Rapíd Plans www.rapídplans.com.au P.O. Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: gregg@rapidplans.com.au



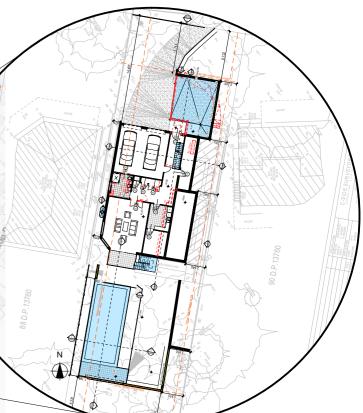
Drawing No:	Description	Issue/Revision	Date
	Cover Sheet	1	9-12-2020
DA1001	A4 Notification Plan	1	9-12-2020
DA1002	Survey Plan	1	9-12-2020
DA1003	Site Plan	1	9-12-2020
DA1004	Existing Ground Floor Plan	1	9-12-2020
DA1005	Existing Ground Floor 2	1	9-12-2020
DA1006	Existing First Floor Plan	1	9-12-2020
DA1007	Existing Second Floor	1	9-12-2020
DA1008	Demolition Ground Floor Plan	1	9-12-2020
DA1009	Demolition Ground Floor 2	1	9-12-2020
DA1010	Demolition First Floor	1	9-12-2020
DA1011	Demolition Second Floor	1	9-12-2020
DA1012	Excavation & Fill Plan	1	9-12-2020
DA1013	Landscape Open Space Plan Existing	1	9-12-2020
DA1014	Landscape Open Space Plan Proposed	1	9-12-2020
DA1015	Landscape Plan	1	9-12-2020
DA1016	Sediment & Erosion Control Plan	1	9-12-2020
DA1017	Waste Management Plan	1	9-12-2020
DA1018	Stormwater Plan	1	9-12-2020
DA2001	Ground Floor Plan	1	9-12-2020
DA2002	Ground Floor Plan 2	1	9-12-2020
DA2003	First Floor Plan	1	9-12-2020
DA2004	Second Floor Plan	1	9-12-2020
DA2005	Roof Plan	1	9-12-2020
DA3001	Section 1	1	9-12-2020
DA3002	Section 2	1	9-12-2020
DA3003	Section Pool	1	9-12-2020
DA4001	Elevations 1	1	9-12-2020
DA4002	Elevations 2	1	9-12-2020
DA4003	Elevations 3	1	9-12-2020
DA4004	Elevations 4	1	9-12-2020
DA4005	Elevation Front Fence	1	9-12-2020
DA5001	Perspective	1	9-12-2020
DA5002	Material & Colour Sample Board	1	9-12-2020
DA5003	June 21st Shadow - 9am	1	9-12-2020
DA5004	June 21st Shadow - 12pm	1	9-12-2020
DA5005	June 21st Shadow - 3pm	1	9-12-2020

# **DEVELOPMENT APPLICATION** terations & AdditionsTo Existing **Residence** For Trish Quirk 29 Wandeen Road, Clareville Lot 89 D.P. 13760 Project Number: RP161118 29 Wandeen Road 0 E Wande Refuge Cove holiday house Hudson Parade Georgia Lee Pr **BASIX** Certificate Building Sustainability Index www.basix.nsw.gov.au Alterations and Additions Certificate number: A369348 02 This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary Date of issue: Wednesday, 09, December 2020 To be valid, this certificate must be lodged within 3 months of the date of issue





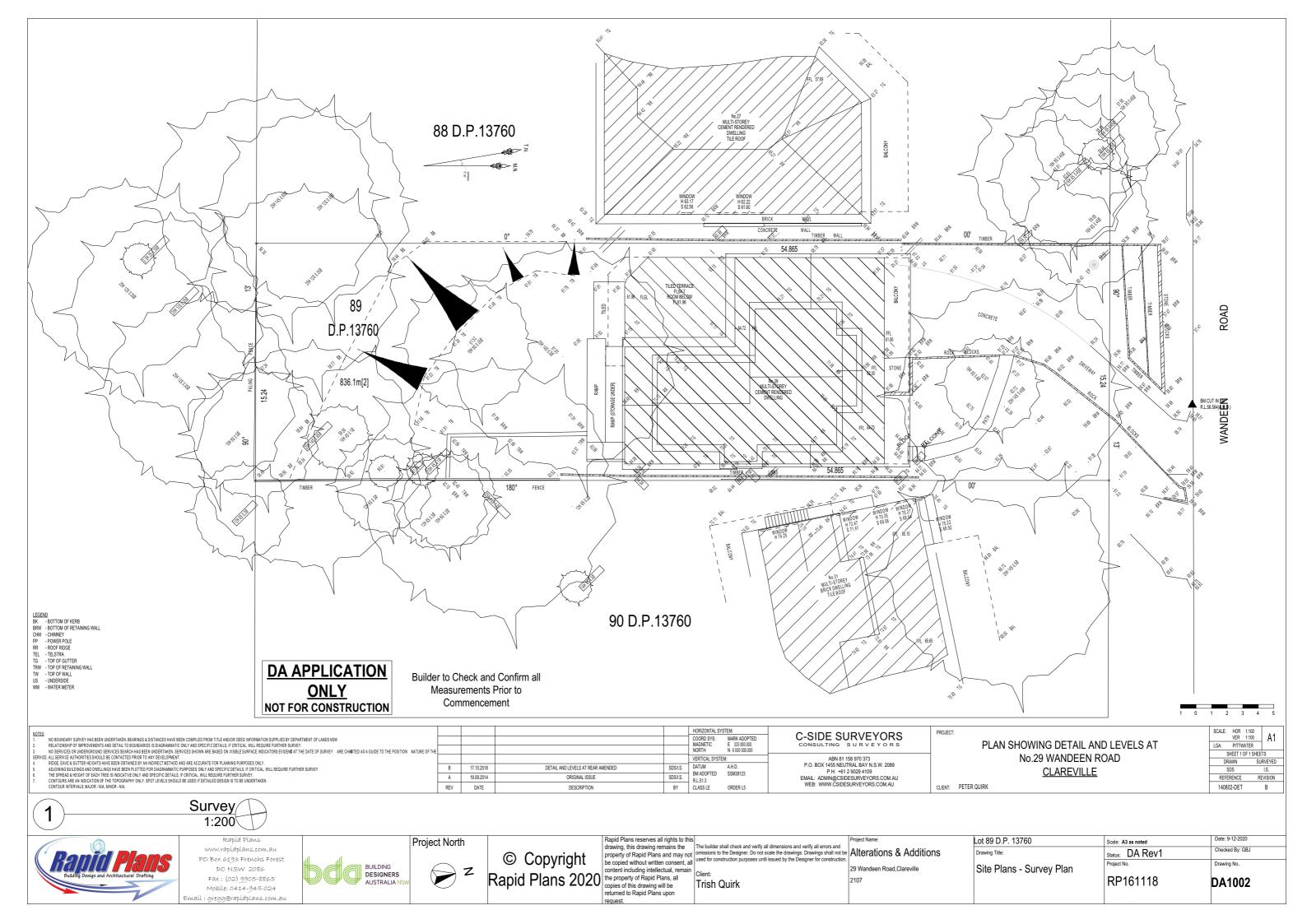


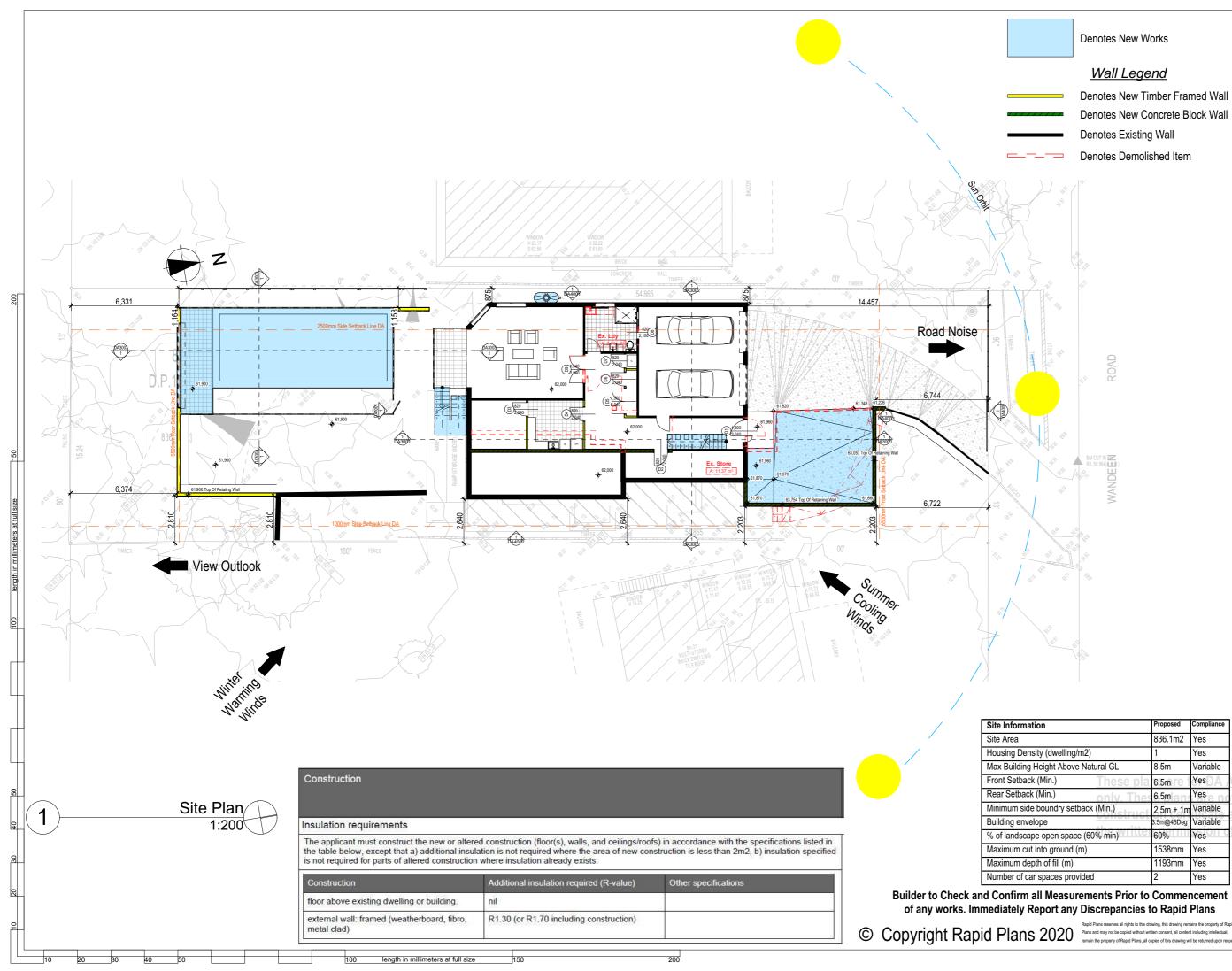
0	Project address	
Ð	Project name	Quirk_02
2	Street address	29 Wandeen Road Clareville 2107
Ľ	Local Government Area	Northern Beaches Council
2	Plan type and number	Deposited Plan 13760
	Lot number	89
5	Section number	
	Project type	
	i toject type	
	Dwelling type	Separate dwelling house
Ipuloi		Separate dwelling house My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: Rapid Plans

ABN (if applicable): 43150064592





#### Denotes New Works

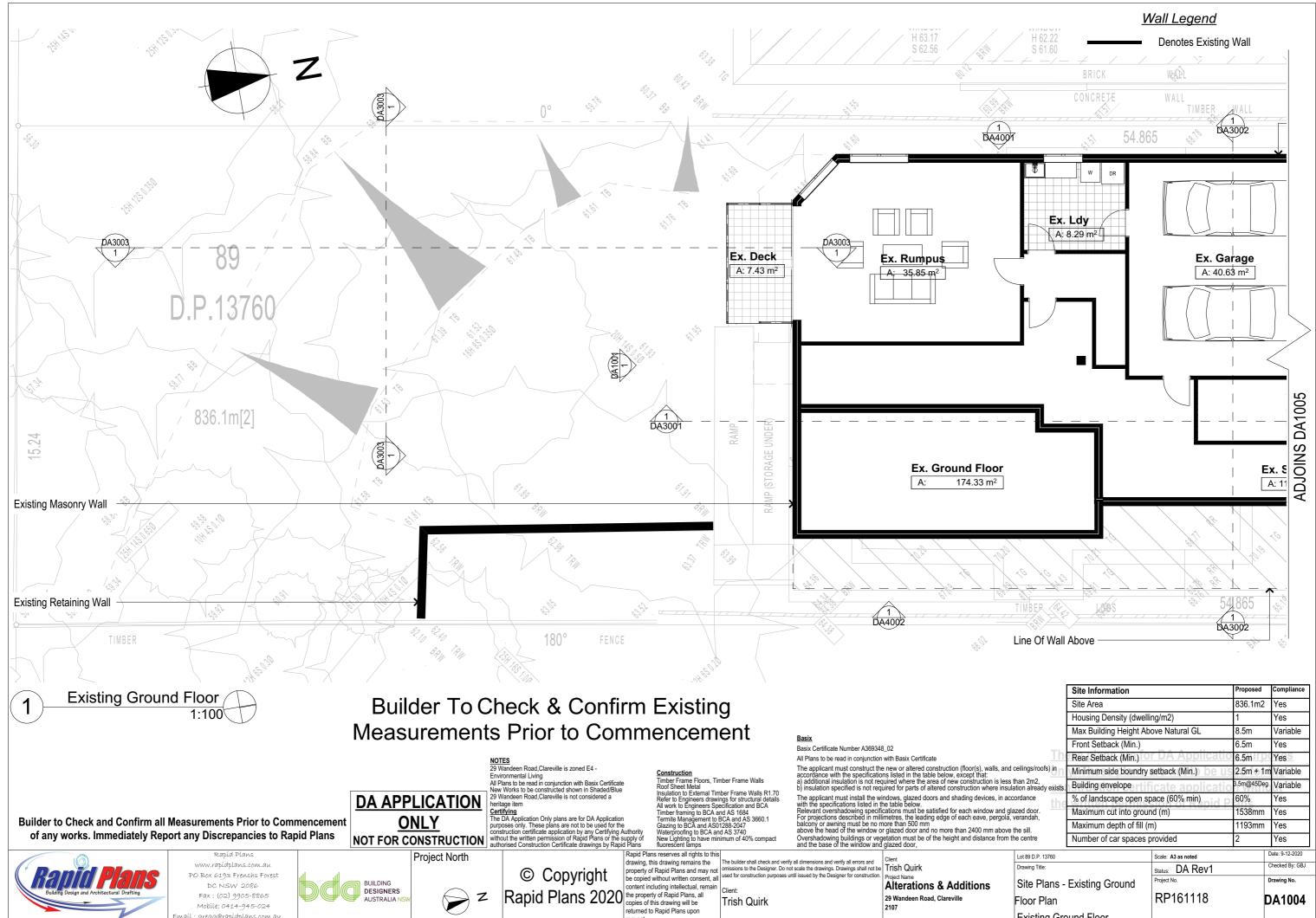
## Wall Legend

Denotes New Timber Framed Wall Denotes New Concrete Block Wall **Denotes Existing Wall** Denotes Demolished Item

	Proposed	Compliance
	836.1m2	Yes
dwelling/m2)	1	Yes
ht Above Natural GL	8.5m	Variable
n.) <u>These pla</u>	6.5m re 1	YesDA
) only. Thes	6.5m ang	Yes
ndry setback (Min.)	2.5m + 1m	Variable
4	3.5m@45Deg	Variable
en space (60% min)	60%	Yes
ground (m)	1538mm	Yes
fill (m)	1193mm	Yes
ces provided	2	Yes

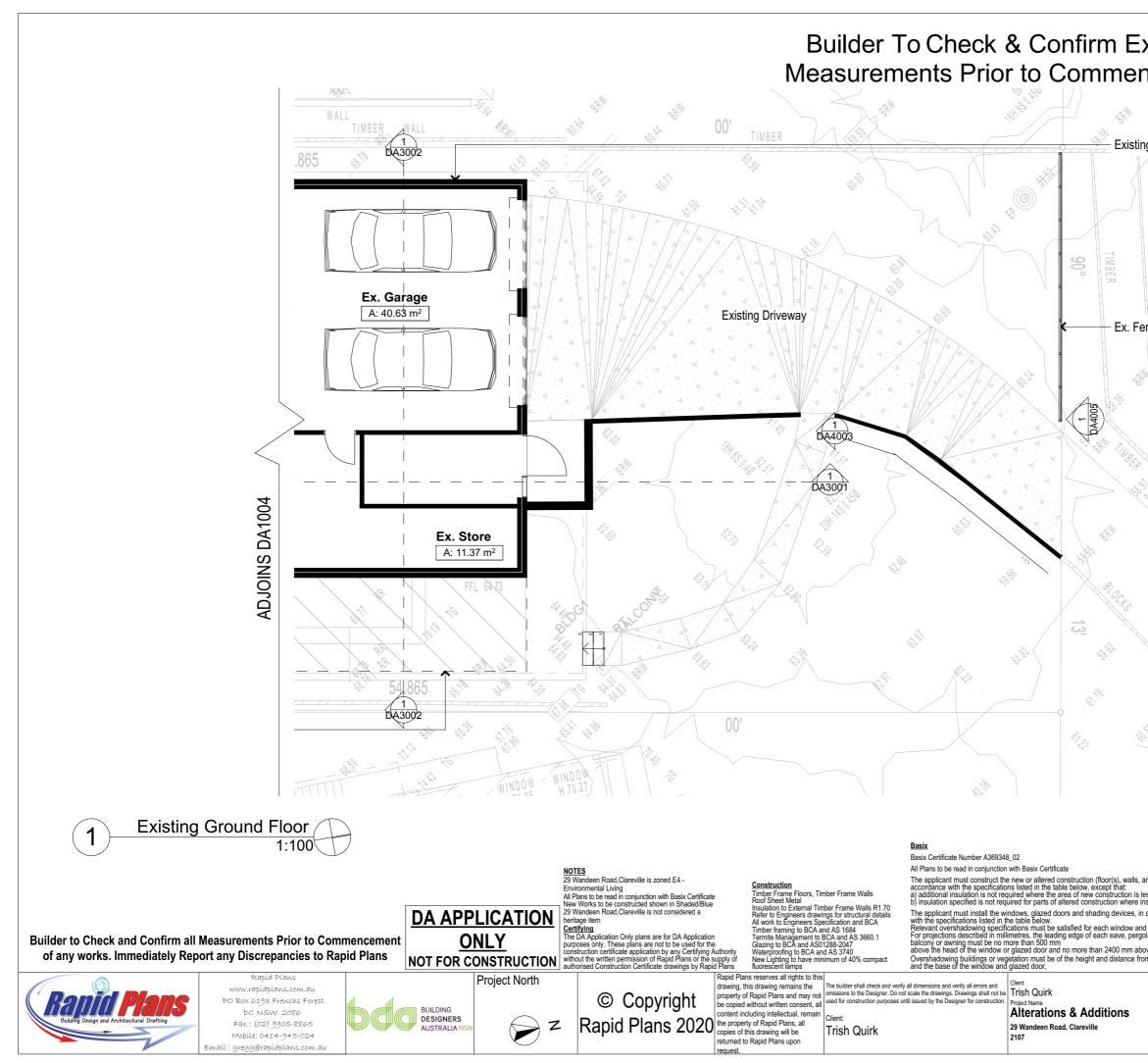
Plans and may not be copied without written consent, all content including intellectual, ty of Rapid Plans, all copies of this drawing will be returned upor



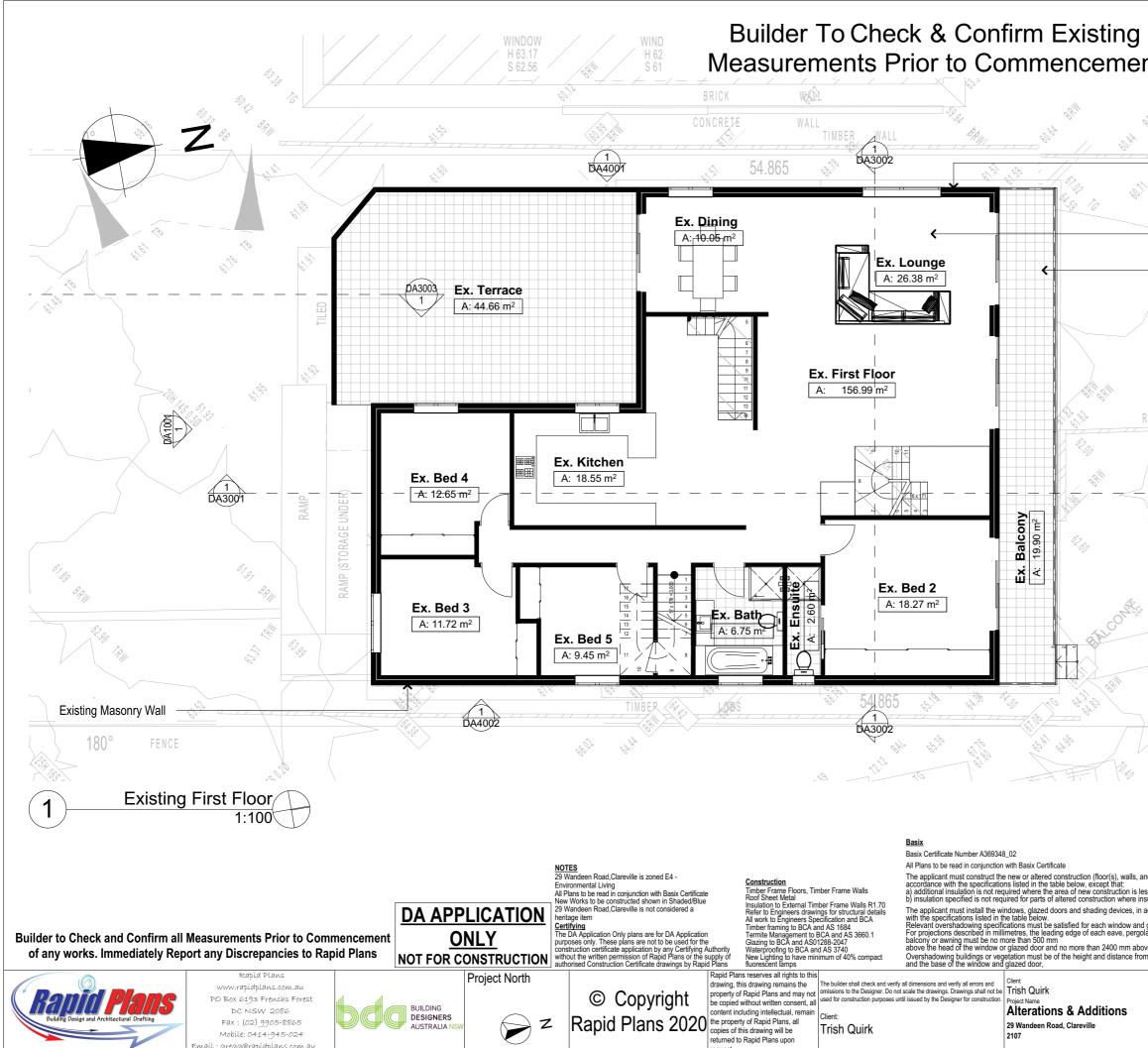


equest

	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelli	ng/m2)	1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.)	<u>r DA Applicatio</u>	6.5m	Yes
nd ceilings/roofs) in n	Minimum side boundry setback (Min.) De US		2.5m + 1r	n Variable
ss than 2m2, sulation already exists.	Building envelope	icate applicatio	3.5m@45Deg	Variable
accordance	% of landscape open sp	ace (60% min)	60%	Yes
glazed door. a, verandah,	Maximum cut into grour	nd (m)	1538mm	Yes
ve the sill.	Maximum depth of fill (n	n)	1193mm	Yes
n the centre	Number of car spaces p	provided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GB.
Site Plans -	Existing Ground	Project No.		Drawing No.
Floor Plan	Ũ	RP161118	[	DA1004
Existing Gro	und Floor			

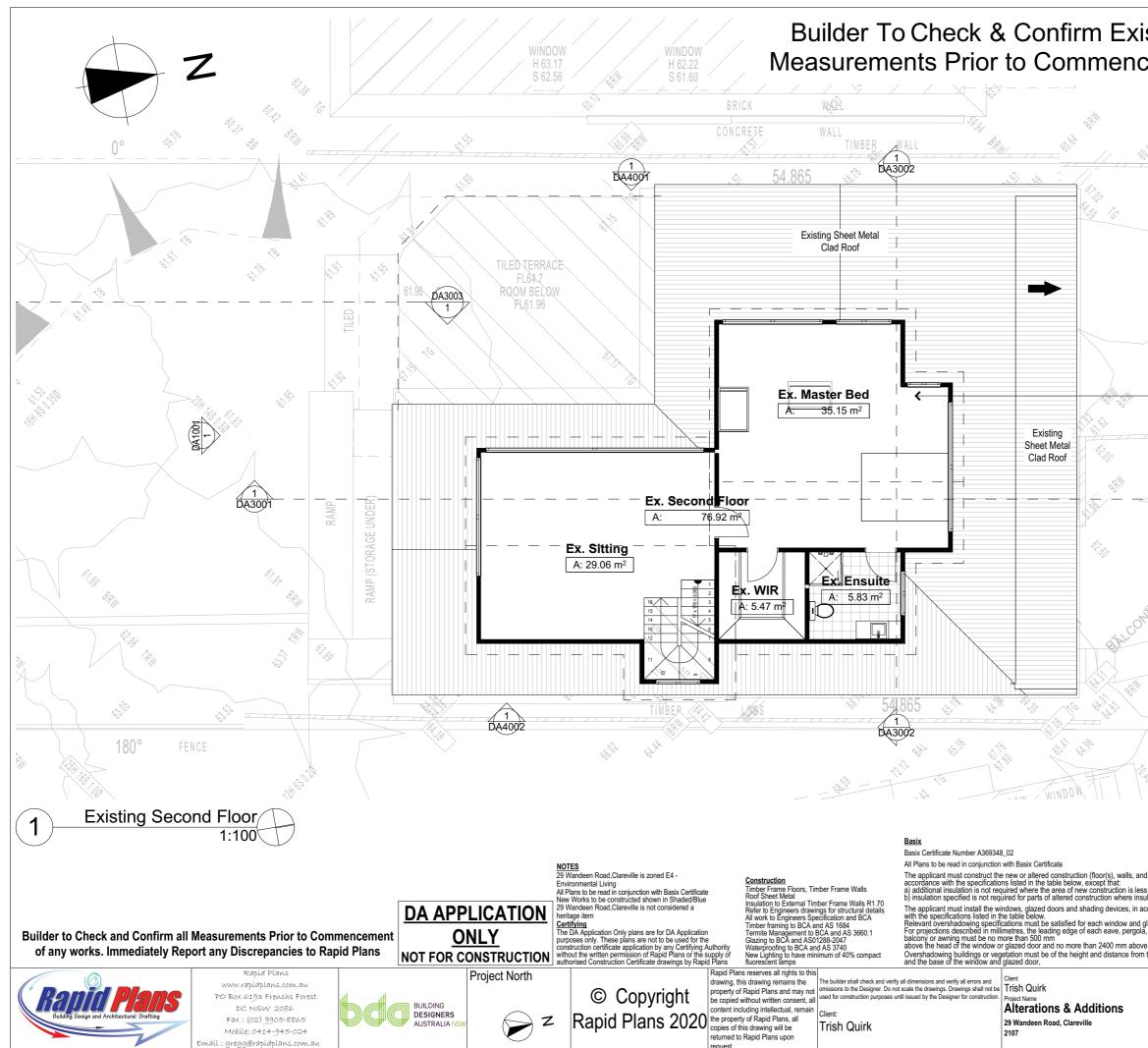


kisting		<u>Wall Le</u>		
-	nt —	Denote	es Existir	ng Wall
ceme	nt			
· · · · · · · · · · · · · · · · · · ·				
Masonry Wa	11			
Job				
35				
01	en e			
STO				
TIM NE (	A. A			
BE				
ce				
120 C				
SKS				
	8 <sup>H</sup> M			
a V 4	81.			
60,000				
	00			
	130.3.			
	14			
	59.1. <sup>-</sup>			
1.63	2			
	1 23:			
60.3	A A			
23				
23				
P B B M M B B C M			Brangad	Compliance
C.). BH	Site Information		Proposed 836.1m2	Compliance
23 All BBC	Site Information Site Area Housing Density (dwelli	ng/m2)	Proposed 836.1m2	Compliance Yes Yes
C). BH	Site Area Housing Density (dwelli Max Building Height Ab		836.1m2	Yes
53 Bett	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.)	ove Natural GL	836.1m2 1 8.5m 6.5m	Yes Yes Variable Yes
Ref Ings/roofs) in	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.)	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m	Yes Yes Variable Yes Yes
ceilings/roofs) in	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m	Yes Yes Variable Yes Yes Nariable
ceilings/roofs) in than 2m2, lation already exists.	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r	Yes Yes Variable Yes Yes n Variable
ceilings/roofs) in than 2m2, lation already exists. cordance	Site Area Housing Density (dwelli Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour	ove Natural GL BAR Application setback (Min.) bace (60% min) nd (m)	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm	Yes Yes Variable Yes Yes Variable Yes Yes
ceilings/roofs) in than 2m2, lation already exists. cordance lazed door. verandah, the sill.	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour Maximum depth of fill (n	ove Natural GL	836.1m2 1 8.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm 1193mm	Yes Yes Variable Yes Yes Variable Yes Yes Yes
ceilings/roofs) in than 2m2, lation already exists. cordance azed door. verandah, the sill. the centre	Site Area Housing Density (dwelli Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes
ceilings/roofs) in than 2m2, lation already exists. cordance lazed door. verandah, the sill.	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour Maximum depth of fill (n	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Yes Yes Yes
ceilings/roofs) in than 2m2, ation already exists. cordance azed door. verandah, the sill. he centre Lot 89 D.P. 13760 Drawing Title:	Site Area Housing Density (dwelli Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour Maximum depth of fill (n Number of car spaces p	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Yes Date: 9-12-2020
ceilings/roofs) in than 2m2, lation already exists. cordance azed door. verandah, the sill. the centre Lot 89 D.P. 13760 Drawing Title:	Site Area Housing Density (dwellii Max Building Height Ab Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into grour Maximum depth of fill (n	ove Natural GL	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1r 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Zes Zes Zes Zes Zes Zes Zes Zes Zes Z

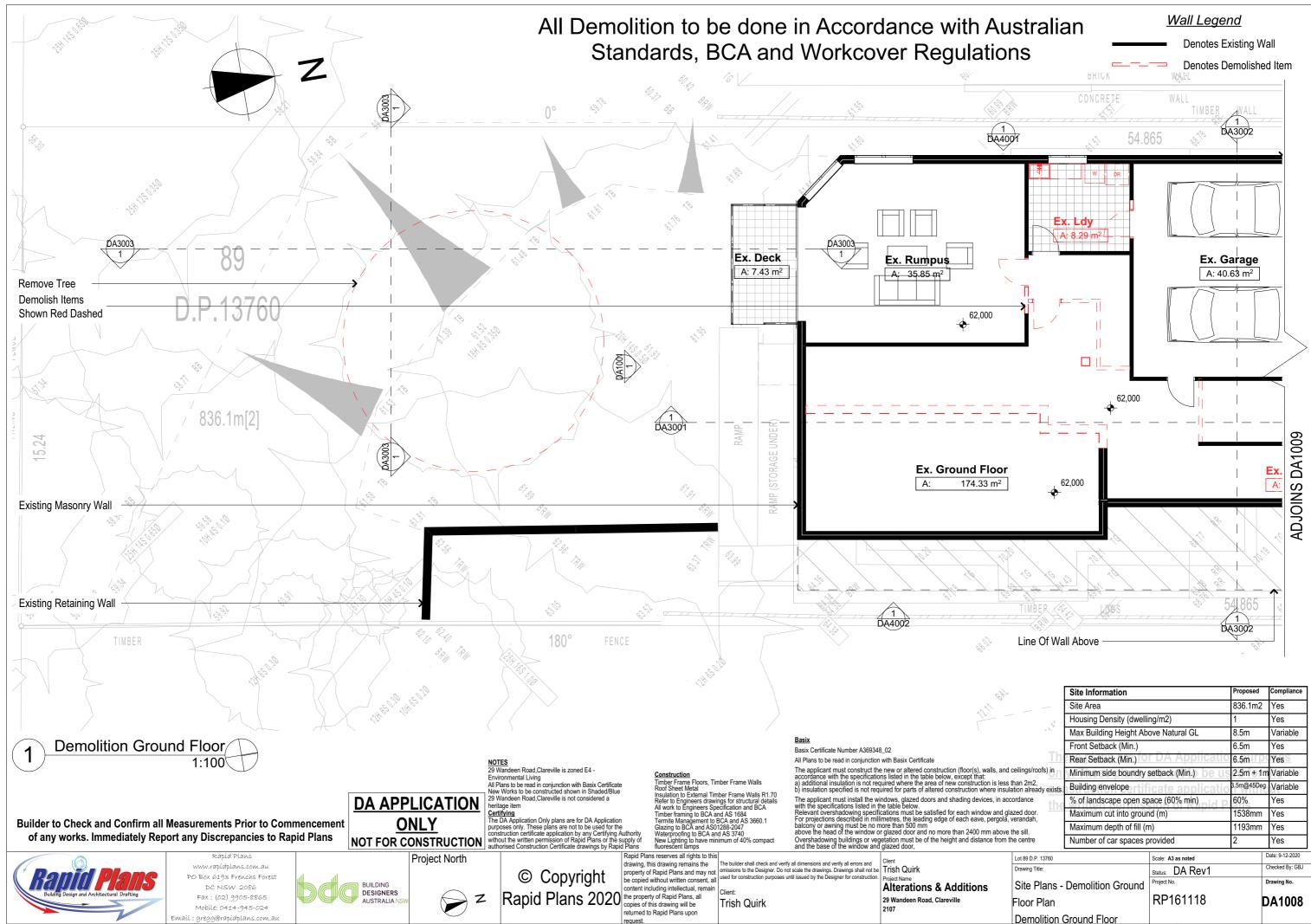


equest

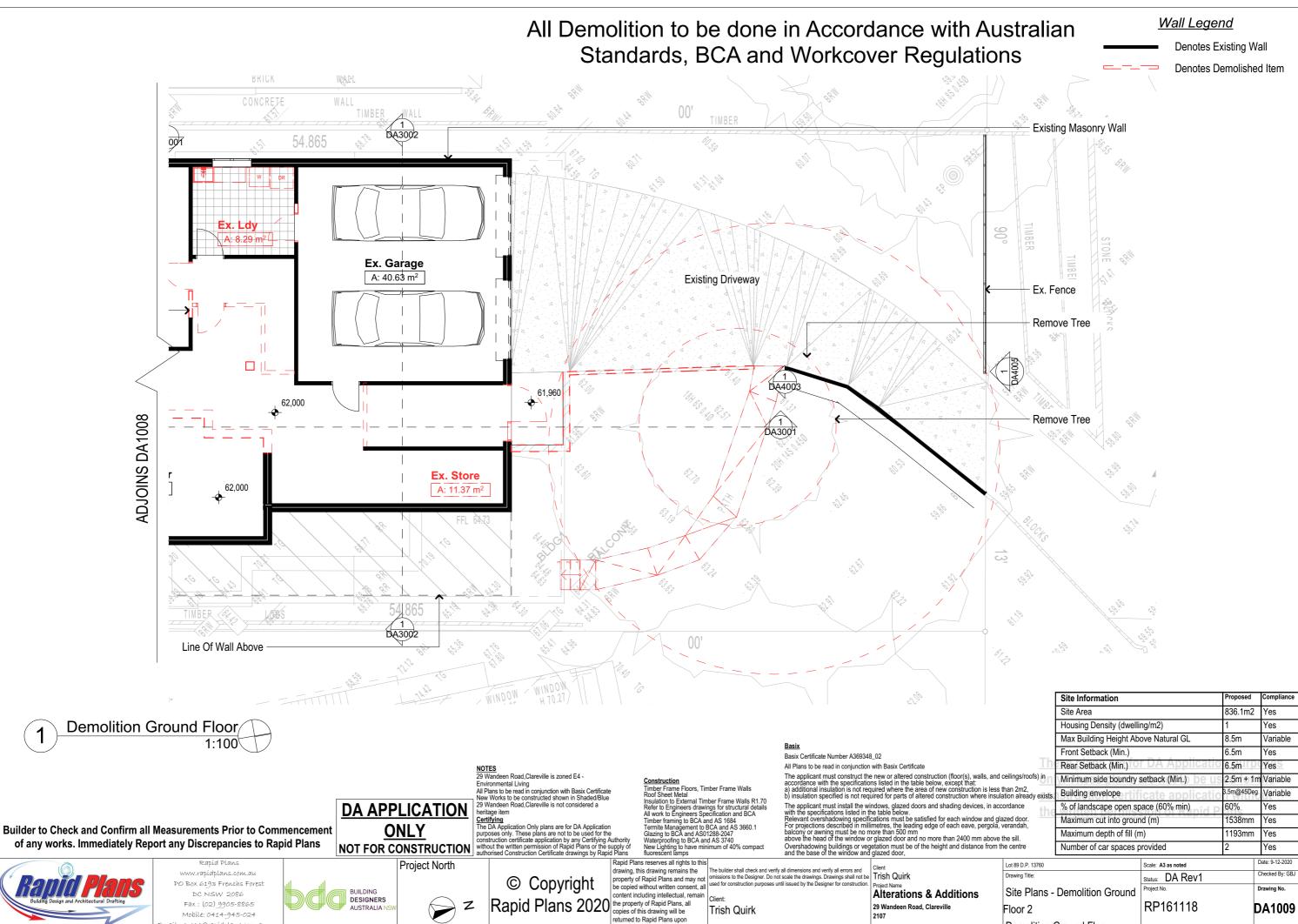
	-	Wall Legend		
-		Denotes Existin	g Wall	
nt				
RM .		BRM		
00'	TIMBER	(19)		
	60.5g	Existing Masonry W	/all	
		61		N
B. 6	3° 60°	Existing Timbor Elo	or From	
	lo,	Existing Timber Flo		e <sup>ck:</sup>
		Replace Existing Ti Decking with Tiles	mber	
		· 6. B.	$\checkmark$	
/	CONCRETE	99. 19.	99. I	
/	- BRM	10		
ROCK BEOC	KS 61.2.2.		8th	
1) ii ri	07.40	003 <sup>2</sup> 60 <sup>63</sup>	Ś	R <sup>M</sup> OR
Tothe Star		3,	CO.S.	7Γ,
'	DA30	01	×	$\geq$
		50,150		-
63.70	20H		000	2
	11 130	c2.16		
63.70 X	620			4
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~			
	63.24	200		
63.63	63. 63.		R	2
		452.31	1.5	
0	1			
	Site Information		Proposed	Compliance
	Site Area	2(m2)	836.1m2 1	Yes Yes
	Housing Density (dwellin Max Building Height Abo		1 8.5m	Yes Variable
	Front Setback (Min.)		6.5m	Yes
Thi	Rear Setback (Min.)	DA Applicatio	6.5m	Yes
and ceilings/roofs) in n	Minimum side boundry s	setback (Min.) be us	2.5m + 1r	
ess than 2m2, isulation already exists.	Building envelope	cate applicatio	3.5m@45Deg	
accordance the	% of landscape open sp		60%	Yes
d glazed door. bla, verandah,	Maximum cut into groun		1538mm	Yes
ove the sill.	Maximum depth of fill (m		1193mm	Yes
om the centre	Number of car spaces p	rovided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1 Project No.		Checked By: GBJ Drawing No.
	Existing First Floor	RP161118		-
Plan Existing Firs	t Floor	115 101110	L	DA1006
TENSUNY FILS				



sting		<u>Wall L</u>	egend	
emer	nt 🗕	Deno	tes Existin	ig Wall
	1			
BRM		BRM		
le l	00' <sub>timber</sub>	135		
	· 60.50			$\sim$
60.1	0	S <sup>OI</sup>		
B.	61.5 C).			
		$\wedge$	M	, , , , , , , , , , , , , , , , , , ,
	6	16		
			2. 2.	
		. 6	$\tilde{v}_{2}$	
	CONCRETE	So.	00:	2
	· ~ / []			
	$\wedge$	- M		
	40 0	Existing Tim	ber Floor I	Frame
ROCK	BLOCKS	23 61:61. 1.23 61:61.	84	
	67.40	1 DA4003	00: Die	88
	184 B.C.	Der a	and the second s	2. Dr
	0,62	1.03	$\sim$	
	<sup>2</sup> . <i>4</i> 0 °. 5 >	A	_	$\sim$
<	<sup>18</sup> 4 <sup>6</sup> 8 <sub>0,40</sub> <sup>62,5</sup> 5	1 DA3001	>	
		1 DA3001	>	
		DA3001	>	
		DA3001	>	8. 53.
		1 DA3001 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	» %	So.
es		DA3001 BUILE HIS DUILE HIS DUILE HIS COMPANY	\$ \$	23 53
63.70 63.70		1 DA3001 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	A	23: -23:
63.70 63.70		DA3001 01110100 01110100 02.30		23 25
0.50 50	63.70 HI HI 63.60	1 DA3001 OH IS INS OH IS INS CHIEF		45°
63.10 63.10		DA3001 2011-16 2011-16 2011-16 2019 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 000-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 00-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 000-10 00000000		4. 2.5
63.00 63.00	63.70 HI HI 63.60	DA3001 BUILE AND AUTION OF A	01. Co.	
63.70 63.70	63.70 HI HI 63.60	1 <b>DA3001</b> 01-1-0-1-0 01-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-1-0 0-1-0-0 0-1-0-0 0-1-0-0 0-1-0-0 0-1-0-0 0-1-0-0 0-1-0-0 0-1-0-0 0	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	25-2 10 10 10 10 10 10 10 10 10 10 10 10 10
63.70 63.70 63.63	63.70 HI HI 63.60	DA3001 01-10-10 01-10-10 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 02-20 00 00-20 00 00-20 00 00 00-20 00 00 00 00 00 00 00 00 00 00 00 00 0	B. B. B.	23 CT
63.70 63.70	63.70 HI HI 63.60	1 DA3001 OUL OLD OUL O		1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 1997 - 19
63.70 63.70	ESTO HILK CS CR	1 DA3001 CHING DAD	1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1. 1	100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 - 100 -
63.50 63.60 63.60	63.70 HIN 00.69	1 DA3001 01-1-0-1-0 01-1-0-1-0 0-1-0-1-0 0-1-0-1-	S Col	R 2
63.70 63.70 63.60 63.60	English English	T DA3001 OUL OUS OUL OUS OUS OUS OUS OUS OUS OUS OUS OUS OUS	Proposed 836 1m2	Compliance Yes
63-70 63-70 63-70 63-70	Elino Elino Elino Site Information Site Area		Proposed 836.1m2	Yes
63-10 63-10 63-63 63-63	CON Site Information Site Area Housing Density (dwell	- 01-16 1-19 - 01-16 - 02-26 -	836.1m2	
63.70 63.70 63.63	CON Site Information Site Area Housing Density (dwell Max Building Height Ab	- 01-16 1-19 - 01-16 - 02-26 -	836.1m2	Yes Yes
63.50 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 63.60 7.60 7.60 7.60 7.60 7.60 7.60 7.60 7	CON Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.)	- 01-16 1-19 - 01-16 - 02-26 -	836.1m2 1 8.5m	Yes Yes Variable
eses	COL Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.)	ing/m2)	836.1m2 1 8.5m 6.5m 6.5m	Yes Yes Variable Yes Yes
ceilings/roofs) in than 2m2.	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry	ing/m2)	836.1m2 1 8.5m 6.5m	Yes Yes Variable Yes Yes Variable
ceilings/roofs) in than 2m2, ation already exists.	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope	ing/m2) pove Natural GL reate application	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg	Yes Yes Variable Yes Yes Variable
ceilings/roofs) in than 2m2, ation already exists. sordance azed door.	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s	ing/m2) pove Natural GL setback (Min.) pace (60% min)	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1n 3.5m@45Deg 60%	Yes Yes Variable Yes Yes Variable
ceilings/roofs) in than 2m2, attoin already exists. ordance azed door. verandah,	Site Information Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou	ing/m2) pove Natural GL setback (Min.)	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm	Yes Yes Variable Yes Variable Variable Yes Yes
cellings/roofs) in than 2m2, ation already exists. sordance azed door. verandah, the sill.	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill (i	ing/m2) pove Natural GL DA Application setback (Min.)	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm	Yes Yes Variable Yes Yes Variable Yes Yes Yes
ceilings/roofs) in than 2m2, ation already exists. xordance azed door. verandah, the sill. he centre	Site Information Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou	ing/m2) pove Natural GL setback (Min.) pace (60% min) nd (m) m) provided	836.1m2 1 8.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Variable Variable Yes Yes Yes Yes
the sill. the centre to the sill. the centre to the sill. the centre	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill (i	ing/m2) pove Natural GL setback (Min.) pace (60% min) nd (m) m) provided Scale: A3 as noted	836.1m2 1 8.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Yes Yes Yes
ceilings/roofs) in than 2m2, ation already exists. xordance azed door. verandah, the sill. Lot 89 D.P. 13760 Drawing Title:	Site Information Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill ( Number of car spaces	ing/m2) pove Natural GL setback (Min.) pace (60% min) nd (m) m) provided	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1n 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Yes Yes Date: 9-12-2020 Checked By: GB
ceilings/roofs) in than 2m2, ation already exists. xordance azed door. verandah, the sill. he centre Lot 89 D.P. 13760 Drawing Title: Site Plans -	Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill (i	ing/m2) pove Natural GL TDA Application setback (Min.) De units pace (60% min) nd (m) m) provided Scale: A3 as noted Status: DA Rev1 Project No.	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Yes Date: 9-12-020 Checked By: GB
ceilings/roofs) in than 2m2, ation already exists. xordance azed door. verandah, the sill. Lot 89 D.P. 13760 Drawing Title:	Site Information Site Information Site Area Housing Density (dwell Max Building Height At Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill ( Number of car spaces	ing/m2) pove Natural GL setback (Min.) pace (60% min) nd (m) m) provided Scale: A3 as noted Status: DA Rev1	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Yes Yes Date: 9-12-2020 Checked By: GB



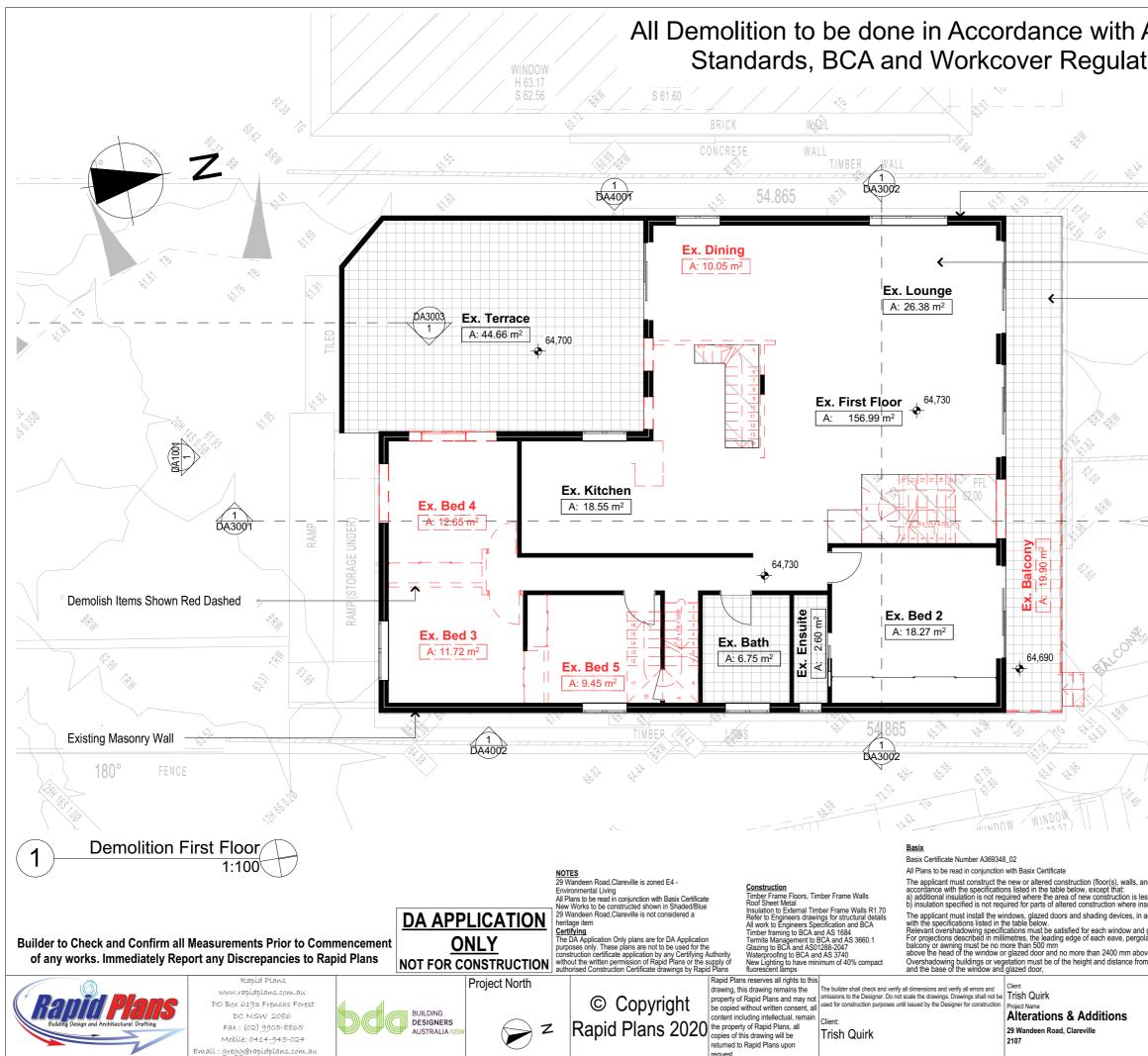
Site Information		Proposed	Compliance
Site Area		836.1m2	Yes
Housing Density (dwelling	ng/m2)	1	Yes
Max Building Height Abo	ove Natural GL	8.5m	Variable
Front Setback (Min.)		6.5m	Yes
Rear Setback (Min.)	r DA Applicatio	6.5m	Yes
Minimum side boundry s	setback (Min.) be us	2.5m + 1r	n Variable
Building envelope	icate applicatio	3.5m@45Deg	Variable
% of landscape open sp	ace (60% min)	60%	Yes
Maximum cut into groun	ıd (m)	1538mm	Yes
Maximum depth of fill (m	n)	1193mm	Yes
Number of car spaces p	rovided	2	Yes
	Scale: A3 as noted		Date: 9-12-2020
	status: DA Rev1		Checked By: GBJ
Demolition Ground	Project No.		Drawing No.
	RP161118	Γ	DA1008
Ground Floor			
	Site Area Housing Density (dwellii Max Building Height Abi Front Setback (Min.) Rear Setback (Min.) Minimum side boundry s Building envelope % of landscape open sp Maximum cut into groun Maximum depth of fill (n Number of car spaces p Demolition Ground	Site Area         Housing Density (dwelling/m2)         Max Building Height Above Natural GL         Front Setback (Min.)         Rear Setback (Min.)         Minimum side boundry setback (Min.)         Building envelope         % of landscape open space (60% min)         Maximum cut into ground (m)         Maximum depth of fill (m)         Number of car spaces provided         Scale: A3 as noted         Status:       DA Rev1         Project No.         RP161118	Site Area       836.1m2         Housing Density (dwelling/m2)       1         Max Building Height Above Natural GL       8.5m         Front Setback (Min.)       6.5m         Rear Setback (Min.)       6.5m         Minimum side boundry setback (Min.)       2.5m + 1r         Building envelope       3.5m@45Deg         % of landscape open space (60% min)       60%         Maximum cut into ground (m)       1538mm         Maximum depth of fill (m)       1193mm         Number of car spaces provided       2         Scale: A3 as noted       Status: DA Rev1         Project No.       RP161118



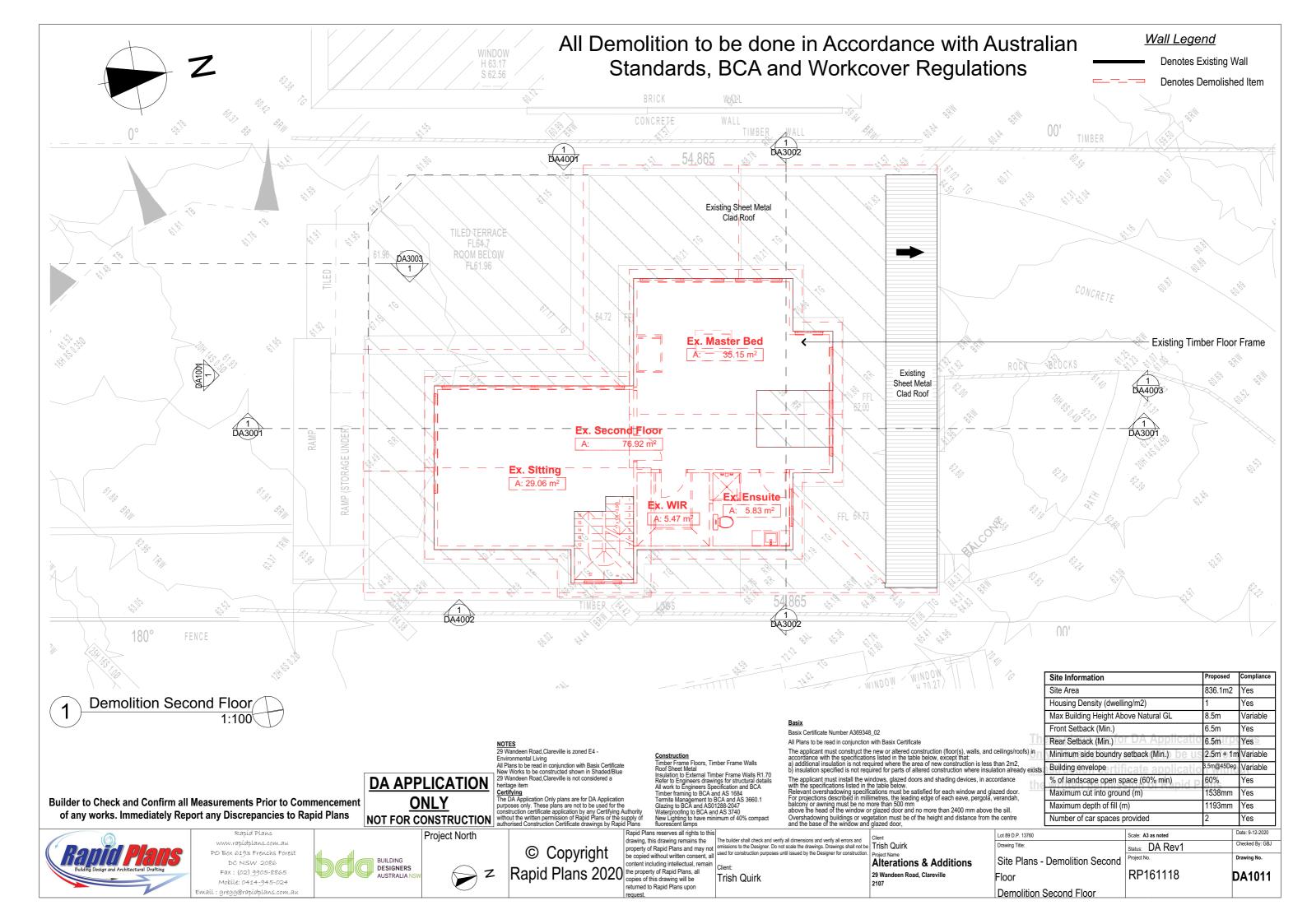
Demolition Ground Floor

1

areaa@rapidolans.com

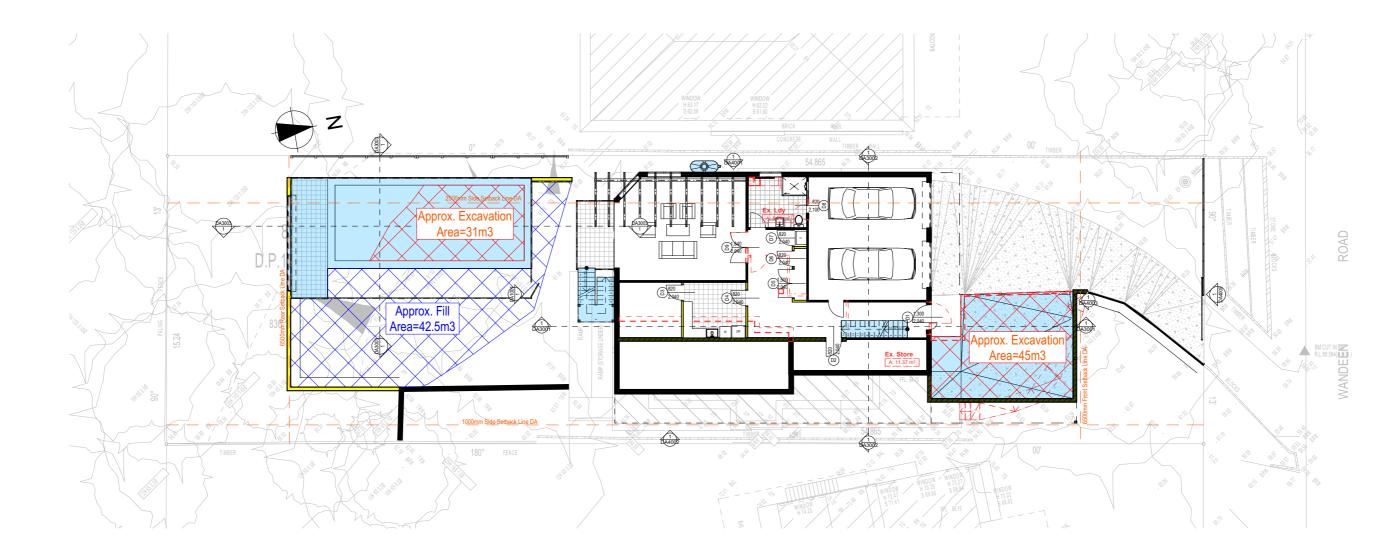


Austra	lian	<u>Wall Lege</u>	<u>nd</u>	
		Denotes E	Existing W	/all
ions		—— Denotes [	•	
1		A an		
<sup>88111</sup> 00'		BRIM		1
00	TIMBER			
	· 01.5.9	Existing Masonry	Wall	X
		<i>60.</i>		V
S.	5° 610.		۱ ۲	
		— Existing Timber F	loor Fran	ne <sup>k</sup>
	61.10	Replace Existing	Timber	65.
/		Decking with Tile		
		6,00		
	CONCOL	18. B.	00.	L
	CONCRETE		0,	
ROCK 820	CVC 61222	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	ell.	
820	BT.		2) 2) 2)	2M
10	· · · ·	A4003	-62-	BREDRIN
04	B B B B B B B B B B B B B B	07.3×	69.	
		1	×	$\geq$
		\$3001		< \
			0 00	<i><sup>2</sup></i> ,
63.			8	\$3. 5.
			6	23 23
63.70 63.70			C V	ez.
63,70			6	ez.
63.10	NO HINO COLOR		le la	43. 45.
£3,70			8	20. 20.
63.63	NO HINO COLOR			33 53 53
£3,70	NO HINO COLOR			-0-0- 
£3,70	NO HINO COLOR	BUT BER BUT		
£3,70	NO HINO COLOR	Contraction of the second seco		
£3,70	Bite Information		Proposed	Compliance
£3.75	Site Information Site Area	El transiente de la constante	836.1m2	Yes
£3.75	Site Information Site Area Housing Density (dwel	100, 10, 100 10, 10, 10, 100 10, 10, 10, 100 10, 10, 10, 10, 100 10, 10, 10, 10, 10, 10, 10, 10, 10, 10,		
63, <sub>70</sub>	Site Information Site Area Housing Density (dwel Max Building Height A	100, 10, 100 10, 10, 10, 100 10, 10, 10, 100 10, 10, 10, 10, 100 10, 10, 10, 10, 10, 10, 10, 10, 10, 10,	836.1m2 1	Yes Yes
63, <sub>70</sub>	Site Information Site Area Housing Density (dwel	100, 10, 100 10, 10, 10, 100 10, 10, 10, 100 10, 10, 10, 10, 100 10, 10, 10, 10, 10, 10, 10, 10, 10, 10,	836.1m2 1 8.5m	Yes Yes Variable
63.63 63.63	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.)	ling/m2) bove Natural GL	836.1m2 1 8.5m 6.5m	Yes Yes Variable Yes Yes
eellings/roofs) in than 2m2.	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.)	ling/m2) bove Natural GL	836.1m2 1 8.5m 6.5m 6.5m	Yes Yes Variable Yes Yes Variable
Ceilings/roofs) in than 2n2, lation already exists.	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Minimum side boundry	ling/m2) bove Natural GL pr DA Application / setback (Min.) be us	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m	Yes Yes Variable Yes Yes Variable
estings/roofs) in tellings/roofs) in tima 2m2; lation already exists. cordance	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s	ling/m2) bove Natural GL y setback (Min.)	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1n 3.5m@45Deg	Yes Yes Variable Yes Yes Variable Variable
Ceilings/roofs) in than 2m2, lation already exists. cordance lazed door. verandah,	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou	ling/m2) bove Natural GL c setback (Min.) c setback (Min.	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1n 3.5m@45Deg 60%	Yes Yes Variable Yes Yes Variable Yes
Ceilings/roofs) in than 2m2, lation already exists. cordance lazed door. verandah, the sill.	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Minimum side boundry Building envelope % of landscape open s	ling/m2) bove Natural GL c setback (Min.) c setback (Min.	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1n 3.5m@45Deg 60% 1538mm	Yes Yes Variable Yes Yes Variable Yes Yes
t cellings/roofs) in the sill.	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Rear Setback (Min.) Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill	ling/m2) bove Natural GL c setback (Min.) c setback (Min.	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Yes Yes Yes
t cellings/roofs) in the centre	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Rear Setback (Min.) Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill	lling/m2) bove Natural GL create application r setback (Min.) create application r provided	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes
d ceilings/roofs) in a tan 2m2, lation already exists. xordance lazed door. verandah, e the sill. the centre Lot 89 D.P. 13760 Drawing Title:	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Rear Setback (Min.) Rear Setback (Min.) Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill	lling/m2) bove Natural GL provided scale: A3 as noted status: DA Rev1 Project No.	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Variable Yes Yes Yes Yes Yes
t ceilings/roofs) in the ceilings/roofs in that 2m2, tation already exists. cordance lazed door. verandah, e the sill. the centre Lot 89 D.P. 13760 Drawing Title:	Site Information Site Area Housing Density (dwel Max Building Height A Front Setback (Min.) Minimum side boundry Building envelope % of landscape open s Maximum cut into grou Maximum depth of fill Number of car spaces	lling/m2) bove Natural GL provided scale: A3 as noted status: DA Rev1	836.1m2 1 8.5m 6.5m 6.5m 2.5m + 1m 3.5m@45Deg 60% 1538mm 1193mm 2	Yes Yes Variable Yes Yes Variable Variable Yes Yes Yes Yes Yes Date: 9-12-2020 Checked By: GBJ



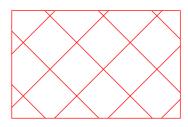






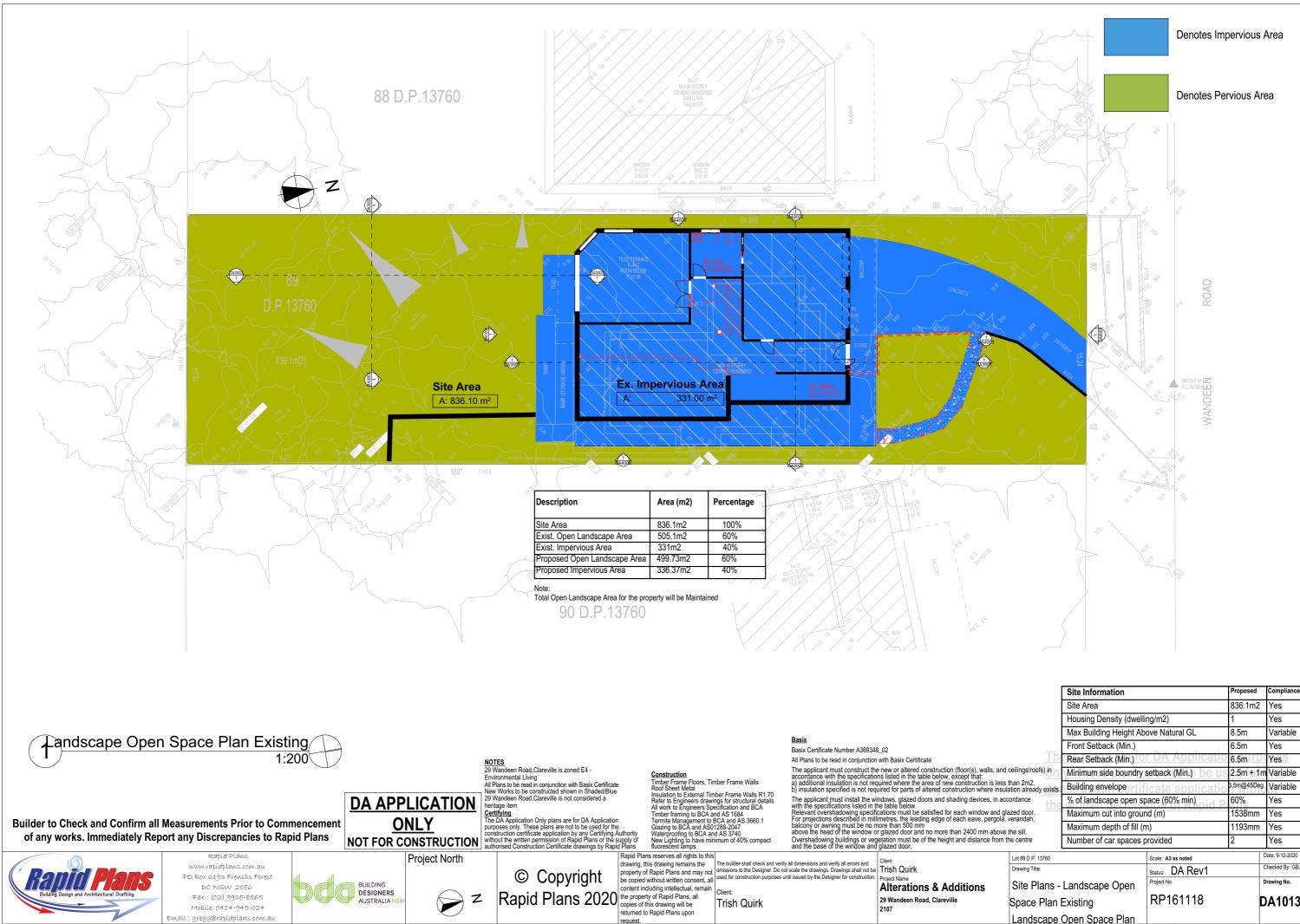
request.



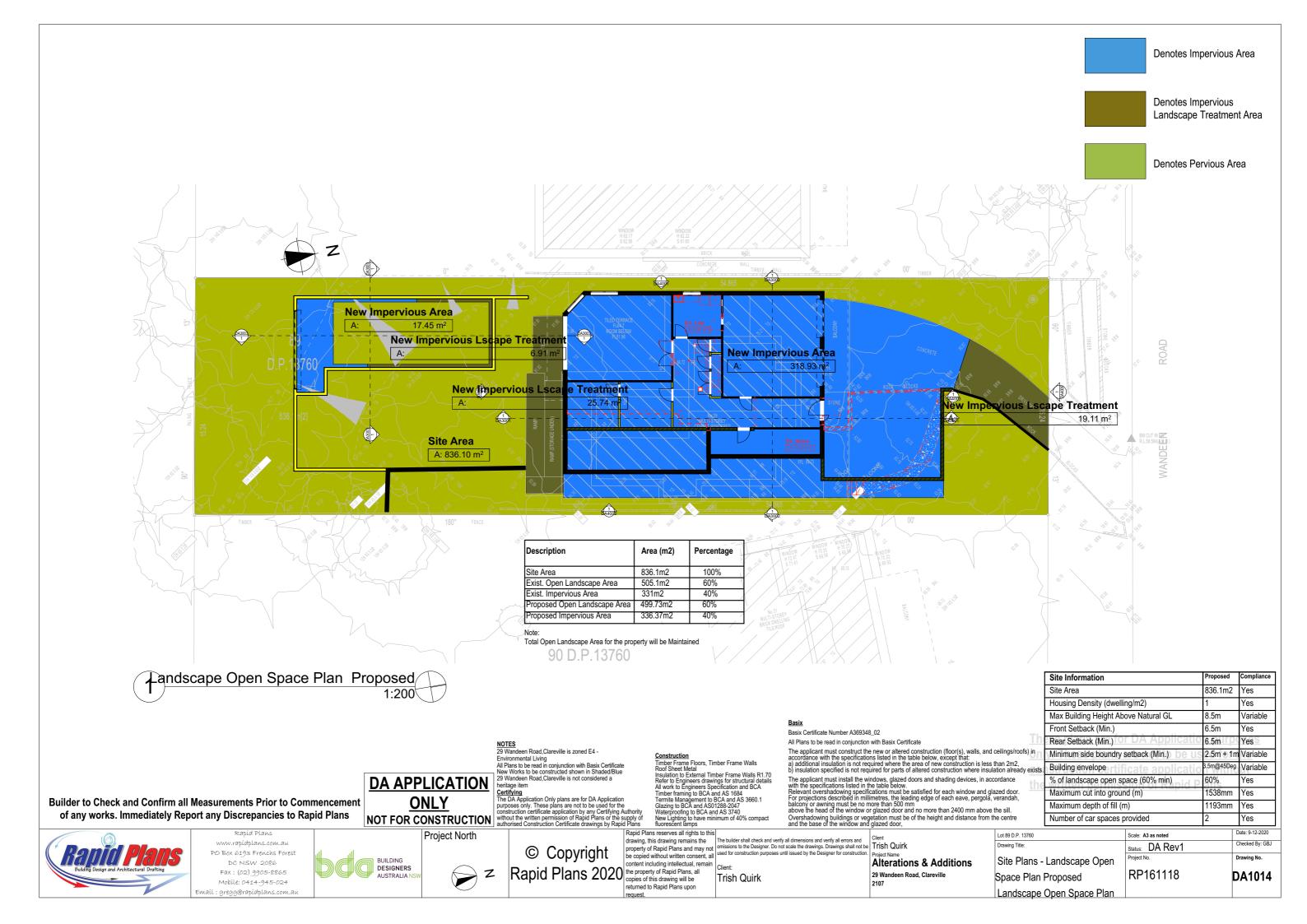


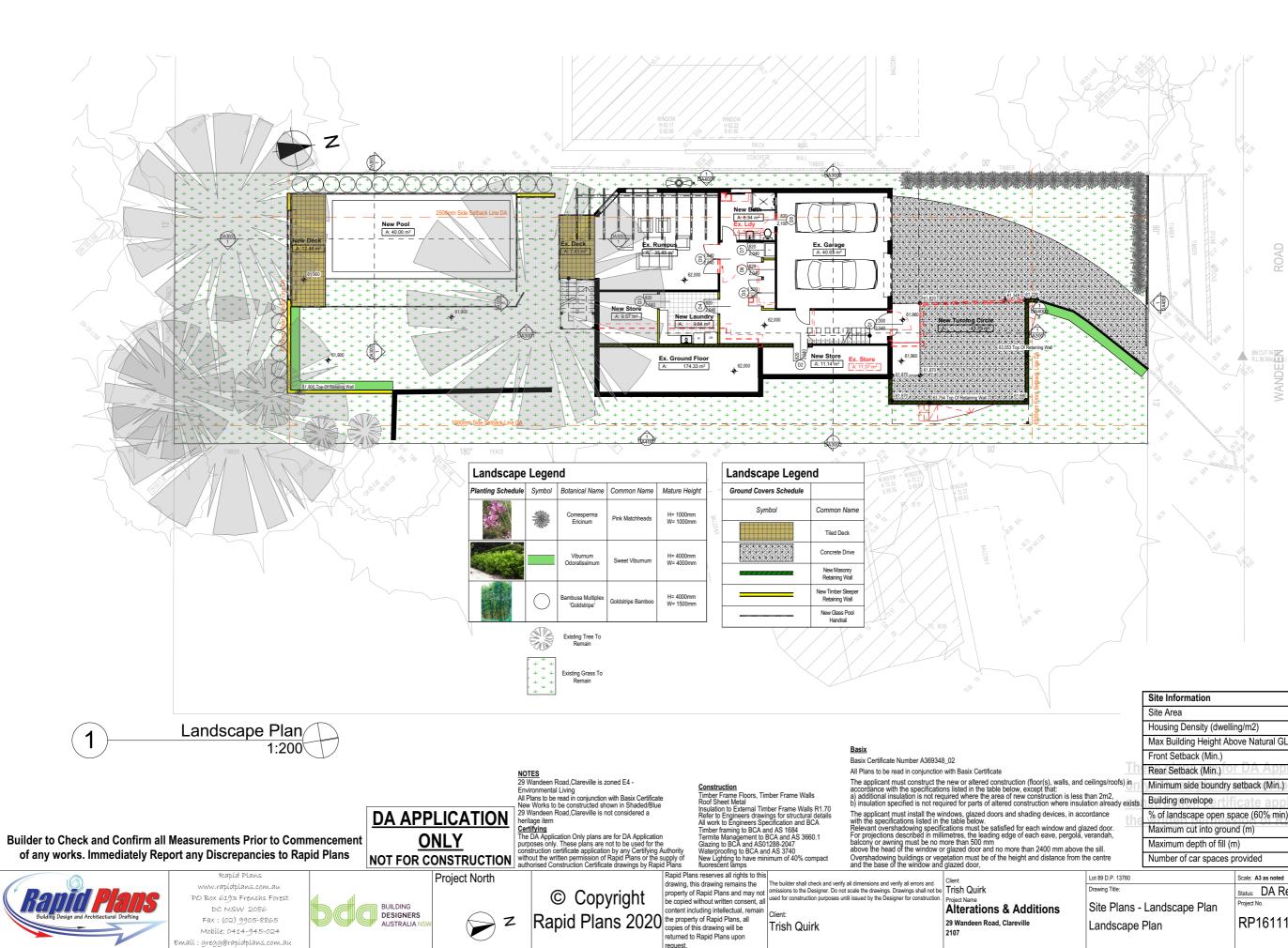
Denotes Excavation Area

			-	
	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelli	ng/m2)	1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.)	r DA Applicatio	6.5m	Yes
nd ceilings/roofs) in	Minimum side boundry	setback (Min.) be us	2.5m + 1r	n Variable
ss than 2m2, sulation already exists.	Building envelope	Building envelope rtificate applicatio		Variable
accordance	% of landscape open sp	bace (60% min)	60%	Yes
glazed door. la, verandah,	Maximum cut into grour	nd (m)	1538mm	Yes
ve the sill.	Maximum depth of fill (n	n)	1193mm	Yes
m the centre	Number of car spaces p	provided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Site Plans -	Excavation & Fill	Project No.		Drawing No.
Plan		RP161118	0	DA1012
Excavation	& Fill Plan			

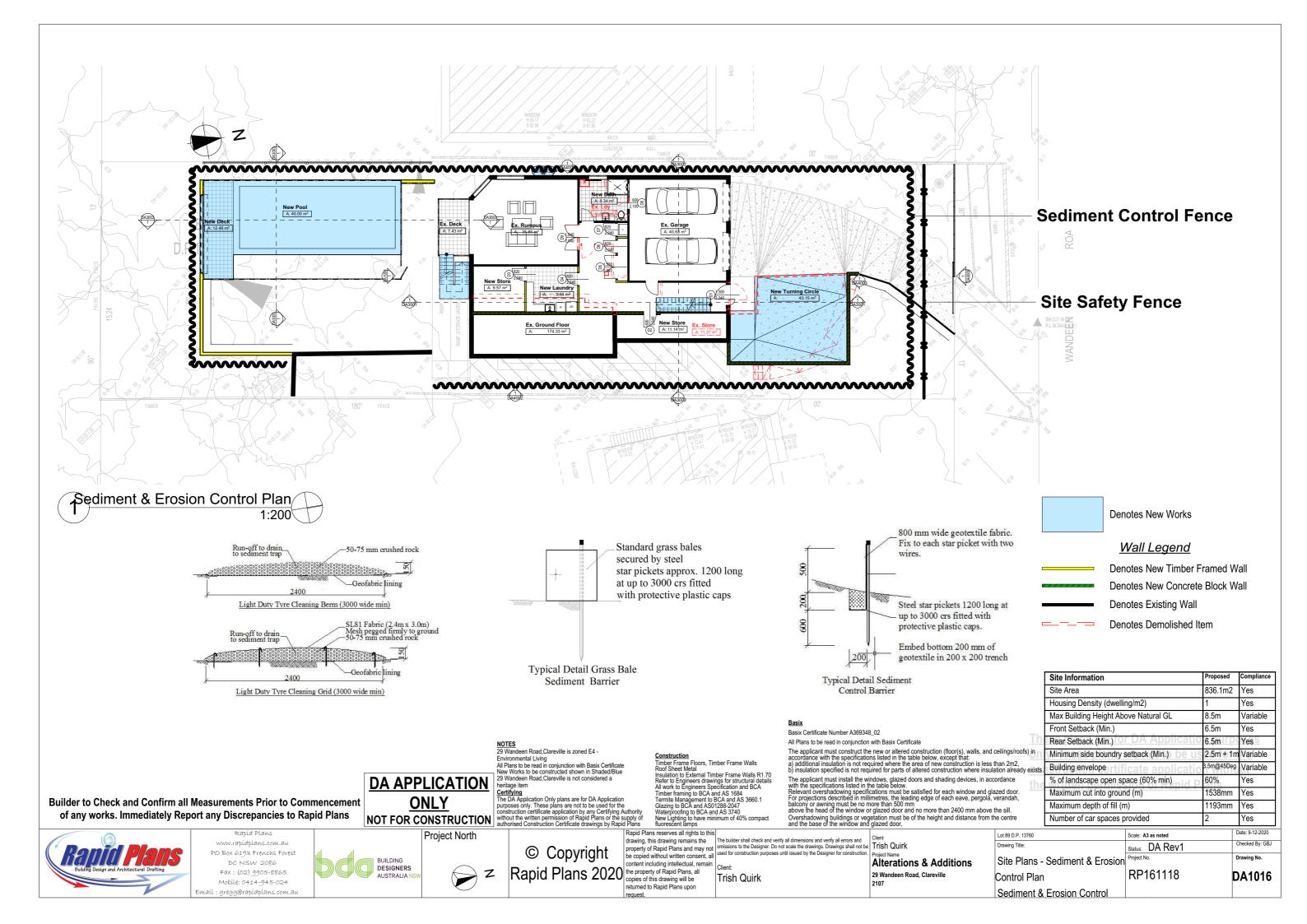


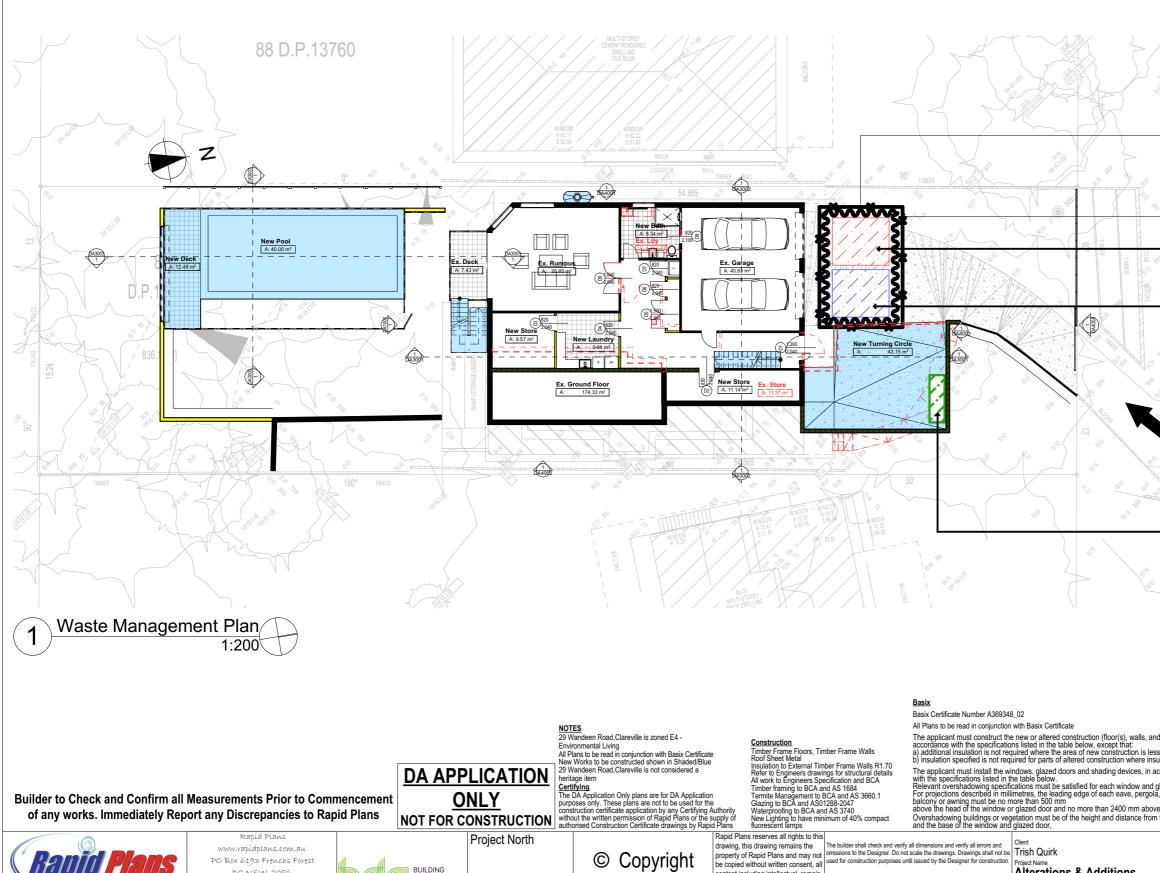
	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelli	ng/m2)	1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.)	<u>r DA Applicatio</u>	6.5m	Yes
d ceilings/roofs) in	Minimum side boundry	setback (Min.) be us	2.5m + 1r	n Variable
s than 2m2, ulation already exists.	Building envelope	icate applicatio	3.5m@45Deg	Variable
ccordance the	% of landscape open sp	bace (60% min)	60%	Yes
glazed door.	Maximum cut into grour	nd (m)	1538mm	Yes
e the sill.	Maximum depth of fill (n	n)	1193mm	Yes
n the centre	Number of car spaces p	provided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GB.
Site Plans -	Landscape Open	Project No.		Drawing No.
Space Plan I		RP161118	Γ	DA1013
Landscape	Open Space Plan			





	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwell	ling/m2)	1	Yes
	Max Building Height At	oove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
Th	Rear Setback (Min.)	or DA Applicat	6.5m	Yes
nd ceilings/roofs) in n	Minimum side boundry setback (Min.)		US 2.5m + 1n	Variable
ss than 2m2, sulation already exists	Building envelope rtificate application		3.5m@45Deg	Variable
accordance the	% of landscape open s	pace (60% min)	60%	Yes
glazed door. a, verandah,	Maximum cut into ground (m)		1538mm	Yes
ve the sill.	Maximum depth of fill (	m)	1193mm	Yes
n the centre	Number of car spaces	provided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Site Plans -	Landscape Plan	Project No.	1	Drawing No.
Landscape		RP161118	C	DA1015





Rapid Plans 2020 the property of Rapid Plans, all copies of this drawing will be

returned to Rapid Plans upon

equest

PO Box 6193 Frenchs Forest

DC NSW 2086

Fax : (02) 9905-8865

Mobile: 0414-945-024

: areaa@rapidplans.com.a

BUILDING

DESIGNERS

AUSTRALIA

Ζ

content including intellectual, remain Client: Alterations & Additions 29 Wandeen Road, Clareville Trish Quirk 2107

## Wall Legend

Denotes New Timber Framed Wall Denotes New Concrete Block Wall

Denotes Existing Wall

\_\_\_\_

ROAD

Denotes Demolished Item

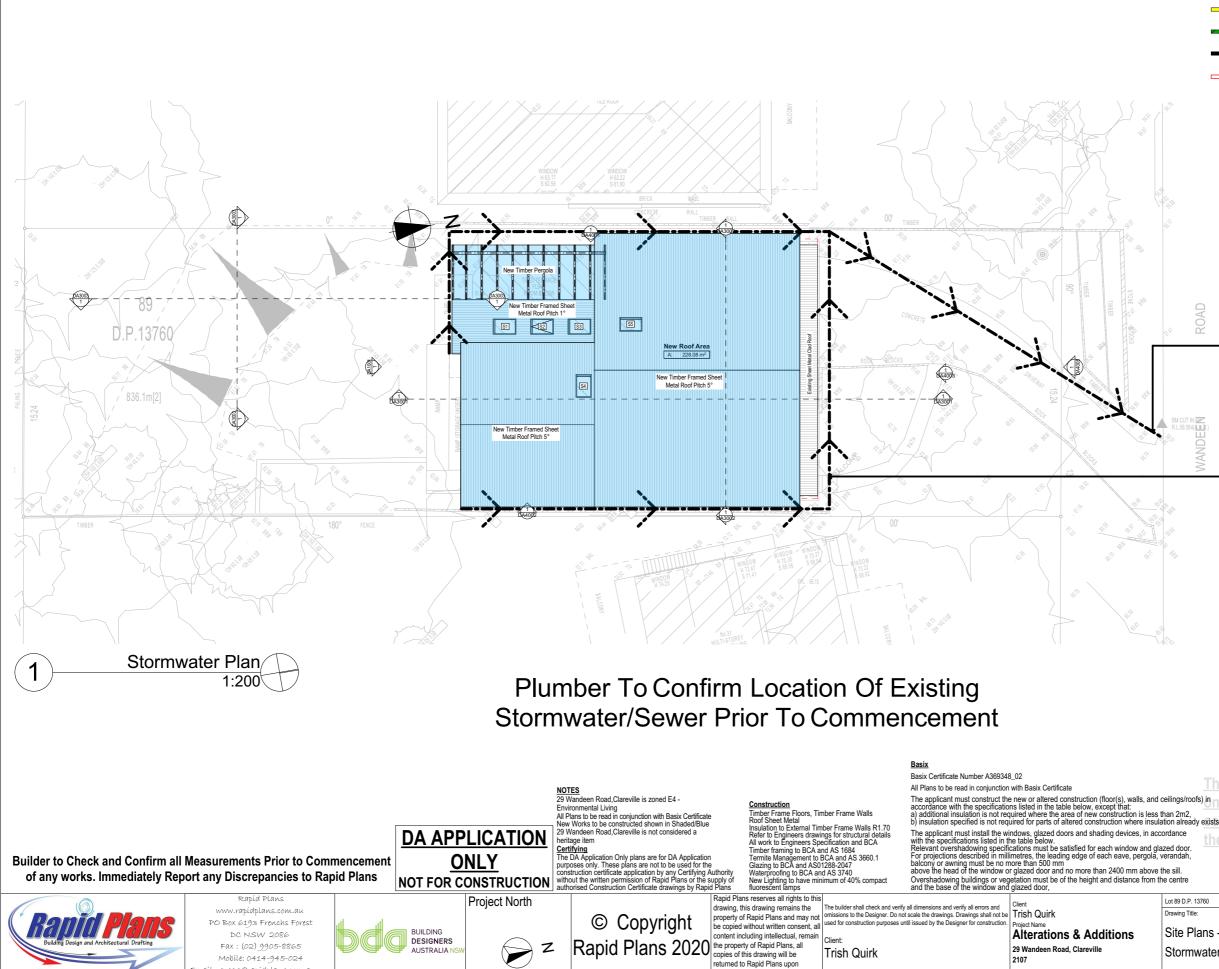
## **Sediment Control Fence**

Site Safety Fence Material Storage Area **Approximate Location** Of Building Waste & **Recycling Area** 

**Vehicle Access For Removal Of Waste** By Builder During **Work Hours** 

**Residential Garbage Bin Storage** 

1	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelli	ng/m2)	1	Yes
	0,1	0,	I 0. Г.т.	
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
<u></u>	Rear Setback (Min.)	r da applicatio	6.5m	Yes
d ceilings/roofs) in n	Minimum side boundry	setback (Min.) be us	2.5m + 1r	n Variable
s than 2m2, ulation already exists.	Building envelope	icate applicatio	ate applicatio <sup>3.5m@45Deg</sup>	
ccordance the	% of landscape open sp	ace (60% min)	60%	Yes
glazed door. A verandah, Maximum cut into groun		nd (m)	1538mm	Yes
e the sill.	Maximum depth of fill (n	n)	1193mm	Yes
the centre	Number of car spaces p	provided	2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Site Plans - Waste		Project No.		Drawing No.
Managemen	Management Plan		0	DA1017
Waste Mana	agement Plan			



areaa@rapidplans.com.a

#### **Denotes New Works**

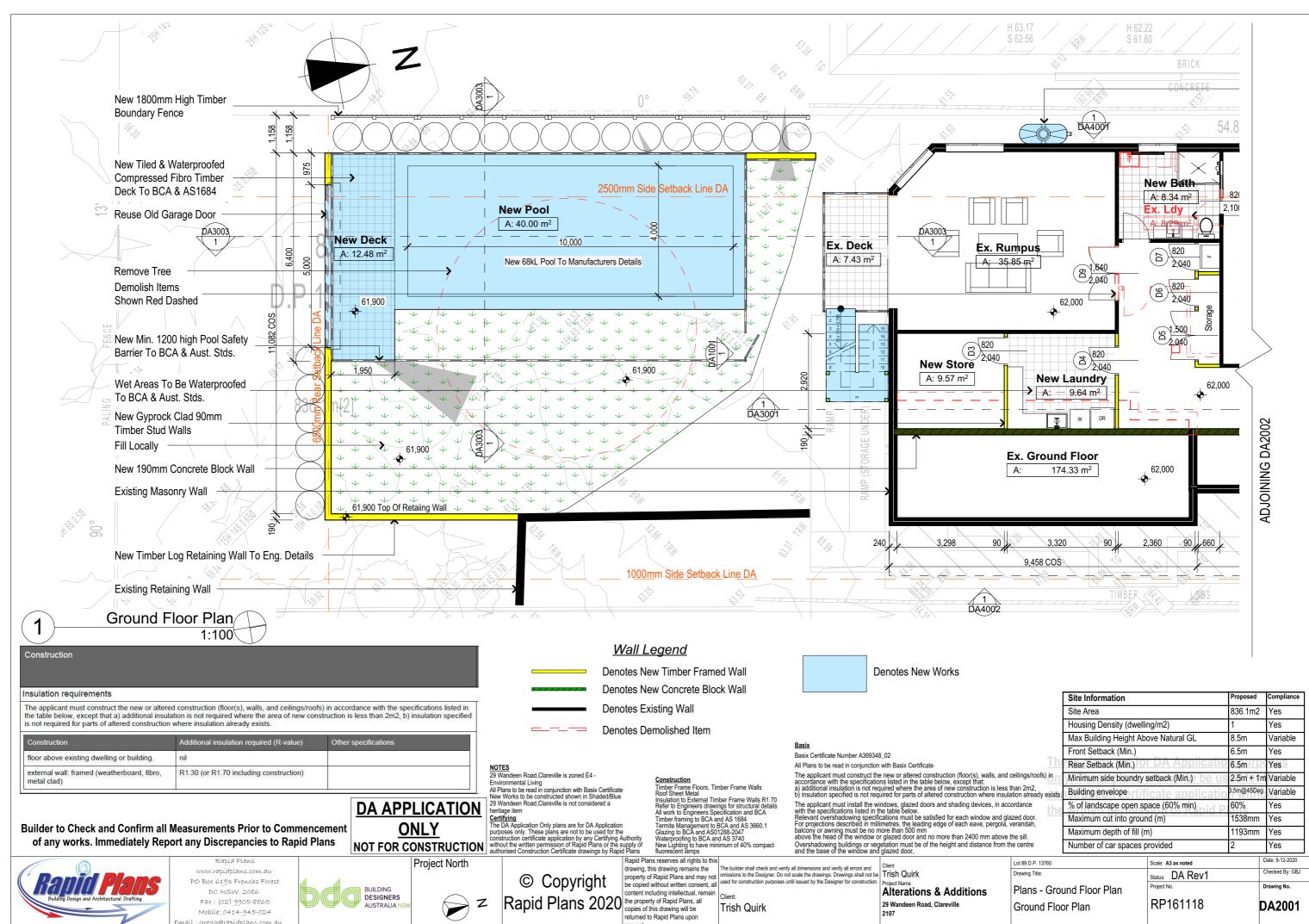
### Wall Legend

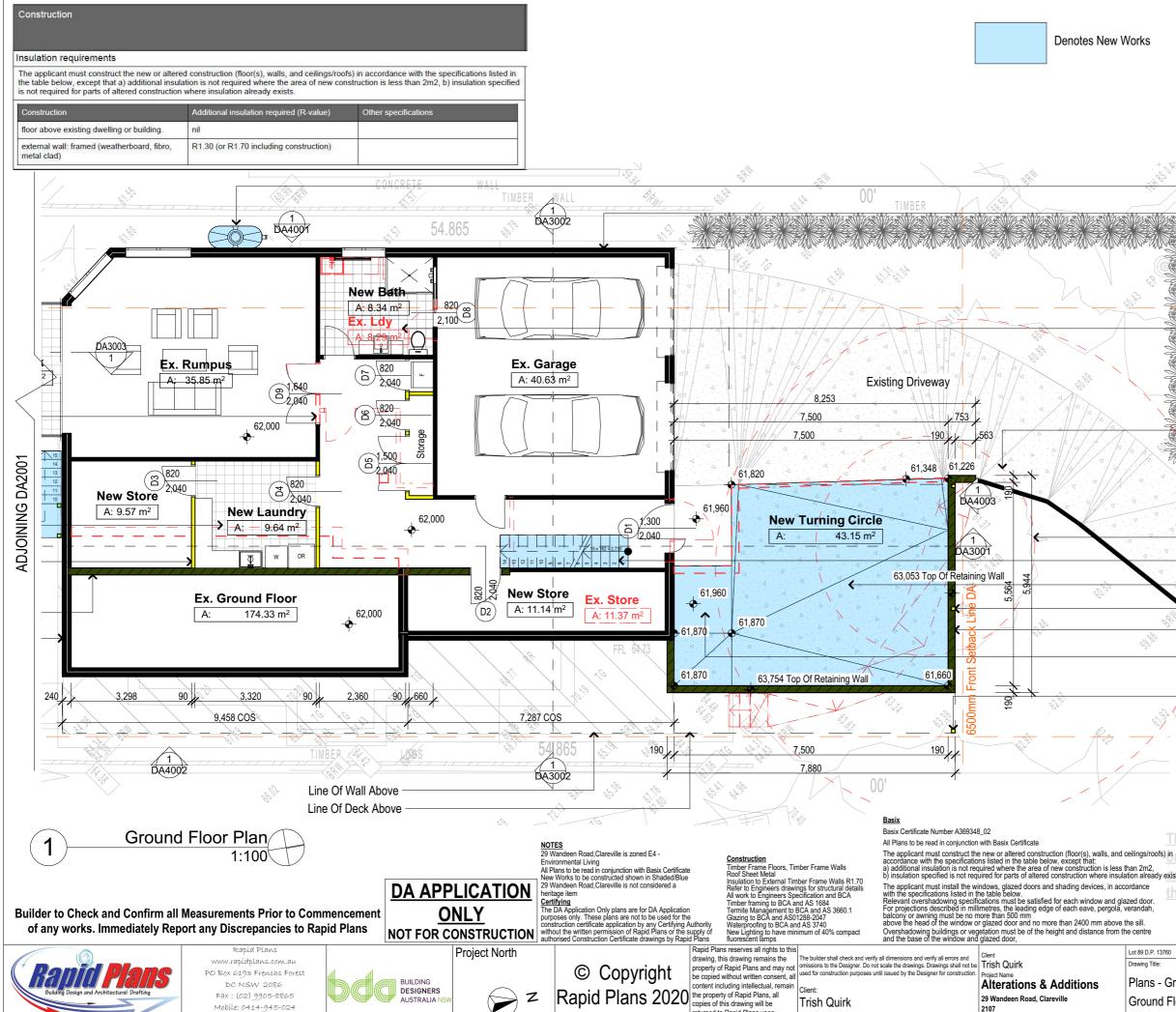
Denotes New Timber Framed Wall Denotes New Concrete Block Wall **Denotes Existing Wall** Denotes Demolished Item

## **Assumed Existing** Stormwater. Plumber To **Confirm Location Prior To Commencement**

## **Proposed Stormwater** Line To Be Fed Into The **Existing Drainage System**

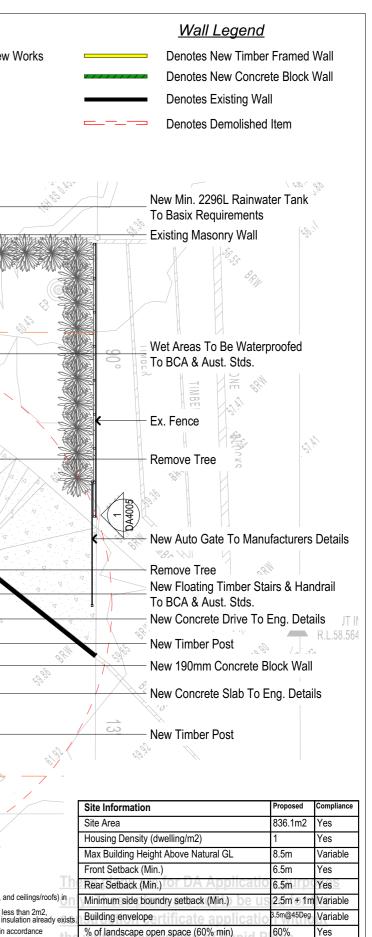
	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
Housing Density (dwelling/m2)			1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.) OF DA Applicatio		6.5m	Yes
ceilings/roofs) in n	Minimum side boundry setback (Min.) be US		2.5m + 1n	n Variable
than 2m2, lation already exists.	Building envelope	icate applicatio	3.5m@45Deg	
cordance the	% of landscape open sp	bace (60% min)	60%	Yes
azed door. verandah.	Maximum cut into grour	nd (m)	1538mm	Yes
the sill.	Maximum depth of fill (m)		1193mm	Yes
the centre	Number of car spaces p	car spaces provided		Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Site Plans - Stormwater Plan Stormwater Plan		Project No.		Drawing No.
		RP161118	C	DA1018





Mobile: 0414-945-024

: areaa@rapidplans.com.a



2107

returned to Rapid Plans upon

Number of car spaces provided Lot 89 D.P. 13760 Drawing Title:

Plans - Ground Floor Plan 2 Ground Floor Plan

Maximum cut into ground (m)

Maximum depth of fill (m)

RP161118

Status: DA Rev1

Scale: A3 as noted

roject No.

Drawing No. DA2002

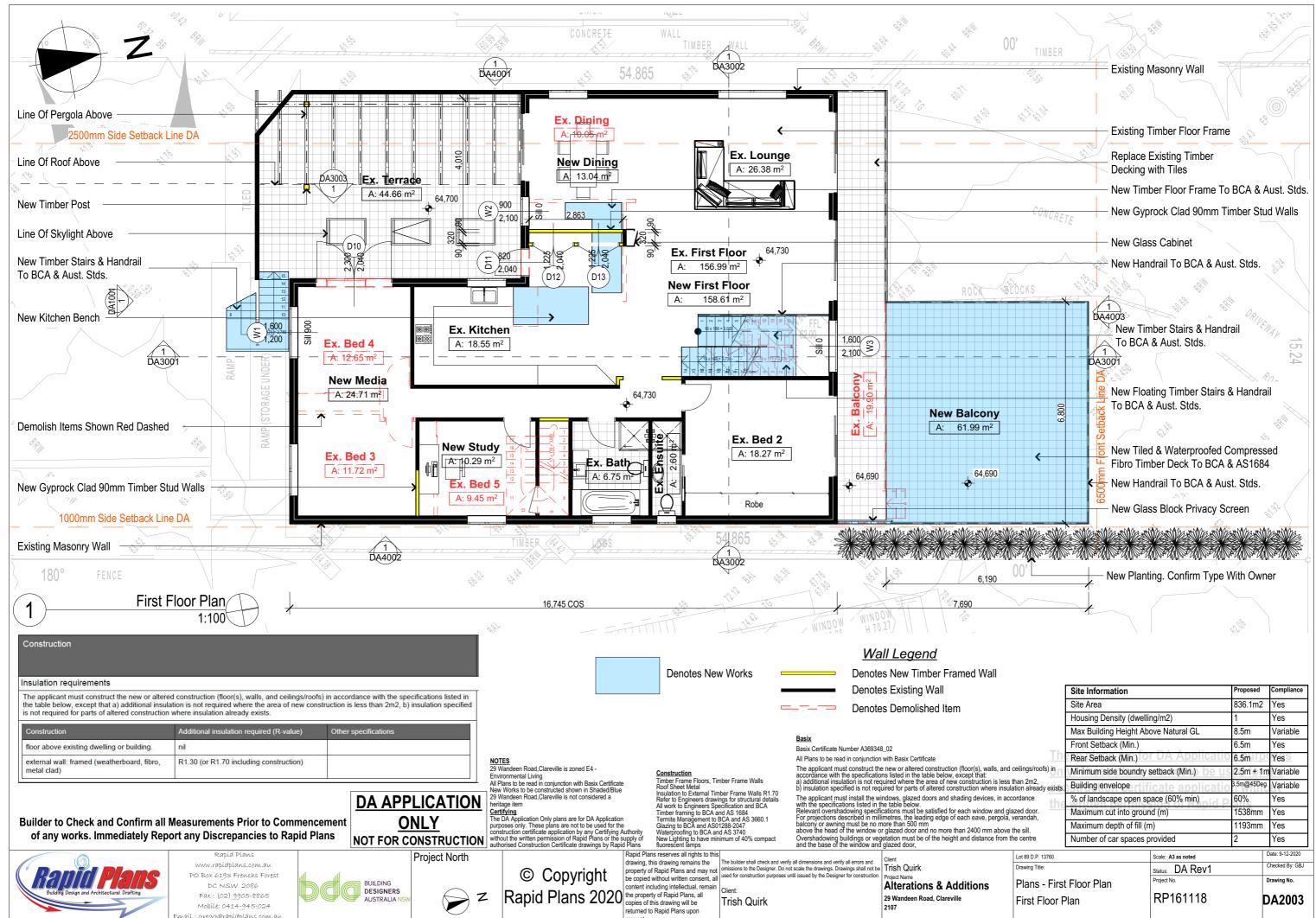
Yes

Date: 9-12-2020

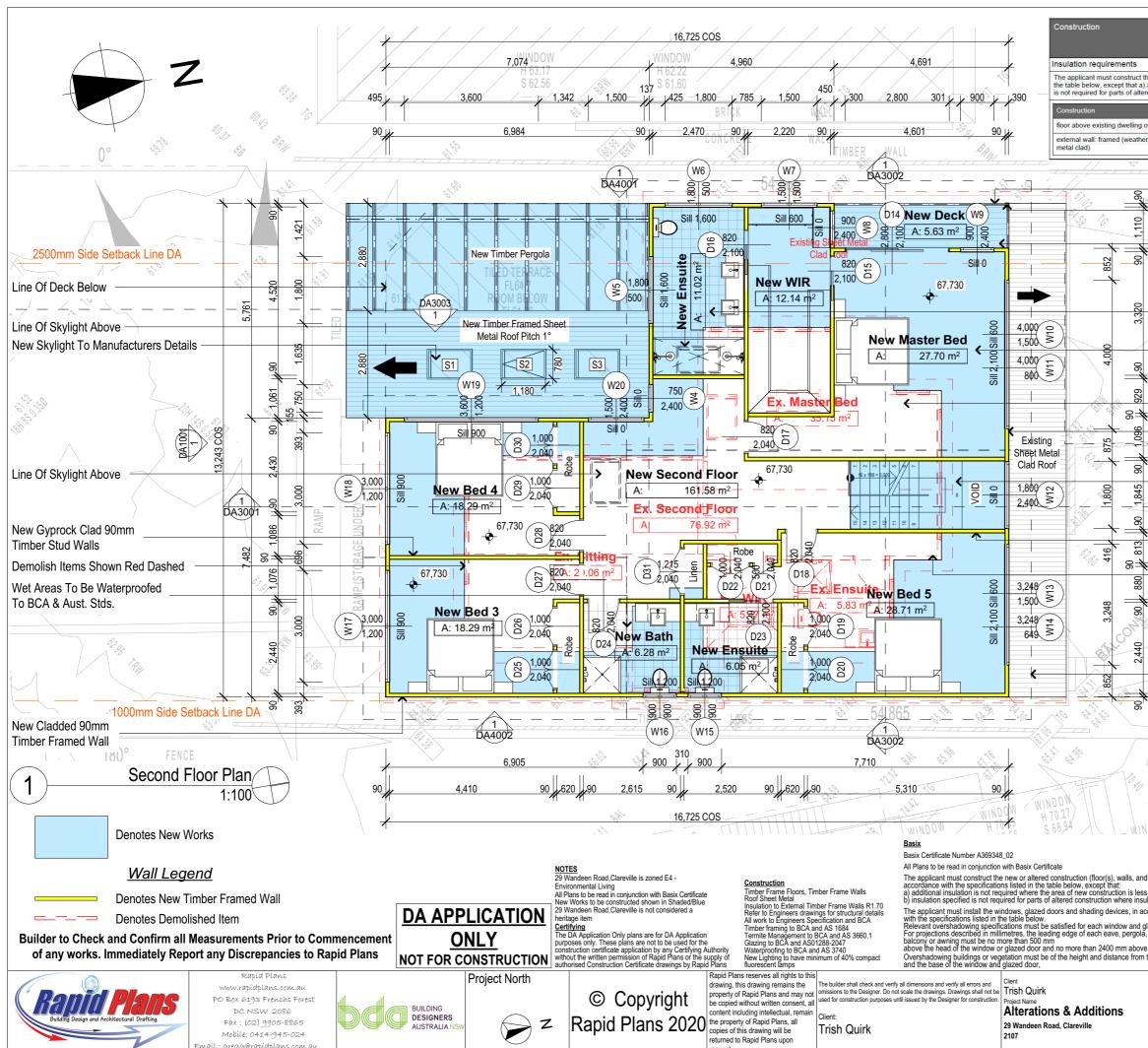
Checked By: GBJ

1538mm Yes

193mm Yes

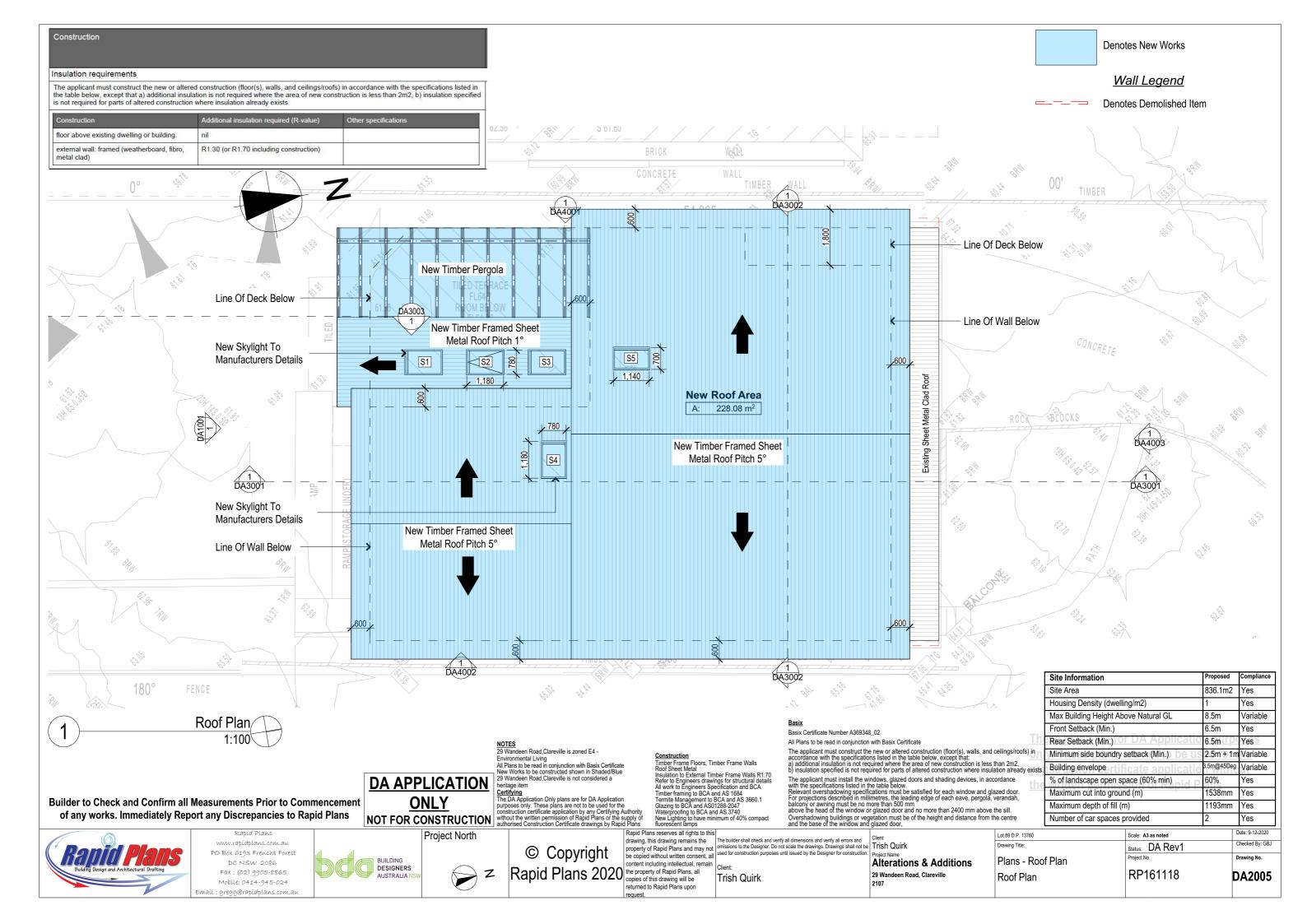


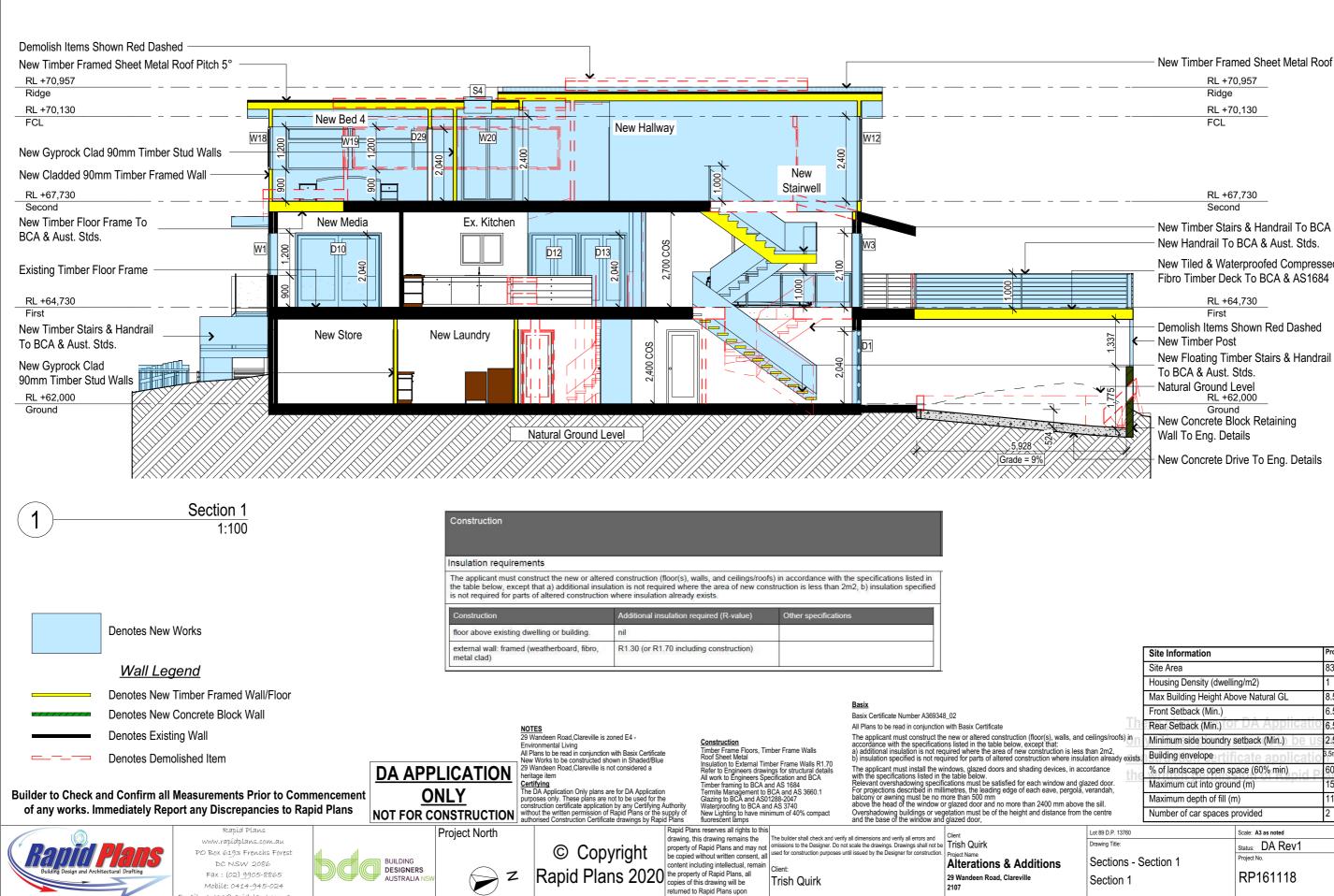
		Site Information		Proposed	Compliance
	Site Area			836.1m2	Yes
		Housing Density (dwelling	ng/m2)	1	Yes
		Max Building Height Abo	ove Natural GL	8.5m	Variable
		Front Setback (Min.)		6.5m	Yes
	The	Rear Setback (Min.)	r DA Applicatio	6.5m	Yes
and	ceilings/roofs) in n	Minimum side boundry s	setback (Min.) be us	2.5m + 1r	m Variable
ess t nsula	han 2m2, ition already exists.	Building envelope	icate applicatio	3.5m@45Deg	Variable
acc	ordance	% of landscape open sp	ace (60% min) 60%		Yes
d gla	zed door. verandah,	Maximum cut into groun	id (m)	1538mm	Yes
	he sill.	Maximum depth of fill (m)		1193mm	Yes
	ie centre	Number of car spaces provided		2	Yes
	Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
	Drawing Title:		status: DA Rev1		Checked By: GBJ
	Plans - First Floor Plan		Project No.		Drawing No.
First Floor Plan		RP161118	ſ	DA2003	



	Additional insulation required (I	R-value) Other specifications
uilding.	nil	
ard, fibro,	R1.30 (or R1.70 including cons	truction)
N	59	New Handrail To BCA & Aust. S
0		New Timber Post
5	5. ch.	New Tiled & Waterproofed
<b>X</b>		Compressed Fibro Timber Deck
<u> </u>		To BCA & AS1684
	6	
		Wet Areas To Be Waterproofed To BCA & Aust. Stds.
	CONCRETE	New Timber Floor Frame To
	- NUKETE	BCA & Aust. Stds.
	$\wedge$	
		Existing Timber Floor Frame
	1. Show a	New Cladded 90mm
	SBLOCKS C	Timber Framed Wall
SO	.40	DA4003 <sup>2</sup>
13 13	184	New Floating Timber Stairs &
12	680,6253	Handrail To BCA & Aust. Stds.
`	/	1
		DA3001
	/	New Gyprock Clad 90mm
V	62 /	Timber Stud Walls
	5.70	Demolish Items Shown
		Red Dashed
63 -		. <sup>1</sup> 0*
/6	ٰ يَّٰٰ ۖ <del>``</del> '``	
	يد يا الله الله الله الله الله الله الله ا	Line Of Deck Below
T	350(	
	63.2 <sup>6</sup> 0 0	
63	63. 1	Line Of Roof Above
+ 03	^	A <u>A</u>
		· · · · · · · · · · · · · · · · · · ·

0			Duomonod	Comuliance
×	Site Information		Proposed	Compliance
1 <sub>G</sub>	Site Area		836.1m2	Yes
WDOW	Housing Density (dwelli	ng/m2)	1	Yes
INDON	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.)	<u>r DA Applicatio</u>	6.5m	Yes
nd ceilings/roofs) in	Minimum side boundry	setback (Min.) be us	2.5m + 1m	Variable Variable
ss than 2m2, sulation already exists.	Building envelope	icate applicatio	3.5m@45Deg	
accordance	% of landscape open sp	bace (60% min)	60%	Yes
l glazed door.	Maximum cut into grour	cut into ground (m)		Yes
ve the sill.	Maximum depth of fill (m)		1193mm	Yes
m the centre	Number of car spaces provided		2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		status: DA Rev1		Checked By: GBJ
Plans - Second Floor Plan Second Floor Plan		Project No.		Drawing No.
		RP161118	C	)A2004





equest

: areaa@rapidplans.com.a

New Timber Framed Sheet Metal Roof Pitch 5°

RL +70,957
Ridge
RL +70,130
FCL

New Timber Stairs & Handrail To BCA & Aust. Stds. New Handrail To BCA & Aust. Stds.

New Tiled & Waterproofed Compressed Fibro Timber Deck To BCA & AS1684

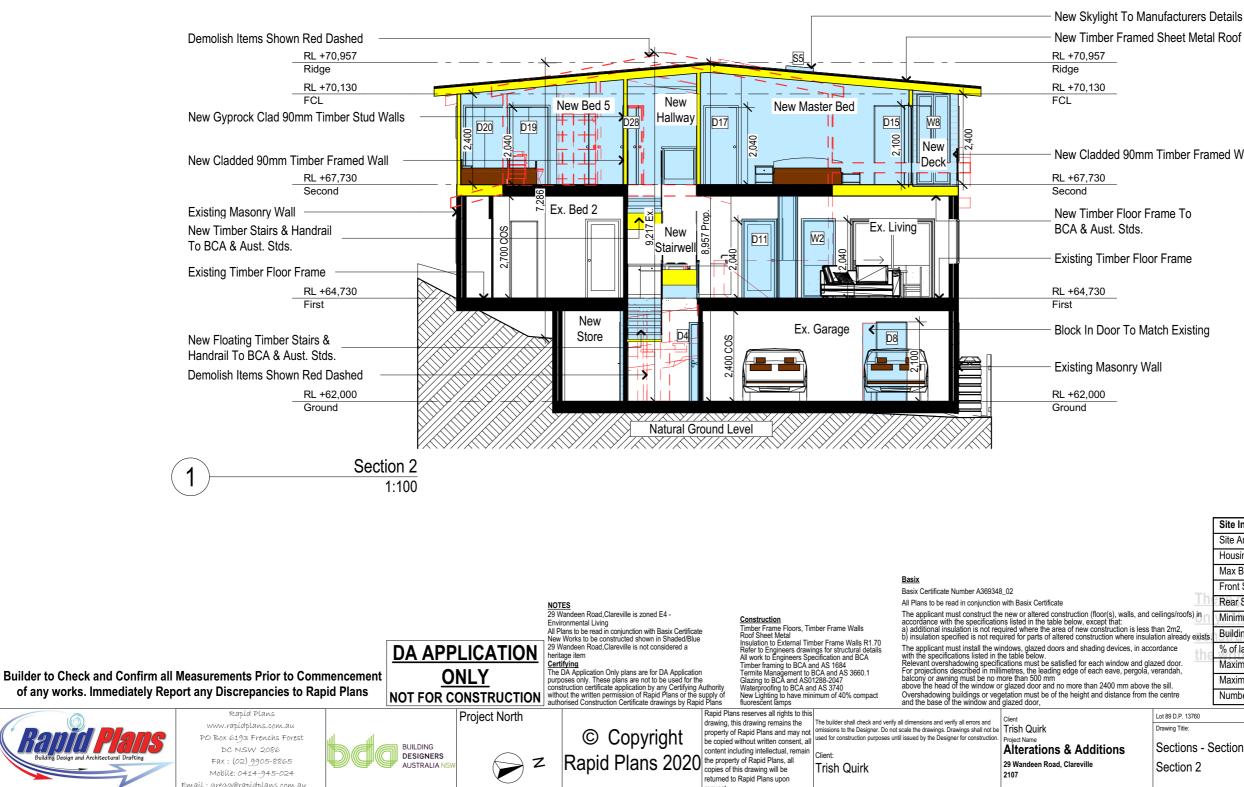
Site Information				Proposed	Compliance
		Site Area		836.1m2	Yes
		Housing Density (dwelling	ng/m2)	1	Yes
		Max Building Height Abo	ove Natural GL	8.5m	Variable
		Front Setback (Min.)		6.5m	Yes
	The	Rear Setback (Min.)	<u>r DA Applicatio</u>	6.5m	Yes
and	ceilings/roofs) in	Minimum side boundry setback (Min.) be us		2.5m + 1r	m Variable
ess t nsula	han 2m2, ation already exists.	Building envelope	icate applicatio 3.5m@45Deg		Variable
acc	ordance the	% of landscape open sp	ace (60% min)	60%	Yes
d gla	zed door. verandah,	Maximum cut into groun	d (m)	1538mm	Yes
	the sill.	Maximum depth of fill (m)		1193mm	Yes
	ne centre	Number of car spaces provided		2	Yes
	Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
	Drawing Title:		Status: DA Rev1		Checked By: GBJ
Sections - Section 1		Project No.		Drawing No.	
	Section 1		RP161118	I	DA3001

#### Construction

#### Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	



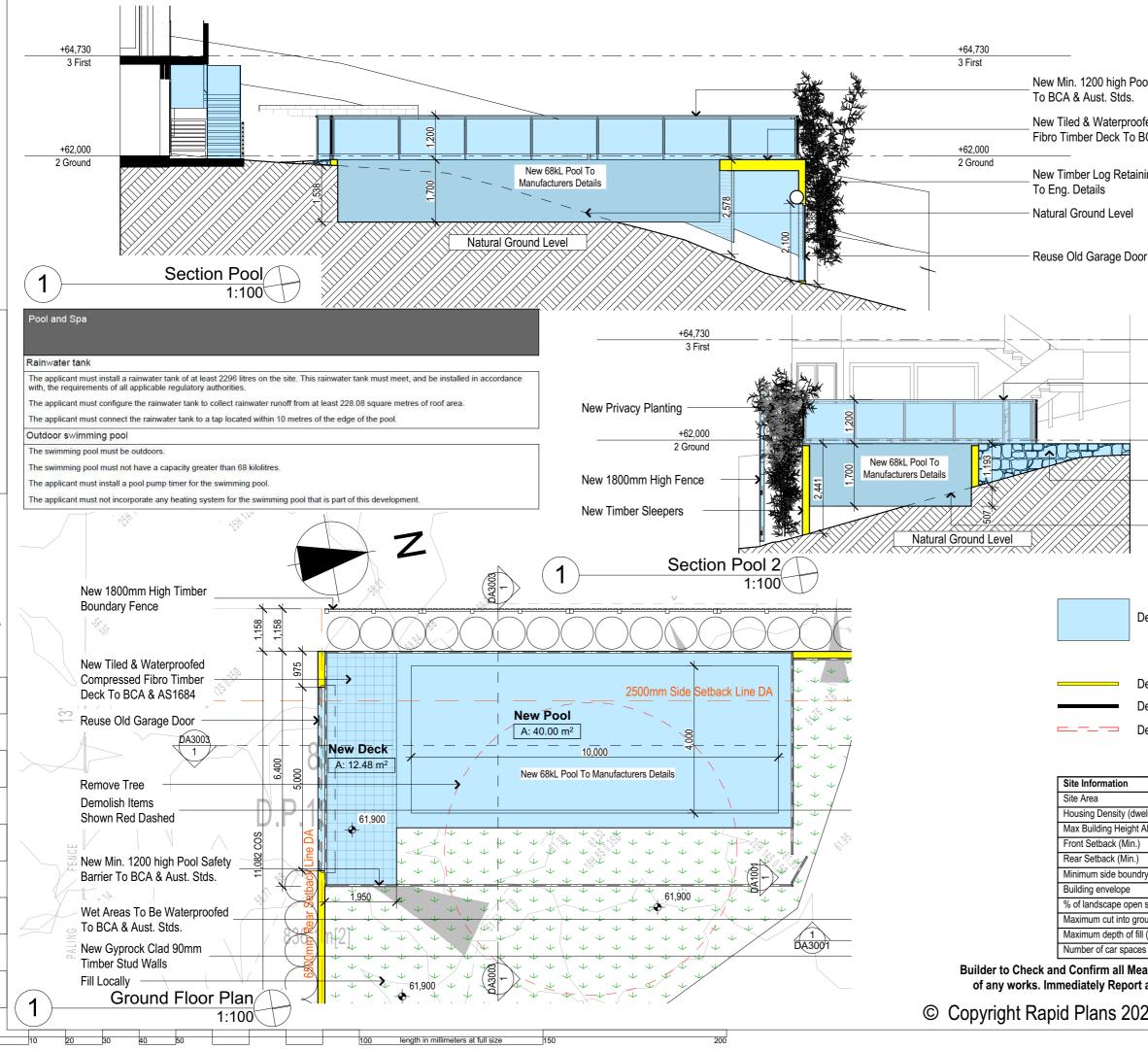
eauest

	Denotes New Works			
	Wall Legend			
[]	Denotes New Timber Framed Wall/Floor			
	Denotes Existing Wall			
	Denotes Demolished Item			

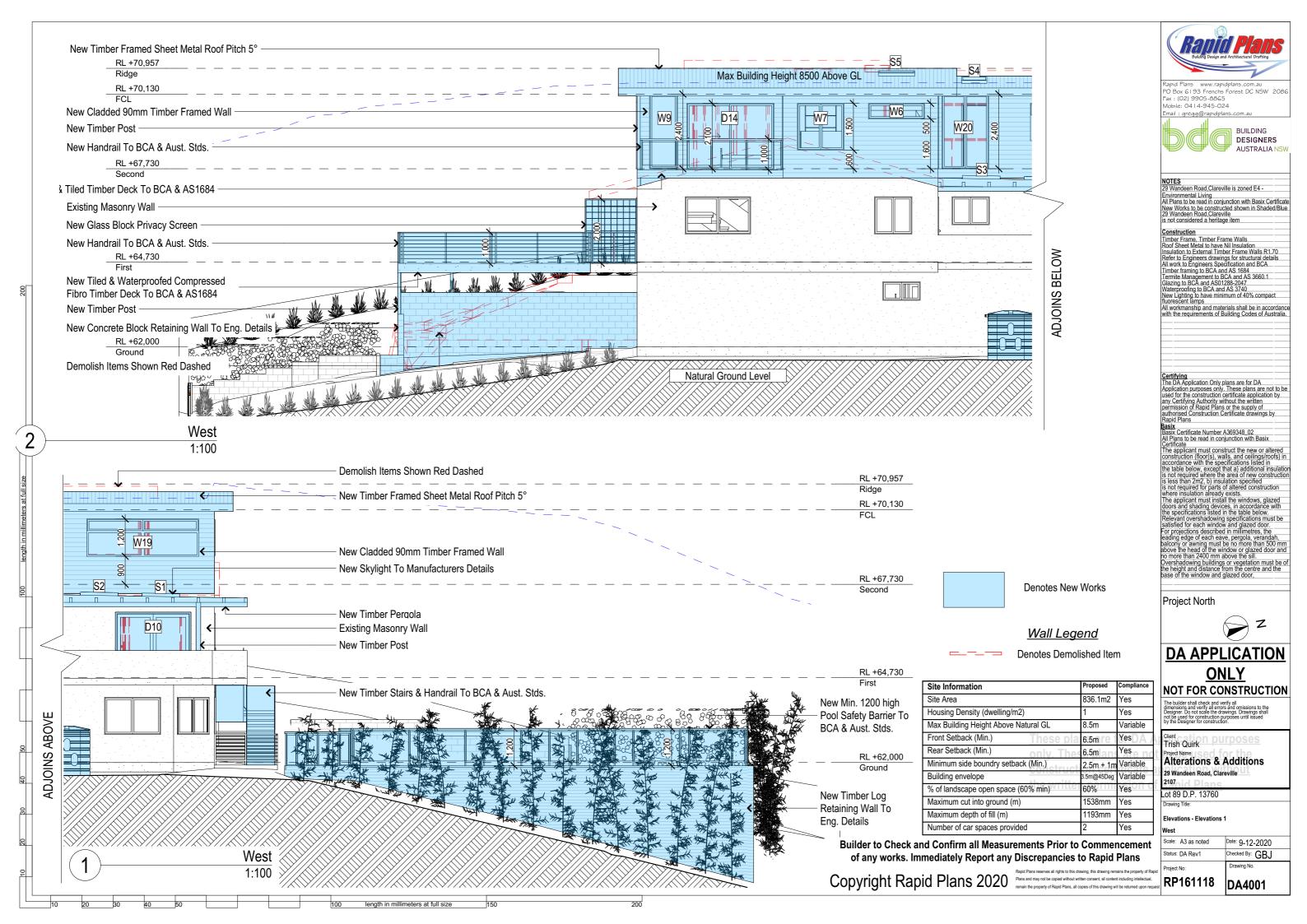
New Timber Framed Sheet Metal Roof Pitch 5°

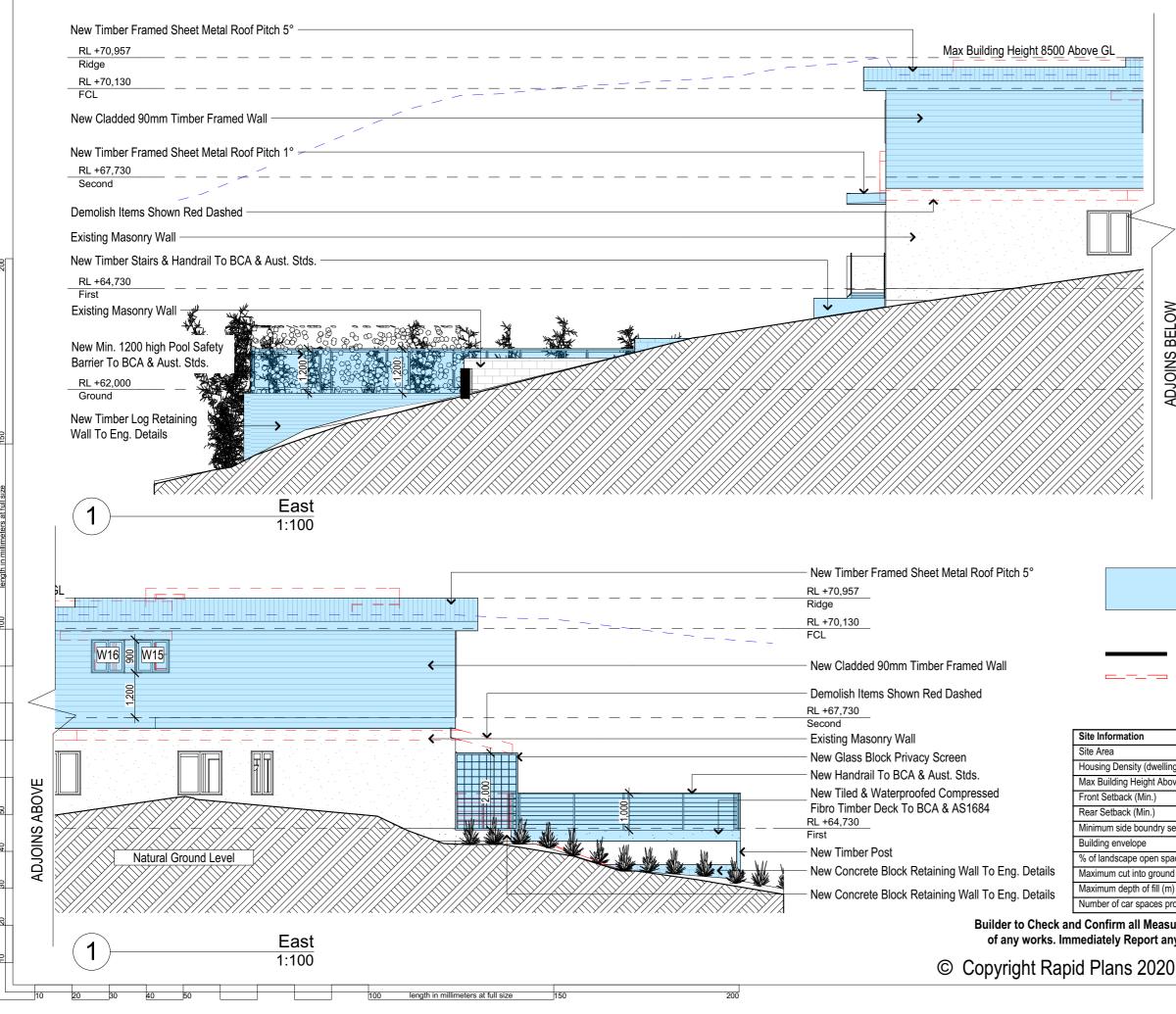
New Cladded 90mm Timber Framed Wall

		Site Information		Proposed	Compliance
		Site Area		836.1m2	Yes
		Housing Density (dwelling	ng/m2)	1	Yes
		Max Building Height Abo	ove Natural GL	8.5m	Variable
		Front Setback (Min.)		6.5m	Yes
	The	Rear Setback (Min.)		6.5m	Yes
nd	ceilings/roofs) in n	Minimum side boundry setback (Min.) De U		2.5m + 1r	n Variable
and them ()m()		Building envelope	velopertificate applicatio		Variable
acc	accordance % of landscape open sp		ace (60% min)	60%	Yes
l gla	ized door.	Maximum cut into groun	faximum cut into ground (m)		Yes
olă, verandah,		Maximum depth of fill (m)		1193mm	Yes
	ne centre	Number of car spaces provided		2	Yes
	Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
	Drawing Title: Sections - Section 2 Section 2		Status: DA Rev1 Project No.		Checked By: GBJ
					Drawing No.
			RP161118	ſ	DA3002



			Rapp Building Design a	and Architectural Drafting
ol Safety Barrier			PO Box 6193 French Fax : (02) 9905-886 Mobile: 0414-945-0	24
ed Compressed CA & AS1684				BUILDING DESIGNERS AUSTRALIA NSW
ing Wall			10750	
			NOTES 29 Wandeen Road,Clare Environmental Living	ville is zoned E4 -
			All Plans to be read in cor	njunction with Basix Certificate icted shown in Shaded/Blue ville age item
			Construction Timber Frame, Timber Fr	rame Walls
			Roof Sheet Metal to have Insulation to External Tin	e Nil Insulation hber Frame Walls R1.70
			Refer to Engineers drawi All work to Engineers Sp	ngs for structural details
			Limber traming to BCA a	nd AS 1684
			Termite Management to Glazing to BCA and AS0 Waterproofing to BCA an New Lighting to have min	1288-2047 Id AS 3740
+64,730			New Lighting to have mir fluorescent lamps All workmanship and ma	terials shall be in accordance
3 First			with the requirements of	Building Codes of Australia.
New Min 4000 bi		<i>t</i> . <i>t</i> .		
_ New Min. 1200 hig Barrier To BCA &				
	AUSI. 3105			
			Certifying	
+62,000			Application purposes only used for the construction	plans are for DA y. These plans are not to be certificate application by
2 Ground			permission of Rapid Plan	certificate application by vithout the written is or the supply of
			authorised Construction Rapid Plans	Certificate drawings by
<ul> <li>Fill Locally</li> </ul>			Basix Basix Certificate Number All Plans to be read in co	A369348_02
			The applicant must con	struct the new or altered
- Natural Ground Le	avol		laccordance with the sp	alls, and ceilings/roofs) in ecifications listed in
	evei		is not required where th is less than 2m2, b) ins	that a) additional insulation the area of new construction
			is not required for parts where insulation alread The applicant must inst	of altered construction
			doors and shading devi	ces, in accordance with
			the specifications listed Relevant overshadowin	g specifications must be
			satisfied for each windo For projections describe eading edge of each ea	d in millimetres the
enotes New Works			balcony or awning must above the head of the w	ver, pergola, verandah, be no more than 500 mm indow or glazed door and above the sill.
			no more than 2400 mm Overshadowing building	above the sill. is or vegetation must be of from the centre and the
<u>Wall Legend</u>			the height and distance base of the window and	glazed door,
enotes New Timber	Framed W	/all/Floor	Project North	
enotes Existing Wall	l/Floor			Z
enotes Demolished				
				LICATION NLY
	Proposed	Compliance		NSTRUCTION
	836.1m2	Yes		
lling/m2)	1	Yes	The builder shall check and y dimensions and verify all erry Designer. Do not scale the d not be used for construction by the Designer for construct	ors and omissions to the rawings. Drawings shall purposes until issued
bove Natural GL	8.5m	Variable	by the Designer for construct	lion.
These pla	6.5m re 1	Yes DA	Client Trish Quirk	<u>irposes</u>
only. The	6.5mlans	Yes	Project Name Alterations &	Additions
y setback (Min.)	2.5m + 1m		29 Wandeen Road, Cla	illi di ili
	3.5m@45Deg 60%	Variable Yes	2107 pid Plans	
space (60% min)	60% 1538mm	Yes	Lot 89 D.P. 13760	
		103	Drawing Title:	
und (m)	1193mm	Yes	Sections - Section Poo	
und (m) (m)		Yes Yes		
(m) (m) provided	1193mm 2	Yes		Pool 2, Ground Floor Plan
(m) provided surements Prior to	1193mm 2 Comme	Yes ncement	Section Pool, Section F	
(m) provided asurements Prior to any Discrepancies	1193mm 2 Commento Rapid	Yes ncement Plans	Section Pool, Section F Scale: A3 as noted Status: DA Rev1	Pool 2, Ground Floor Plan Date: 9-12-2020
space (60% min) und (m) (m) s provided asurements Prior to any Discrepancies Plus and may not be copied without > Plus and may not be copied without > Plus and may not be copied without > remain the poperty of Rap dPars. al	1193mm 2 Commento Rapid drawing, this drawing rem written consent, all conter	Yes ncement Plans hains the property of Rap tt including intellectual,	Section Pool, Section F Scale: A3 as noted Status: DA Rev1 Project No: RP161118	Pool 2, Ground Floor Plan Date: 9-12-2020 Checked By: GBJ





ADJOINS BELOW

Denotes New Works

#### Wall Legend

**Denotes Existing Wall** 

**Denotes Demolished Item** 

	Proposed	Compliance
	836.1m2	Yes
dwelling/m2)	1	Yes
ht Above Natural GL	8.5m	Variable
n.) <u>These pla</u>	6.5m re 1	YesDA
.) only. Thes	6.5m ang	Yes
ndry setback (Min.)	2.5m + 1m	Variable
	3.5m@45Deg	Variable
en space (60% min)	60%	Yes
ground (m)	1538mm	Yes
fill (m)	1193mm	Yes
ces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



#### Vindows and glazed doors

zing requiremen

The applicant must install the windows, glazed doors and shading devices, in accordance v Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing mus have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

ergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door	Orientation	Area of glass inc. frame (m2)	f Overshadowing		Shading device	Frame and glass type
no.			Height (m)	Distance (m)		
W1	S	1.92	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W3	N	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W4	S	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Window / door	Orientation	Area of	f Overshadowing		Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W6	W	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	W	2.25	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	N	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W10	N	6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	N	3.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	N	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W13	N	4.87	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	N	2.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W15	E	0.81	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W16	E	0.18	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W17	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W18	S	3.6	0	0	eave/verandah/pergola/balcony	improved aluminium, single pyrolytic low-e, (Livalue: 4.48, SHGC: 0.46)

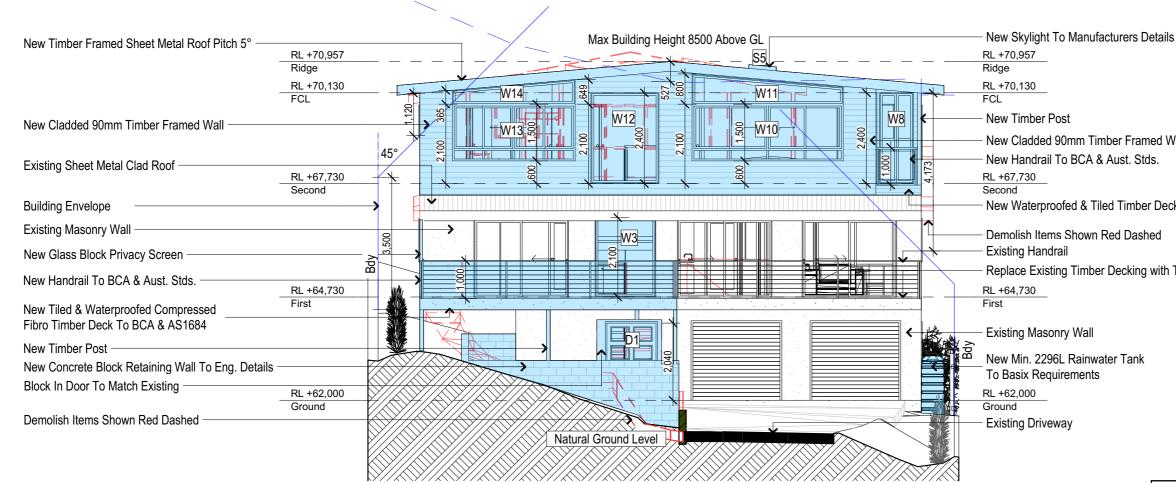
Window / door	Orientation	Area of	Oversha	adowing	Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W19	W	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic l (U-value: 4.48, SHGC: 0.46)
W20	w	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic l (U-value: 4.48, SHGC: 0.46)
D10	w	4.87	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U- 6.44, SHGC: 0.75)
D11	s	1.81	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U- 6.44, SHGC: 0.75)
D14	w	5.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U- 6.44, SHGC: 0.75)

The following requirements must also be satisfied in relation to each skylight

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that I

ne table below.	
Skylights glazing requirements	

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S4	0.92	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	0.79	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)





Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans









© Copyright

NOTES 29 Wandeen Road, Clareville is zoned E4 -

Ζ

Root Sheet Metal Insulation to External Timber Frame Walls R1.70 Refer to Engineers drawings for structural details All work to Engineers Specification and BCA Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047

Constructior

# Waterproofing to BCA and AS 1205-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps

Timber Frame Floors, Timber Frame Walls Roof Sheet Metal

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all onesten is based of all of the Designer. Do not scale the drawings. Drawings shall not be property of Rapid Plans and may not be copied without written consent, all other the Designer for construction. content including intellectual, remain Client:

Rapid Plans 2020 the property of Rapid Plans, all Trish Quirk copies of this drawing will be returned to Rapid Plans upon

equest

Basix Certificate Number A369348 02 All Plans to be read in conjunction with Basix Certificate

Basix

The applicant must construct the new or altered construction (floor(s), walls, an accordance with the specifications listed in the table below, except that: a) additional insulation is not required where the area of new construction is les b) insulation specified is not required for parts of altered construction where insu-

The applicant must install the windows, glazed doors and shading devices, in ac with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and g For projections described in millimetres, the leading edge of each eave, pergola, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above Compheticing buildings are uncertaint on the balant and the balant and the tables for the satisfied for the window and the second second

# Overshadowing buildings or vegetation must be of the height and distance from and the base of the window and glazed door,



	Denotes New Works
ic low-e,	Wall Legend
ic low-e,	Denotes New Concrete Block Wall
U-value: U-value:	Denotes Existing Wall/Drive
U-value:	Denotes Demolished Item
sted in	

New Cladded 90mm Timber Framed Wall

New Waterproofed & Tiled Timber Deck To BCA & AS

Replace Existing Timber Decking with Tiles

		Site Information		Proposed	Compliance
		Site Area		836.1m2	Yes
		Housing Density (dwelling	ng/m2)	1	Yes
		Max Building Height Abo	ove Natural GL	8.5m	Variable
		Front Setback (Min.)		6.5m	Yes
	The	Rear Setback (Min.)	r DA Applicatio	6.5m	Yes
ind	ceilings/roofs) in	Minimum side boundry s	setback (Min.) be us	2.5m + 1	m Variable
ess t Isula	han 2m2, ation already exists.	Building envelope	icate applicatio	3.5m@45Deg	Variable
acc	ordance the	% of landscape open sp	ace (60% min)	60%	Yes
d gla	zed door. verandah,	Maximum cut into groun	id (m)	1538mm	Yes
	the sill.	Maximum depth of fill (m	n)	1193mm	Yes
	ne centre	Number of car spaces p	2	Yes	
	Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
	Drawing Title:		status: DA Rev1		Checked By: GBJ
	Elevations -	Elevations 3	Project No.	Drawing No.	
	North		RP161118	I	DA4003
	I				

#### Vindows and glazed doors

zing requirement

The applicant must install the windows, glazed doors and shading devices, in accordance v Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

ergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type
no.			Height (m)	Distance (m)		
W1	S	1.92	0	0	none	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W2	S	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W3	N	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value 6.44, SHGC: 0.75)
W4	S	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Window / door	Orientation	Area of	Oversha	niwobe	Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W6	W	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	W	2.25	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	N	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	N	6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	N	3.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	N	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W13	N	4.87	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	N	2.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W15	E	0.81	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	E	0.18	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

azina requirement

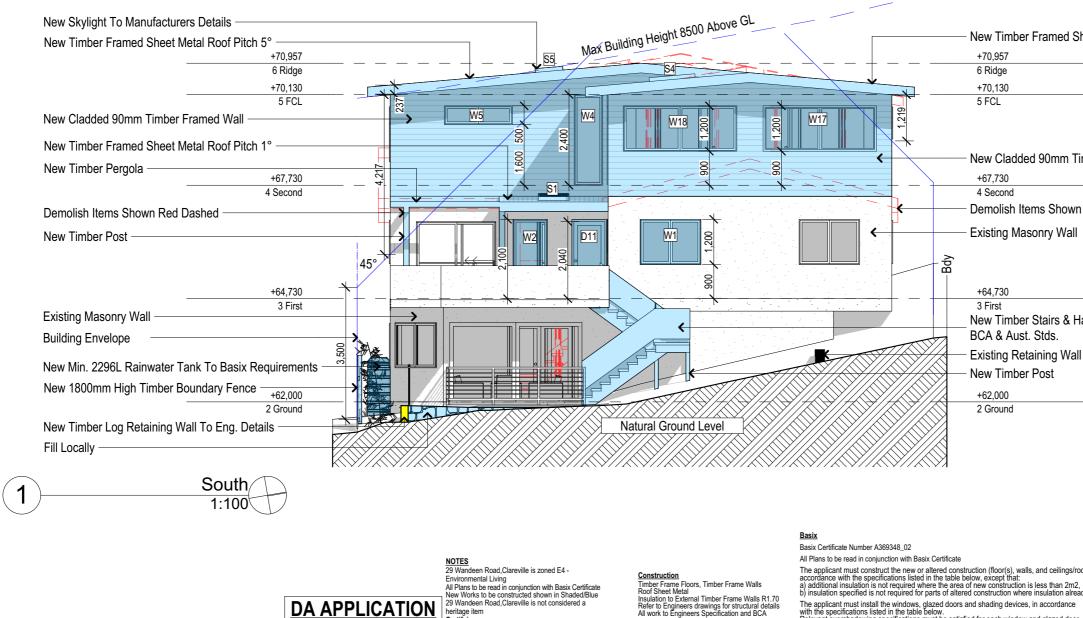
Window / door	Orientation	Area of	Overshadowing		Shading device	Frame and glass type
no.		glass inc. frame (m2)	Height (m)	Distance (m)		
W19	w	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low (U-value: 4.48, SHGC: 0.46)
W20	w	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low (U-value: 4.48, SHGC: 0.46)
D10	w	4.87	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-val 6.44, SHGC: 0.75)
D11	s	1.81	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-val 6.44, SHGC: 0.75)
D14	w	5.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-val 6.44, SHGC: 0.75)

he applicant must install the skylights in accordance with the specifications listed in the table belo

The following requirements must also be satisfied in relation to each skylight

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain at (SHGC) no greater than that lists

Skylight number	Area of glazing inc. frame (m2)	Shading device	Frame and glass type
S4	0.92	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	0.79	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans







AUSTRALIA N



Ζ

Timber framing to BCA and AS 1684 Termite Management to BCA and AS 3660.1 Glazing to BCA and AS01288-2047 Waterproofing to BCA and AS 01206-2047 Waterproofing to BCA and AS 3740 New Lighting to have minimum of 40% compact fluorescent lamps

Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all onesten is based of all of the Designer. Do not scale the drawings. Drawings shall not be property of Rapid Plans and may not be copied without written consent, all other the Designer for construction. © Copyright content including intellectual, remain Client:

Rapid Plans 2020 Trish Quirk returned to Rapid Plans upon equest

The applicant must install the windows, glazed doors and shading devices, in ac with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and g For projections described in millimetres, the leading edge of each eave, pergola, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above Compheticing buildings are uncertaint on the balant and the balant and the tables for the satisfied for the window and the second Overshadowing buildings or vegetation must be of the height and distance from and the base of the window and glazed door,

2107

Alterations & Additions

29 Wandeen Road, Clareville

и-е,	
и-е,	
alue:	
alue:	
alue:	
in	

Denotes New Works
Mall I a wave of

Wall Legend

Denotes New Timber Framed Wall/Floor **Denotes Existing Wall** Denotes Demolished Item

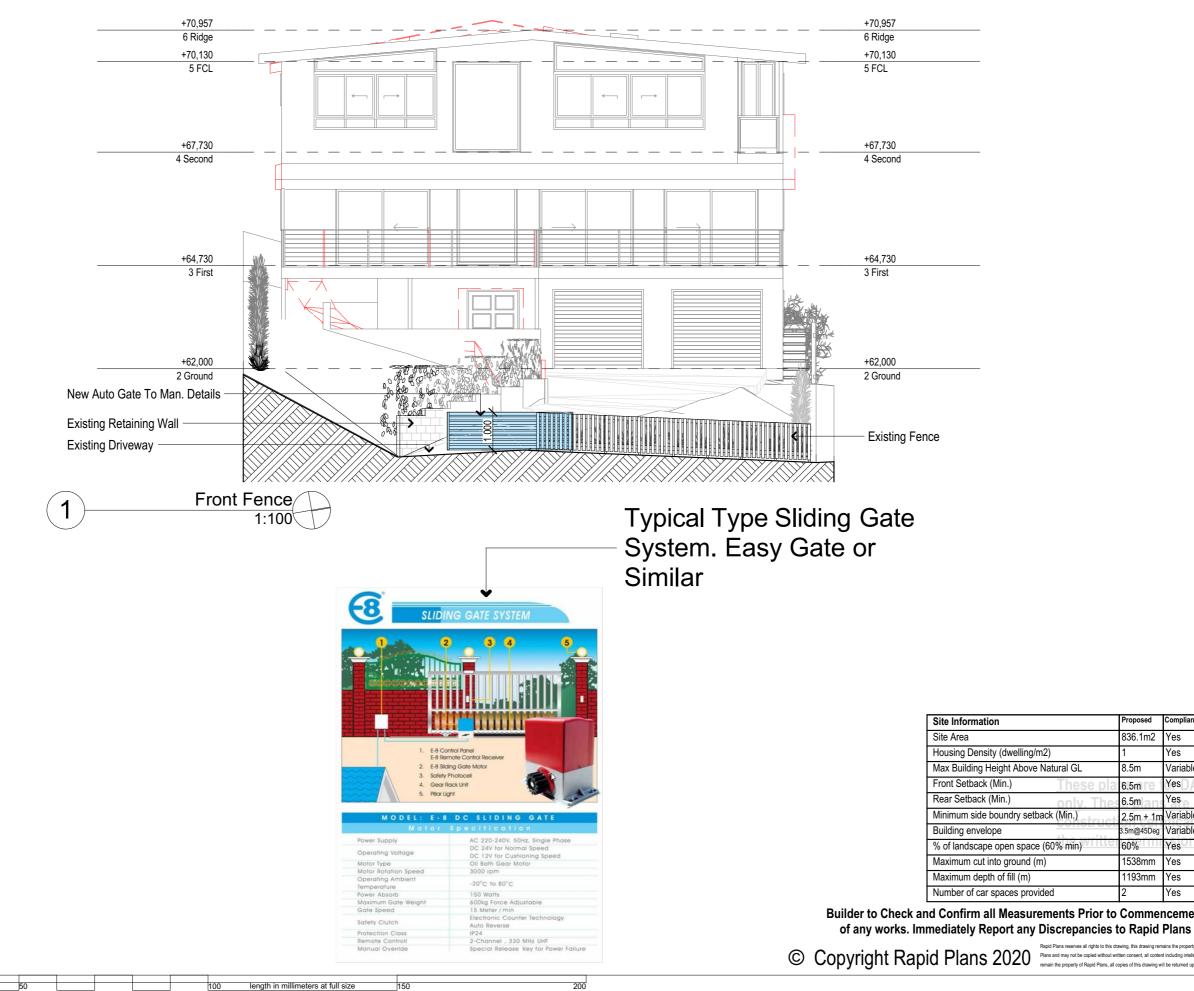
New Timber Framed Sheet Metal Roof Pitch 5°

New Cladded 90mm Timber Framed Wall

Demolish Items Shown Red Dashed

New Timber Stairs & Handrail To

		Site Information		Proposed	Compliance
		Site Area		836.1m2	Yes
		Housing Density (dwelling/m2)		1	Yes
		Max Building Height Ab	ove Natural GL	8.5m	Variable
		Front Setback (Min.)	6.5m	Yes	
	The	Rear Setback (Min.)	6.5m	Yes	
ind	ceilings/roofs) in n	Minimum side boundry setback (Min.) De US		2.5m + 1r	n Variable
ess t Isula	han 2m2, ation already exists.	Building envelope		3.5m@45Deg	Variable
acc	ordance the	% of landscape open sp	ace (60% min)	60%	Yes
d glazed door. bla, verandah, ove the sill. m the centre		Maximum cut into ground (m)		1538mm	Yes
		Maximum depth of fill (m)		1193mm	Yes
		Number of car spaces provided		2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020	
Drawing Title: Elevations - Elevations 4			Status: DA Rev1		Checked By: GBJ
		Elevations 4	Project No.		Drawing No.
	South		RP161118	I	DA4004



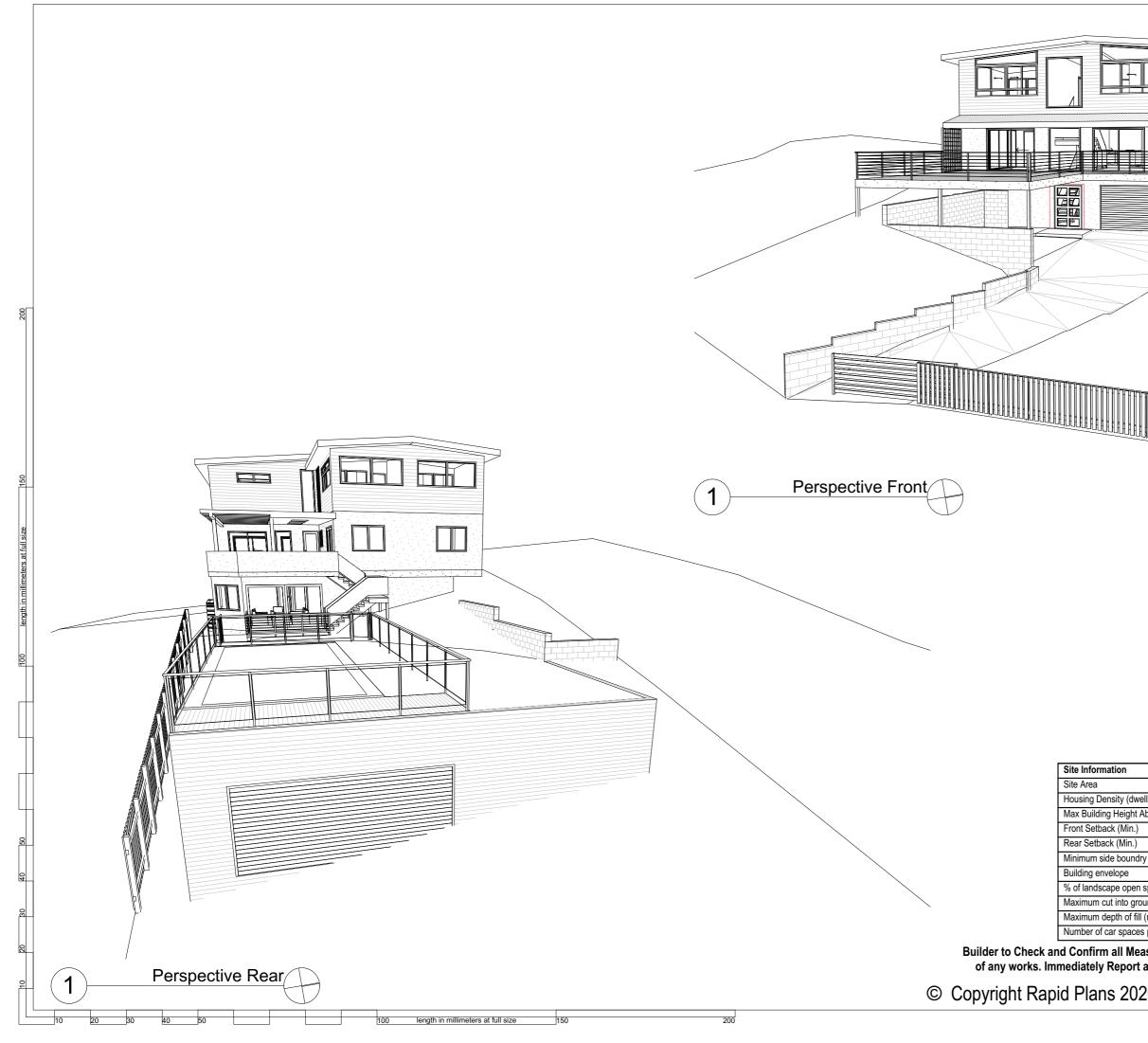
#### **Denotes New Works**



	Proposed	Compliance
	836.1m2	Yes
lwelling/m2)	1	Yes
nt Above Natural GL	8.5m	Variable
.) <u>These pla</u>	6.5m re 1	YesDA
) only. Thes	6.5m ang	Yes
ndry setback (Min.)	2.5m + 1m	Variable
	3.5m@45Deg	Variable
en space (60% min)	60%	Yes
ground (m)	1538mm	Yes
fill (m)	1193mm	Yes
ces provided	2	Yes

## Builder to Check and Confirm all Measurements Prior to Commencement

Plans and may not be copied without written consent, all content including intellectual,



	Proposed 836.1m2	Compliance Yes	Relevant overshadowi satisfied for each wind for projections describ eading edge of each e balcony or awning mus above the head of the i no more than 2400 mm Overshadowing buildin the height and distance base of the window and Project North	I in the table below. Ing specifications must be ow and glazed door. ed in millimetres, the awe, pergola, verandah, t be no more than 500 mm window or glazed door and above the sill. go r vegetation must be of from the centre and the f glazed door. <b>LICATION</b> <b>NLY</b> <b>DNSTRUCTION</b>
	Proposed	Compliance	Relevant overshadowi satisfied for each wind for projections describ eading edge of each e balcony or awning mus above the head of the i no more than 2400 mm Overshadowing buildin the height and distance base of the window and Project North	I in the table below. Ing specifications must be ow and glazed door. ed in millimetres, the ave, pergola, verandah, t be no more than 500 mm window or glazed door and a bove the sill. go or vegetation must be of from the centre and the glazed door, Z LICATION NLY
			Relevant overshadowi satisfied for each wind beading edge of each en balcony or awning mus above the head of the v no more than 2400 mm Overshadowing buildin the height and distance base of the window and pase of the window and Project North	I in the table below. Ing specifications must be ow and glazed door. ed in millimetres, the awe, pergola, verandah, t be no more than 500 mm window or glazed door and a bove the sill. g or vegetation must be of from the centre and the d glazed door, Z
			Relevant overshadowi satisfied for each wind For projections describ leading edge of each e balcony or awning mus above the head of the no more than 2400 mm Overshadowing buildin the height and distance base of the window and	I in the table below. Ing specifications must be ow and glazed door. ed in millimetres, the awe, pergola, verandah, t be no more than 500 mm window or glazed door and above the sill. go or vegetation must be of from the centre and the d glazed door,
			Relevant overshadowi satisfied for each wind For projections describ leading edge of each e balcony or awning mus above the head of the u no more than 2400 mm Overshadowing buildin the height and distance	J in the table below. ng specifications must be ow and glazed door. ed in millimetres, the ave, pergola, verandah, t be no more than 500 mm window or glazed door and above the sill. gs or vegetation must be of from the centre and the
			Relevant overshadowi satisfied for each wind	d in the table below. ng specifications must be ow and glazed door.
			doors and shading dev	tall the windows, glazed
			accordance with the sp the table below, excep is not required where t is less than 2m2, b) ins is not required for parts	pecifications listed in t that a) additional insulation he area of new construction sulation specified s of altered construction
			Basix Basix Certificate Number All Plans to be read in co Certificate The applicant must con construction (floor(s)).	onjunction with Basix
			any Certifying Authority permission of Rapid Pla authorised Construction Rapid Plans	n certificate application by without the written ns or the supply of Certificate drawings by
			Certifying The DA Application Only Application purposes on	ly. These plans are not to be
			All workmanship and ma	nimum of 40% compact aterials shall be in accordance Building Codes of Australia.
/			All work to Engineers Sp Timber framing to BCA a Termite Management to Glazing to BCA and ASI Waterproofing to BCA a New Lighting to have mi fluorescent lamps	ings for structural details pecification and BCA and AS 1684 BCA and AS 3660.1 01288-2047 nd AS 3740 provide for approach
			Construction Timber Frame, Timber F Roof Sheet Metal to hav Insulation to External Ti Refer to Engineers draw	e Nil Insulation mber Frame Walls R1.70
	P		All Plans to be read in co	njunction with Basix Certificate ucted shown in Shaded/Blue eville age item
			NOTES 29 Wandeen Road,Clare Environmental Living	eville is zoned E4 -
	[		<b>DQ</b>	DESIGNERS AUSTRALIA NSW
			Mobile: 04   4-945-0 Email : gregg@rapid	)24 plans.com.au
			PO Box 6193 French	pidplans.com.au is Forest DC NSW 2086
			PO Box 6193 Frenct Fax : (02) 9905-880 Mobile: 0414-945-0	is Forest DC NSW 208 55 224 plans.com.au BUILDING DESIGNERS



Denotes Sheet Metal Roof (Typical). **Owner To Confirm Colour** 



Denotes Timber Deck To AS39559 (Typical). **Owner To Confirm Colour** 





Denotes Cladding To AS39559 (Typical). **Owner To Confirm Colour** 



Denotes Tiled Deck To AS39559 (Typical). **Owner To Confirm Colour** 

150

200

length in millimeters at full size

Site Information Site Area Housing Density (d Max Building Heigh Front Setback (Min Rear Setback (Min Minimum side bour Building envelope % of landscape ope Maximum cut into Maximum depth of Number of car space

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

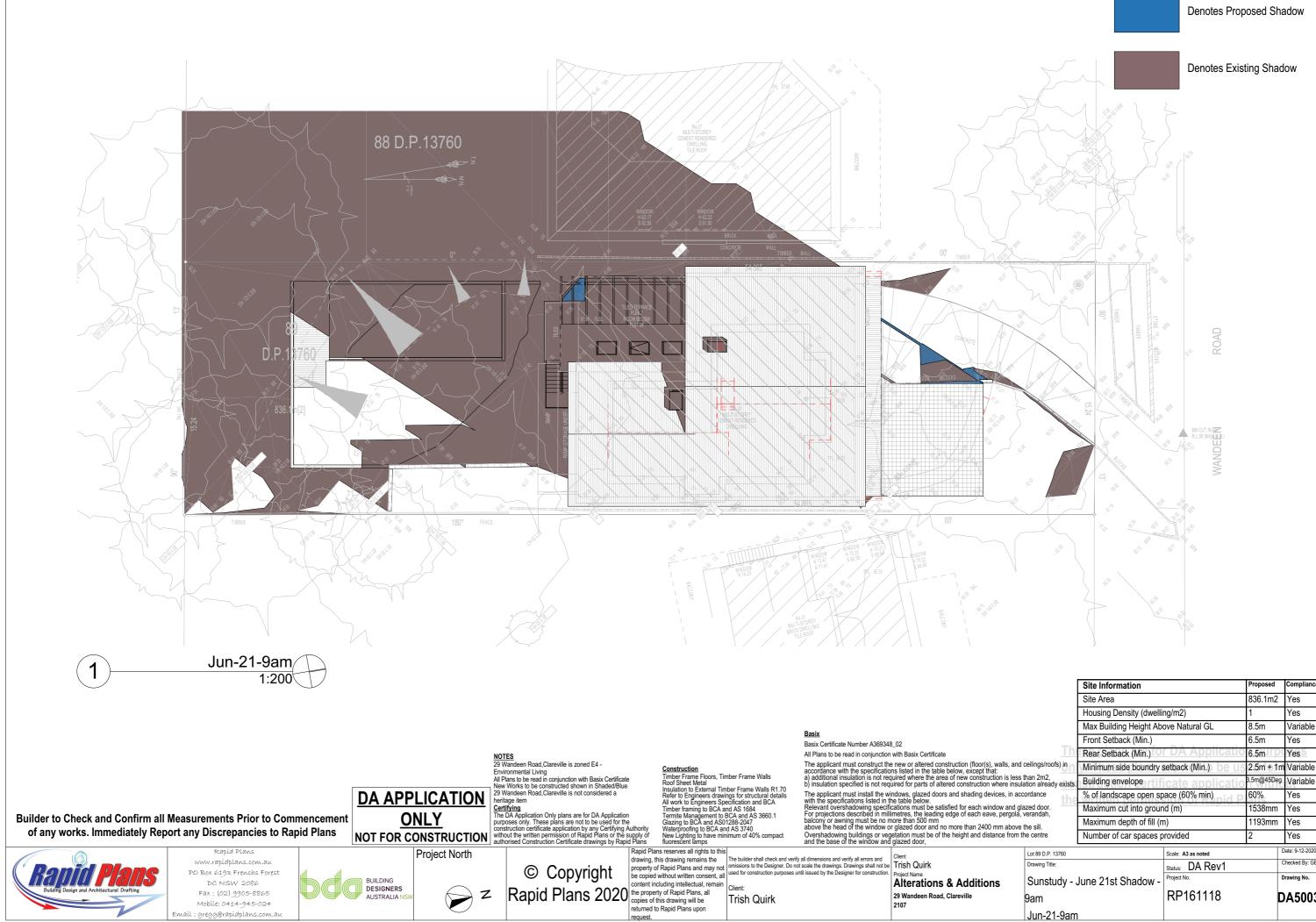
© Copyright Rapid Plans 2020

## Denotes Handrail (Typical). Owner To Confirm Colour

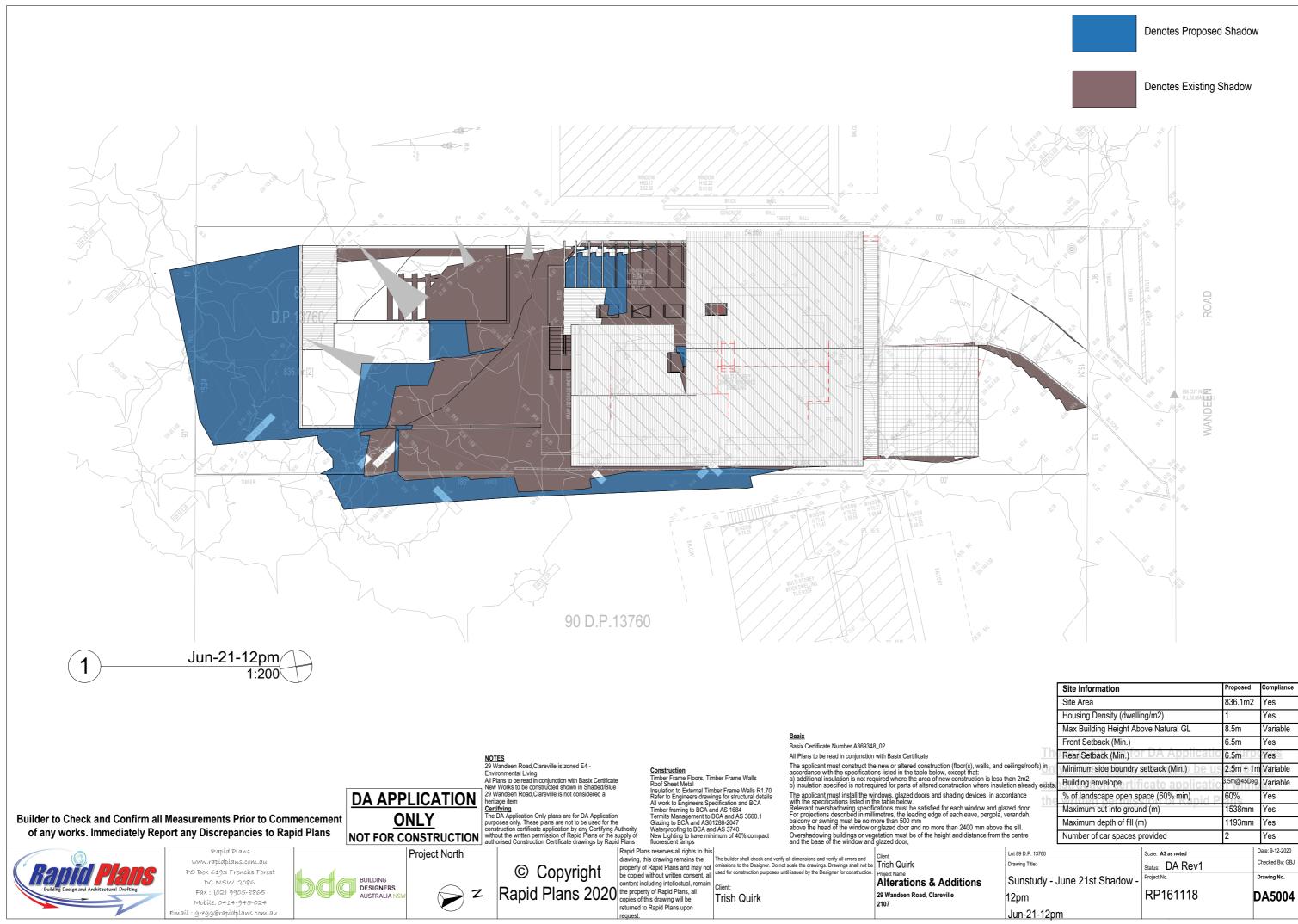
	Proposed	Compliance
	836.1m2	Yes
dwelling/m2)	1	Yes
ht Above Natural GL	8.5m	Variable
n.) <u>These pla</u>	6.5m re 1	YesDA
) only. Thes	6.5m ang	Yes
ndry setback (Min.)	2.5m + 1m	Variable
4	3.5m@45Deg	Variable
en space (60% min)	60%	Yes
ground (m)	1538mm	Yes
fill (m)	1193mm	Yes
ces provided	2	Yes
	-	

Plans and may not be copied without written consent, all content including intellectual, of Rapid Plans, all copies of this drawing will be returned upon r

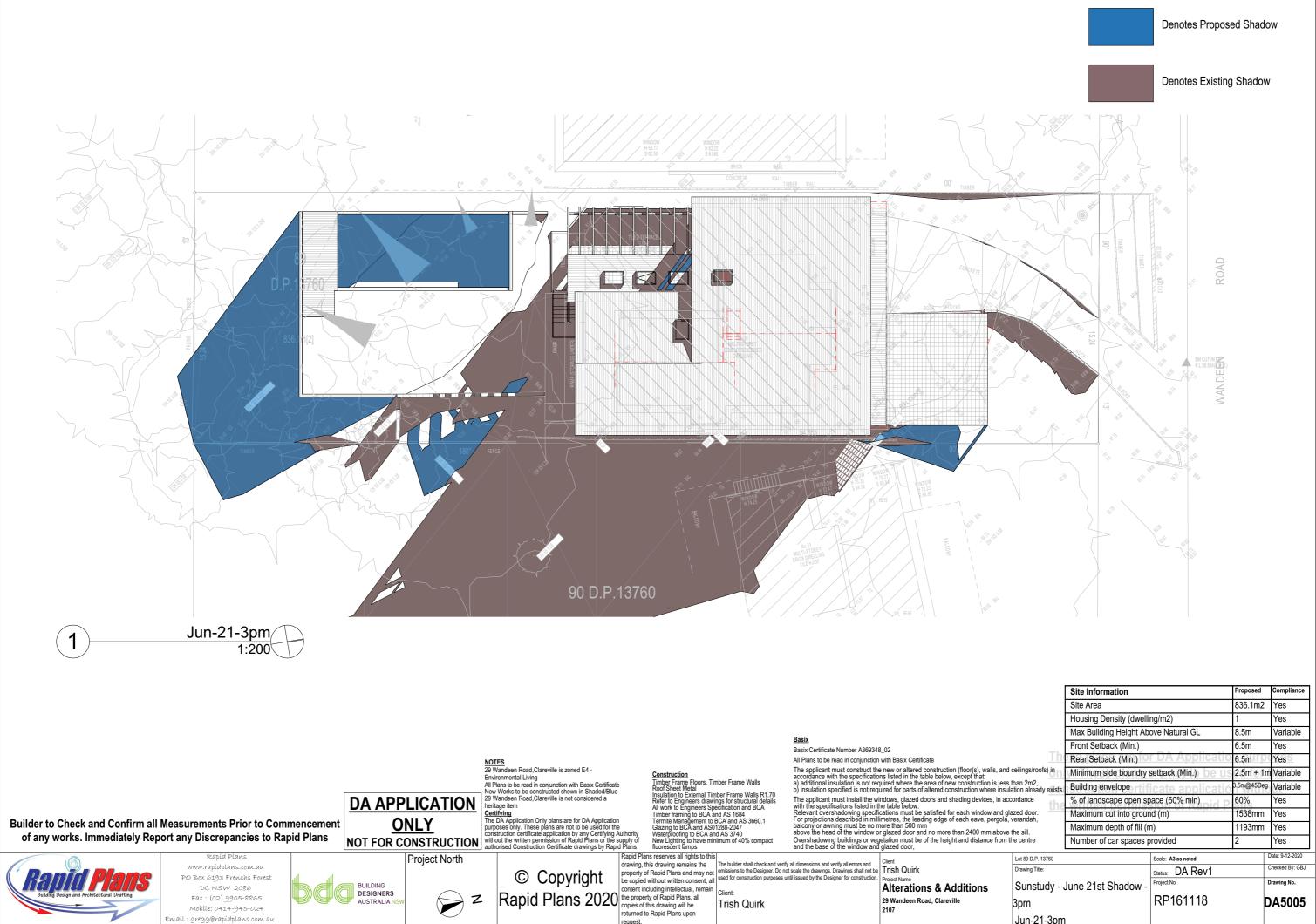




	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelling/m2)		1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.) OF DA Applicatio		6.5m	Yes
and ceilings/roofs) in n	Minimum side boundry setback (Min.)		2.5m + 1r	n Variable
ess than 2m2, isulation already exists.	Building envelope millicate application		3.5m@45Deg	Variable
accordance	% of landscape open sp	dscape open space (60% min)		Yes
d glazed door. bla, verandah,	Maximum cut into ground (m)		1538mm	Yes
ove the sill.	Maximum depth of fill (m)		1193mm	Yes
m the centre	Number of car spaces provided		2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Sunstudy - June 21st Shadow - 9am		Project No.		Drawing No.
		RP161118	[	DA5003
Jun-21-9am				



			_	
	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelling/m2)		1	Yes
	Max Building Height Ab	ove Natural GL	8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.) OF DA Applicatio		6.5m	Yes
and ceilings/roofs) in n	Minimum side boundry setback (Min.) De US		2.5m + 1n	n Variable
ess than 2m2, isulation already exists.	Building envelope		3.5m@45Deg	Variable
accordance % of landscape open		ace (60% min)	60%	Yes
d glazed door. bla, verandah,	Maximum cut into ground (m)		1538mm	Yes
ove the sill.	Maximum depth of fill (m)		1193mm	Yes
m the centre	Number of car spaces provided		2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Sunstudy - J	June 21st Shadow -	Project No.		Drawing No.
12pm		RP161118	C	DA5004
Jun-21-12pr	n			



	Site Information		Proposed	Compliance
	Site Area		836.1m2	Yes
	Housing Density (dwelling/m2)		1	Yes
	Max Building Height Above Natural GL		8.5m	Variable
	Front Setback (Min.)		6.5m	Yes
The	Rear Setback (Min.)		6.5m	Yes
and ceilings/roofs) in	Minimum side boundry setback (Min.) De US		2.5m + 1r	n Variable
ess than 2m2, isulation already exists.	Building envelope difficate applicatio		3.5m@45Deg	Variable
accordance % of landscape open s		ace (60% min)	60%	Yes
d glazed door. bla, verandah,	Maximum cut into groun	ıd (m)	1538mm	Yes
ove the sill.	Maximum depth of fill (m)		1193mm	Yes
om the centre	Number of car spaces provided		2	Yes
Lot 89 D.P. 13760		Scale: A3 as noted		Date: 9-12-2020
Drawing Title:		Status: DA Rev1		Checked By: GBJ
Sunstudy - June 21st Shadow - 3pm		Project No.		Drawing No.
		RP161118	Γ	DA5005
Jun-21-3pm				