

# Certificate number: 1087803S

Certificate no.: 0004676466  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDAV/12/1441  
 Certificate date: 17 Mar 2020  
 Dwelling Address:  
 24 Baz Retreat  
 Warriewood, NSW  
 2102  
 www.nathers.gov.au

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓
<b>Thermal Comfort Commitments</b>			
<b>Simulation Method</b>			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
floor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 4 of the bedrooms / study;		✓	✓

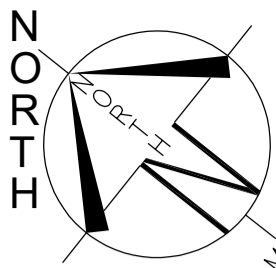
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 2 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

AREAS	
SITE:	342.20 m <sup>2</sup>
GROUND FLOOR:	92.72 m <sup>2</sup>
FIRST FLOOR:	97.34 m <sup>2</sup>
GARAGE:	33.18 m <sup>2</sup>
PORCH:	1.90 m <sup>2</sup>
BALCONY:	N/A m <sup>2</sup>
ALFRESCO:	9.46 m <sup>2</sup>
TOTAL:	234.60 m <sup>2</sup>

SHEET	DESCRIPTION
2.5	SITE COVERAGE & LANDSCAPE
2.4	NEIGHBOUR NOTIFICATION PLAN
2.3	SHADOW DIAGRAM
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMENT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET

QUOTE	DATE	QUOTE NUMBER	REV	REV	DATE	AMENDMENTS	BY
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-	H	03.04.20	EXTERNAL COLOURS	PG.
AIR CONDITIONING			-	G	02.04.20	HYDRAULICS CO-ORDINATED	M.H.
STAIRS			-	F	31.03.20	DOWNPIPE ADDED	M.H.
LANDSCAPE				E	25.03.20	DA DRAWINGS	PG/mh
HYDRAULICS				D	23.03.20	BASIX AMENDMENTS	M.H.
ENGINEER				C	13.03.20	PCV 1	PG./JS
PEG OUT				B	25.02.20	CONTRACT DRAWINGS	PG.
				A	10.02.20	TENDER	DV

<p>BL No. 2298C                  ABN 18 003 892 706                  Clarendon Homes (NSW) P/L                  21 Solent Circuit, Baulkham Hills NSW 2153                  T: (02) 8851 5300</p>	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING	PRODUCT: <b>BRONTE 25 MKI Classic R/H Garage</b> Evolution Specification Master Issued: 21.11.18 Revision: A	CLIENT: <b>Mr BRADY Mrs BRADY</b> SITE ADDRESS: Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102	<b>DA DRAWINGS</b> DRAWN: PG. DATE: 25.02.20 CHECKED: J.S JOB No: 29914083 Rev: H SHEET: 1	NSW
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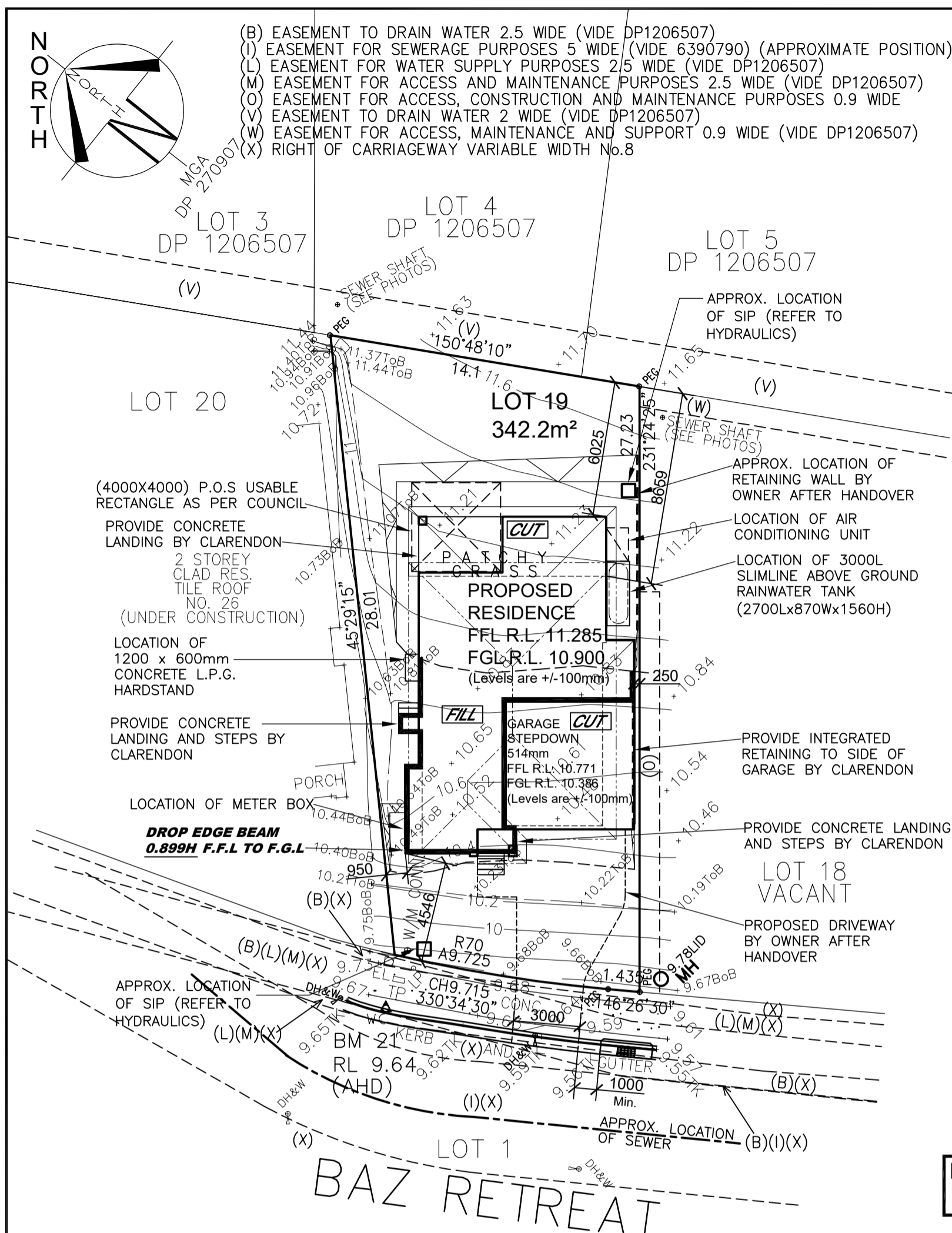
- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790) (APPROXIMATE POSITION)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP1206507)
- (M) EASEMENT FOR ACCESS AND MAINTENANCE PURPOSES 2.5 WIDE (VIDE DP1206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE PURPOSES 0.9 WIDE
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP1206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED**  
**IN ACCORDANCE WITH**  
**PITTSWATER DCP 21 - D16**

SITE AREA	342.2 m <sup>2</sup>
ROOF AREA	153.3 m <sup>2</sup>
LANDSCAPED AREA	
TOTAL LANDSCAPE AREA:	129.7 m <sup>2</sup>
(MIN. DIMENSION OF 4.0m)	37.9 %
MIN. REQUIRED BY COUNCIL:	35 %
PRIVATE OPEN SPACE	
TOTAL OPEN SPACE AREA:	111.5 m <sup>2</sup>
(MIN. DIMENSION OF 4.0m)	
MIN. REQUIRED BY COUNCIL:	80 m <sup>2</sup>
HEIGHT RESTRICTION	
MAXIMUM RIDGE HEIGHT	10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)	

**Maximum 1000mm CUT**  
**Maximum 1000mm FILL**



For Driveway Gradient Refer to Sheet 7

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

WIND CLASSIFICATION: "N2"  
 SLAB CLASSIFICATION: "H1"

**NOTE:**  
 ALL GROUND LINES ARE APPROXIMATE. EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

**STORMWATER TO STREET VIA RAINWATER TANK**  
 REFER TO HYDRAULIC DETAILS

**SITE PLAN**

SCALE 1:200

- GENERAL NOTES
- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
  - B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
  - C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
  - D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

<p>BL No. 2298C          ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L          21 Solent Circuit, Baulkham Hills NSW 2153          T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED          This plan is the property of CLARENDON HOMES (NSW) P/L. Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</p>	<p>PRODUCT:  <b>BRONTE 25 MKI Classic</b>          R/H Garage</p> <p>Evolution Specification</p>	<p>CLIENT:  <b>Mr BRADY</b>  <b>Mrs BRADY</b></p> <p>SITE ADDRESS:          Lot 19 No.24, D.P: 270907          Baz Retreat          WARRIEWOOD 2102</p>	<p>DA DRAWINGS</p>		
				<p>DRAWN: DV</p> <p>RATIO @ A3: 1:200</p> <p>SHEET: 2</p>	<p>DATE: 10.02.20</p> <p>CHECKED: BG</p> <p>JOB No: 29914083</p>	<p>Rev: H</p> <p>NSW</p>



(S) SMOKE ALARM

● AIR CONDITIONING DUCT

FLOOR JOIST DIRECTION

DP ○ DOWN PIPE LOCATION

TAP X GARDEN TAP LOCATION

LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊗ EXHAUST FAN

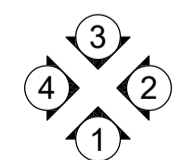
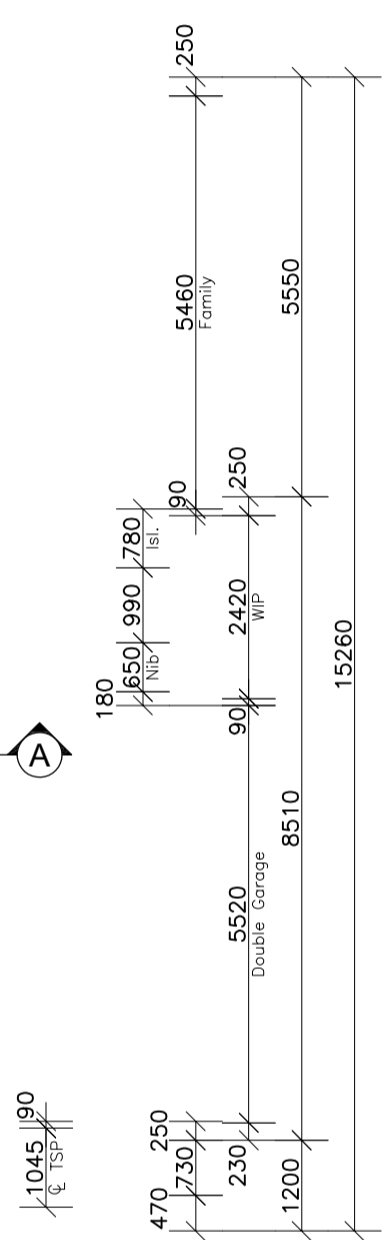
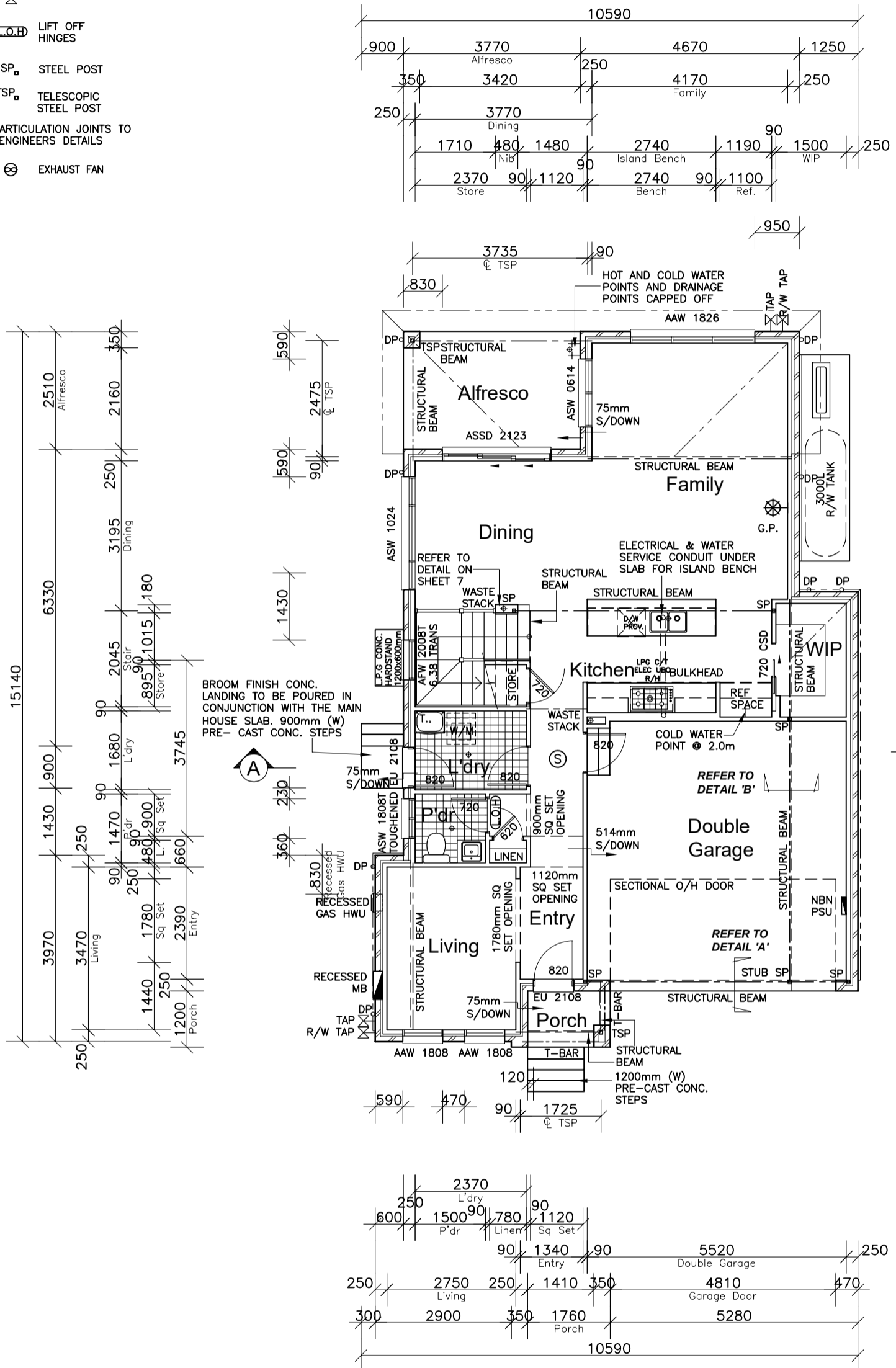
NOTE: (UNLESS NOTED OTHERWISE) 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

NOTE: PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



NOTE: PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS: \* EXPOSURE GRADE BRICKS, \* STAINLESS STEEL WALL TIES, \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A., \* COLORBOND VALLEY GUTTERS, \* EXPOSURE GRADE MORTAR



# GROUND FLOOR PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

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 # DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI**  
 Classic  
 R/H Garage  
 Evolution Specification

CLIENT:  
 Mr BRADY  
 Mrs BRADY  
 SITE ADDRESS:  
 Lot 19 No.24, D.P: 270907  
 Baz Retreat  
 WARRIEWOOD 2102

DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 3	JOB No: 29914083	NSW

(S) SMOKE ALARM

● AIR CONDITIONING DUCT

DP ° DOWN PIPE LOCATION

(L.O.B) LIFT OFF HINGES

SP ° STEEL POST

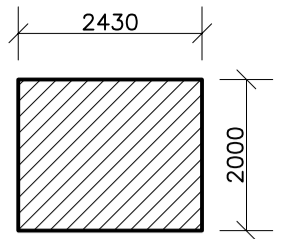
TSP ° TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

(E) EXHAUST FAN

(E.V) 400x200mm EAVE VENT

NOTE: (UNLESS NOTED OTHERWISE) 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

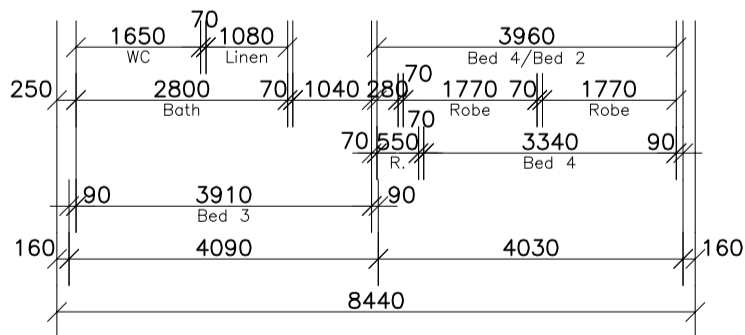
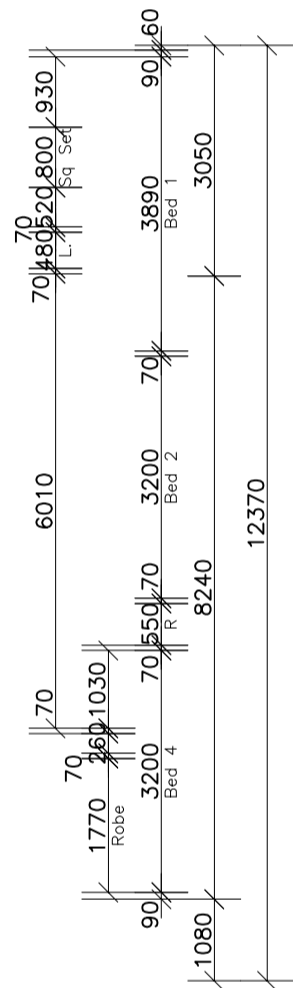
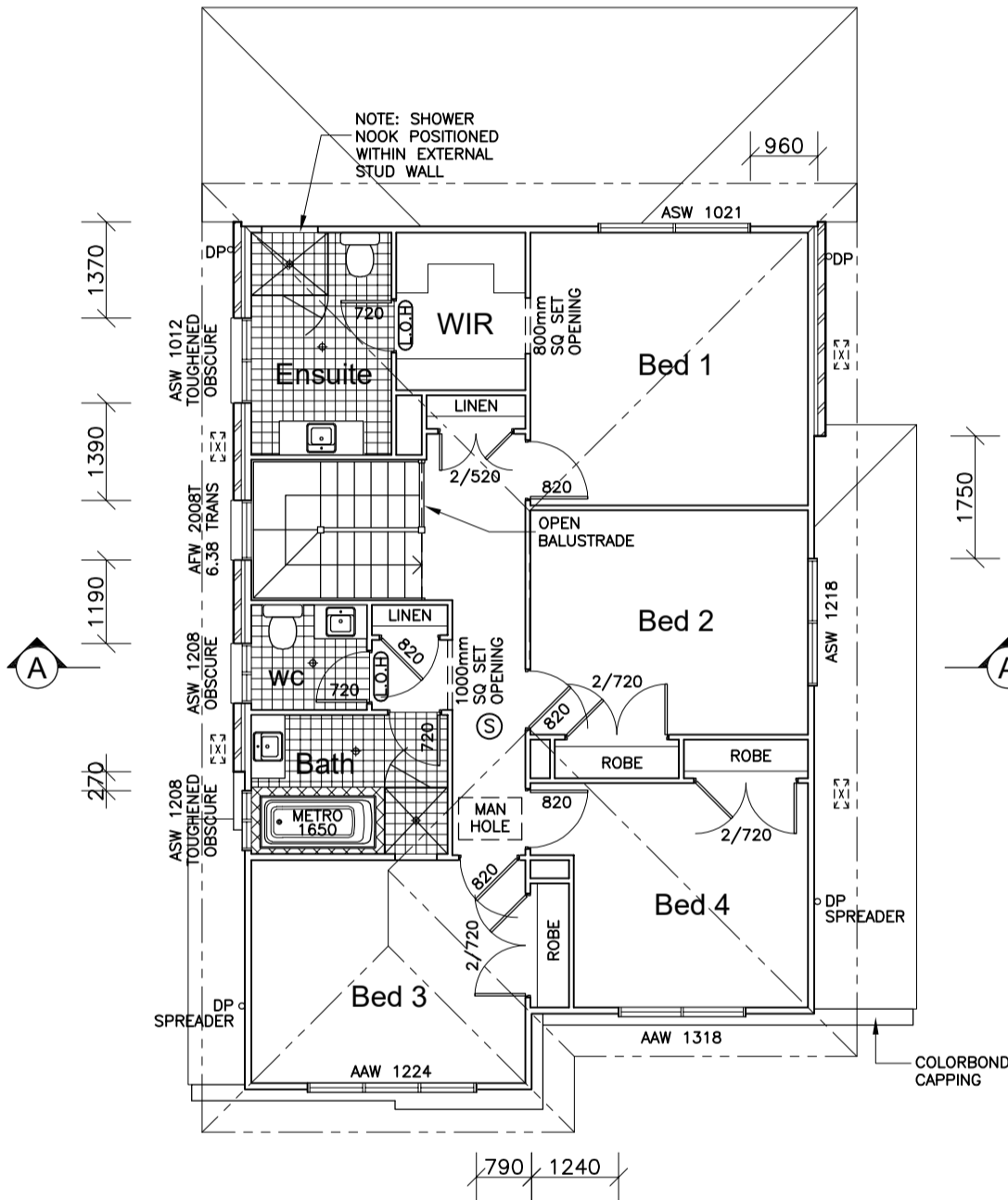
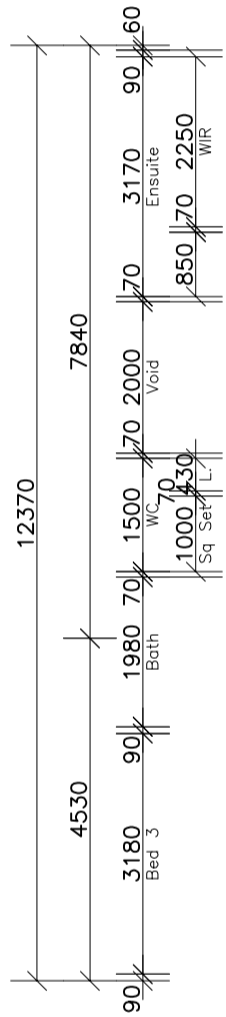
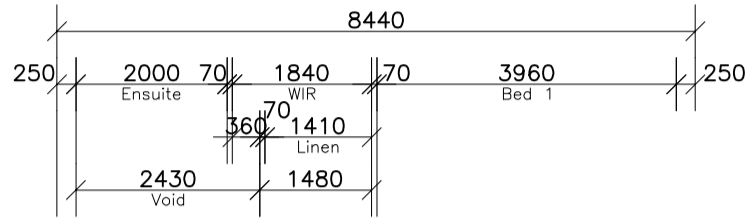


STAIR CUTOUT SCALE 1:100

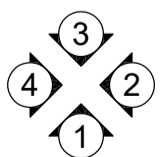
NOTE: SHOWER NOOK/RECESS REFER TO CDN 54.260 & SHEET 10 FOR DETAILS

NOTE: ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE: PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS: \* EXPOSURE GRADE BRICKS, \* STAINLESS STEEL WALL TIES, \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A., \* COLORBOND VALLEY GUTTERS, \* EXPOSURE GRADE MORTAR



FIRST FLOOR PLAN



CLIENT'S SIGNATURE:

DATE:

ClarendonHomes

BL No. 2298C ABN 18 003 892 706

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# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT: BRONTE 25 MKI Classic R/H Garage Evolution Specification

CLIENT: Mr BRADY Mrs BRADY SITE ADDRESS: Lot 19 No.24, D.P: 270907 Baz Retreat WARRIEWOOD 2102

DA DRAWINGS

Table with columns for DRAWN, PG., DATE, CHECKED, SHEET, JOB No., and Rev. Values include 25.02.20, J.S, 4, 29914083, and H.

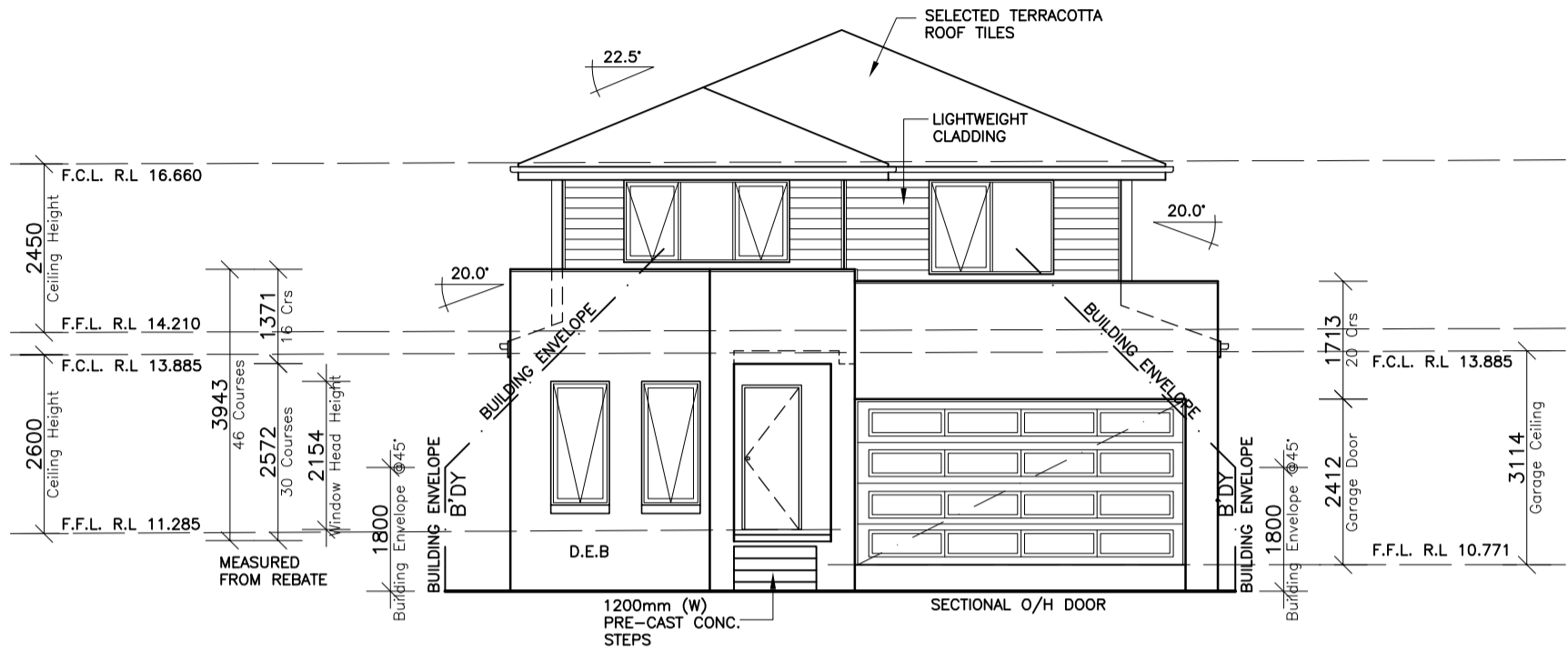
**NOTE:**  
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

**PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD**

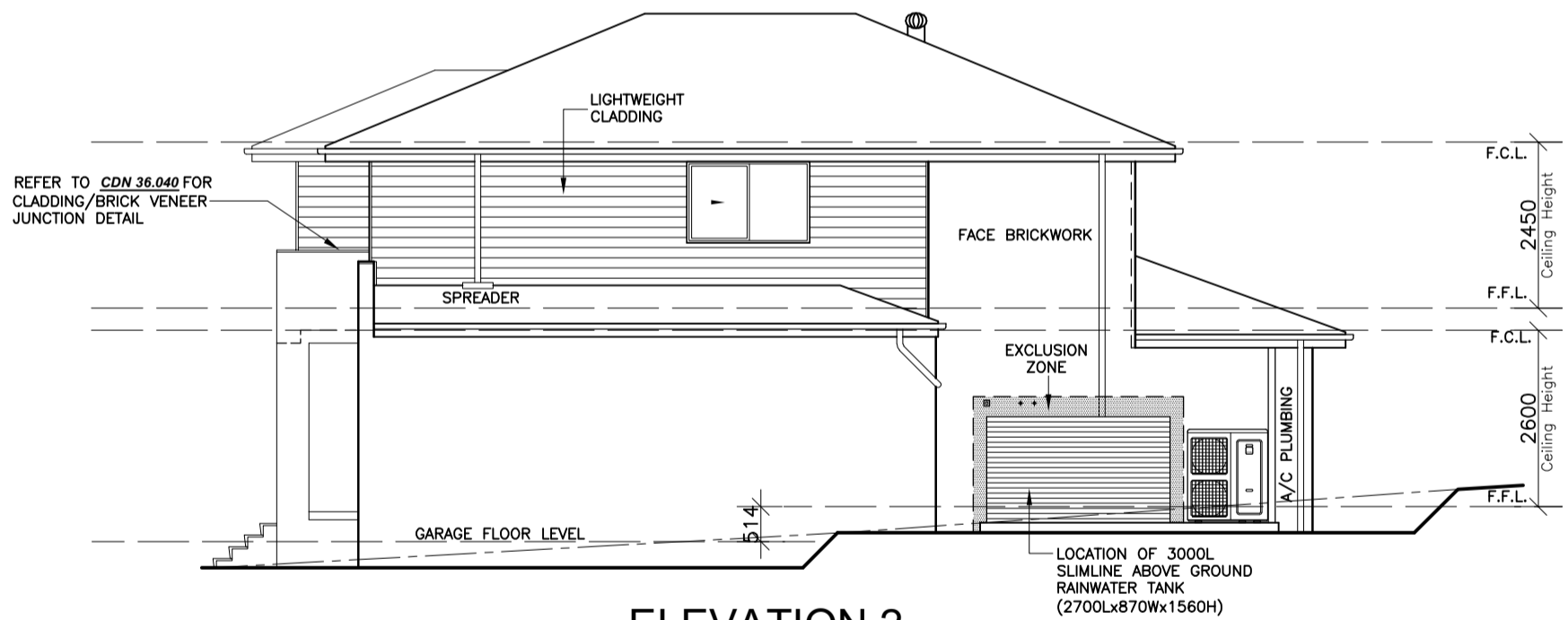


**NOTES:**  
FOR DROP-OFF'S REFER TO FRAMING DETAILS  
**CDN 21.010-21.080**

**NOTE:**  
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS



**ELEVATION 1  
-SOUTH WEST-**



**ELEVATION 2  
-SOUTH EAST-**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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# DIMENSIONS TO BE READ IN PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI  
Classic  
R/H Garage**  
Evolution Specification

CLIENT:  
**Mr BRADY  
Mrs BRADY**  
SITE ADDRESS:  
**Lot 19 No.24, D.P: 270907  
Baz Retreat  
WARRIEWOOD 2102**

DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29914083	NSW

DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

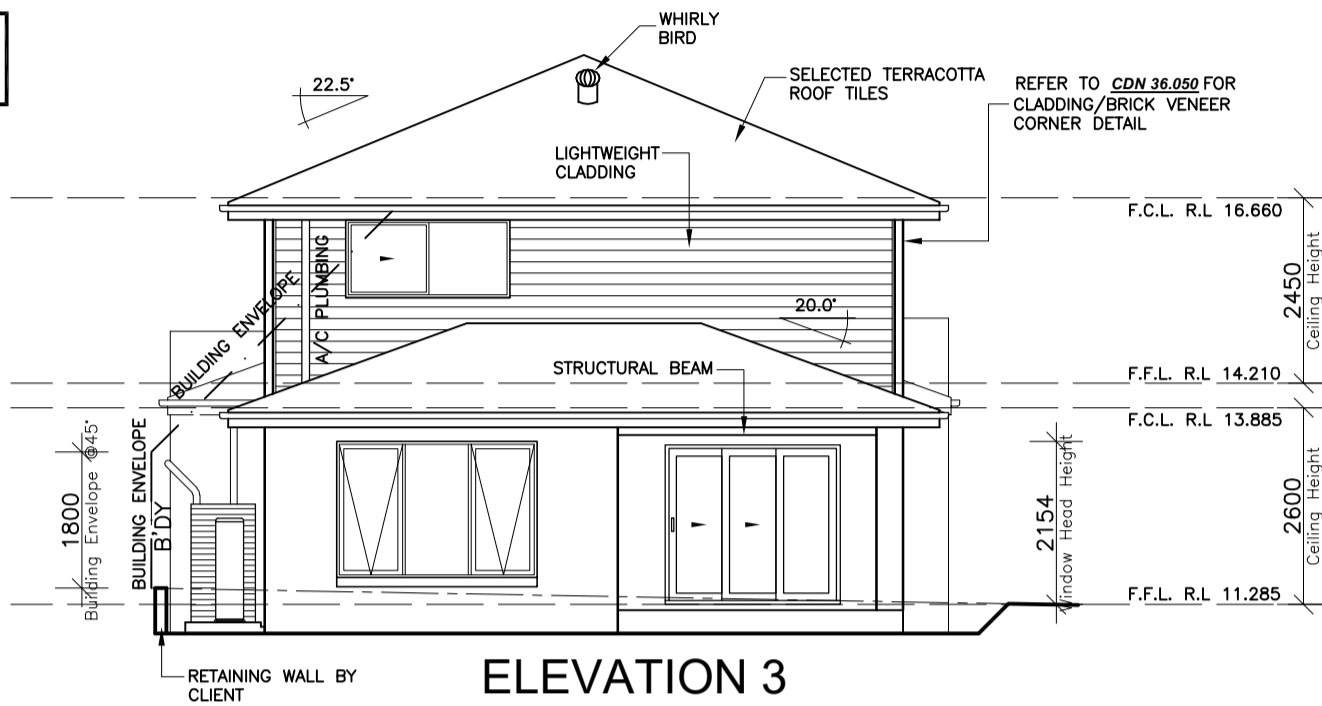


NOTES:  
FOR DROP-OFF'S REFER TO FRAMING DETAILS  
CDN 21.010-21.080

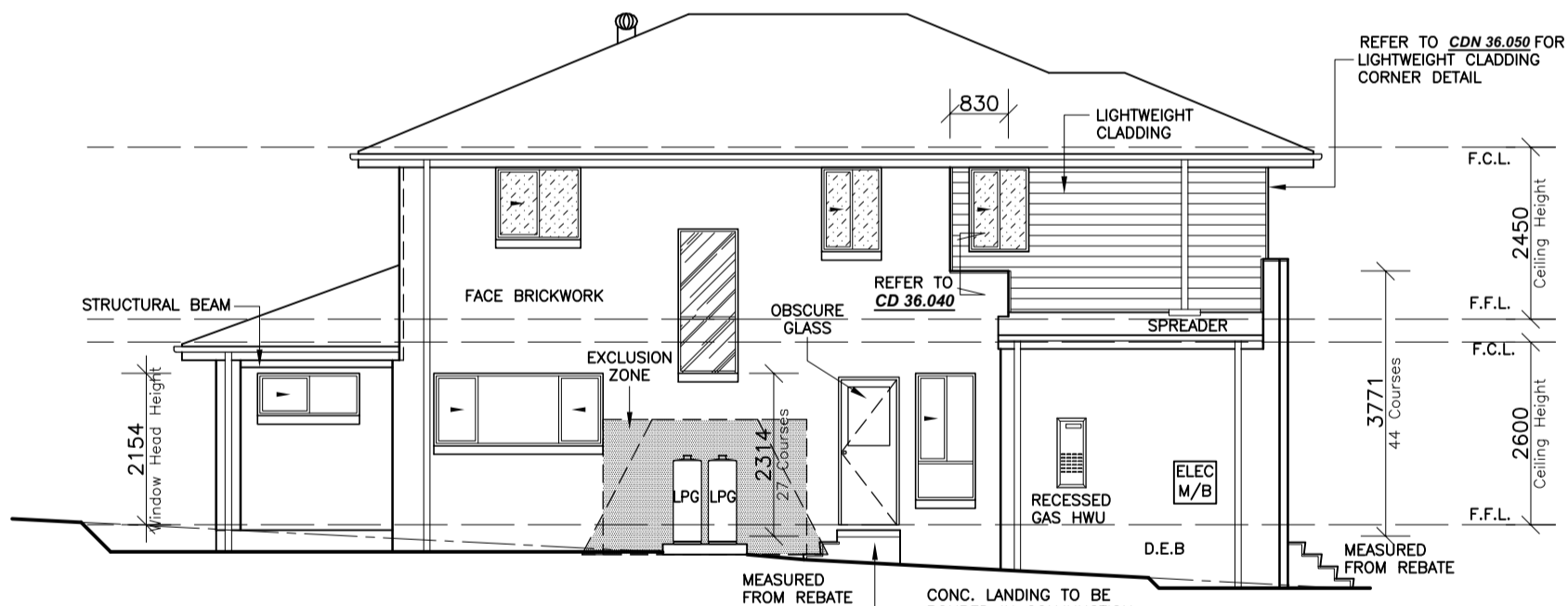
NOTE:  
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:  
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

DENOTES WINDOWS WITH OBSCURE GLAZING



ELEVATION 3  
-NORTH EAST-



ELEVATION 4  
-NORTH WEST-

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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# DIMENSIONS TO BE READ IN  
PREFERENCE TO SCALING

PRODUCT:  
**BRONTE 25 MKI**  
Classic  
R/H Garage  
Evolution Specification

CLIENT:  
**Mr BRADY**  
**Mrs BRADY**  
SITE ADDRESS:  
Lot 19 No.24, D.P: 270907  
Baz Retreat  
WARRIEWOOD 2102

DA DRAWINGS

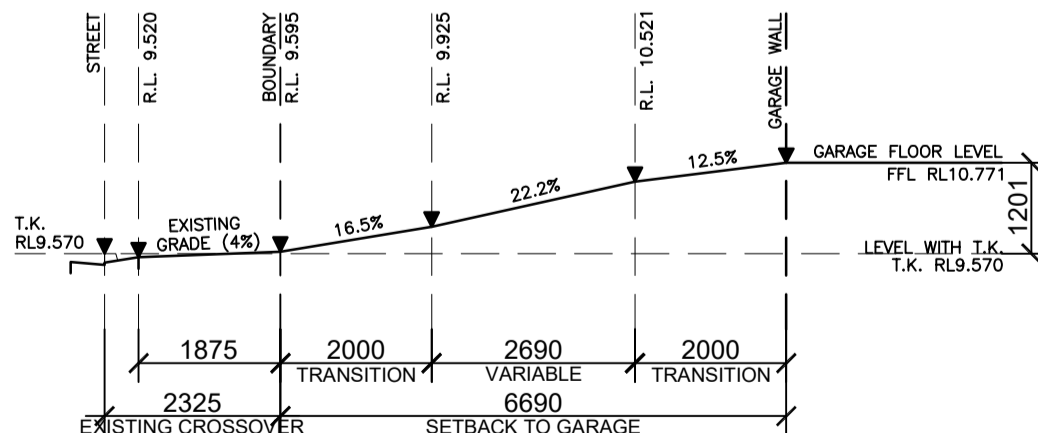
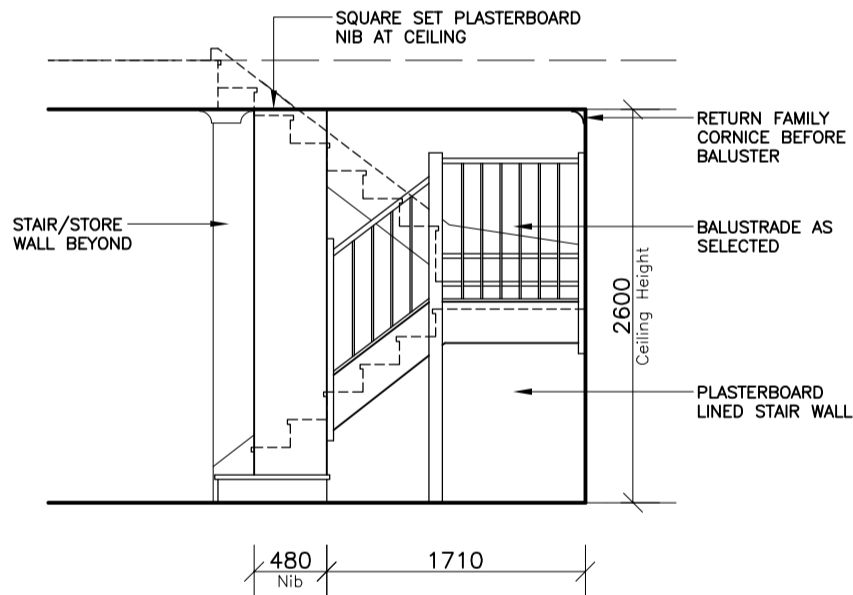
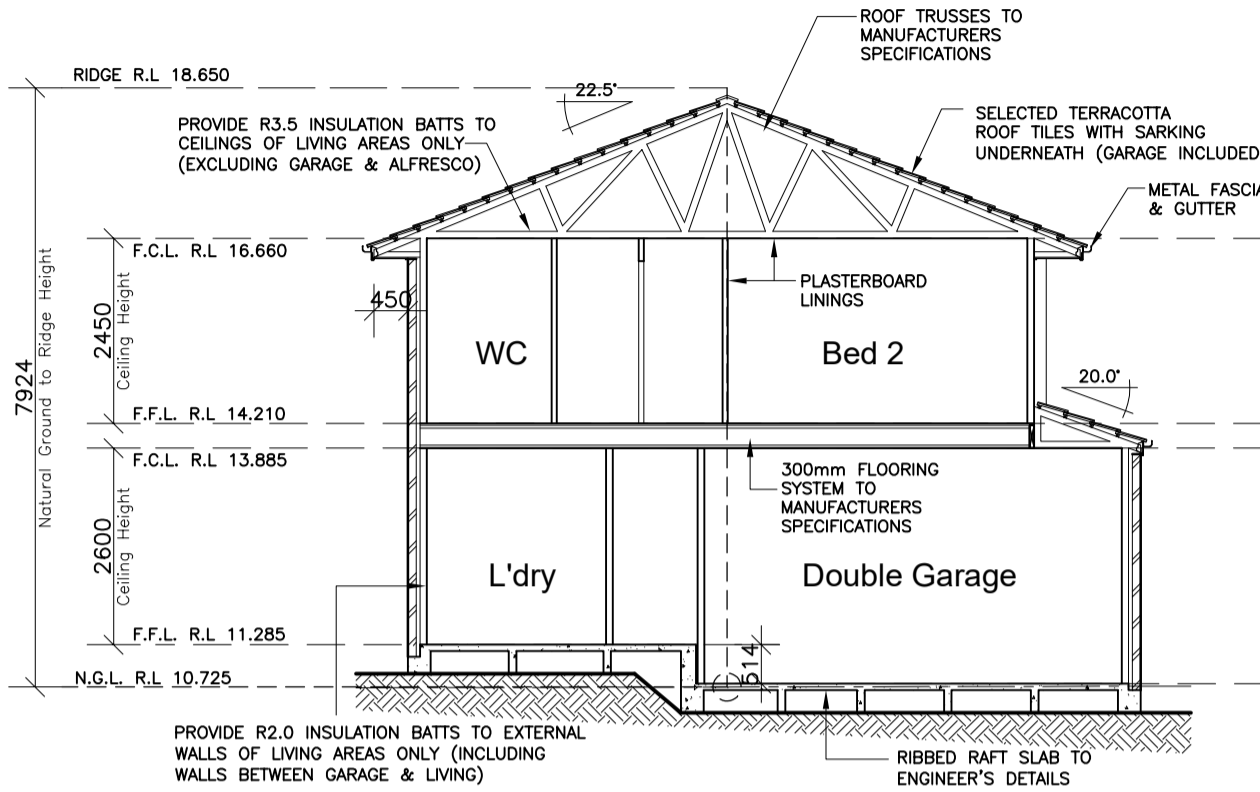
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 6	JOB No: 29914083	NSW

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



**NOTE:**  
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:  
 \* EXPOSURE GRADE BRICKS,  
 \* STAINLESS STEEL WALL TIES,  
 \* LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,  
 \* COLORBOND VALLEY GUTTERS,  
 \* EXPOSURE GRADE MORTAR

**NOTE:**  
 PROVIDE R2.0 INSULATION BATTS TO CEILING BETWEEN GARAGE and FIRST FLOOR



CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**

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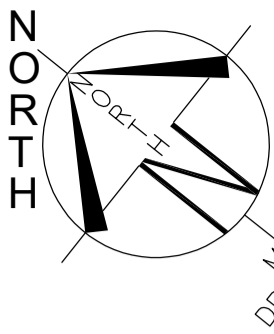
PRODUCT:  
**BRONTE 25 MKI**  
 Classic  
 R/H Garage  
 Evolution Specification

CLIENT:  
 Mr BRADY  
 Mrs BRADY  
 SITE ADDRESS:  
 Lot 19 No.24, D.P: 270907  
 Baz Retreat  
 WARRIEWOOD 2102

DA DRAWINGS

DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 7	JOB No: 29914083	NSW

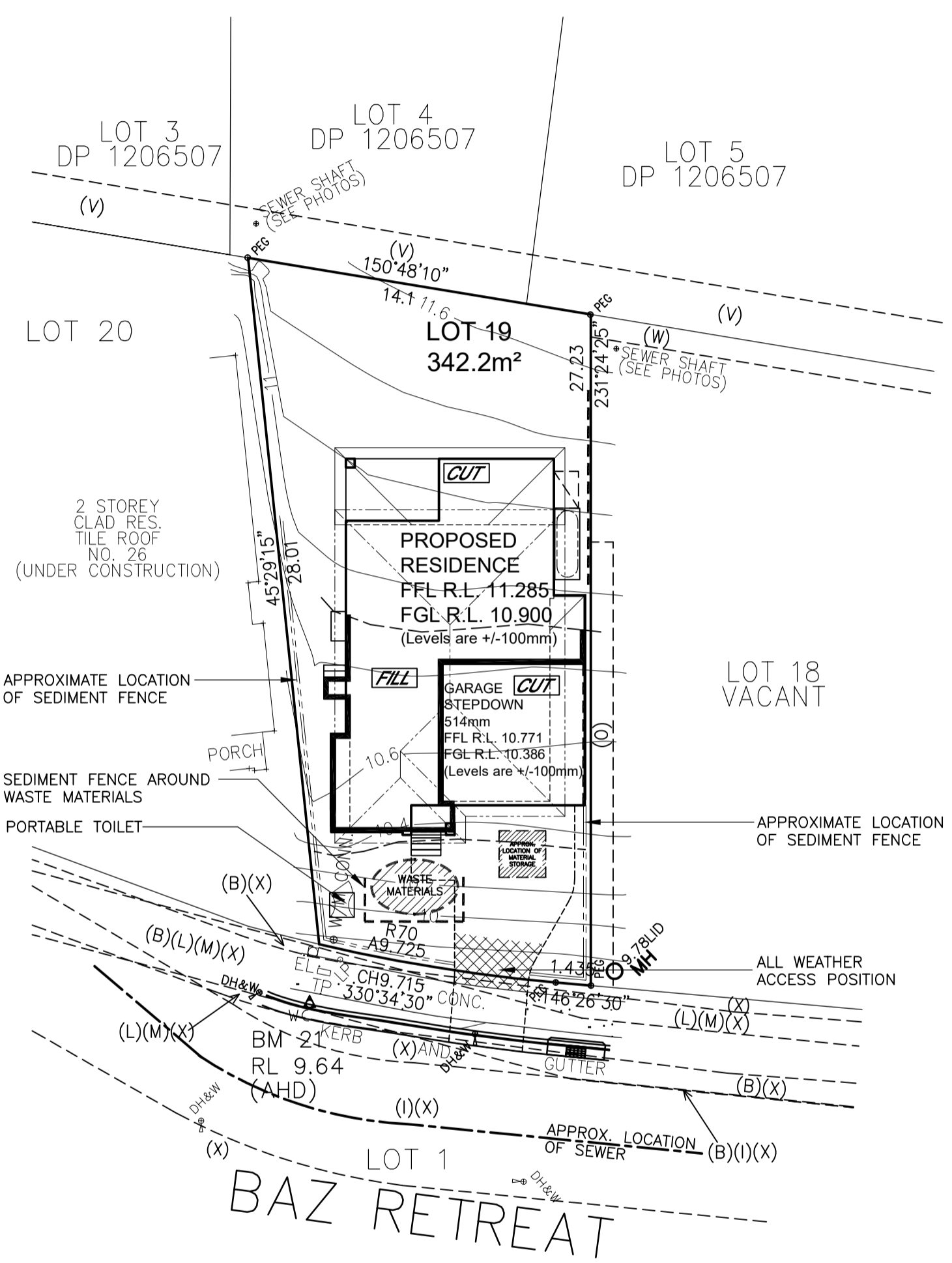




- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
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- (X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No.8

**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED**  
**IN ACCORDANCE WITH**  
**PITTWATER DCP 21 - D16**



**NOTE:**  
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

**NOTE:**  
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

**SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
- ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
- ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
- ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
- SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.
- FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
- DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

**SEDIMENT FENCE**  
 NOT TO SCALE

# CONSTRUCTION MANAGEMENT PLAN

## EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**  
 BL No. 2298C  
 ABN 18 003 892 706  
 Clarendon Homes (NSW) P/L  
 21 Solent Circuit, Baulkham Hills NSW 2153  
 T: (02) 8851 5300

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CLIENT:  
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 Mrs BRADY  
 SITE ADDRESS:  
 Lot 19 No.24, D.P: 270907  
 Baz Retreat  
 WARRIEWOOD 2102

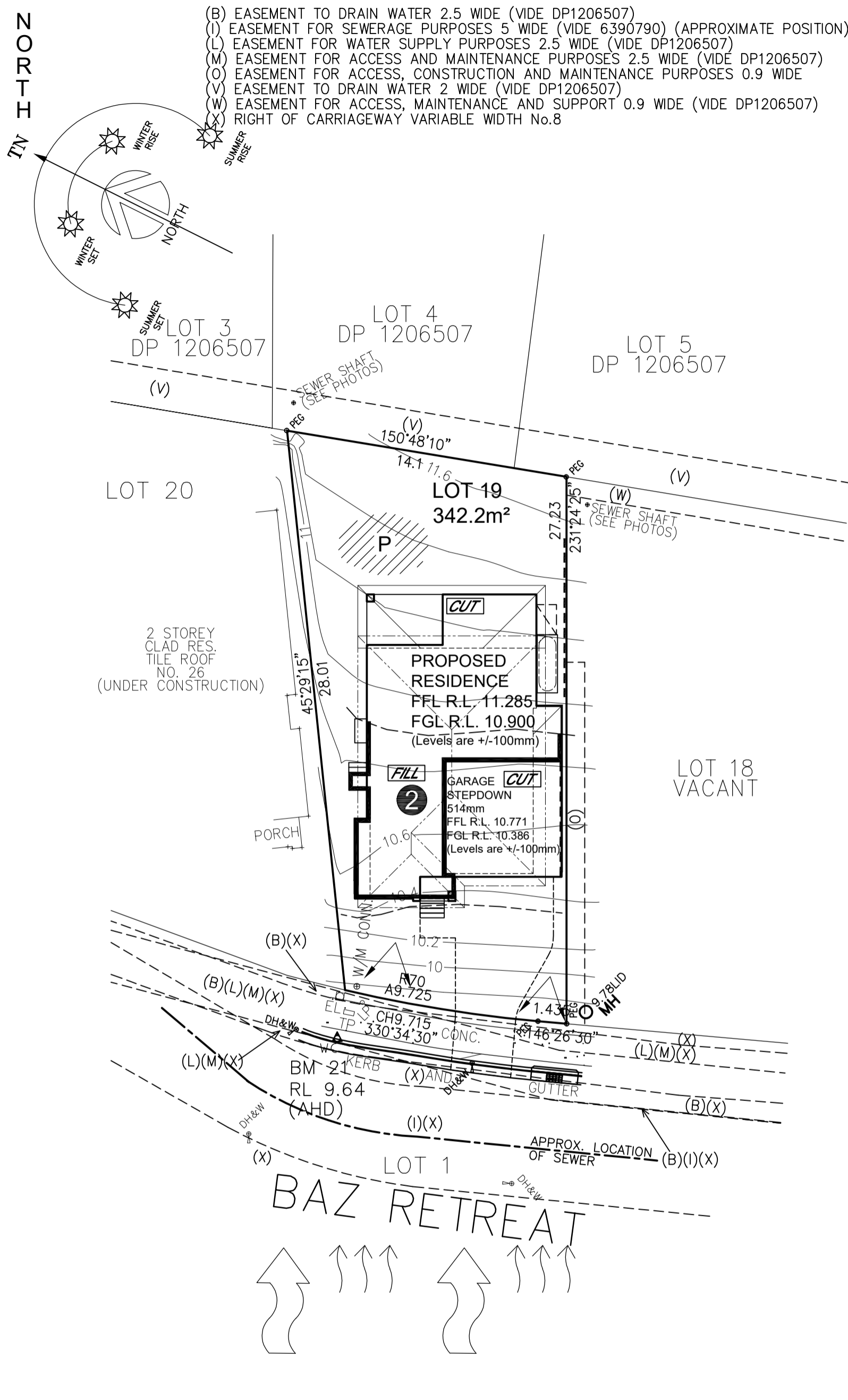
DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.1	JOB No: 29914083	NSW



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**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

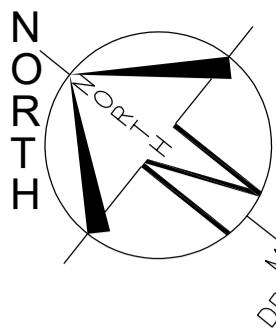
**SITING HAS BEEN COMPLETED**  
**IN ACCORDANCE WITH**  
**PITTSWATER DCP 21 - D16**



**SITE ANALYSIS PLAN**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

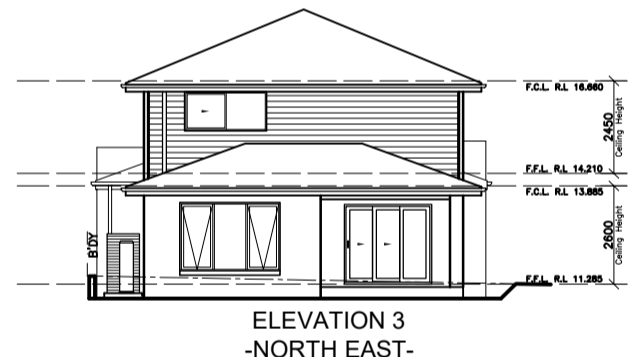
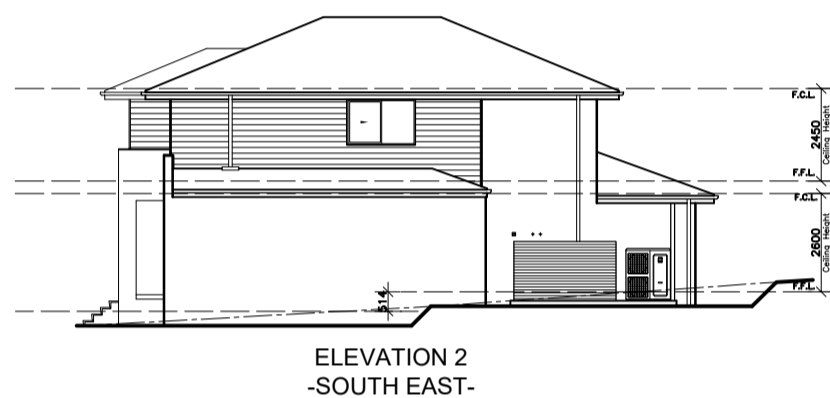
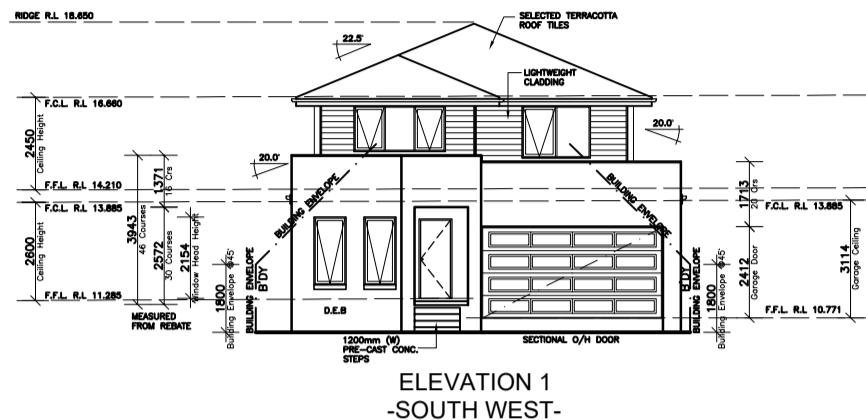
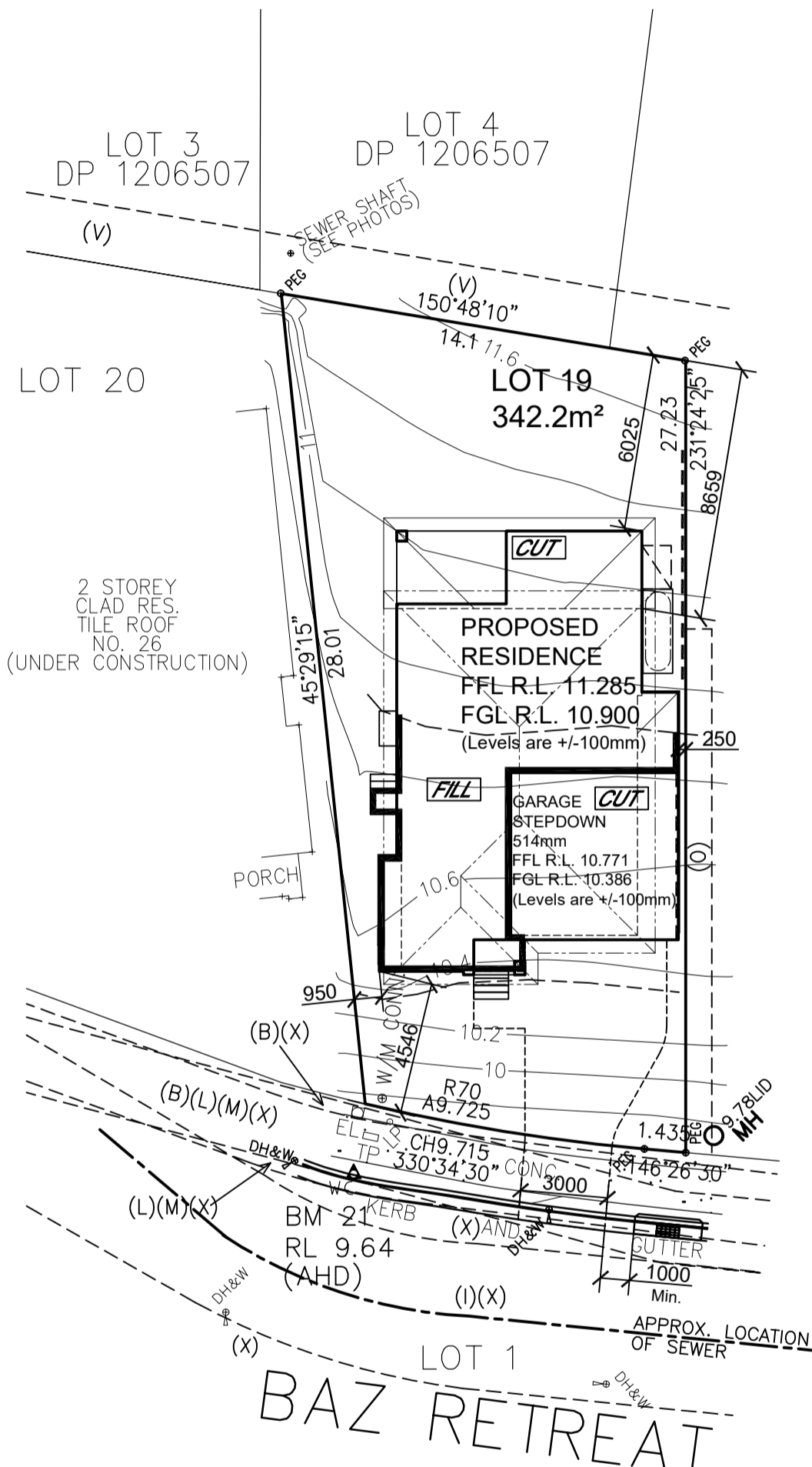
<p>BL No. 2298C          ABN 18 003 892 706</p> <p>Clarendon Homes (NSW) P/L          21 Solent Circuit, Baulkham Hills NSW 2153          T: (02) 8851 5300</p>	<p>© ALL RIGHTS RESERVED          This plan is the property of          CLARENDON HOMES (NSW) P/L          Any copying or altering          of the drawing shall not be          undertaken without written          permission from          CLARENDON HOMES (NSW) P/L</p> <p># DIMENSIONS TO BE READ IN          PREFERENCE TO SCALING</p>	<p>PRODUCT:  <b>BRONTE 25 MKI</b>  <b>Classic</b>  <b>R/H Garage</b></p> <p>Evolution Specification</p>	<p>CLIENT:  <b>Mr BRADY</b>  <b>Mrs BRADY</b></p> <p>SITE ADDRESS:  <b>Lot 19 No.24, D.P: 270907</b>  <b>Baz Retreat</b>  <b>WARRIEWOOD 2102</b></p>	<p><b>DA DRAWINGS</b></p>		
				<p>DRAWN:          PG.</p>	<p>DATE:          25.02.20</p>	<p>Rev:  <b>H</b></p>
				<p>RATIO @ A3:          1:200</p>	<p>CHECKED:          J.S</p>	<p>JOB No:  <b>29914083</b></p>
<p>SHEET:  <b>2.2</b></p>	<p>JOB No:  <b>29914083</b></p>	<p>NSW</p>				



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**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED**  
**IN ACCORDANCE WITH**  
**PITTWATER DCP 21 - D16**



**NEIGHBOUR NOTIFICATION PLAN**

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

**ClarendonHomes**  
 BL No. 2298C  
 ABN 18 003 892 706  
 Clarendon Homes (NSW) P/L  
 21 Solent Circuit, Baulkham Hills NSW 2153  
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 Classic  
 R/H Garage  
 Evolution Specification

CLIENT:  
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 Mrs BRADY  
 SITE ADDRESS:  
 Lot 19 No.24, D.P: 270907  
 Baz Retreat  
 WARRIEWOOD 2102

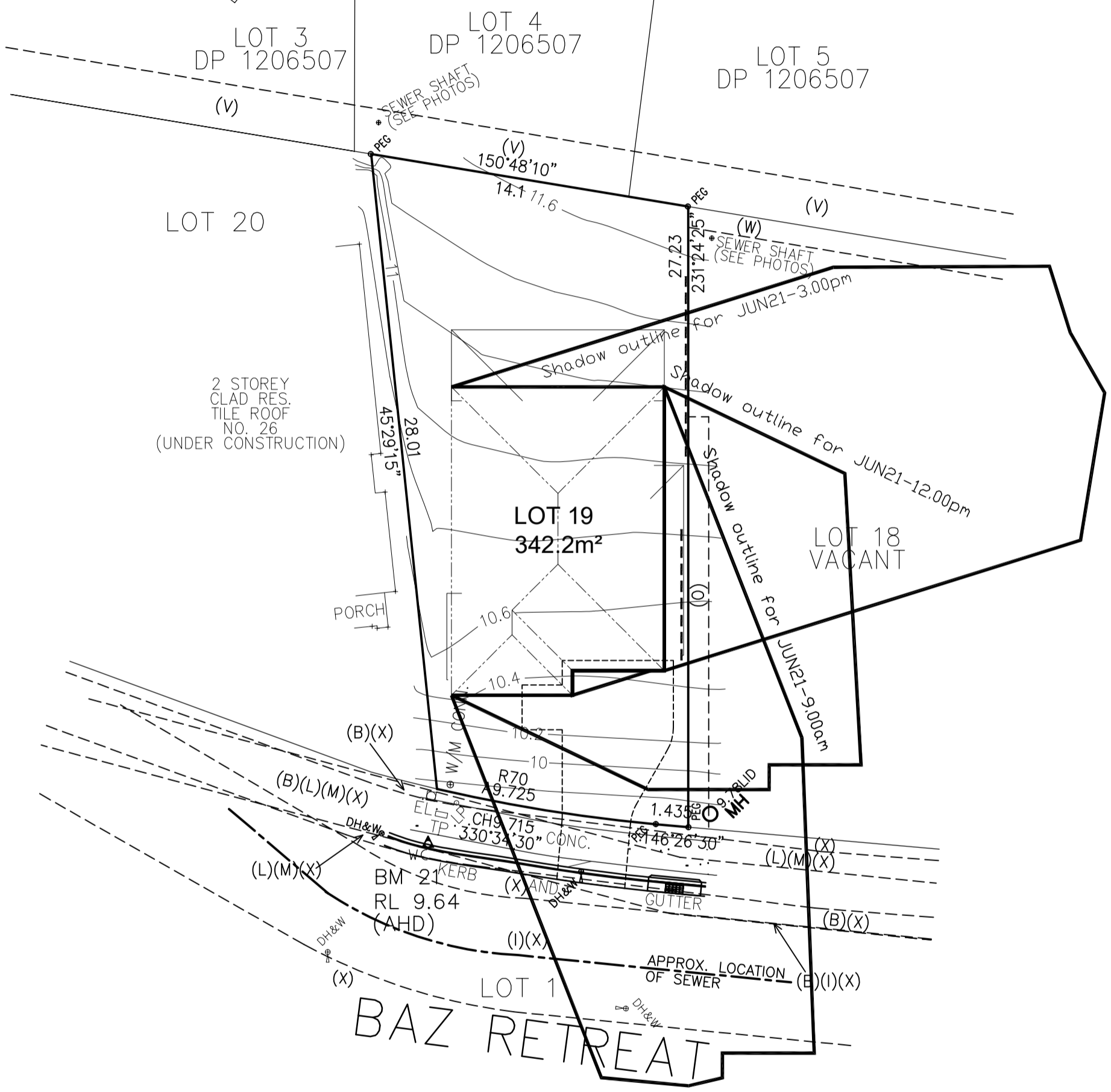
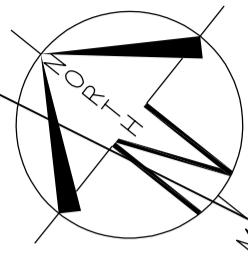
DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.3	JOB No: 29914083	NSW

NORTH

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**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

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**IN ACCORDANCE WITH**  
**PITTWATER DCP 21 - D16**



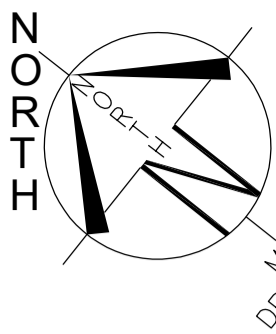
### SHADOW DIAGRAM @ 21st JUNE

- SHADOW CAST AT 9.00am ON JUNE 21st
- SHADOW CAST AT 12.00pm ON JUNE 21st
- SHADOW CAST AT 3.00pm ON JUNE 21st

CLIENT'S SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

 <small>BL No. 2298C ABN 18 003 892 706</small> Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	<small>© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L</small>	<small>PRODUCT:</small> <b>BRONTE 25 MKI</b> <b>Classic</b> <b>R/H Garage</b>  <b>Evolution Specification</b>	<small>CLIENT:</small> <b>Mr BRADY</b> <b>Mrs BRADY</b> <small>SITE ADDRESS:</small> <b>Lot 19 No.24, D.P: 270907</b> <b>Baz Retreat</b> <b>WARRIEWOOD 2102</b>	<b>DA DRAWINGS</b>		
	<small># DIMENSIONS TO BE READ IN PREFERENCE TO SCALING</small>	<small>Evolution Specification</small>	<small>SITE ADDRESS:</small> <b>Lot 19 No.24, D.P: 270907</b> <b>Baz Retreat</b> <b>WARRIEWOOD 2102</b>	<small>DRAWN:</small> PG.	<small>DATE:</small> 25.02.20	<small>Rev:</small> H
				<small>RATIO @ A3:</small> 1:200	<small>CHECKED:</small> J.S	
				<small>SHEET:</small> 2.4	<small>JOB No:</small> 29914083	<small>NSW</small>

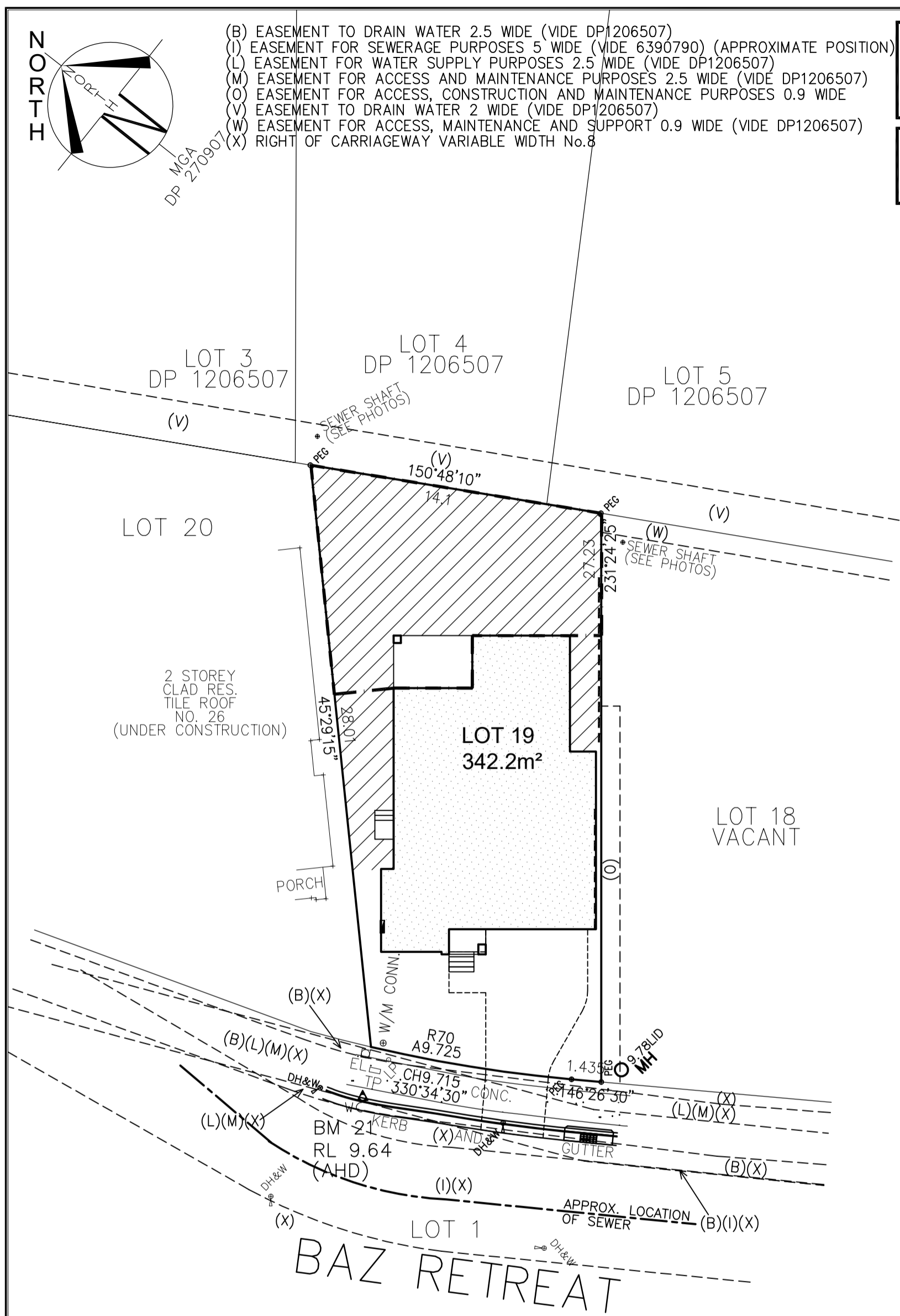




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**LOT 19**  
**D.P: 270907**  
**L.G.A: NORTHERN BEACHES**

**SITING HAS BEEN COMPLETED  
 IN ACCORDANCE WITH  
 PITTWATER DCP 21 - D16**



- PRIVATE OPEN SPACE AREA = 111.47m<sup>2</sup>
- LANDSCAPE AREA = 129.66m<sup>2</sup>
- SITE COVERAGE AREA = 125.13m<sup>2</sup>

## SITE COVERAGE & LANDSCAPE PLAN

CLIENT'S SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

**ClarendonHomes**  
 BL No. 2298C  
 ABN 18 003 892 706  
 Clarendon Homes (NSW) P/L  
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PRODUCT:  
**BRONTE 25 MKI**  
**Classic**  
**R/H Garage**  
 Evolution Specification

CLIENT:  
**Mr BRADY**  
**Mrs BRADY**  
 SITE ADDRESS:  
**Lot 19 No.24, D.P: 270907**  
**Baz Retreat**  
**WARRIEWOOD 2102**

DA DRAWINGS		
DRAWN: PG.	DATE: 25.02.20	Rev: H
RATIO @ A3: 1:200	CHECKED: J.S	
SHEET: 2.5	JOB No: 29914083	NSW







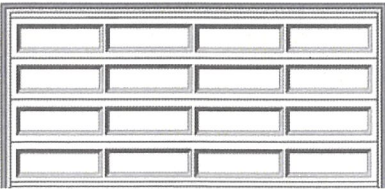


# LIFESTYLE

## - STUDIO -

### BY CLARENDON HOMES

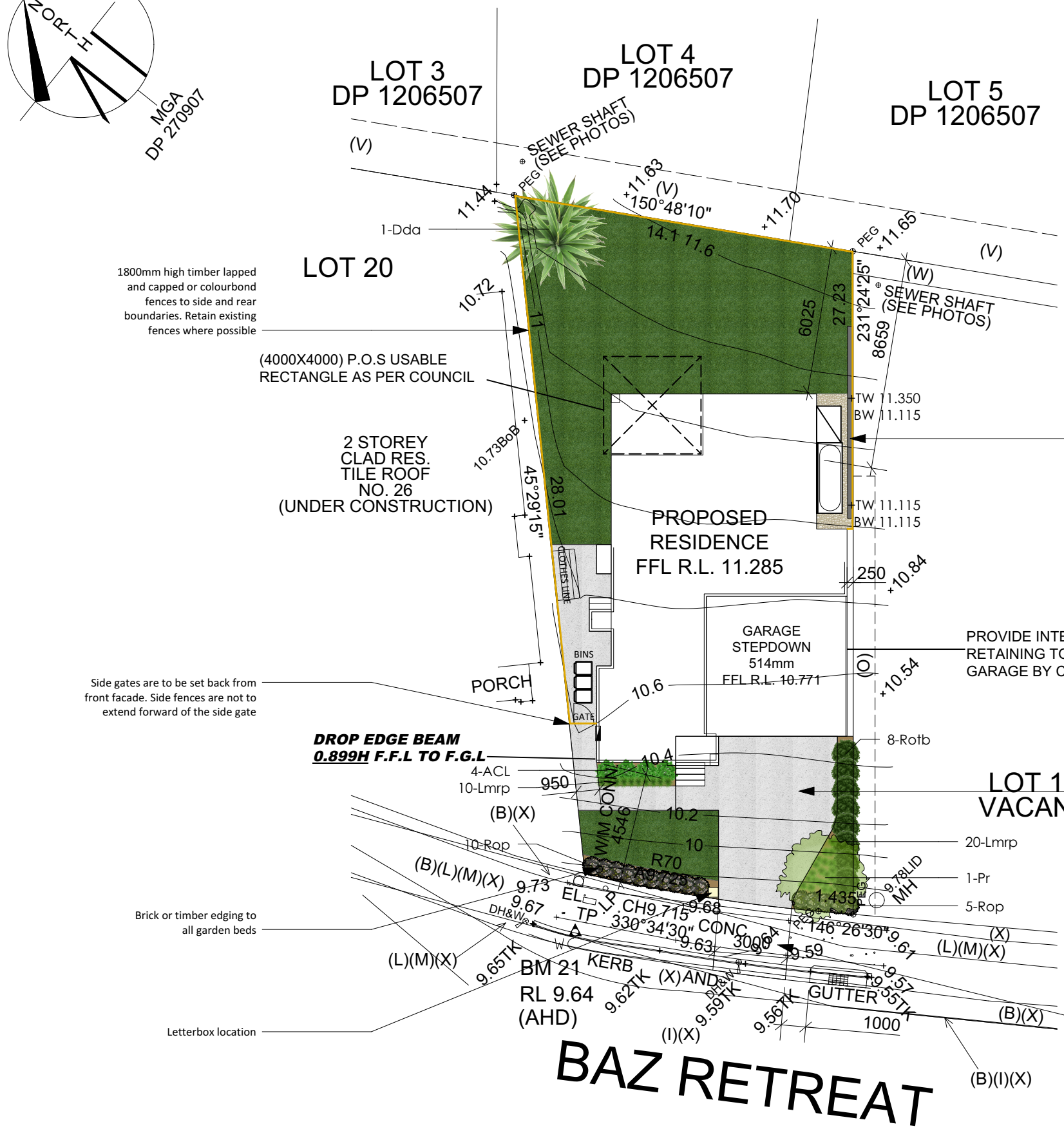
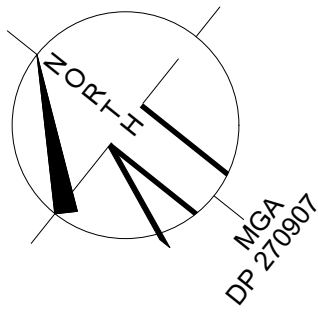
<b>Client:</b>	Mrs Melissa & Mr Daniel Brady		
<b>Site Address:</b>	Lot 19, 24 Baz Retreat WARRIEWOOD NSW 2102		
<b>Job Number:</b>	29914083	<b>House Type:</b>	Bronte 25 MK1
<b>Date Issued:</b>	31/03/2020	<b>Developer:</b>	Colonial Credits

<b>Roof BASIX Rating:</b>	Dark	<b>Wall BASIX Rating:</b>	Dark
---------------------------	------	---------------------------	------

<p><b>Main Body Brick:</b> Austral Wilderness 'Rosewood'</p> 	<p><b>Window Frame Colour:</b> Notre Dame Gloss</p> 	<p><b>Roof Type/Style:</b> Boral Terracotta / Shingle <b>Colour:</b> Bluestone</p> 
<p><b>Front Entry Door Colour:</b> Clarendon Medium Stain</p> 	<p><b>Gutter:</b> Monument <b>Fascia:</b> Monument</p> 	<p><b>Downpipes:</b> Monument <b>Watertank:</b> Monument</p> 
<p><b>Garage Door Type:</b> Ranch</p> 	<p><b>Garage Door Colour:</b> Caoba Dawn</p> 	<p><b>Lightweight Cladding:</b> T-M Grey Street T12 9.F8</p> 
<p><b>Applied Feature:</b> Not Applicable <b>Colour:</b> Not Applicable</p>	<p><b>Other:</b> Not Applicable</p>	<p><b>Driveway/Letterbox:</b> To compliment façade <b>*By client after handover</b></p>

NOTE: Colours are indicative only and should not be used as a true representation of the product.

Signature 	Date 31/03/2020
---	-----------------



- Legend**
- Colour / Stencil Concrete
  - Pebbles / Decorative Gravel Areas
  - Planting Areas
  - Lawn Areas
  - Retaining Wall
  - 1800mm High Boundary Fencing

**Revision Schedule**

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
Scale: 1:200 @A3

Sheet: 1 of 4  
Reference: LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

- General Notes:**
- See Architects drawings for site levels, setbacks and extent of cut and fill.
  - This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  - All relevant Australian standards are to be adhered to.
  - Any structural items are to be installed as per the manufacturer/engineers specifications.
  - This plan is indicative only and not for construction purposes.

**SITE CALCULATIONS**

LOT AREA	342.2 sq m
<b>LANDSCAPED AREA TOTAL</b>	<b>146.2 sq m 42.721%</b>

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:  
1.  
2.

Job No. **200095**

Drawing: **Landscape Plan**

Address: **Lot 19, No.24 Baz Retreat Warriewood**

Council/Lodgement: **Northern Beaches/DA**

**DappleDesigns**

Ph: 1300 DAPPLE  
(1300 327 753)  
E: info@dappledesigns.com.au  
www.dappledesigns.com.au

Any existing trees are to be protected in accordance with councils Tree Protection Detail

- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
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# BAZ RETREAT



## LANDSCAPE SPECIFICATION

### SITE ESTABLISHMENT

ALL RUBBISH, DEBRIS, FALLEN BRANCHES SHALL BE CLEARED FROM LANDSCAPED AREAS AND DISPOSED OF USING SKIP BINS ONSITE OR BY TRANSPORTING TO THE LOCAL WASTE MANANAGEMENT FACILITY. ANY UNUSED BRICKS, CONCRETE BLOCKS OR TIMBER SHOULD BE EITHER RE-USED ONSITE WHERE POSSIBLE OR RECYCLED AT THE LOCAL WASTE MANANAGEMENT FACILITY.

### TREE PROTECTION

TREES TO BE RETAINED SHALL BE PROTECTED DURING SITE WORKS AND TREE PROTECTION BARRIERS INSTALLED ACCORDING TO TREE PROTECTION DETAILS. NO EXCAVATION OR CHANGE IN SOIL LEVEL SHOULD TAKE PLACE AROUND THE BASE OF SUCH TREES. ANY ARBORIST REPORT MUST BE ADHERED TO AND TREE PROTECTION ZONES MAINTAINED WHERE APPLICABLE.

### WEED ERADICATION

AREAS TO BE LANDSCAPED ARE TO BE SPRAYED WITH GLYPHOSATE AT THE RECOMMENDED RATE AT LEAST 1 WEEK PRIOR TO ANY LANDSCAPE WORKS TAKING PLACE IN ORDER TO ALLOW WEEDS TO DIE OFF. CARE IS TO BE TAKEN TO PROTECT REMAINING VEGETATION FROM THE HERBICIDE APPLICATION AND SHOULD ONLY BE UNDERTAKEN IN STILL WEATHER. ALL WEEDS ARE THEN TO BE DISPOSED OF APPROPRIATELY AT THE LOCAL WASTE MANANAGEMENT FACILITY.

### GARDEN BED PREPERATION

ENSURE ALL GARDEN BEDS HAVE BEEN EXCAVATED TO 250MM BELOW FINISHED LEVELS. RIP THE SUBGRADE A FURTHER 100MM IN DEPTH. INSTALL PREMIUM GARDEN SOIL OR MIX NATURAL TOP SOIL WITH IMPORTED SOIL TO A DEPTH OF 250MM. INSTALL 75MM DEPTH OF LEAF LITTER MULCH FROM ANL LANDSCAPE SUPPLIES OR EQUIVALENT.

### LAWN AREA PREPERATION

EXCAVATE LAWN AREAS TO A DEPTH OF 100MM BELOW REQUIRED FINISHED LEVELS. DO NOT EXCAVATE WITHIN WITHIN TREE PROTECTION ZONES WHERE APPLICABLE OR WITHIN 1500MM OF THE TRUNK OF ANY EXISTING TREES TO BE RETAINED. ENSURE THAT ALL SURFACE WATER IS DIRECTED TOWARD ANY DRAINAGE PITS, KERBS AND AWAY FROM ANY BUILDINGS. SUBGRADE IS TO BE RIPPED TO A DEPTH OF 150MM AND A 50MM DEEP LAYER OF TURF UNDERLAY INSTALLED ON TOP. LAWNS SHOULD HAVE AN EVEN GRADE SO THAT NO PONDING OR POOLING OCCURS. 'SIR LAUNCHER' FERTILISER OR EQUIVELANT SHOULD BE SPREAD OVER LAWN AREAS PRIOR TO LAYING TURF. LAY 'SIR WALTER BUFFALO' TURF ROLLS CLOSELY BUTTED ENSURING NO GAPS BETWEEN ARE PRESENT. ROLL AND WATER THOROUGHLY AFTER LAYING.

### PLANTING

PLANTS ARE TO BE HEALTHY, FREE OF PEST/DISEASES AND TRUE TO TYPE & SPECIES. REFER TO LANDSCAPE PLAN FOR LOCATION AND SPACING. ALL PLANTS SHOULD BE PLACED IN A HOLE DUG TWICE THE SIZE OF THE POT. GENTLY TEESE THE ROOTS OF ANY POT BOUND PLANTS. THE BASE OF THE TRUNK SHOULD BE INSTALLED LEVEL WITH THE SURFACE OF THE GROUND AND DISH CREATED AROUND THE BASE OF EACH PLANT TO AID WITH WATER RETENTION. WATER THOROUGHLY AFTER PLANTING.

## PLANT LIST

TYPE	SYMBOL	BOTANIC NAME	COMMON NAME	MATURE HEIGHT X WIDTH	NATIVE?	QTY	POT SIZE
<b>TREES</b>							
	Dda	PANDANUS TECTORIUS	SCREW PINE	8M X 5M	YES	1	25LTR
	Pr	PLUMERIA SP	FRANGIPANI	5M X 5M	NO	1	25LTR
<b>SHRUBS</b>							
	Acl	ACACIA 'LIMELIGHT'	LIMELIGHT	1M X 1M	YES	4	200MM
	Rop	RHAPHIOLEPIS 'ORIENTAL PEARL'	INDIAN HAWTHORN	1M X 1M	NO	15	200MM
	Rotb	ROSMARINUS OFFICINALIS	ROSEMARY	1.2M X 1.2M	NO	8	200MM
<b>GRASSES &amp; STRAP</b>							
<b>LEAF PLANTS</b>							
	Lmrp	LIRIOPE MUSCARI 'ROYAL PURPLE'	LILY TURF	0.4M X 0.4M	NO	30	140MM

### STAKING

ALL TREES AND TOP HEAVY SCREENING SHRUBS SHOULD BE STAKED WITH 2 X 25MM X 25MM LONG TIMBER STAKES PER PLANT. LENGTH OF STAKES IS DEPENDENT ON THE HEIGHT AND STABILITY OF THE TREE/SHRUB. STAKES SHOULD BE FIRMLY POSITIONED. HESSIAN TAPE IS TO BE PLACED AROUND THE TREE AND STAKES ALLOWING SOME MOVEMENT IN ORDER TO ALLOW THE TRUNK TO DEVELOP STRENGTH OVERTIME.

### GARDEN EDGING

USE EITHER '**HAVEN' BRICK EDGING** OR SIMILAR LAID ON A 50MM THICK BED OF MORTAR, OR '**TREATED TIMBER EDGING** SECURED WITH INGROUND TIMBER STAKES. ALL GARDENS ARE TO HAVE EDGING INSTALLED AND BE INSTALLED AS PER PLAN.

### RETAINING WALLS

REFER TO MANUFACTURERS INSTRUCTIONS FOR CONSTRUCTION OF RETAINING WALLS. DETAILS ON THIS PLAN ARE A GUIDE ONLY.

### COMPLETION

SITE IS TO BE CLEARED OF ANY SURPLUS MATERIALS AND DEBRIS PRIOR TO PRACTICAL COMPLETION. WORK IS TO BE COMPLETED TO THE SATISFACTION OF COUNCILS GUIDELINES AND ANY DA CONDITIONS

### MAINTENANCE PERIOD

A 12 MONTH MAINTENANCE PERIOD FROM THE DATE OF PRACTICAL COMPLETION WILL APPLY. DURING THIS TIME THE OWNER IS RESPONSIBLE FOR RECTIFYING ANY DEFECTIVE WORK. DURING THE MAINTENACE PERIOD THE FOLLOWING ACTIVITIES ARE TO BE UNDERTAKEN.

**a) REPLACEMENTS:** ANY PLANTS/TREES THAT HAVE DIED SHALL BE REPLACED WITH THE SAME SPECIES AND SIZE AS INDICATED ON THIS PLAN. THE SPECIMENS MUST BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES.

**b) WATERING:** REGULAR WATERING OF PLANTS IS REQUIRED. PLANTS SHOULD BE WATERED TWICE A WEEK WITHIN THE FIRST

2 MONTHS OF PLANTING AND AND DURING DRY PERIODS. LESS FREQUENT WATERING IS REQUIRED ONCE PLANTS ARE ESTABLISHED AND DURING PERIODS OF RAIN. THE CONTRACTOR/OWNER SHOULD USE THEIR DISCRETION.

**c) GARDEN BEDS:** GARDEN AREAS SHOULD BE REGULARLY WEEDED AND MULCH TOPPED UP IF REQUIRED. NO BARE SOIL IS TO BE PRESENT AND SPECIFIED DEPTHS MAINTAINED.

**d) LAWN AREAS:** LAWN AREAS SHALL BE MOWN REGULARLY (AT LEAST ONCE A WEEK IN GROWING SEASON) IN ORDER TO PROMOTE A THICK LAWN THAT OUTCOMPETES ANY WEEDS. LAWN CLIPPINGS ARE NOT TO BE SPREAD OVER GARDEN AREAS. ANY DEAD AREAS OF LAWN OCCURING THE MAINTENANCE PERIOD, ARE TO BE REPLACE WITH THE TURF VARIETY SPECIFED IN THE PLAN.

**e) PRUNING:** ADEQUATE HORTICULTURAL PRUNING METHODS SHOULD BE USED ON PLANTS AS BECOMES NECESSARY. ANY HEDGES ARE TO BE TRIMMED REGULARLY, DEAD AND DANGEROUS TREE BRANCHES PRUNED AND LIGHT PRUNING OF SHRUBS TO PROMOTE THICK FOLIAGE COVER.

**f) FERTILISING:** 'ORGANIC LIFE' FERTILISER OR EQUIVELANT SHALL BE APPLIED AS PER MANUFACTURERS INSTRUCTIONS TO ALL GARDEN BEDS ONCE PER MONTH. DYNAMIC LIFTER OR SIMILAR SHOULD BE APPLIED TO ALL LAWN AREAS TWICE A YEAR, ONCE IN MID SPRING AND ONCE IN EARLY SUMMER. WATER THOROUGHLY AFTER EACH APPLICATION OF FERTILISER.

## Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted:	Scale: 1:200 @A3
JS	

Sheet:	Reference:
2 of 4	LP 01

Designed by:

**Julian Saw**  
**Diploma of Horticulture**  
**(Landscape Design)**

General Notes:

- See Architects drawings for site levels, setbacks and extent of cut and fill.
- This plan shall be read in conjunction with the Hydraulic Engineers drawings.
- All relevant australian standards are to be adhered to.
- Any structural items are to be installed as per the manufacturer/engineers specifications.
- This plan is indicative only and not for construction purposes

### SITE CALCULATIONS

LOT AREA	342.2 sq m	
LANDSCAPED AREA TOTAL	146.2 sq m	42.721%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:

- 
- 

Job No. **200095**

Drawing: **Plant List/Specification**

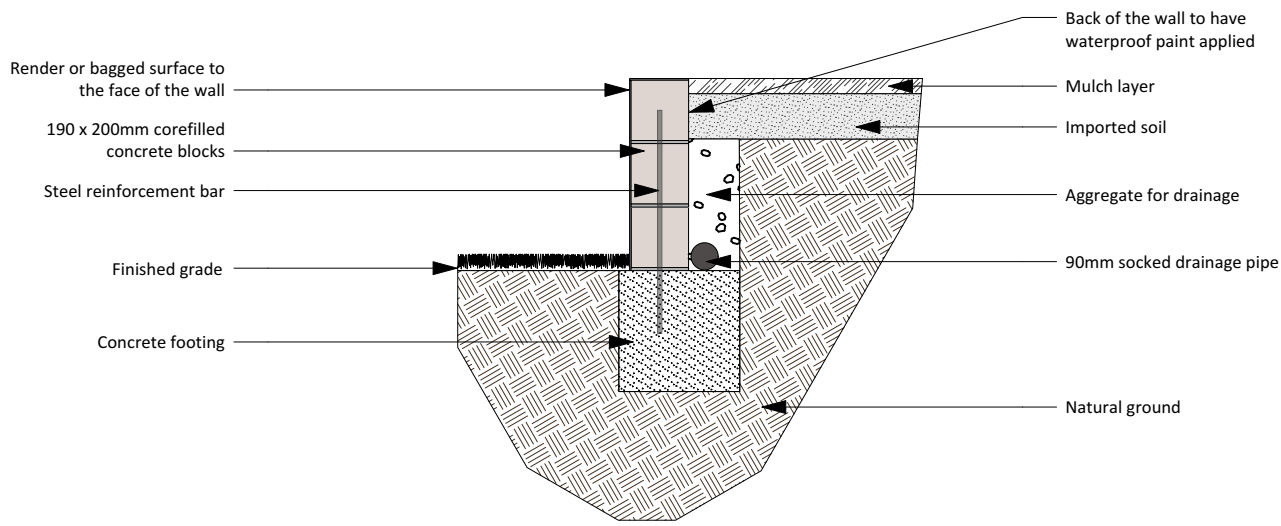
Address: **Lot 19, No.24 Baz Retreat**  
**Warriewood**

Council/Lodgement:  
**Northern Beaches/DA**

**DappleDesigns**

Ph: 1300 DAPPLE  
(1300 327 753)  
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www.dappledesigns.com.au

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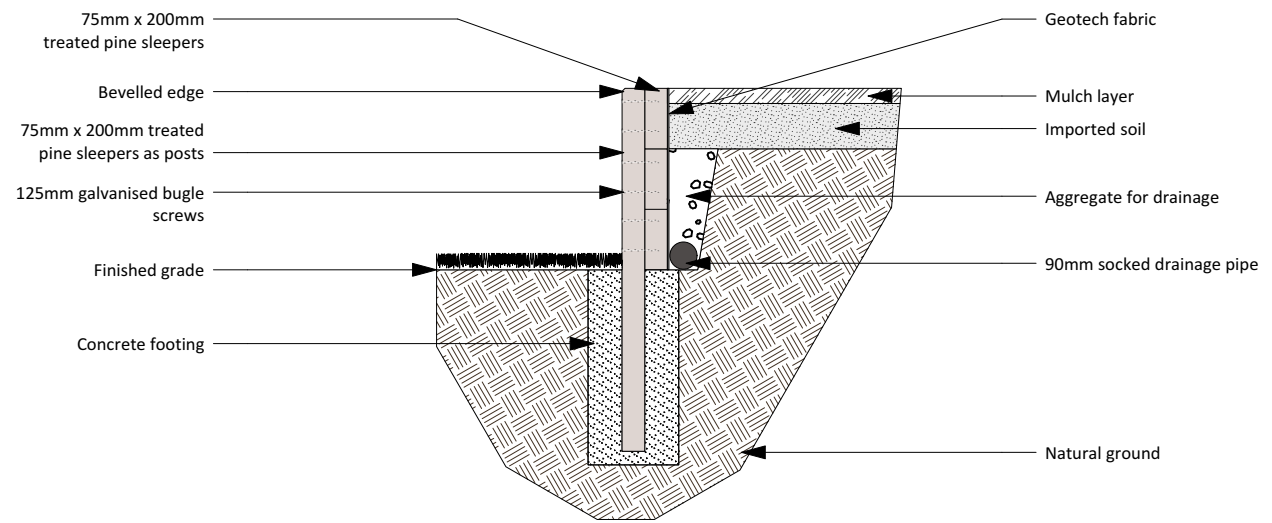


**DETAILS**

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT
3. REFER TO PLAN FOR HEIGHTS
4. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

RENDERED/BAGGED RETAINING WALL DETAIL

SCALE 1:25

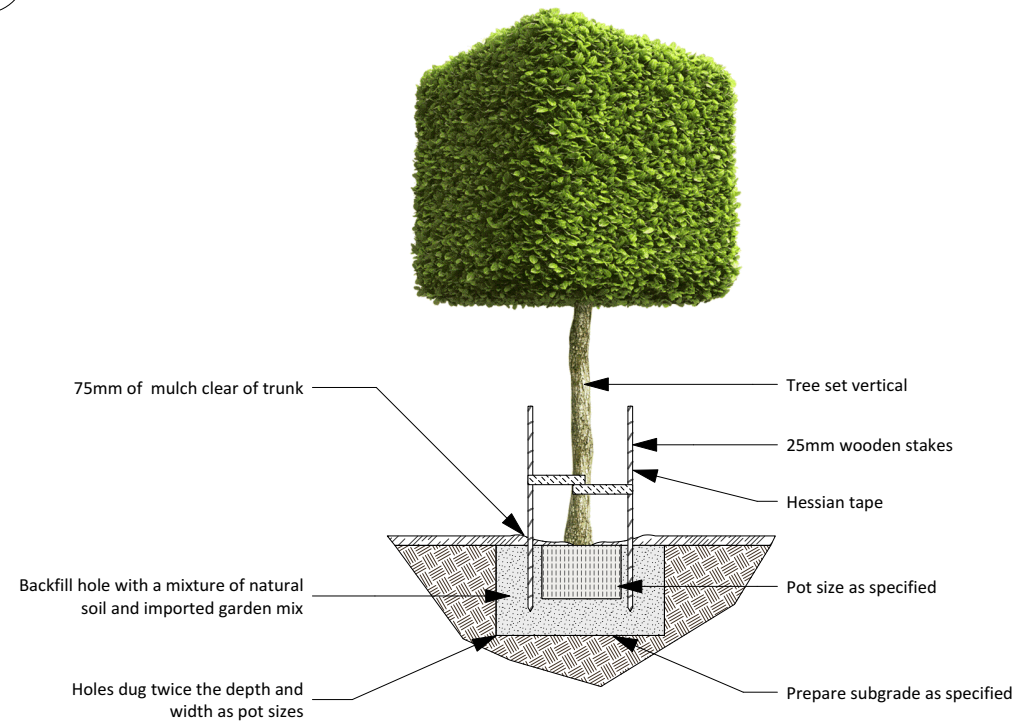


**DETAILS**

1. ENSURE THAT THERE IS ADEQUATE DRAINAGE BEHIND THE WALL
2. WALL IS TO BE STAIGHT OR SLIGHTLY SLANTED TOWARDS THE SOIL BEING RETAINED
3. TIMBER IS TO BE FREE OF CRACKS AND KNOTS
4. REFER TO PLAN FOR HEIGHTS
5. REFER TO ENGINEERS PLANS FOR WALLS OVER EXEMPT & COMPLYING DEVELOPMENT HEIGHTS

TREATED TIMBER RETAINING WALL DETAIL

SCALE 1:25



**DETAILS**

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. WATER THOROUGHLY AFTER PLANTING

TREE PLANTING DETAIL

SCALE 1:40

**Revision Schedule**

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
Scale: 1:200 @A3  
0 0 1 2 3 M

Sheet: 3 of 4  
Reference: LP 01

Designed by:  
**Julian Saw**  
Diploma of Horticulture  
(Landscape Design)

- General Notes:
1. See Architects drawings for site levels, setbacks and extent of cut and fill.
  2. This plan shall be read in conjunction with the Hydraulic Engineers drawings.
  3. All relevant Australian standards are to be adhered to.
  4. Any structural items are to be installed as per the manufacturer/engineers specifications.
  5. This plan is indicative only and not for construction purposes

**SITE CALCULATIONS**

LOT AREA	342.2 sq m
LANDSCAPED AREA TOTAL	146.2 sq m 42.721%

[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
**Mrs Brady**

Client Signatures:

- 1.
- 2.

Job No. **200095**

Drawing: **Construction Details**

Address: **Lot 19, No.24 Baz Retreat**  
**Warriewood**

Council/Lodgement: **Northern Beaches/DA**

**DappleDesigns**

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Revision Schedule

Issue:	Description:	By:	Date:
A	Submission Plan	JS	12/03/20

Drafted: JS  
 Scale: 1:200 @A3  


Sheet: 4 of 4  
 Reference: LP 01

Designed by:  
**Julian Saw**  
 Diploma of Horticulture  
 (Landscape Design)

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SITE CALCULATIONS		
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[Click Here to View Our Plant Profiles!](#)

Client: **Mr Brady**  
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- 1.
- 2.

Job No. **200095**

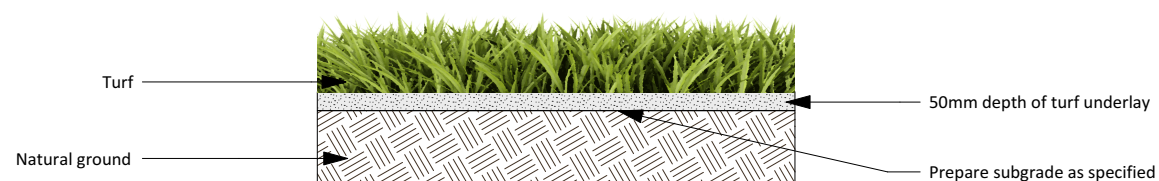
Drawing: **Planting Details**

Address: **Lot 19, No.24 Baz Retreat**  
**Warriewood**

Council/Lodgement:  
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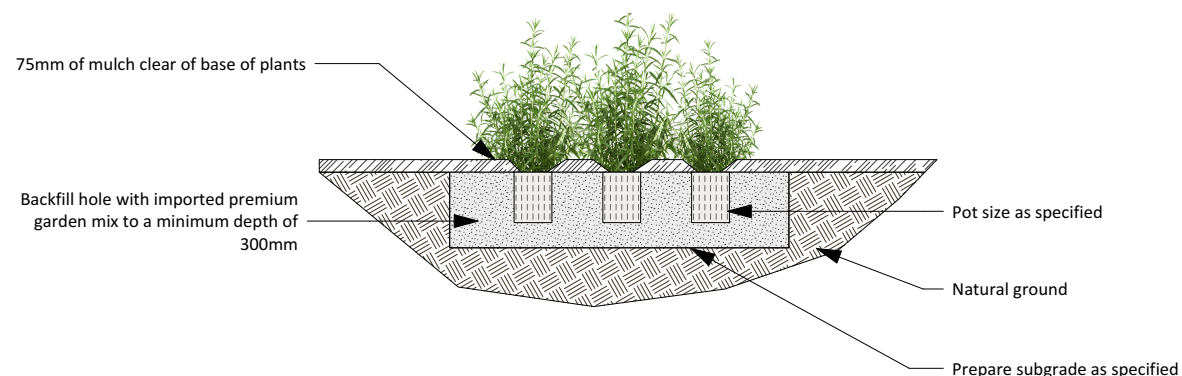


DETAILS

1. TURF ROLLS ARE TO BE IN GOOD HEALTH, FREE FROM PESTS AND DISEASES AND WITHOUT HOLES
2. APPLY WATER SAVING CRYSTALS TO THE GROUND PRIOR TO LAYING
3. BUT ROLLS CLOSELY TOGETHER TO AVOID GAPS AND DIEBACK
4. WATER THOROUGHLY AFTER PLANTING AND REGULARLY UNTIL ESTABLISHED

TURF LAYING DETAIL

SCALE 1:20



DETAILS

1. SPECIMENS ARE TO BE IN GOOD HEALTH AND FREE FROM PESTS AND DISEASES
2. GENTLY LOOSEN ROOTS IF REQUIRED, PRIOR TO PLANTING
3. WATER THOROUGHLY AFTER PLANTING
4. REFER TO PLAN FOR QUANTITIES AND SPACING

SHRUB & GROUNDCOVER PLANTING DETAIL

SCALE 1:30