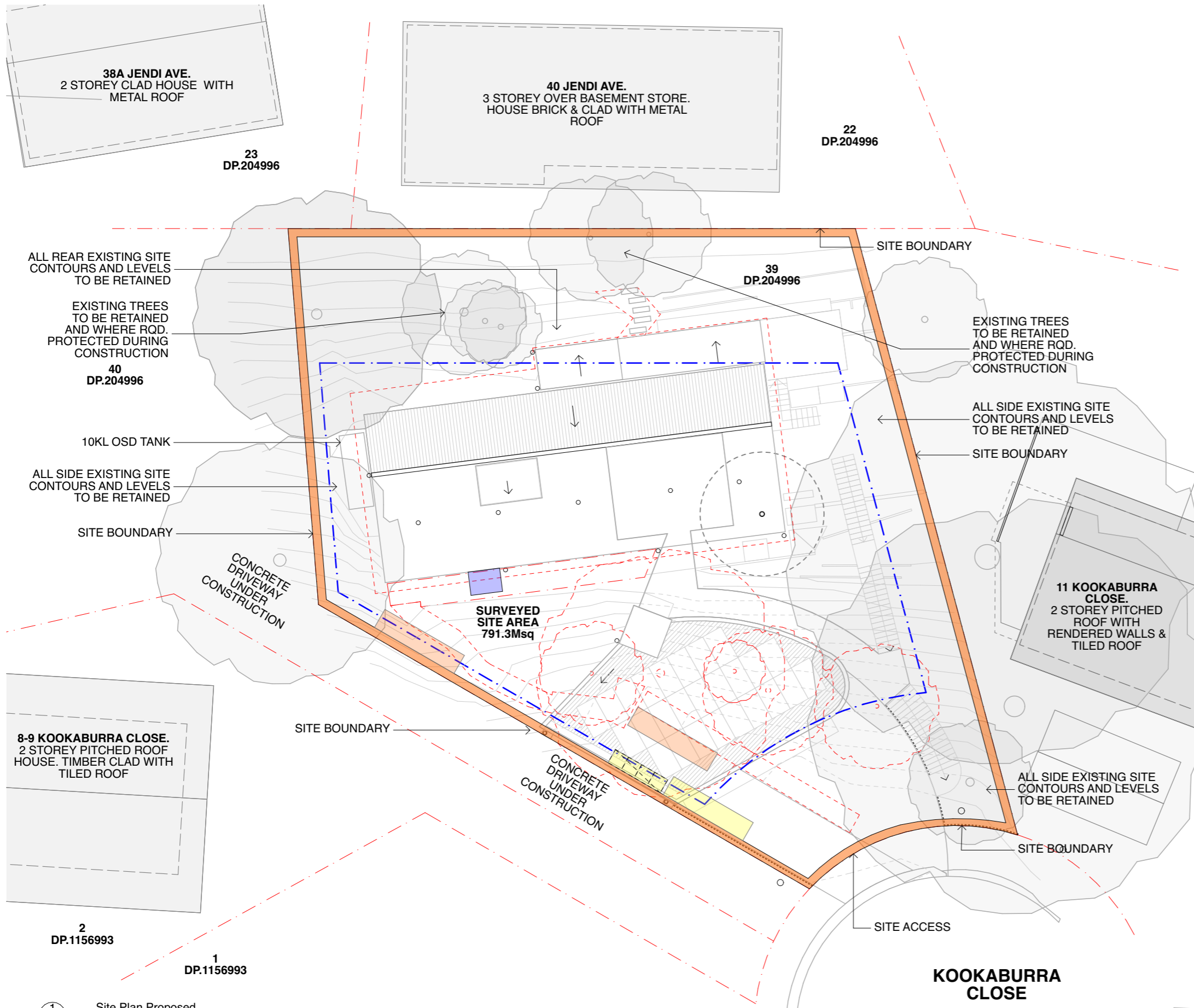
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ISSUE	DATE	DESCRIPTION	BY	DATE	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
B	15.05.24	WORKSHOP & ENSUITE REVISED	L	02.09.24	ISSUE
C	24.05.24	WORK IN PROGRESS ISSUE			
D	29.05.24	WORK IN PROGRESS / COSTING			
E	03.06.24	WIP GARAGE SIZE			
F	22.06.24	WIP ISSUE			
G	01.07.24	WIP ISSUE			
H	01.08.24	WIP ISSUE			
J	09.08.24	WIP ISSUE			

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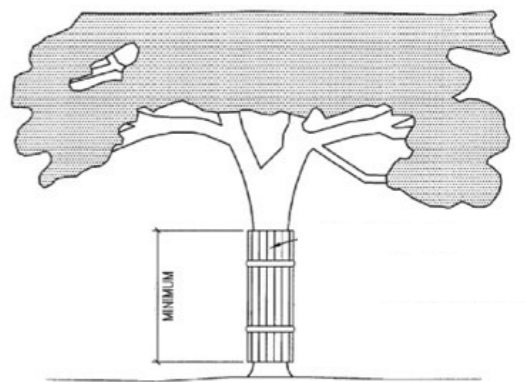
EOIN ARCHITECTS ABN 25 673 855 845
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PROJECT: CONCEPT DESIGN - LOT 39 DP204996 10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104				NORTH		SHEET TITLE EROSION & SEDIMENT CONTROL PLAN_SHEET 1 OF 2	
CLIENTS GEORGE AND KATHY CASHA				PROJECT NUMBER		SHEET NUMBER	
2401		PLOT DATE		DRAWN		CHECKED	
				LOS / EH EH			
SHEET SCALE				SHEET SIZE		SHEET NUMBER	
				A3			
						ISSUE DA608 L	



- WASTE STORAGE DURING CONSTRUCTION
- MATERIAL STORAGE DURING CONSTRUCTION
- SEDIMENTARY CONTROL BARRIER DURING CONSTRUCTION
- TOILET FACILITIES DURING CONSTRUCTION (GND LV)

TREE PROTECTION DURING CONSTRUCTION
 Refer to Arborist's report for details of trees to be retained & protected during construction.



1 Site Plan Proposed
 1:200

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ISSUE	DATE	DESCRIPTION	K	L	WIP ISSUE
A	10.05.24	DRAFT ISSUE - WORK IN PROGRESS	K	21.08.24	WIP ISSUE
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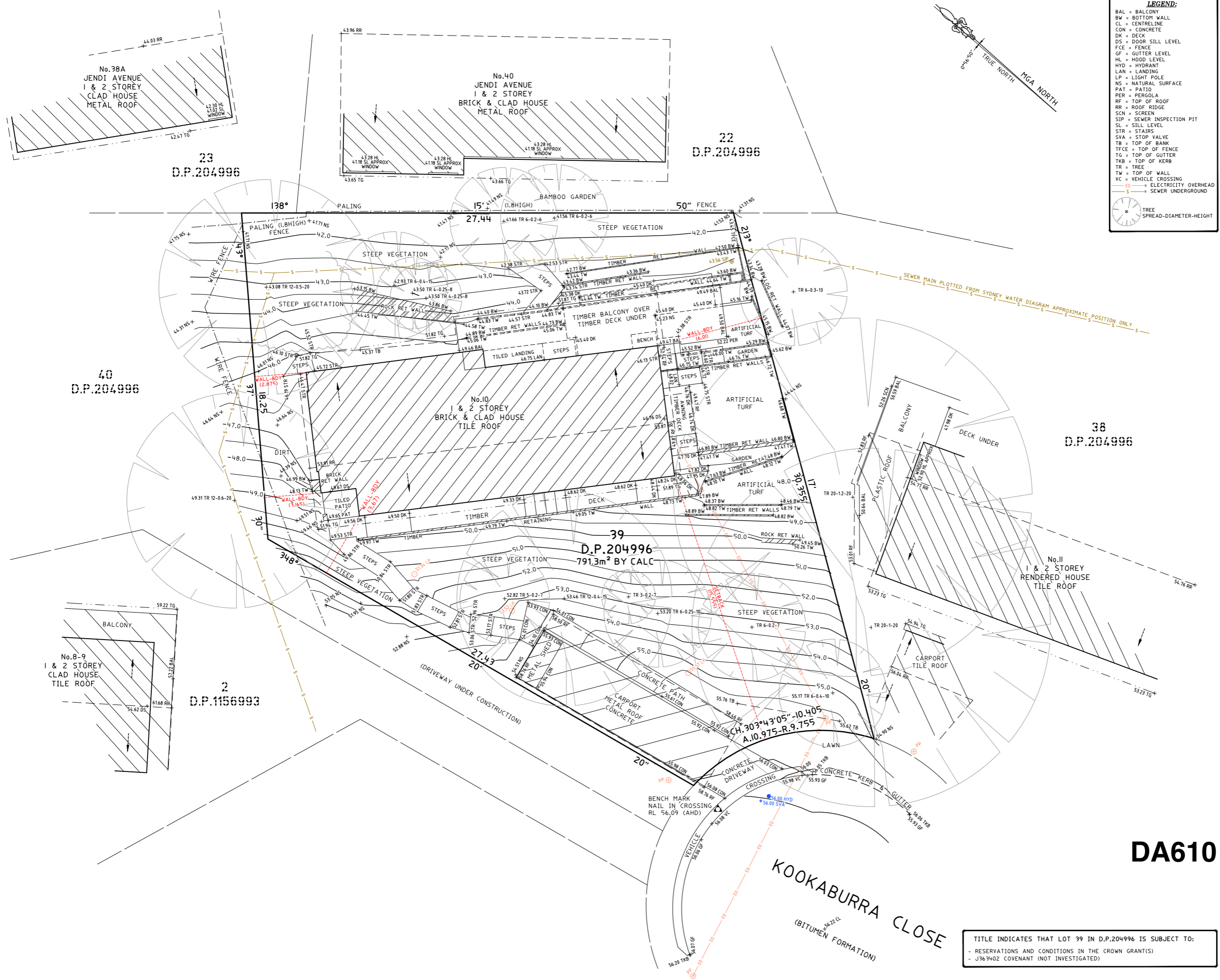
PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
 CLIENTS
GEORGE AND KATHY CASHA

PROJECT NUMBER	PLOT DATE	DRAWN	CHECKED	SHEET SCALE	SHEET SIZE	SHEET NUMBER
2401		LOS / EH	EH		A3	

NORTH

SHEET TITLE
EROSION & SEDIMENT CONTROL PLAN_SHEET 2 OF 2

ISSUE
DA609 L



LEGEND:

- BAL = BALCONY
- BW = BOTTOM WALL
- CL = CENTRELINE
- CON = CONCRETE
- DK = DECK
- DS = DOOR SILL LEVEL
- FCE = FENCE
- GF = GUTTER LEVEL
- HL = HOOD LEVEL
- HYD = HYDRANT
- LAN = LANDING
- LP = LIGHT POLE
- NS = NATURAL SURFACE
- PAT = PATIO
- PER = PERGOLA
- RF = TOP OF ROOF
- RR = ROOF RIDGE
- SCN = SCREEN
- SIP = SEWER INSPECTION PIT
- SL = SILL LEVEL
- STR = STAIRS
- SVA = STOP VALVE
- TB = TOP OF BANK
- TFCE = TOP OF FENCE
- TG = TOP OF GUTTER
- TWB = TOP OF HERB
- TR = TREE
- TW = TOP OF WALL
- VC = VEHICLE CROSSING
- VE = ELECTRICITY OVERHEAD
- SW = SEWER UNDERGROUND

TREE
 SPREAD-DIAMETER-HEIGHT

- NOTES:**
- BOUNDARY IDENTIFICATION HAS BEEN UNDERTAKEN.
 - WALL TO BOUNDARY DIMENSIONS SHOWN HEREON MUST NOT BE USED FOR CONSTRUCTION.
 - IF CONSTRUCTION IS INTENDED TO BE UNDERTAKEN ON OR ADJACENT TO PROPERTY BOUNDARIES THE BOUNDARIES OF THE LAND MUST BE MARKED OR THE BUILDING SETOUT.
 - THIS SURVEY IS FOR DESIGN PURPOSES OF THE SUBJECT LAND ONLY. THIS PLAN MUST NOT BE USED FOR ANY OTHER MATTER, PURPOSE OR CONSTRUCTION SETOUT.
 - TREE SIZES ARE ESTIMATES ONLY.
 - THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF GEORGE CASHA.
 - RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - EXCEPT WHERE SHOWN BY DIMENSION LOCATION OF DETAIL WITH RESPECT TO BOUNDARIES IS INDICATIVE ONLY.
 - ONLY VISIBLE SERVICES HAVE BEEN LOCATED. UNDERGROUND SERVICES HAVE NOT BEEN LOCATED BEFORE YOU DIG AUSTRALIA (www.youdig.com.au) SHOULD BE USED AND A FULL UTILITY INVESTIGATION, INCLUDING A UTILITY LOCATION SURVEY, SHOULD BE UNDERTAKEN BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
 - SEWER MAIN PLOTTED FROM SYDNEY WATER SEWER DIAGRAM. LOCATION SHOULD BE MARKED ON SITE IF CRITICAL.
 - CRITICAL SPOT LEVELS SHOULD BE CONFIRMED WITH SURVEYOR.
 - CONTOURS SHOWN DEPICT THE TOPOGRAPHY. THEY DO NOT REPRESENT THE EXACT LEVEL AT ANY PARTICULAR POINT. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION.
 - CONTOUR INTERVAL - 0.5 metre. - SPOT LEVELS SHOULD BE ADOPTED.
 - POSITION OF RIDGE LINES ARE DIAGRAMMATIC ONLY (NOT TO SCALE).
 - THE INFORMATION IS ONLY TO BE USED AT A SCALE ACCURACY OF 1:100.
 - DO NOT SCALE OFF THIS PLAN / FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED READINGS.
 - COPYRIGHT © CMS SURVEYORS 2023.
 - NO PART OF THIS SURVEY MAY BE REPRODUCED, STORED IN A RETRIEVAL SYSTEM OR TRANSMITTED IN ANY FORM, WITHOUT THE WRITTEN PERMISSION OF THE COPYRIGHT OWNER EXCEPT AS PERMITTED BY THE COPYRIGHT ACT 1968.
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 - THIS NOTICE MUST NOT BE ERASED.

MURRAY LEARMONT
 REGISTERED SURVEYOR BOSSI NUMBER 1462

1	FIRST ISSUE	21/11/23
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HORIZONTAL DATUM:
CO-ORDINATE SYSTEM: ASSUMED

VERTICAL DATUM:
DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
B.M. ADOPTED: PM 27883
R.L. 16.307
SOURCE: CORSNET OBSERVATIONS

CLIENT:
GEORGE CASHA

LGA: NORTHERN BEACHES

BOUNDARY IDENTIFICATION AND DETAIL & LEVEL SURVEY OVER LOT 39 IN DP204996 No.10 KOOKABURRA CLOSE BAYVIEW, NSW, 2104

CMS SURVEYORS PTY LTD
 ACN 096 240 201
 PO Box 463 Dee Why, NSW, 2099
 2/99A South Creek Road, Dee Why, NSW, 2099
 (02) 9971 4802
 info@cmsurveyors.com.au
 www.cmsurveyors.com.au

SURVEYED	HH	DRAWN	ABS	CHECKED	HH	APPROVED	RM
SURVEY INSTRUCTION	10438A	SCALE	1:100@A1	DATE OF SURVEY	14/11/2023	DRAWING NAME	10438Adetail
						SHEET	ISS
						1 OF 1	

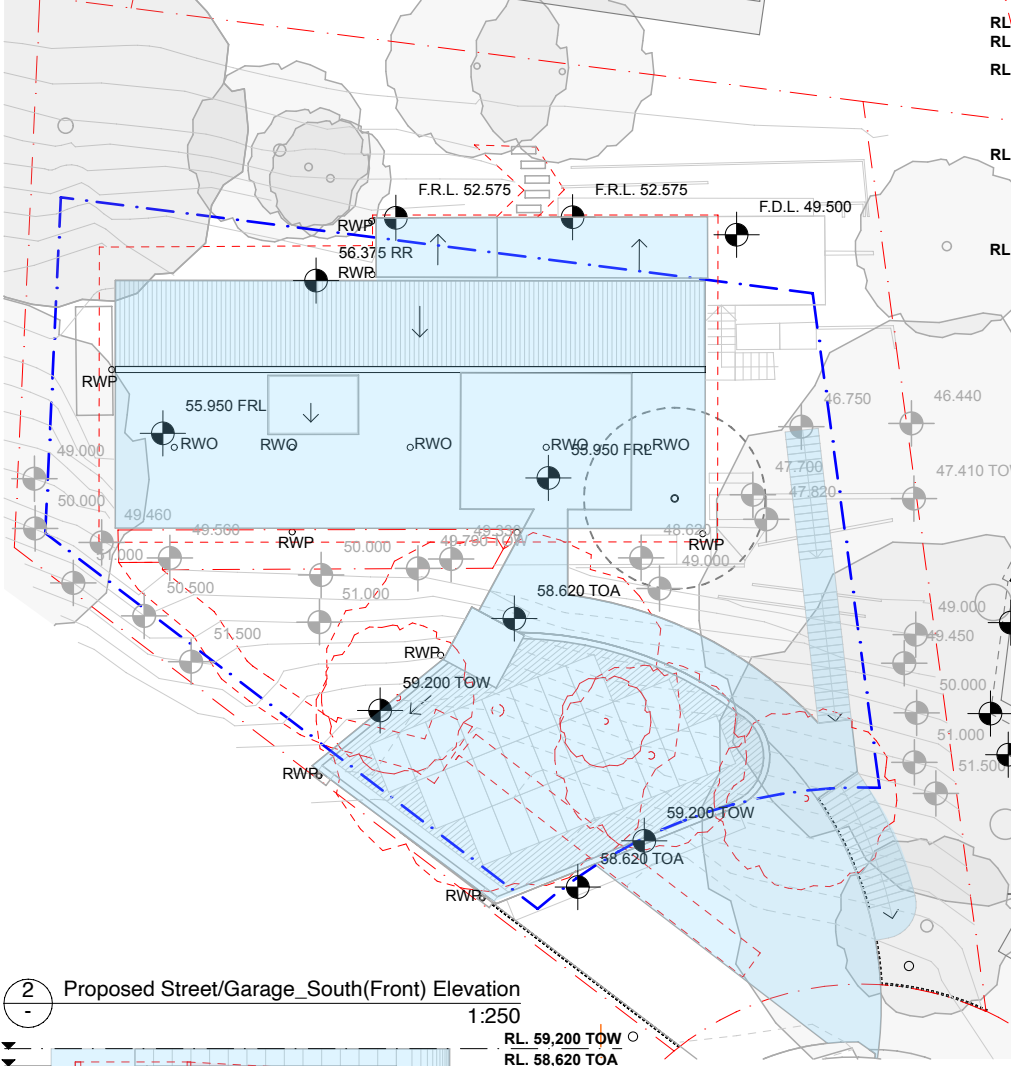
TITLE INDICATES THAT LOT 39 IN D.P.204996 IS SUBJECT TO:

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS(S)
- J363402 COVENANT (NOT INVESTIGATED)

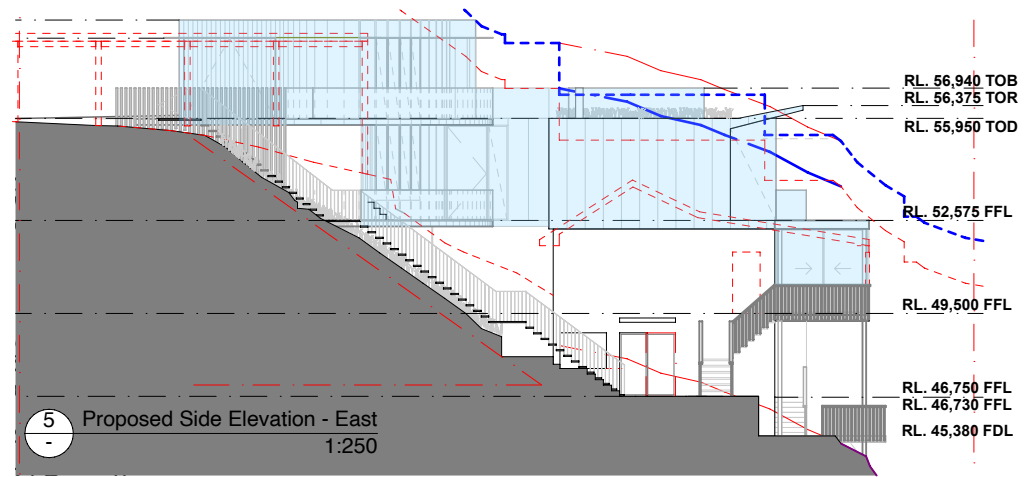
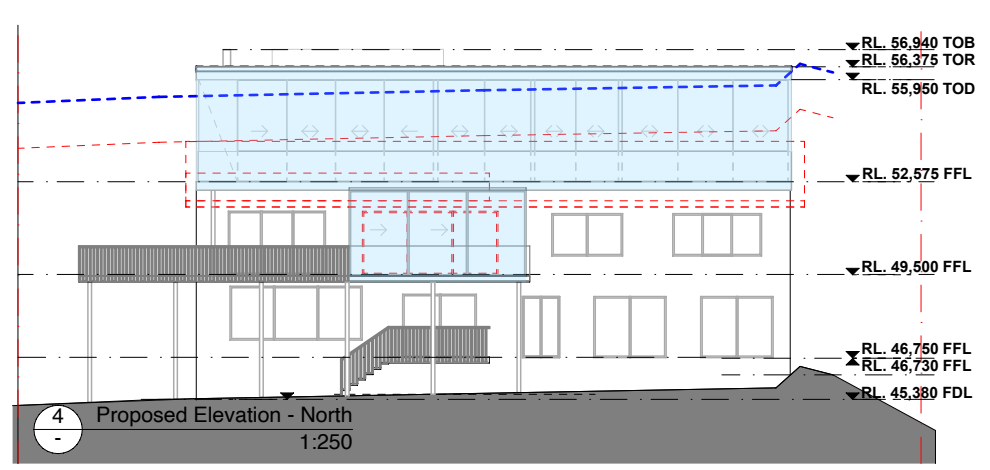
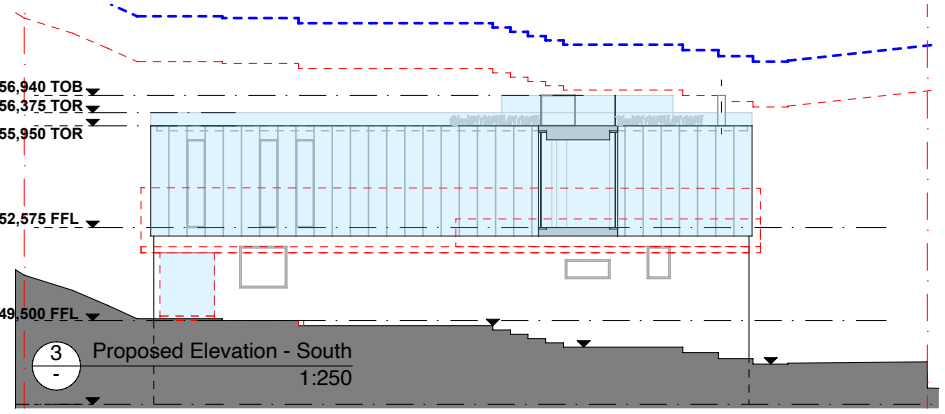
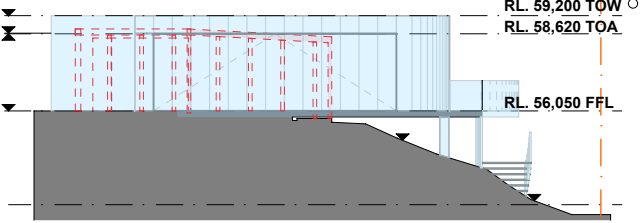
DA610

KOOKABURRA CLOSE
(BITUMEN FORMATION)

1 Proposed site & roof plan
1:250



2 Proposed Street/Garage_South(Front) Elevation
1:250



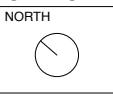
DEMOLISHED ELEMENTS
AREAS OF NEW WORK

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EOIN ABN 25 673 855 645
NOMINATED ARCHITECT
EOIN PATRICK HEALY 11133

PROJECT: CONCEPT DESIGN - LOT 39 DP204996
10 KOOKABURRA CLOSE, BAYVIEW, NSW 2104
CLIENTS
GEORGE AND KATHY CASHA



SHEET TITLE
NOTIFICATION PLAN

DA700