



DEVELOPMENT APPLICATION

Alterations & Additions To Existing

Residence

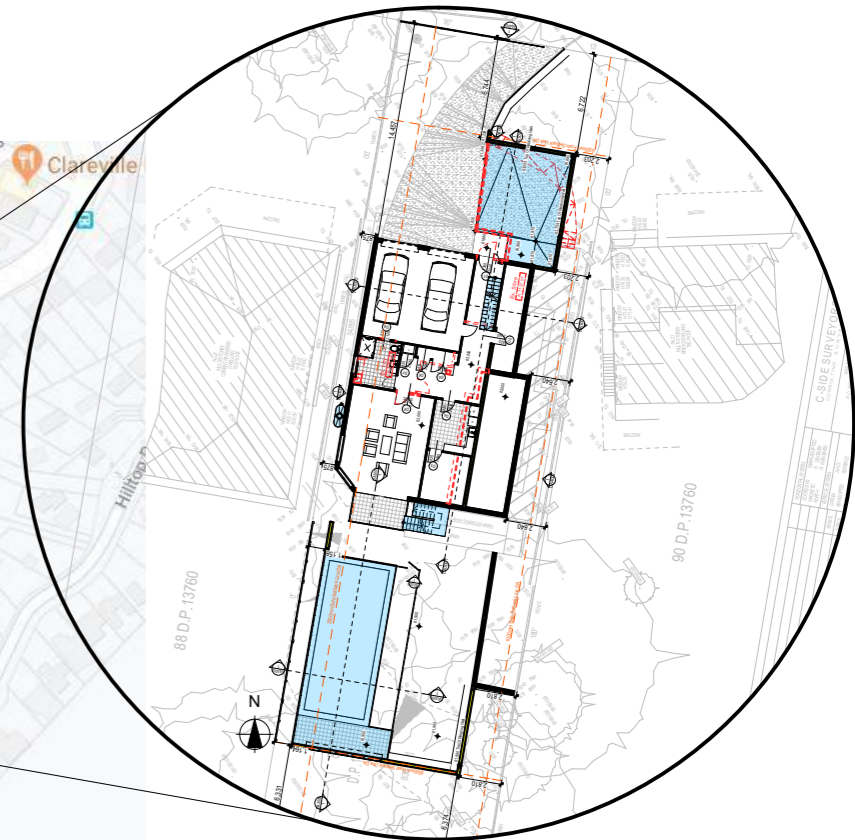
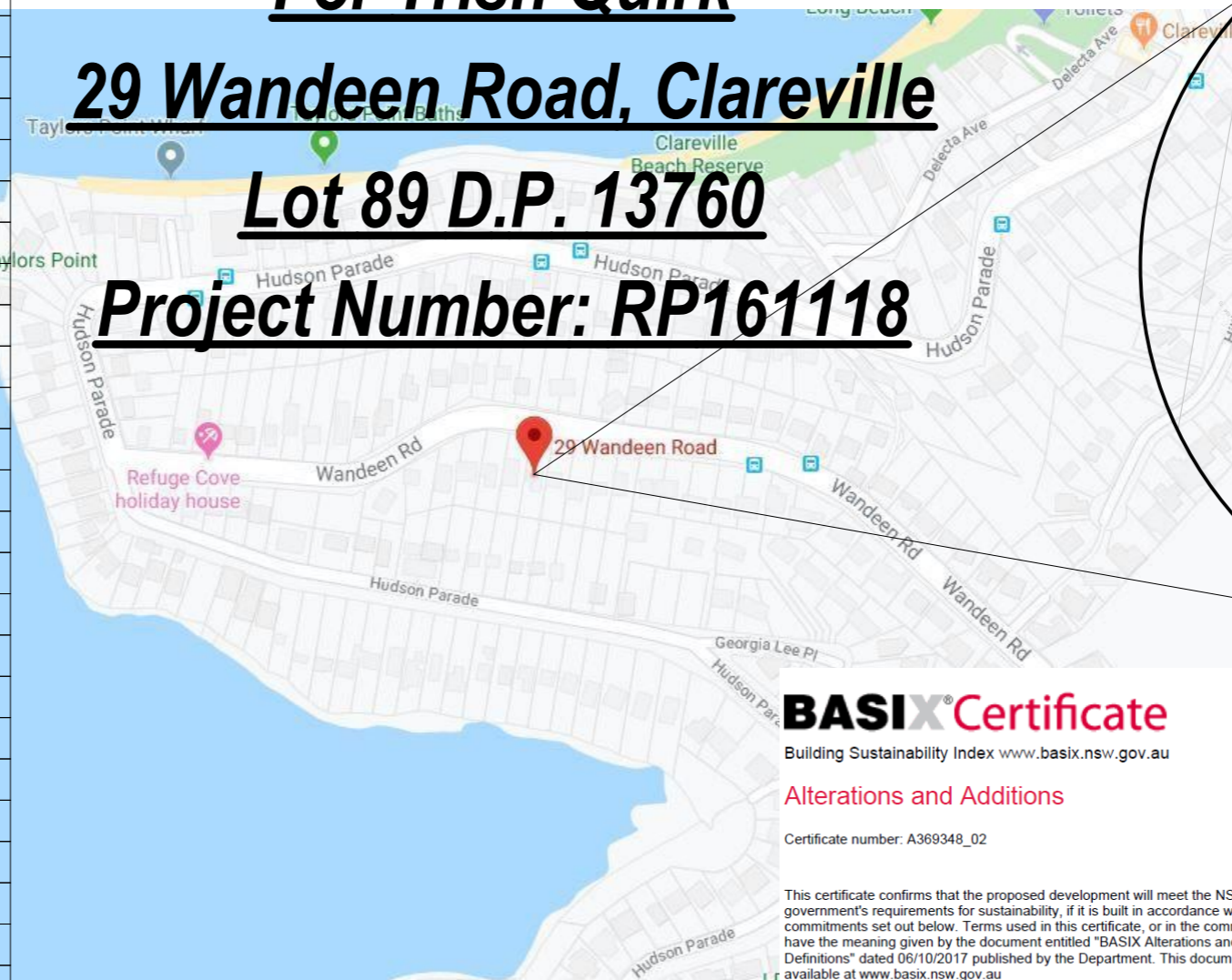
For Trish Quirk

29 Wandeen Road, Clareville

Lot 89 D.P. 13760

Project Number: RP161118

Drawing No:	Description	...	Issue/Revision	Date
	Cover Sheet		1	9-12-2020
DA1001	A4 Notification Plan		1	9-12-2020
DA1002	Survey Plan		1	9-12-2020
DA1003	Site Plan		1	9-12-2020
DA1004	Existing Ground Floor Plan		1	9-12-2020
DA1005	Existing Ground Floor 2		1	9-12-2020
DA1006	Existing First Floor Plan		1	9-12-2020
DA1007	Existing Second Floor		1	9-12-2020
DA1008	Demolition Ground Floor Plan		1	9-12-2020
DA1009	Demolition Ground Floor 2		1	9-12-2020
DA1010	Demolition First Floor		1	9-12-2020
DA1011	Demolition Second Floor		1	9-12-2020
DA1012	Excavation & Fill Plan		1	9-12-2020
DA1013	Landscape Open Space Plan Existing		1	9-12-2020
DA1014	Landscape Open Space Plan Proposed		1	9-12-2020
DA1015	Landscape Plan		1	9-12-2020
DA1016	Sediment & Erosion Control Plan		1	9-12-2020
DA1017	Waste Management Plan		1	9-12-2020
DA1018	Stormwater Plan		1	9-12-2020
DA2001	Ground Floor Plan		1	9-12-2020
DA2002	Ground Floor Plan 2		1	9-12-2020
DA2003	First Floor Plan		1	9-12-2020
DA2004	Second Floor Plan		1	9-12-2020
DA2005	Roof Plan		1	9-12-2020
DA3001	Section 1		1	9-12-2020
DA3002	Section 2		1	9-12-2020
DA3003	Section Pool		1	9-12-2020
DA4001	Elevations 1		1	9-12-2020
DA4002	Elevations 2		1	9-12-2020
DA4003	Elevations 3		1	9-12-2020
DA4004	Elevations 4		1	9-12-2020
DA4005	Elevation Front Fence		1	9-12-2020
DA5001	Perspective		1	9-12-2020
DA5002	Material & Colour Sample Board		1	9-12-2020
DA5003	June 21st Shadow - 9am		1	9-12-2020
DA5004	June 21st Shadow - 12pm		1	9-12-2020
DA5005	June 21st Shadow - 3pm		1	9-12-2020



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A369348_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

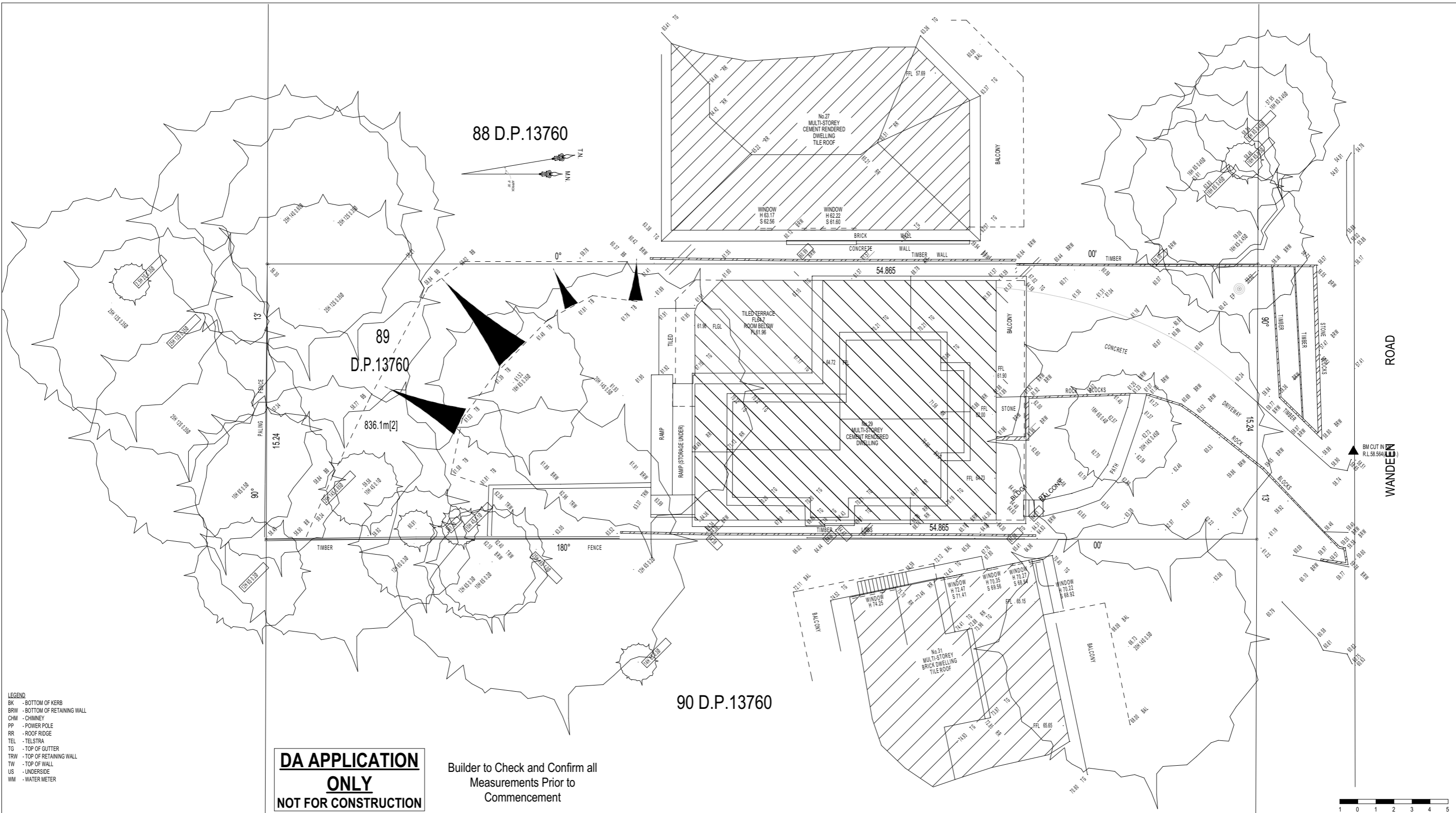
Secretary
Date of issue: Wednesday, 09, December 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	Quirk_02
Street address	29 Wandeen Road Clareville 2107
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 13760
Lot number	89
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Rapid Plans
ABN (if applicable):	43150064592



- LEGEND**
- BK - BOTTOM OF KERB
 - BRW - BOTTOM OF RETAINING WALL
 - CHM - CHIMNEY
 - PP - POWER POLE
 - RR - ROOF RIDGE
 - TEL - TELSTRA
 - TG - TOP OF GUTTER
 - TRW - TOP OF RETAINING WALL
 - TW - TOP OF WALL
 - US - UNDERSIDE
 - WM - WATER METER

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement

NOTES

1. NO BOUNDARY SURVEY HAS BEEN UNDERTAKEN. BEARINGS & DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW
2. RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
3. NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY ARE CHARTED AS A GUIDE TO THE POSITION NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
4. RIDGE, EAVE & GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ACCURATE FOR PLANNING PURPOSES ONLY.
5. ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY
6. THE SPREAD & HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY.
7. CONTOURS ARE AN INDICATION OF THE TOPOGRAPHY ONLY. SPOT LEVELS SHOULD BE USED IF DETAILED DESIGN IS TO BE UNDERTAKEN. CONTOUR INTERVALS: MAJOR - N/A, MINOR - N/A.

REV	DATE	DESCRIPTION	BY
B	17.10.2018	DETAIL AND LEVELS AT REAR AMENDED	SDS/LS
A	19.09.2014	ORIGINAL ISSUE	SDS/LS

C-SIDE SURVEYORS
CONSULTING SURVEYORS

ABN 81 158 970 373
P.O. BOX 1455 NEUTRAL BAY N.S.W. 2089
P H: +61 2 9029 4109
EMAIL: ADMIN@CSIDESURVEYORS.COM.AU
WEB: WWW.CSIDESURVEYORS.COM.AU

PROJECT: **PLAN SHOWING DETAIL AND LEVELS AT No.29 WANDEEN ROAD CLAREVILLE**

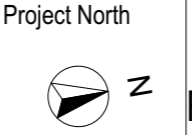
CLIENT: PETER QUIRK

SCALE: HOR 1:100 VER 1:100	A1
LGA: PITTWATER	
SHEET 1 OF 1 SHEETS	
DRAWN SURVEYED	
SDS LS	
REFERENCE REVISION	
140802-DET	B

1 Survey 1:200



Rapid Plans
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DC NSW 2086
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Email : gregg@rapidplans.com.au



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The builder shall check and verify all dimensions and verify all errors and omissions to the design. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Trish Quirk

Project Name: **Alterations & Additions**
29 Wandeen Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title: **Site Plans - Survey Plan**

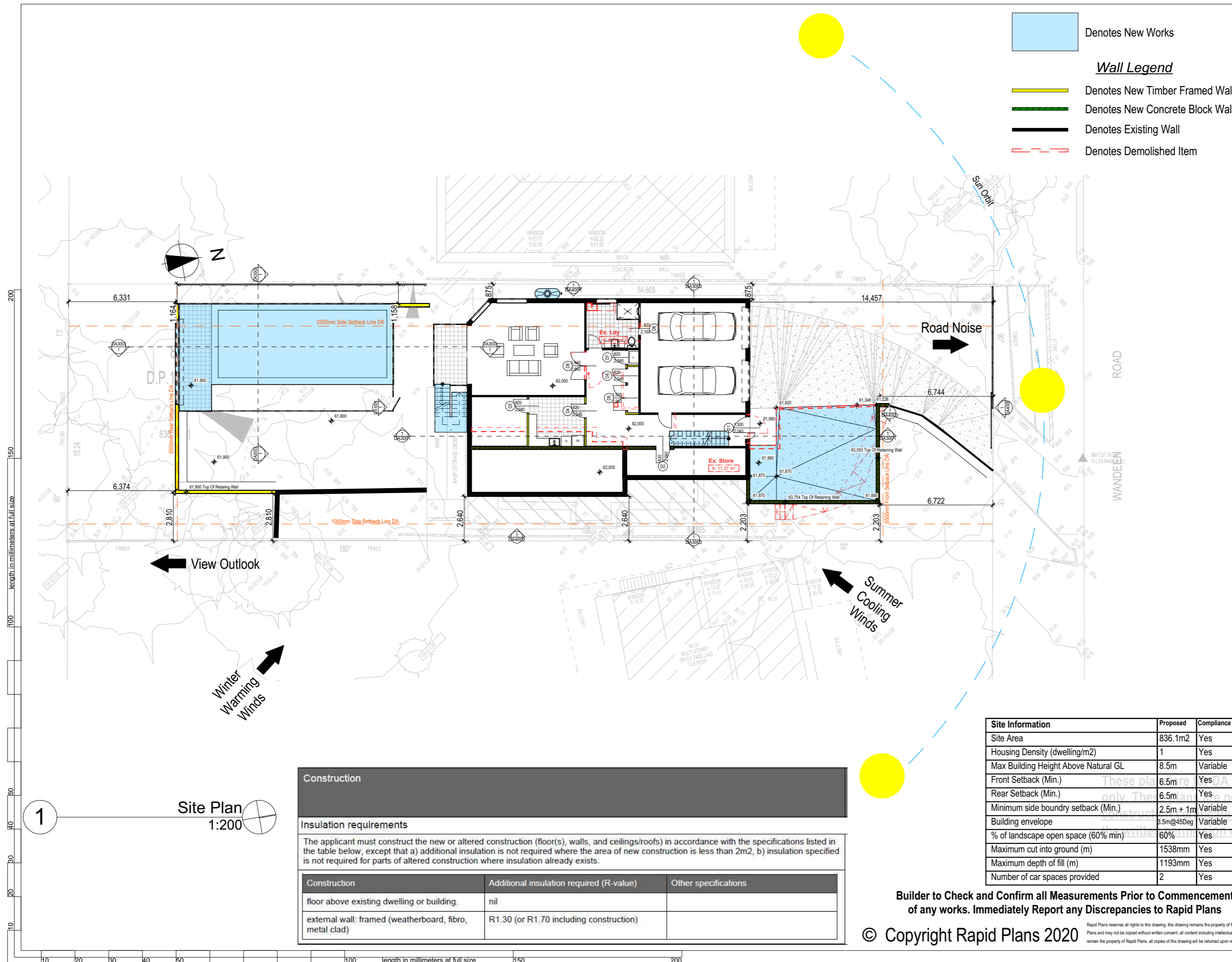
Scale: **A3 as noted**
Status: **DA Rev1**
Project No. **RP161118**

Date: 9-12-2020
Checked By: GBJ
Drawing No. **DA1002**

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



length in millimeters at full size

1

Site Plan
1:200

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item

Construction
 Timber Frame, Timber Frame Walls
 Roof Sheet Metal to have Nil Insulation
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS1288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
 Basix Certificate Number A369348_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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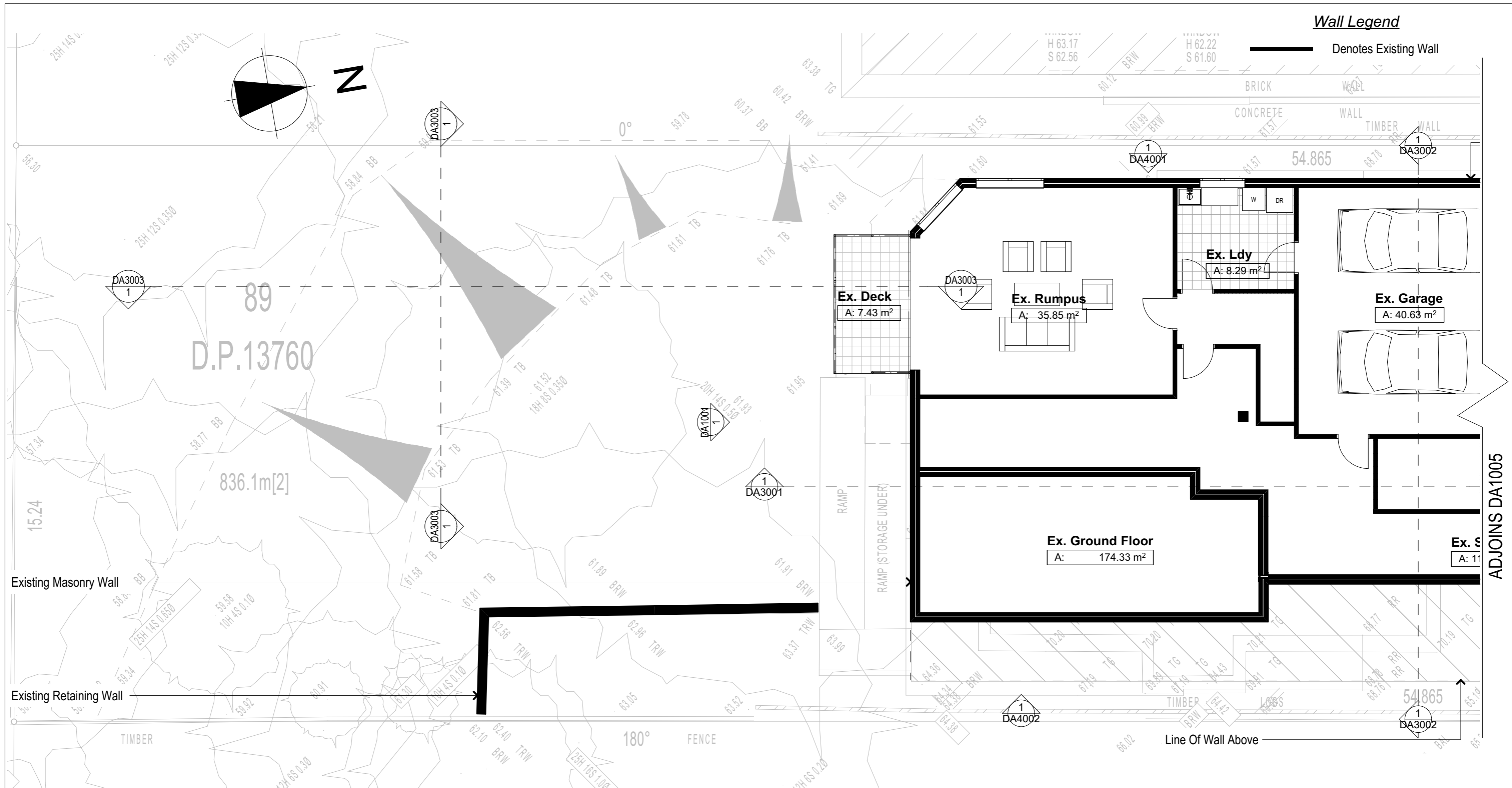
Client: Trish Quirk
 Project Name: **Alterations & Additions**
 29 Wandean Road, Clareville
 2107

Lot 89 D.P. 13760

Drawing Title: **Site Plans - Site Plan**
 Site Plan

Scale: A3 as noted Date: 9-12-2020
 Status: DA Rev1 Checked By: GBJ

Project No: RP161118 Drawing No: DA1003



Builder To Check & Confirm Existing Measurements Prior to Commencement

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
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NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
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Construction
 Timber Frame Floors, Timber Frame Walls
 Roof Sheet Metal
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS 01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Project North

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 Client:
 Trish Quirk

Client
 Trish Quirk
 Project Name
Alterations & Additions
 29 Wandean Road, Clareville
 2107

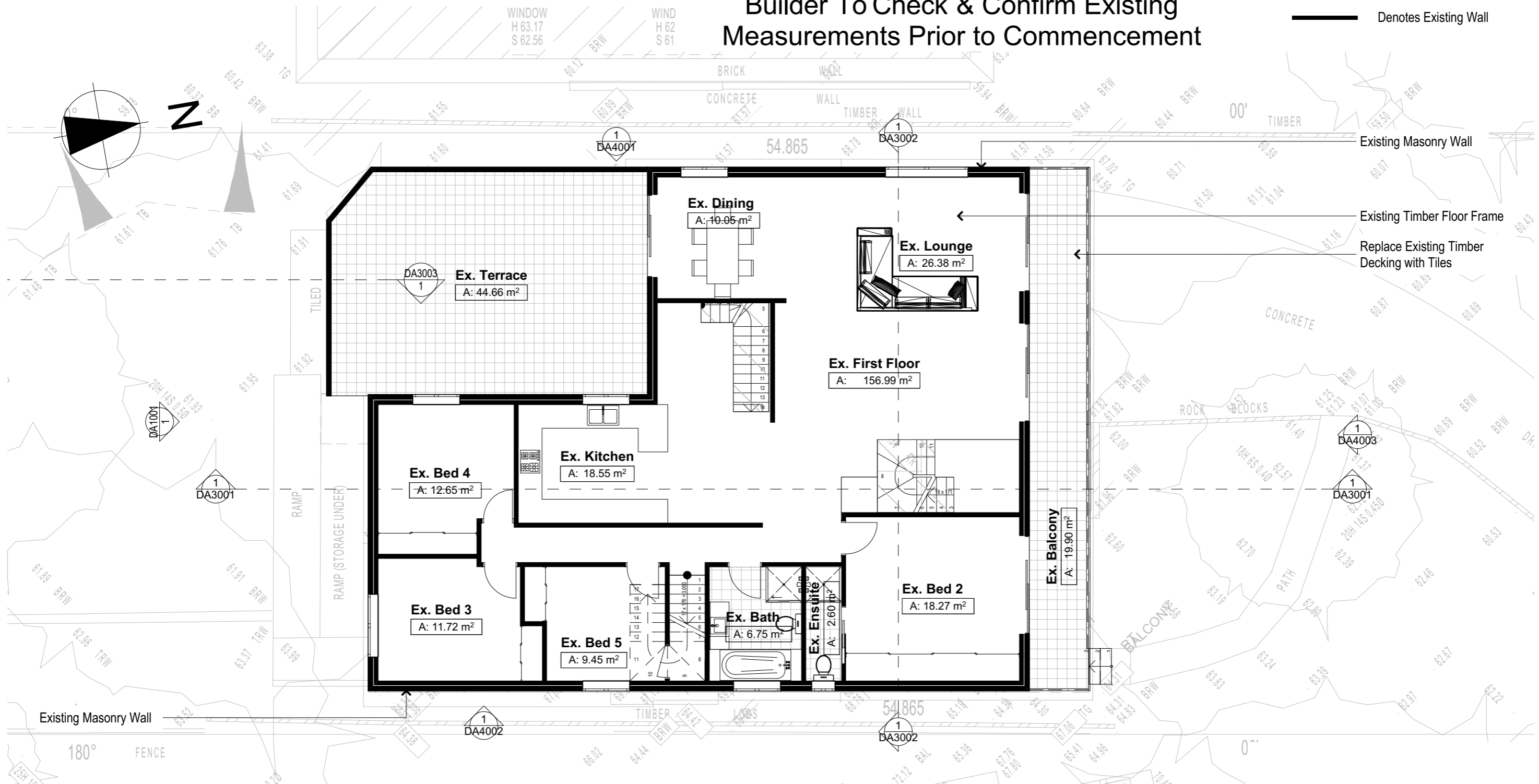
Lot 89 D.P. 13760
 Drawing Title:
 Site Plans - Existing Ground
 Floor Plan
 Existing Ground Floor

Scale: A3 as noted
 Status: DA Rev1
 Project No.
 RP161118
 Date: 9-12-2020
 Checked By: GBJ
 Drawing No.
DA1004

Builder To Check & Confirm Existing Measurements Prior to Commencement

Wall Legend

— Denotes Existing Wall



1 Existing First Floor
1:100

NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
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Certifying
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate

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NOT FOR CONSTRUCTION

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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Project North

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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

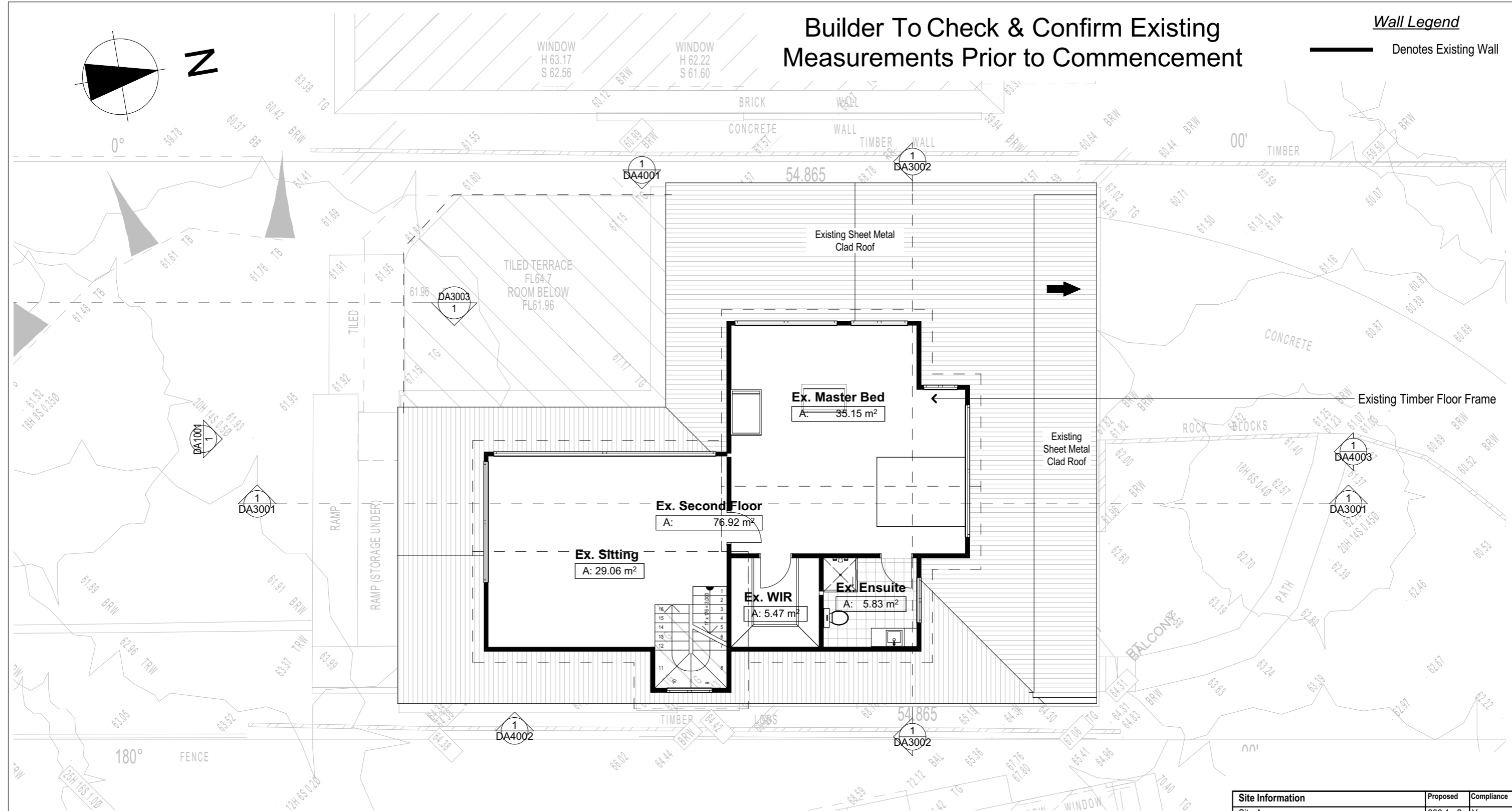
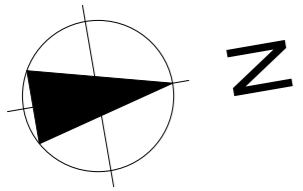
Lot 89 D.P. 13760
Drawing Title:
Site Plans - Existing First Floor
Plan
Existing First Floor

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1006

Builder To Check & Confirm Existing Measurements Prior to Commencement

Wall Legend

Denotes Existing Wall



1 Existing Second Floor
1:100

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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
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Site Area	836.1m2	Yes
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Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Existing Second Floor
Existing Second Floor

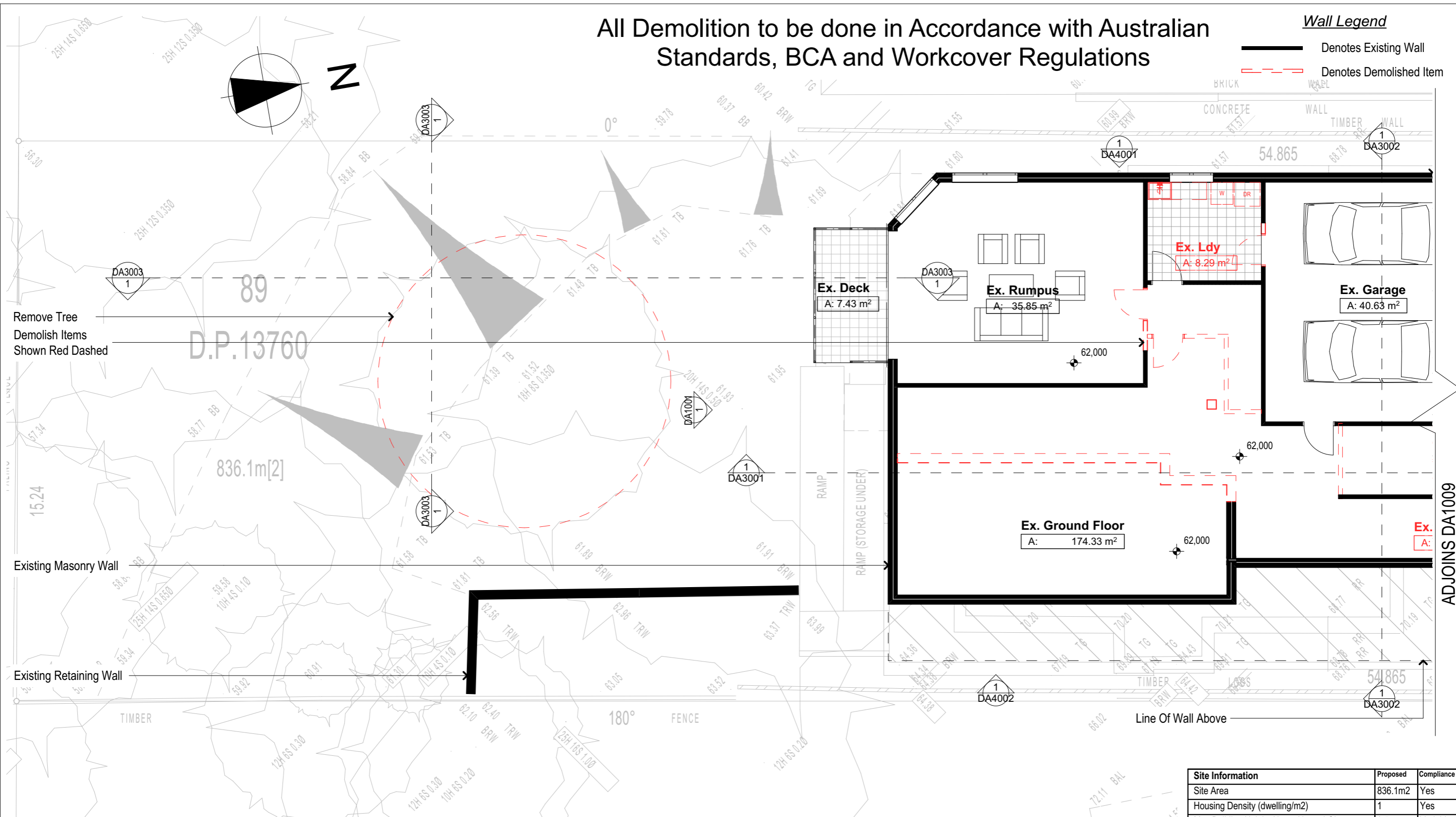
Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1007

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

- Denotes Existing Wall
- - - Denotes Demolished Item



1 Demolition Ground Floor
1:100

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NOTES
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
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Email: greg@rapidplans.com.au



Project North

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Client:
Trish Quirk



Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

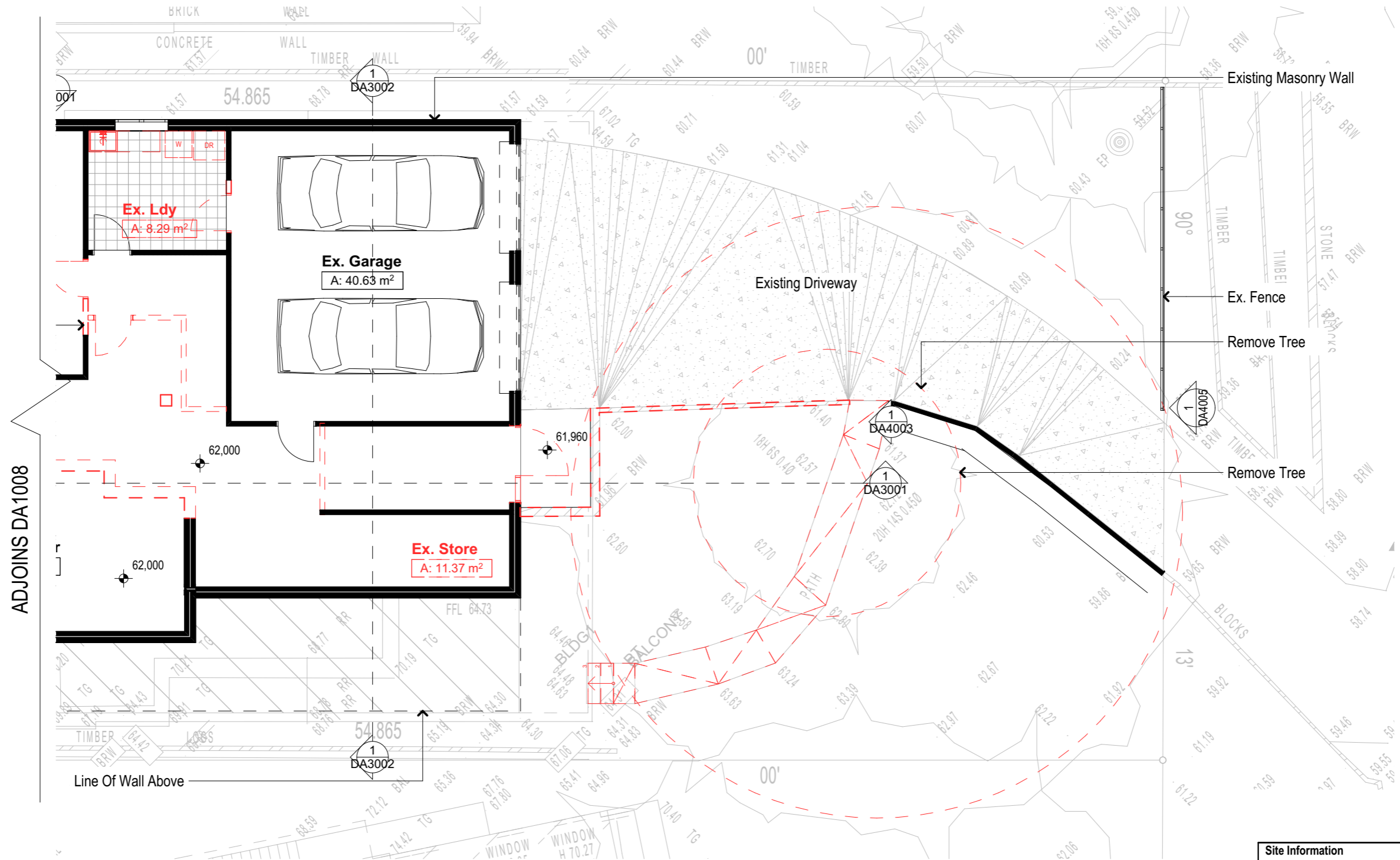
Lot 89 D.P. 13760
Drawing Title:
Site Plans - Demolition Ground
Floor Plan
Demolition Ground Floor

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118
Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1008

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

-  Denotes Existing Wall
-  Denotes Demolished Item



1 Demolition Ground Floor
1:100

NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item
Certifying
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Demolition Ground
Floor 2
Demolition Ground Floor

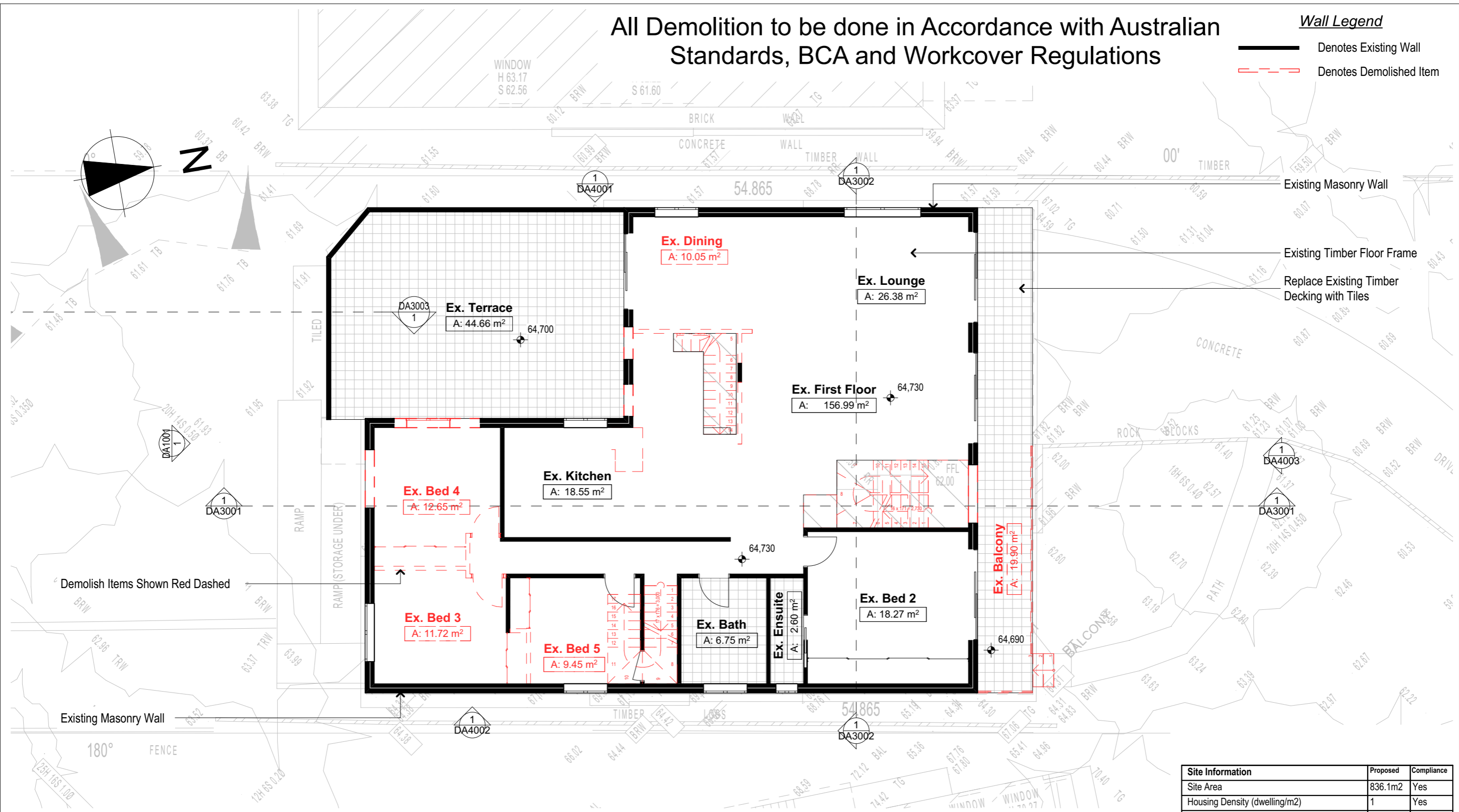
Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1009

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

Wall Legend

- Denotes Existing Wall
- - - Denotes Demolished Item



Demolish Items Shown Red Dashed

1 Demolition First Floor
1:100

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Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Demolition First
Floor
Demolition First Floor

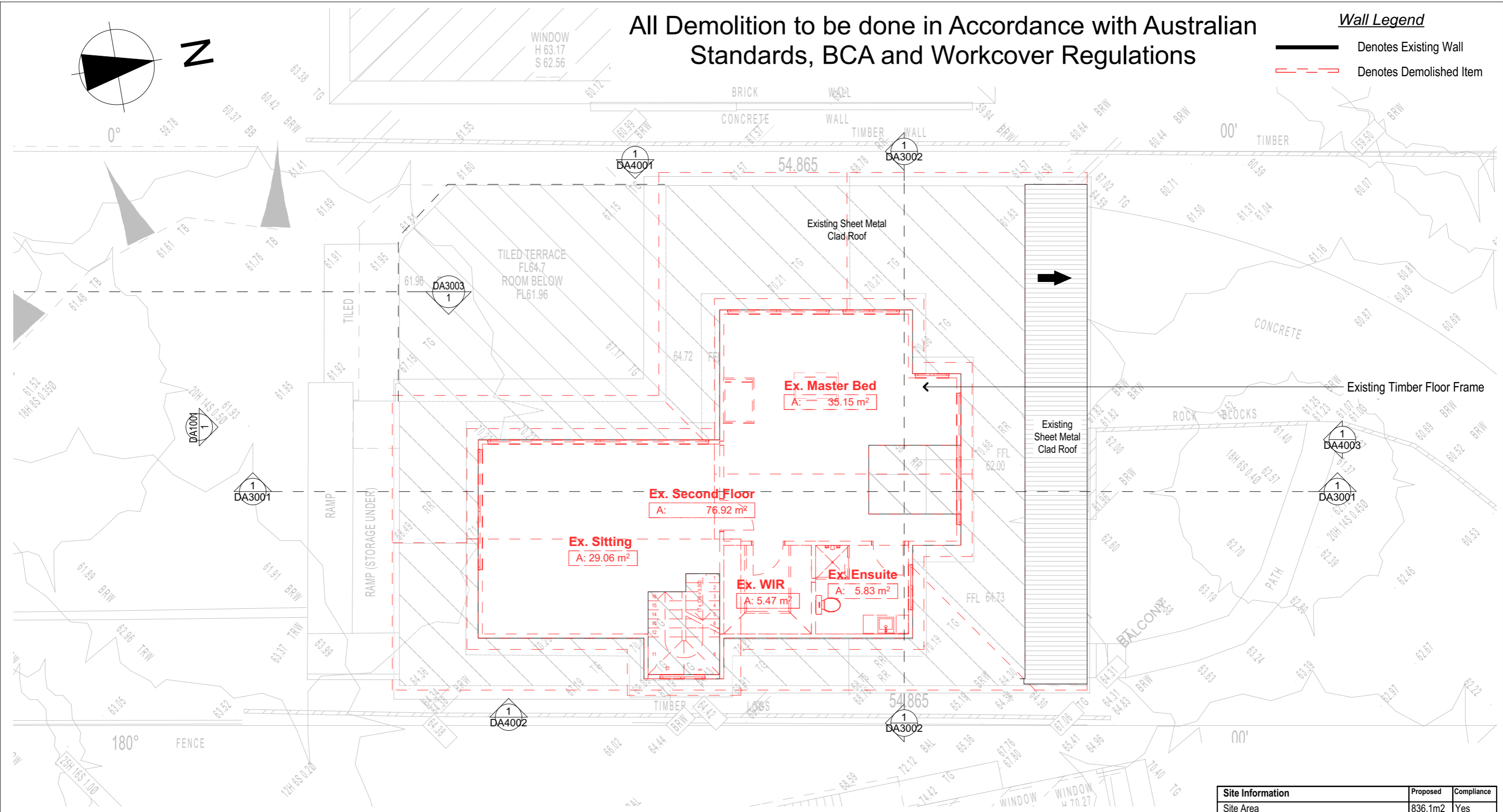
Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1010

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Wall Legend

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- Denotes Demolished Item



1 Demolition Second Floor
1:100

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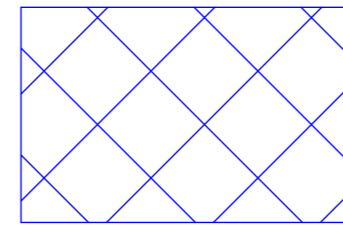
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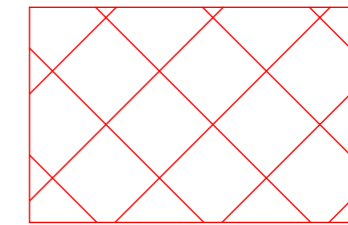
Lot 89 D.P. 13760
Drawing Title:
Site Plans - Demolition Second Floor
Demolition Second Floor

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

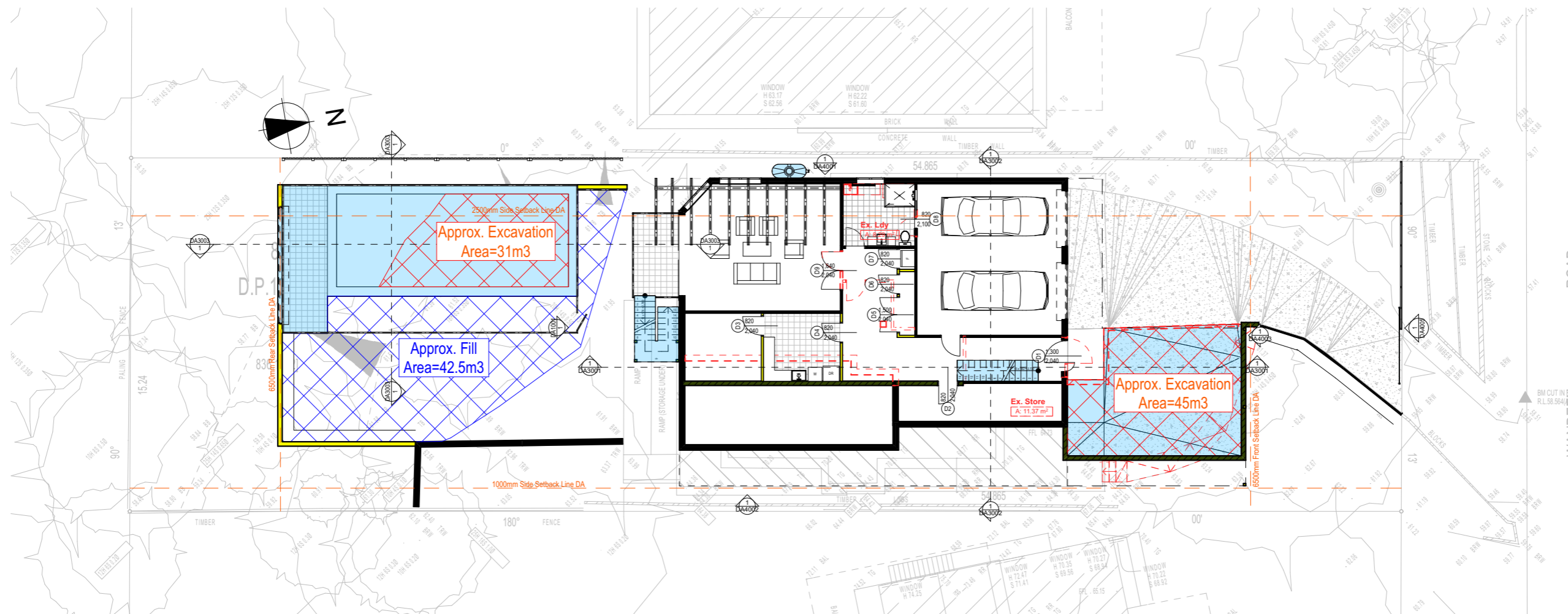
Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1011



Denotes Fill Area



Denotes Excavation Area



1 Excavation & Fill Plan
1:200

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DA APPLICATION ONLY
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NOTES
29 Wandeen Road, Clareville is zoned E4 - Environmental Living
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New Lighting to have minimum of 40% compact fluorescent lamps

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Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
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Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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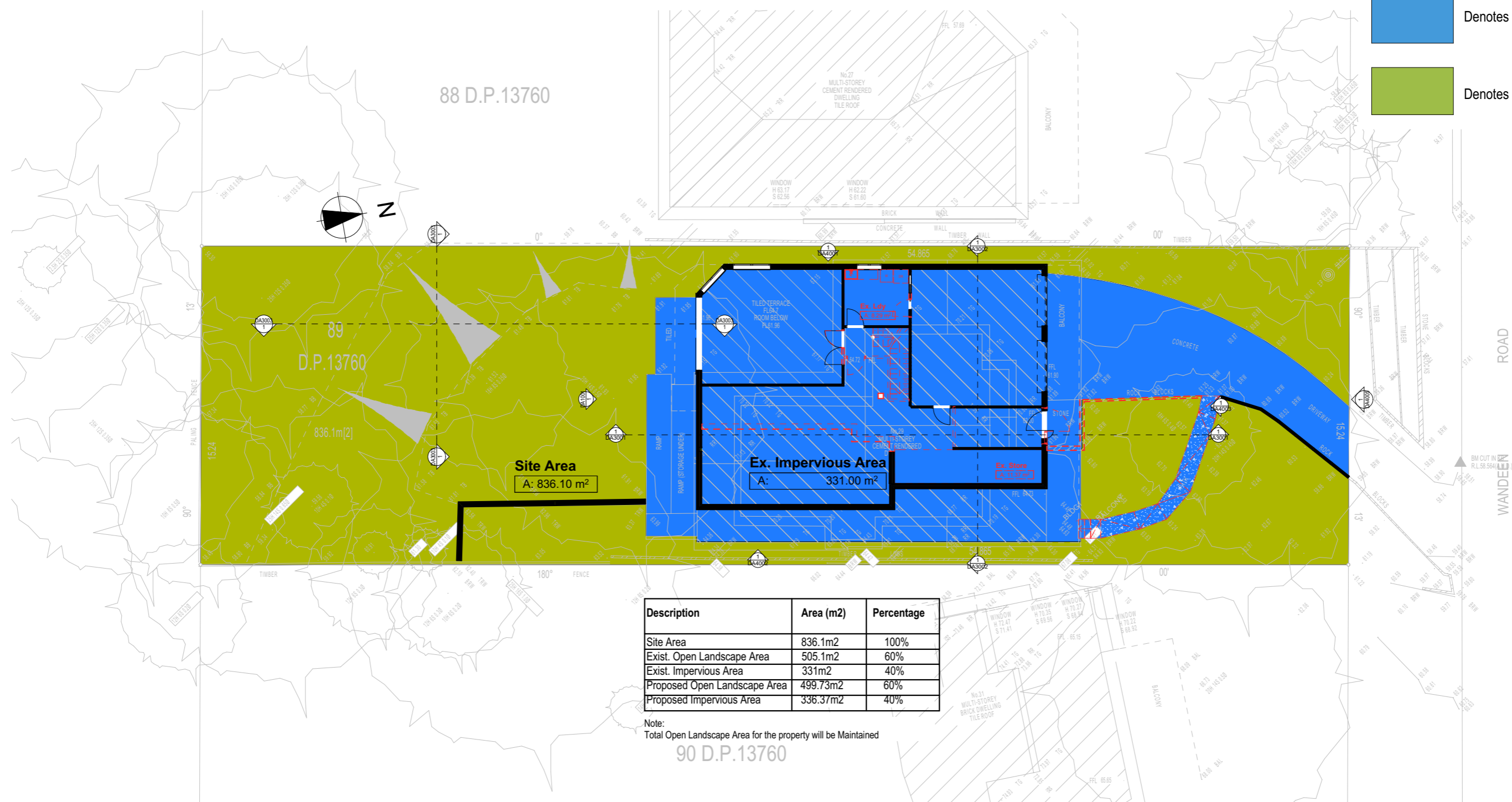
Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandeen Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Excavation & Fill
Plan
Excavation & Fill Plan

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1012

Denotes Impervious Area

Denotes Pervious Area



Description	Area (m2)	Percentage
Site Area	836.1m2	100%
Exist. Open Landscape Area	505.1m2	60%
Exist. Impervious Area	331m2	40%
Proposed Open Landscape Area	499.73m2	60%
Proposed Impervious Area	336.37m2	40%

Note:
Total Open Landscape Area for the property will be Maintained

Landscape Open Space Plan Existing
1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
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New Lighting to have minimum of 40% compact fluorescent lamps

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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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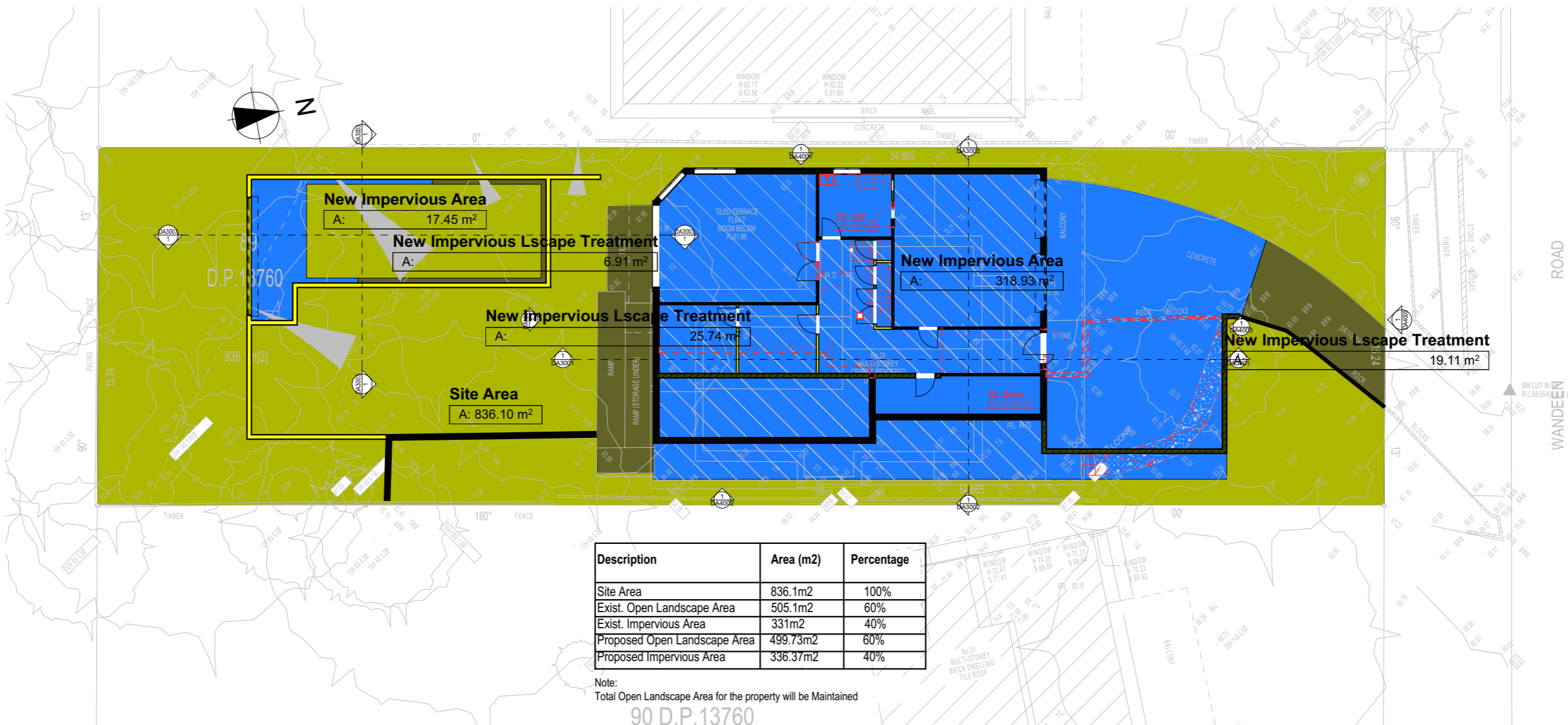
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Lot 89 D.P. 13760
Drawing Title:
Site Plans - Landscape Open Space Plan Existing
Landscape Open Space Plan

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1013

- Denotes Impervious Area
- Denotes Impervious Landscape Treatment Area
- Denotes Pervious Area



Description	Area (m2)	Percentage
Site Area	836.1m2	100%
Exist. Open Landscape Area	505.1m2	60%
Exist. Impervious Area	331m2	40%
Proposed Open Landscape Area	499.73m2	60%
Proposed Impervious Area	336.37m2	40%

Note:
Total Open Landscape Area for the property will be Maintained

Landscape Open Space Plan Proposed
1:200

Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

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New Lighting to have minimum of 40% compact fluorescent lamps

Basix

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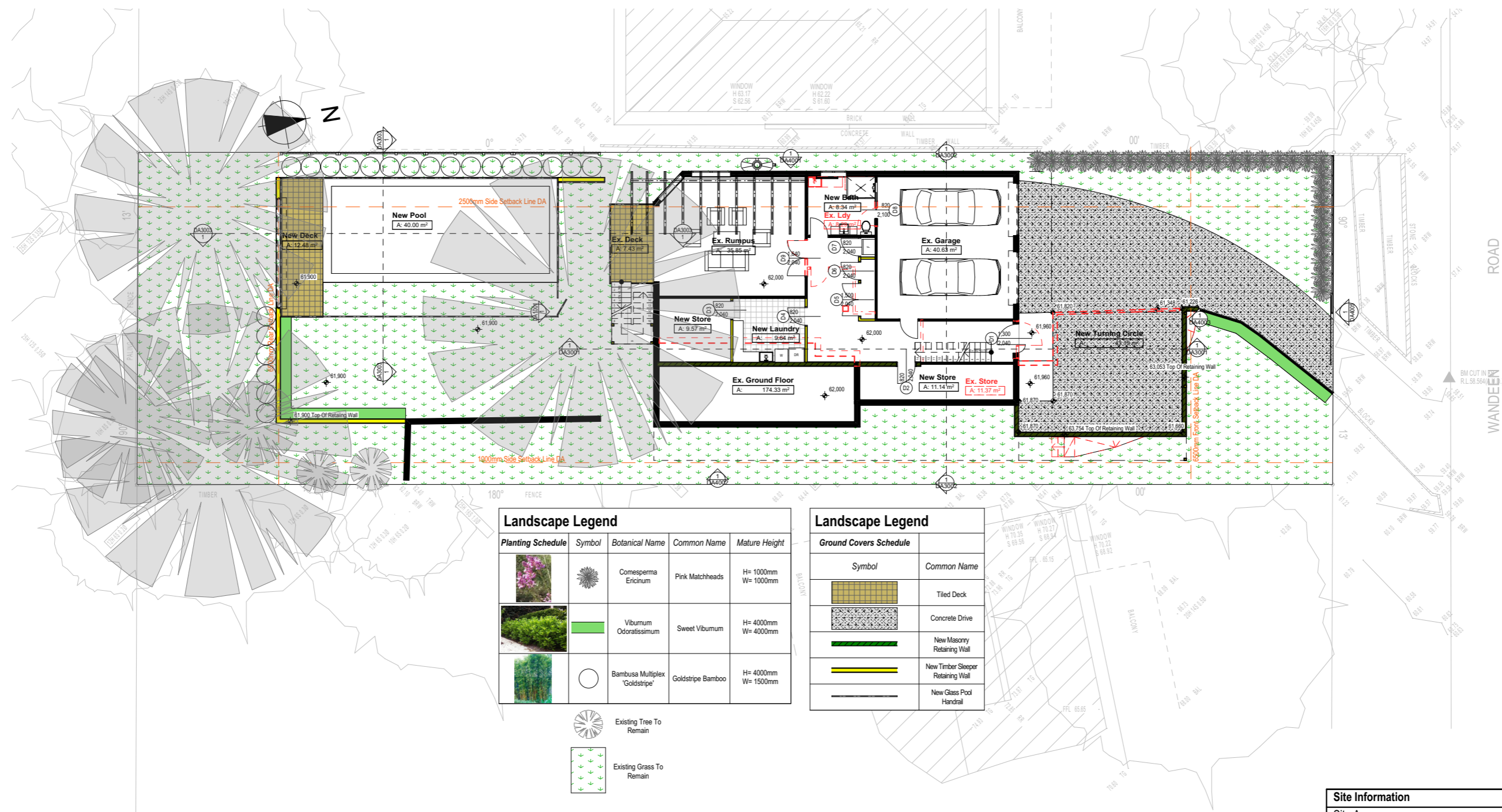
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Project Name
Alterations & Additions
29 Wandeen Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Landscape Open Space Plan Proposed
Landscape Open Space Plan

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1014



Landscape Legend				
Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Cornesperma Ericium	Pink Matchheads	H= 1000mm W= 1000mm
		Viburnum Odoratisimum	Sweet Viburnum	H= 4000mm W= 4000mm
		Bambusa Multiplex 'Goldstripe'	Goldstripe Bamboo	H= 4000mm W= 1500mm
		Existing Tree To Remain		
		Existing Grass To Remain		

Landscape Legend	
Ground Covers Schedule	Common Name
	Tiled Deck
	Concrete Drive
	New Masonry Retaining Wall
	New Timber Sleeper Retaining Wall
	New Glass Pool Hendral

1 Landscape Plan 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
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Basix Certificate Number A369348_02
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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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DC NSW 2086
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Project North

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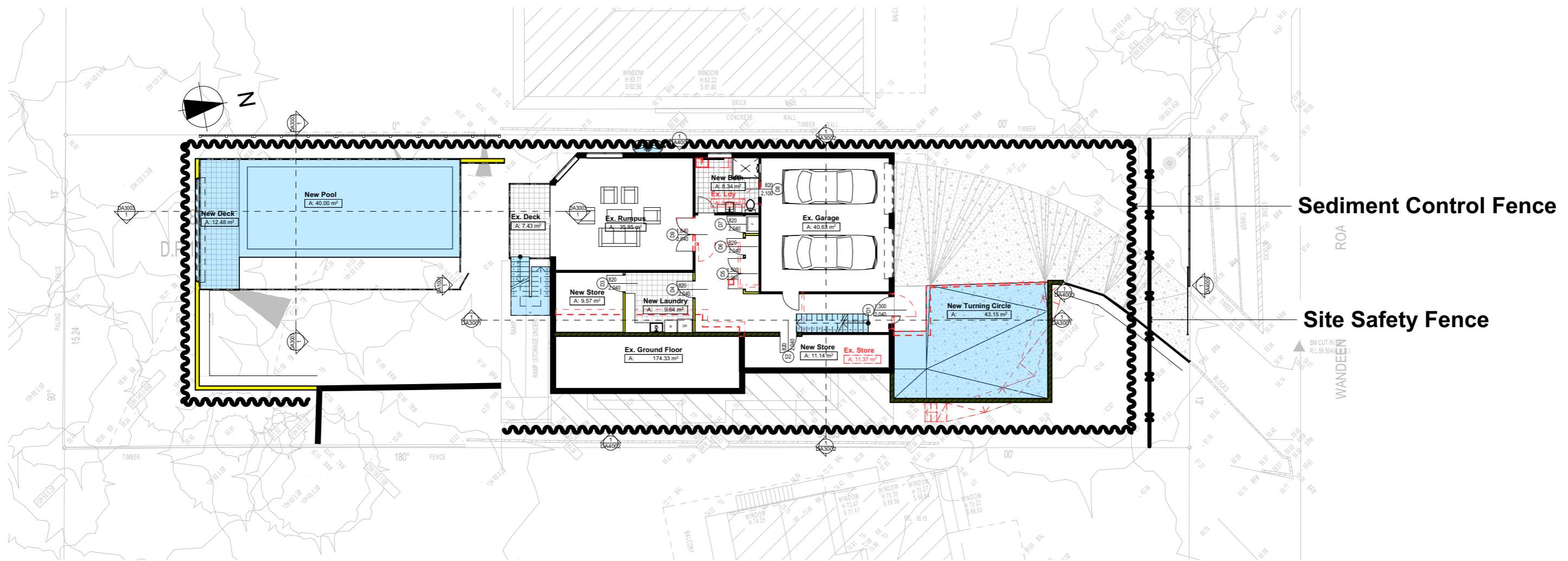
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Trish Quirk

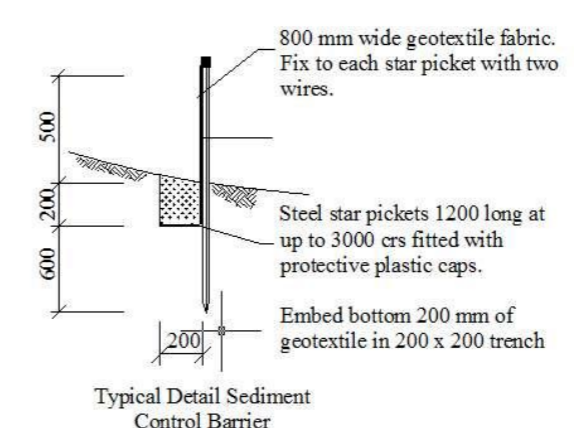
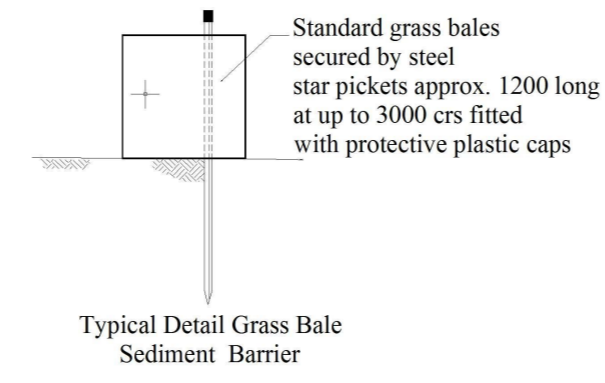
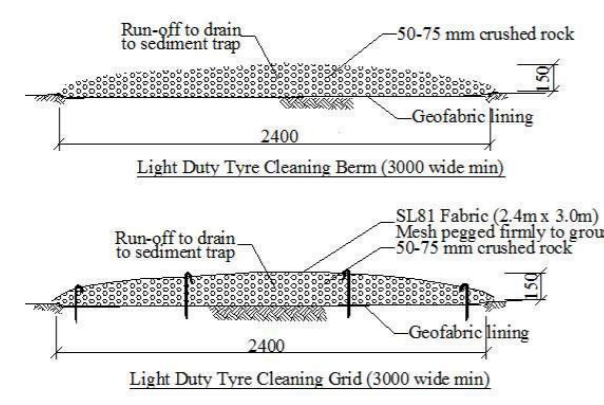
Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Landscape Plan
Landscape Plan

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1015



Sediment & Erosion Control Plan
1:200



- Wall Legend**
- Denotes New Works
 - Denotes New Timber Framed Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item
Certifying
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
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Client:
Trish Quirk

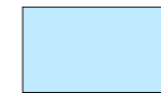
Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Sediment & Erosion Control Plan
Sediment & Erosion Control

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

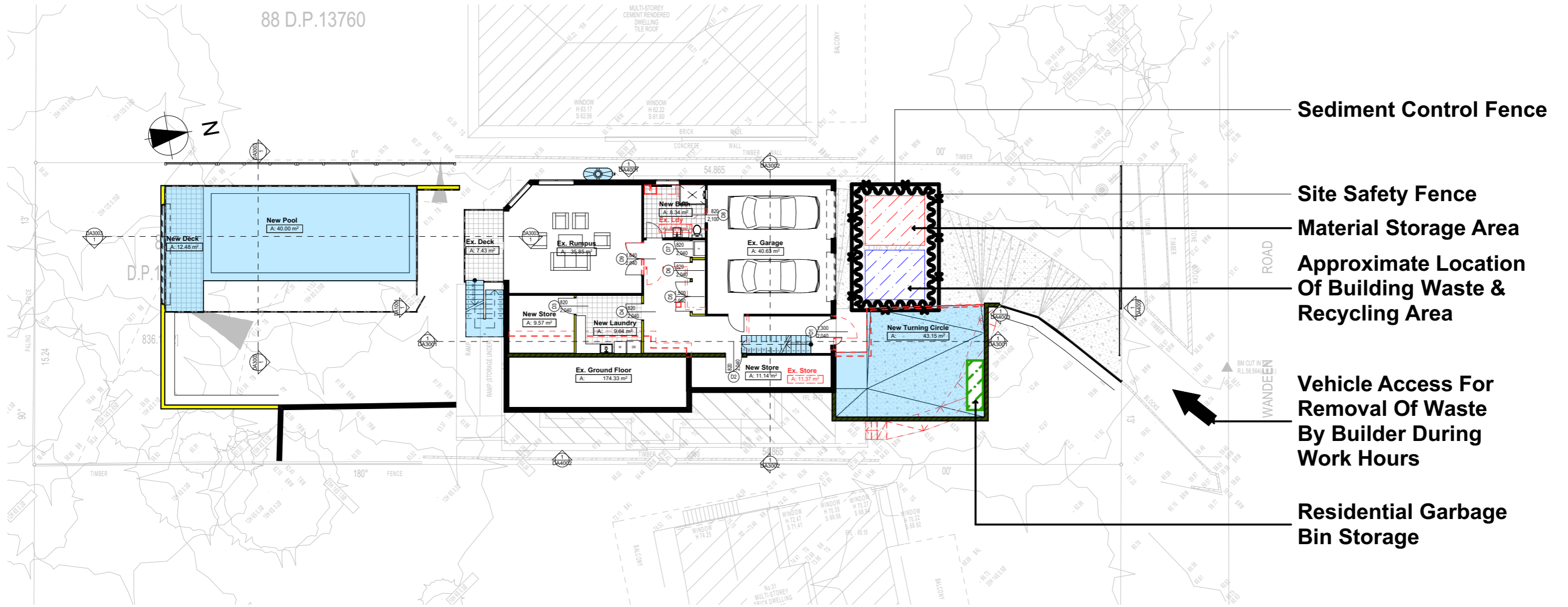
Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1016

Wall Legend



Denotes New Works

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



1 Waste Management Plan
1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Certifying
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Construction
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Roof Sheet Metal
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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate

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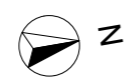
Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Waste
Management Plan
Waste Management Plan

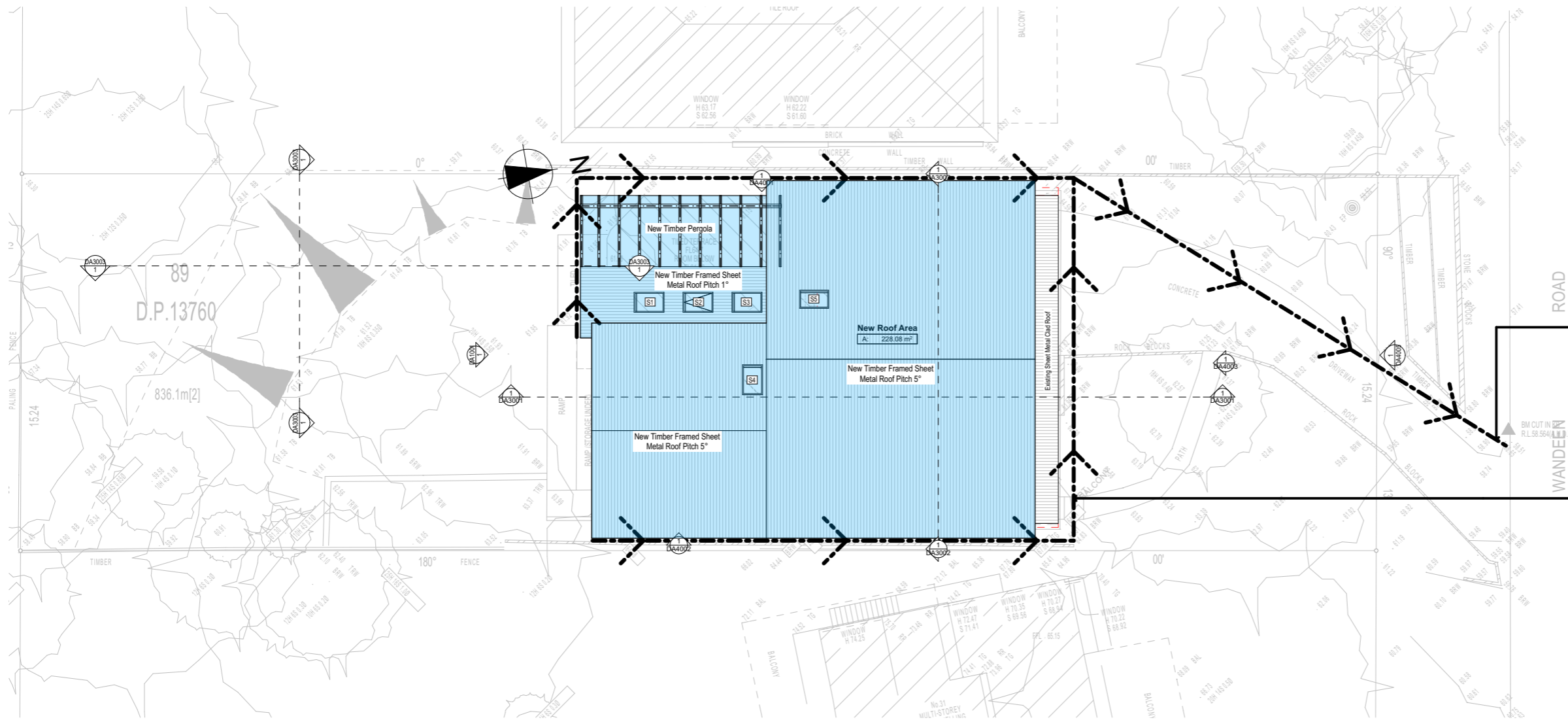
Scale: A3 as noted
Date: 9-12-2020

Status: DA Rev1
Project No.
RP161118
Checked By: GBJ
Drawing No.
DA1017

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



Assumed Existing Stormwater. Plumber To Confirm Location Prior To Commencement

Proposed Stormwater Line To Be Fed Into The Existing Drainage System

1 Stormwater Plan
1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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New Works to be constructed shown in Shaded/Blue
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Certifying
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02

All Plans to be read in conjunction with Basix Certificate

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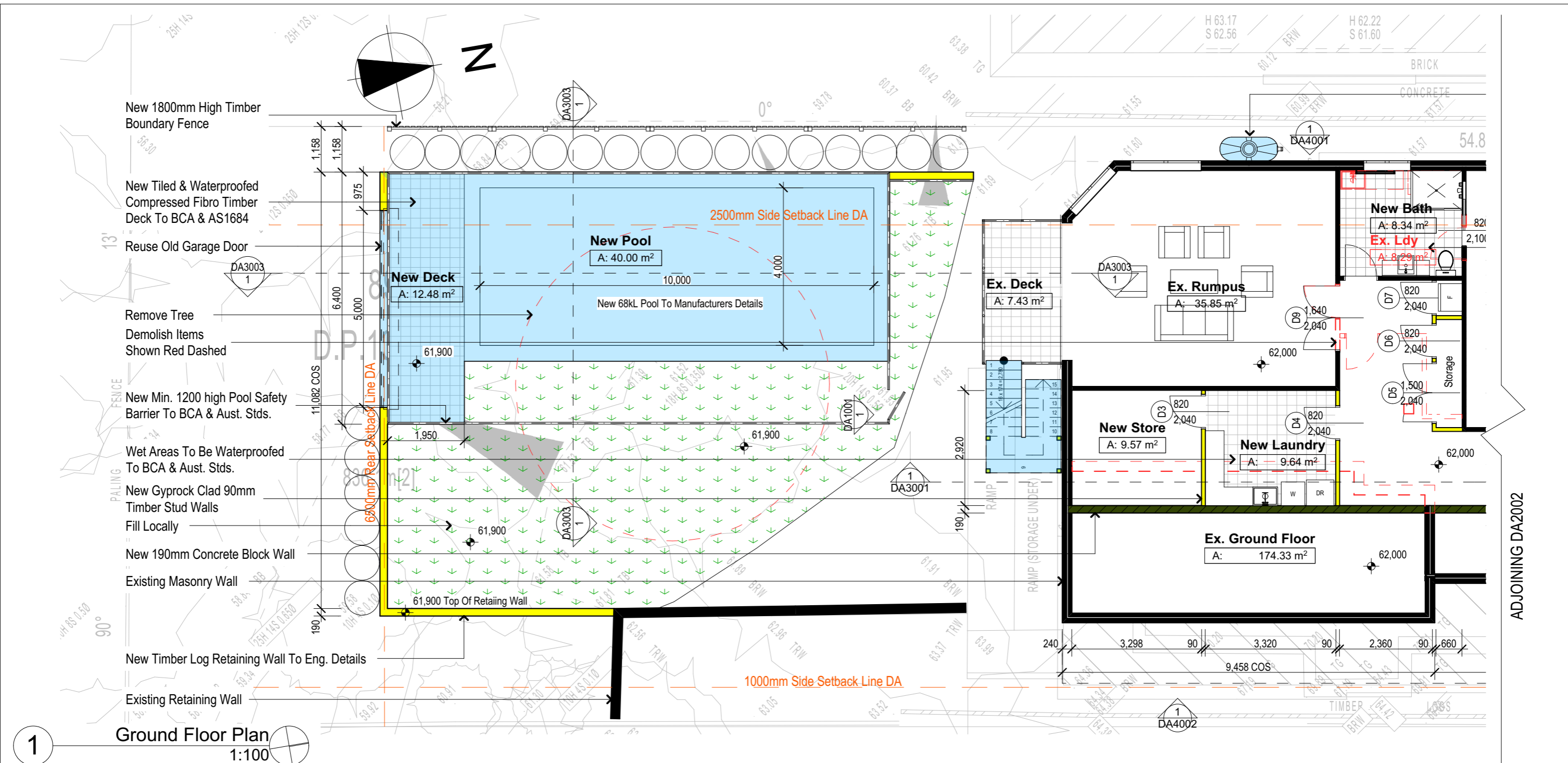
Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Site Plans - Stormwater Plan
Stormwater Plan

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA1018



Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

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NOT FOR CONSTRUCTION

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Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Denotes New Works

NOTES
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 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A369348_02
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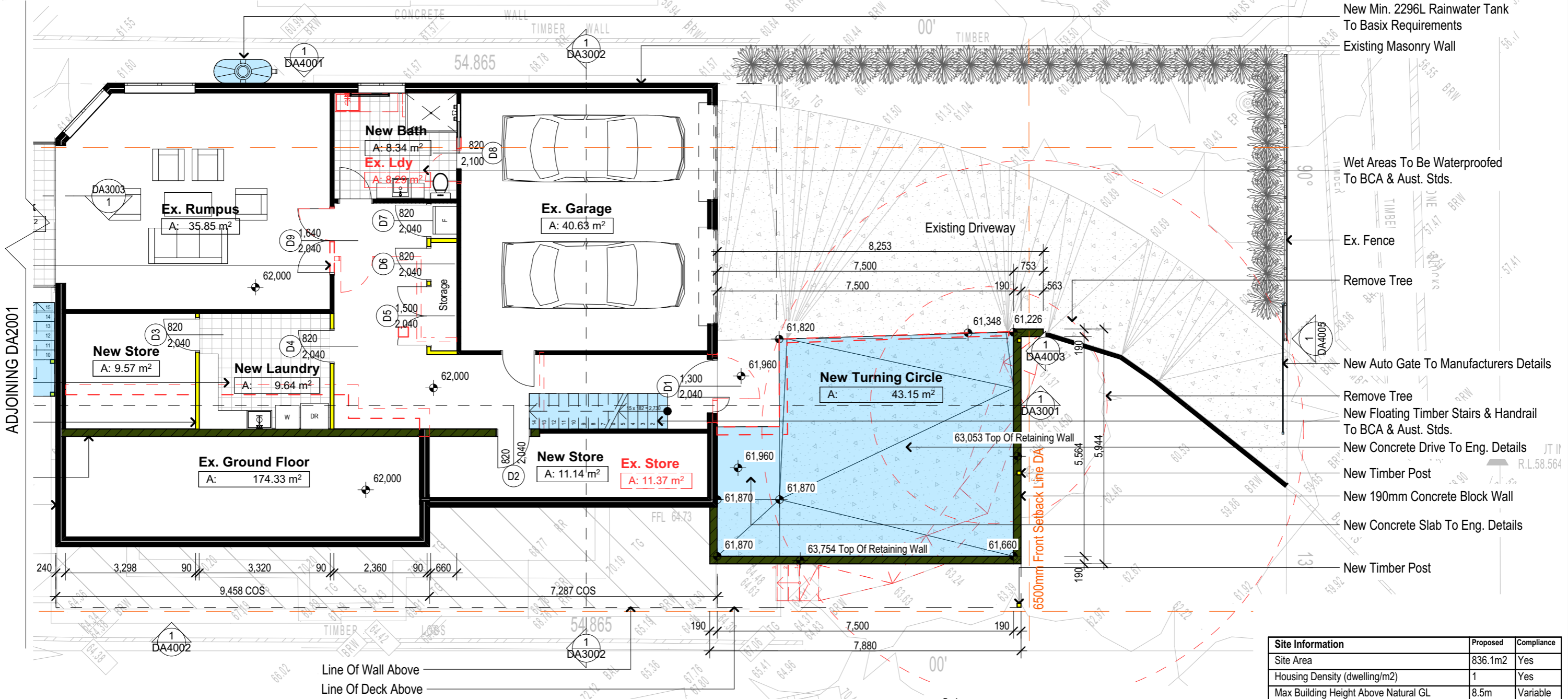
Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

<p>Rapid Plans www.rapidplans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax: (02) 9905-8865 Mobile: 0414-945-024 Email: greg@rapidplans.com.au</p>	<p>BUILDING DESIGNERS AUSTRALIA NSW</p>	<p>Project North</p>	<p>© Copyright Rapid Plans 2020</p>	<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.</p>	<p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>	<p>Client: Trish Quirk Project Name: Alterations & Additions 29 Wandean Road, Clareville 2107</p>	<p>Lot 89 D.P. 13760 Drawing Title: Plans - Ground Floor Plan Ground Floor Plan</p>	<p>Scale: A3 as noted Status: DA Rev1 Project No. RP161118</p>	<p>Date: 9-12-2020 Checked By: GBJ Drawing No. DA2001</p>

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

Wall Legend

- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item



- New Min. 2296L Rainwater Tank To Basix Requirements
- Existing Masonry Wall
- Wet Areas To Be Waterproofed To BCA & Aust. Stds.
- Ex. Fence
- Remove Tree
- New Auto Gate To Manufacturers Details
- Remove Tree
- New Floating Timber Stairs & Handrail To BCA & Aust. Stds.
- New Concrete Drive To Eng. Details
- New Timber Post
- New 190mm Concrete Block Wall
- New Concrete Slab To Eng. Details
- New Timber Post

1 **Ground Floor Plan**
1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
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Certifying
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 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
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Basix
 Basix Certificate Number A369348_02
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Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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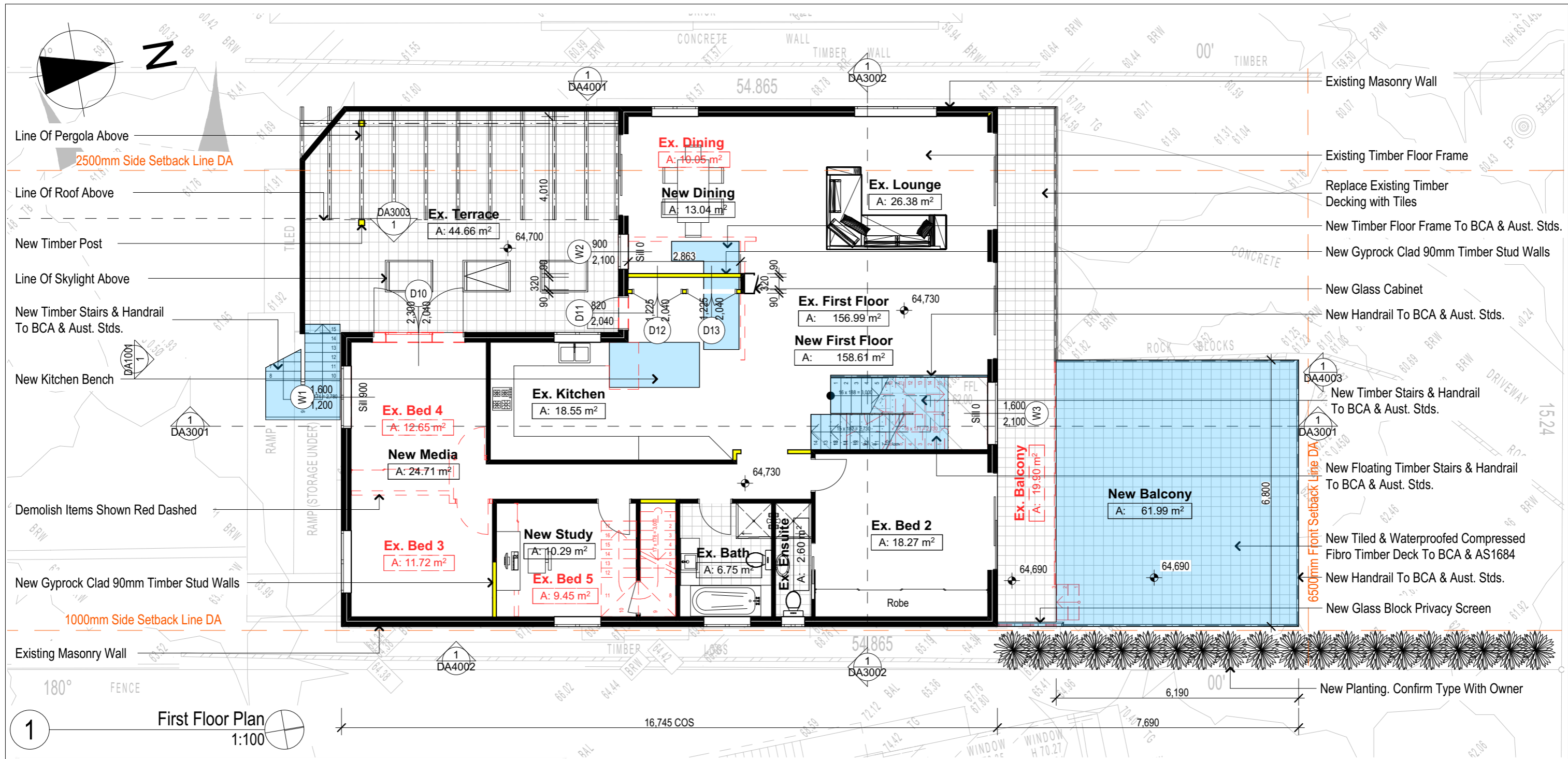
The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
 Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
 Drawing Title:
Plans - Ground Floor Plan 2
Ground Floor Plan

Scale: A3 as noted
 Status: DA Rev1
 Project No.
RP161118

Date: 9-12-2020
 Checked By: GBJ
 Drawing No.
DA2002



Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

Wall Legend

- Denotes New Works
- Denotes New Timber Framed Wall
- Denotes Existing Wall
- Denotes Demolished Item

Basix
Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



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Project North

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Client: Trish Quirk

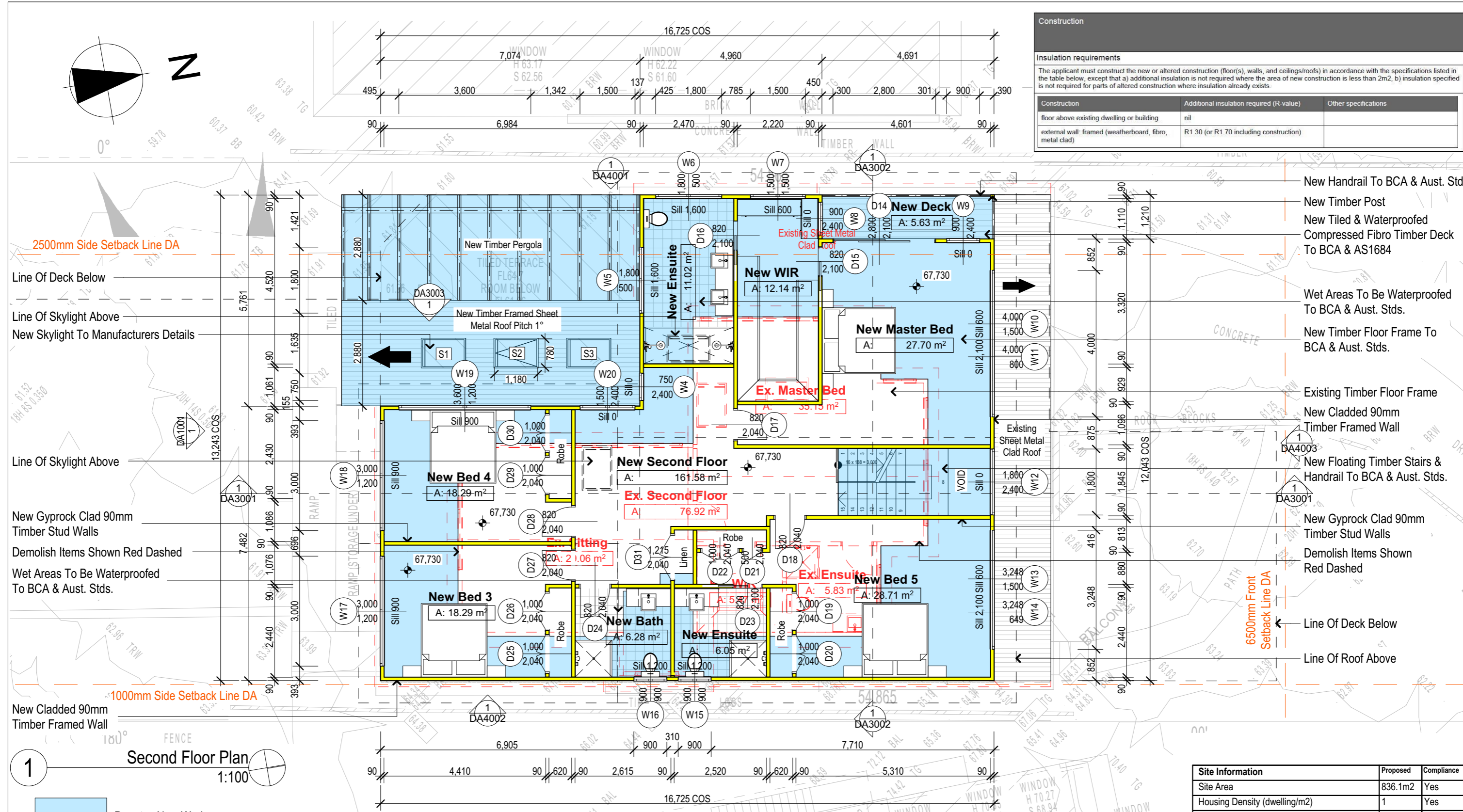
Client: Trish Quirk
Project Name: Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title: Plans - First Floor Plan
First Floor Plan

Scale: A3 as noted
Status: DA Rev1
Project No. RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No. DA2003

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building,	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	



2500mm Side Setback Line DA

Line Of Deck Below

Line Of Skylight Above

New Skylight To Manufacturers Details

Line Of Skylight Above

New Gyrock Clad 90mm Timber Stud Walls

Demolish Items Shown Red Dashed

Wet Areas To Be Waterproofed To BCA & Aust. Stds.

1000mm Side Setback Line DA

New Cladded 90mm Timber Framed Wall

6500mm Front Setback Line DA

Line Of Deck Below

Line Of Roof Above

1 Second Floor Plan 1:100

Denotes New Works

Wall Legend

Denotes New Timber Framed Wall

Denotes Demolished Item

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

NOTES

29 Wandean Road, Clareville is zoned E4 - Environmental Living

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue

29 Wandean Road, Clareville is not considered a heritage item

Certifying

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Construction

Timber Frame Floors, Timber Frame Walls

Roof Sheet Metal

Insulation to External Timber Frame Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client: Trish Quirk

Client: Trish Quirk
Project Name: Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title: Plans - Second Floor Plan
Second Floor Plan

Scale: A3 as noted
Status: DA Rev1
Project No: RP161118
Date: 9-12-2020
Checked By: GBJ
Drawing No: DA2004

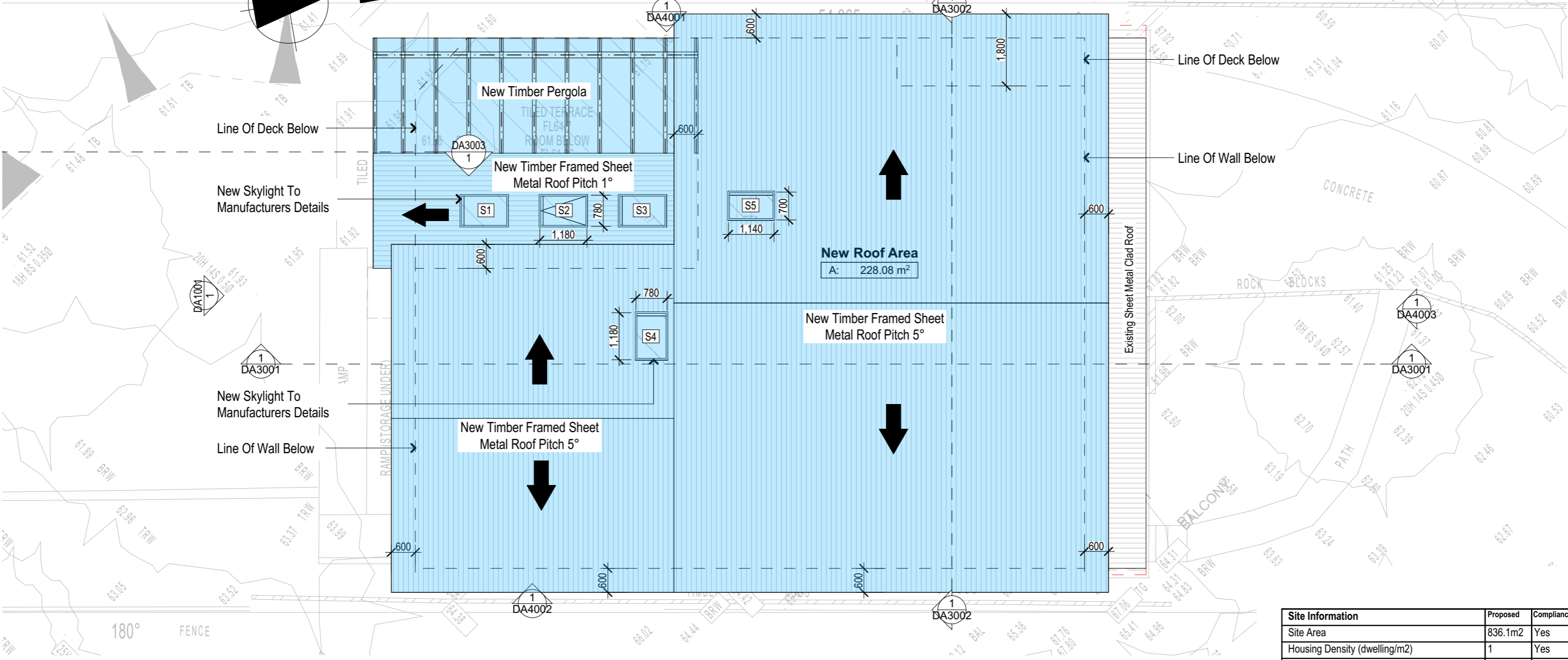
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

Insulation requirements
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Denotes New Works

Wall Legend

Denotes Demolished Item



1 Roof Plan
 1:100

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item
Certifying
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Construction
 Timber Frame Floors, Timber Frame Walls
 Roof Sheet Metal
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A369348_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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 Client:
 Trish Quirk

Client
 Trish Quirk
 Project Name
Alterations & Additions
 29 Wandean Road, Clareville
 2107

Lot 89 D.P. 13760
 Drawing Title:
 Plans - Roof Plan
 Roof Plan

Scale: A3 as noted
 Status: DA Rev1
 Project No.
 RP161118

Date: 9-12-2020
 Checked By: GBJ
 Drawing No.
DA2005

Demolish Items Shown Red Dashed

New Timber Framed Sheet Metal Roof Pitch 5°

RL +70,957

Ridge

RL +70,130

FCL

New Gyprock Clad 90mm Timber Stud Walls

New Cladded 90mm Timber Framed Wall

RL +67,730

Second

New Timber Floor Frame To
BCA & Aust. Stds.

Existing Timber Floor Frame

RL +64,730

First

New Timber Stairs & Handrail
To BCA & Aust. Stds.

New Gyprock Clad
90mm Timber Stud Walls

RL +62,000

Ground

New Timber Framed Sheet Metal Roof Pitch 5°

RL +70,957

Ridge

RL +70,130

FCL

RL +67,730

Second

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Handrail To BCA & Aust. Stds.

New Tiled & Waterproofed Compressed
Fibro Timber Deck To BCA & AS1684

RL +64,730

First

Demolish Items Shown Red Dashed
New Timber Post

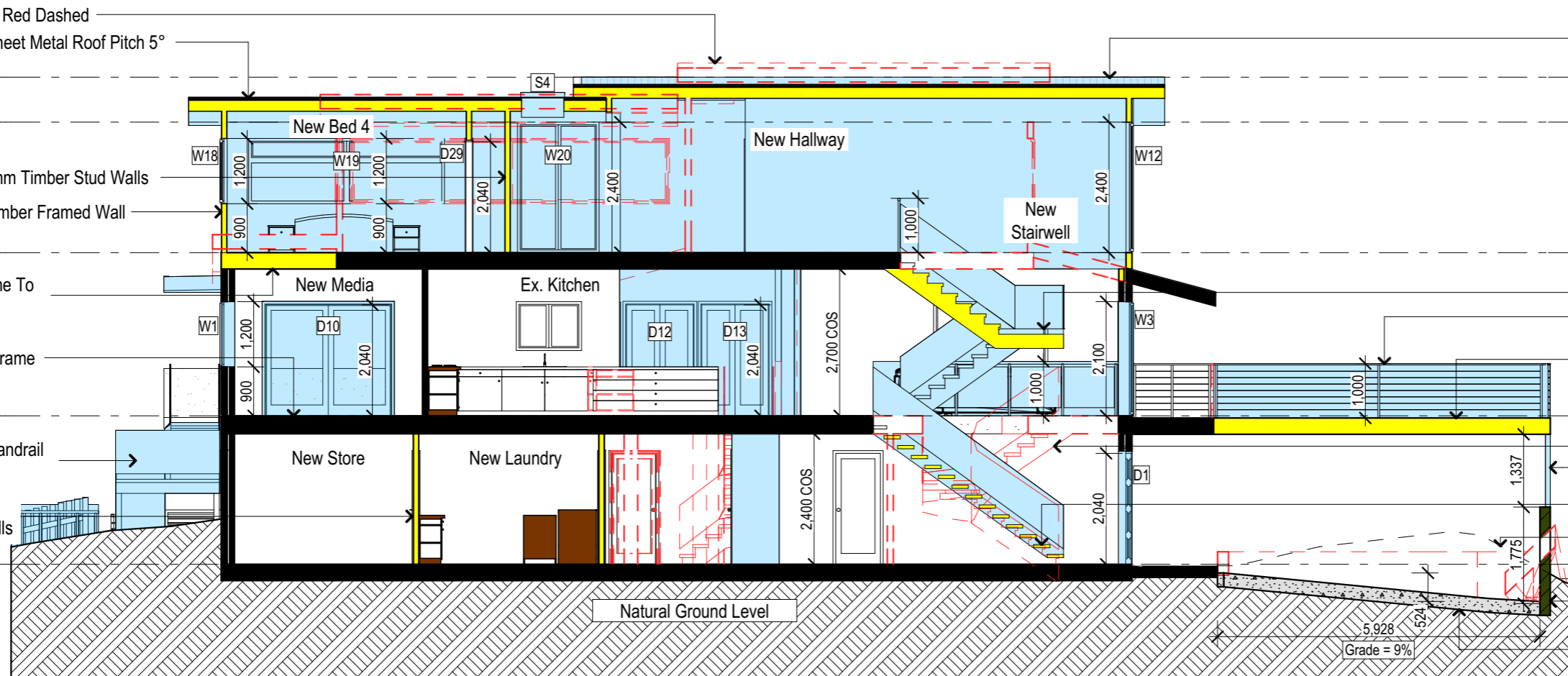
New Floating Timber Stairs & Handrail
To BCA & Aust. Stds.

Natural Ground Level
RL +62,000

Ground

New Concrete Block Retaining
Wall To Eng. Details

New Concrete Drive To Eng. Details



1 Section 1
1:100

- Denotes New Works
- Denotes New Timber Framed Wall/Floor
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

Wall Legend

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item
Certifying
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

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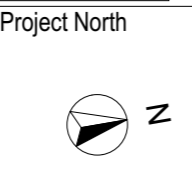
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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Lot 89 D.P. 13760
Drawing Title:
Sections - Section 1
Section 1
Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118
Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA3001

Construction		
Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	

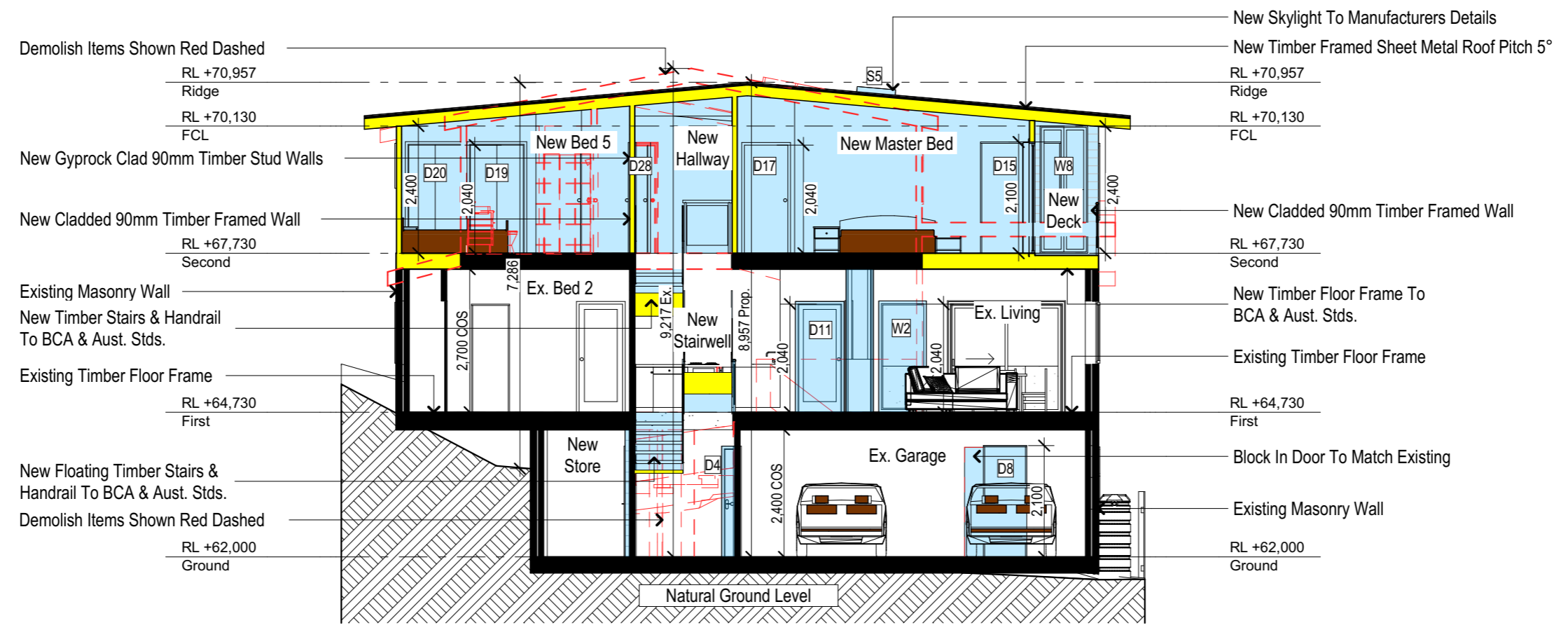
Denotes New Works

Wall Legend

Denotes New Timber Framed Wall/Floor

Denotes Existing Wall

Denotes Demolished Item



1 Section 2
1:100

NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item
Certifying
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Construction
Timber Frame Floors, Timber Frame Walls
Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
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b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Sections - Section 2
Section 2

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA3002

NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item

Construction
 Timber Frame, Timber Frame Walls
 Roof Sheet Metal to have Nil Insulation
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
 Basix Certificate Number A369348_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Trish Quirk
 Project Name: **Alterations & Additions**
 29 Wandean Road, Clareville
 2107

Lot 89 D.P. 13760

Drawing Title:

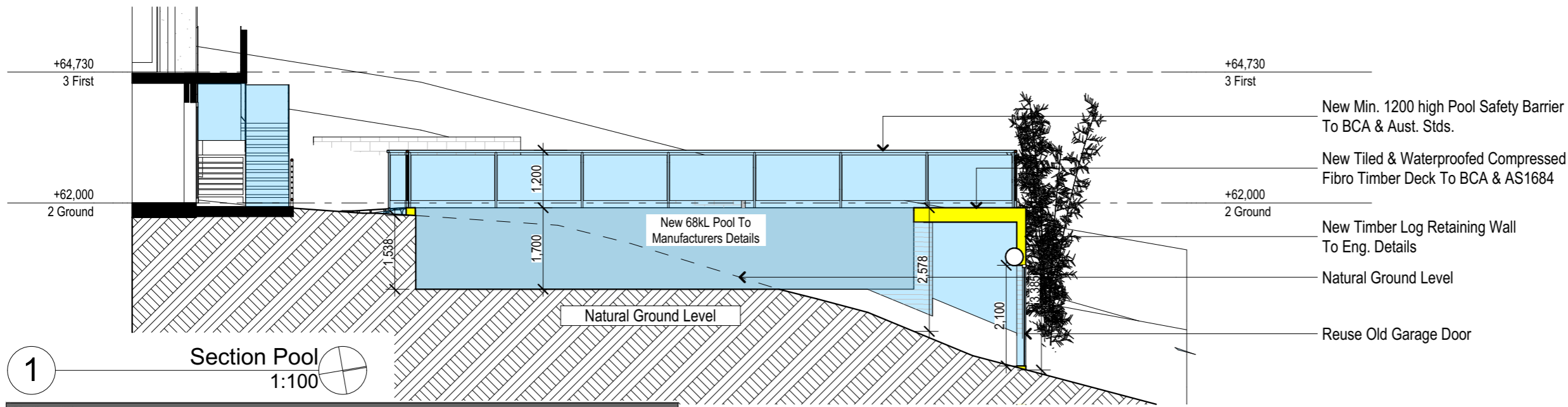
Sections - Section Pool

Section Pool, Section Pool 2, Ground Floor Plan

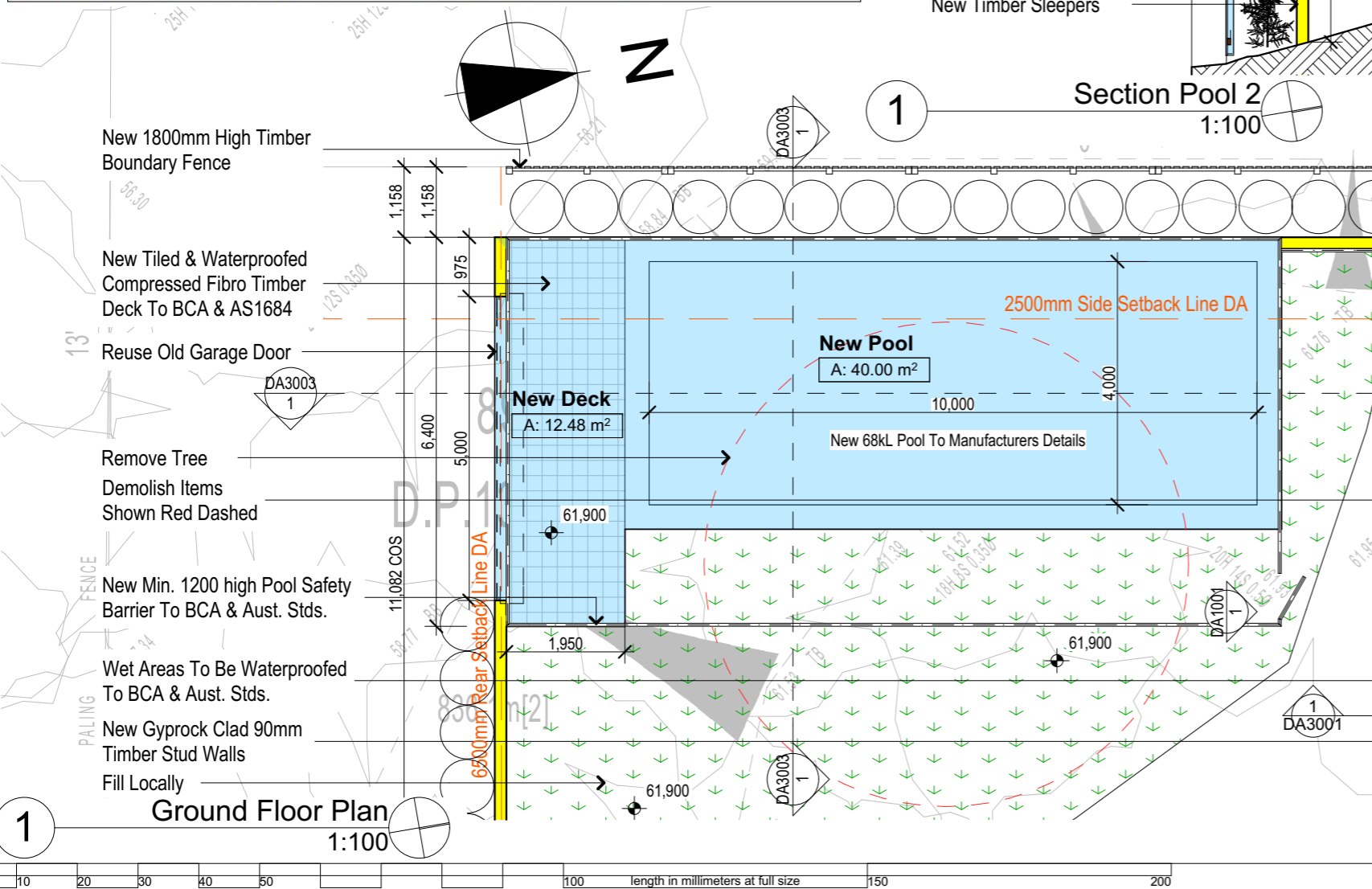
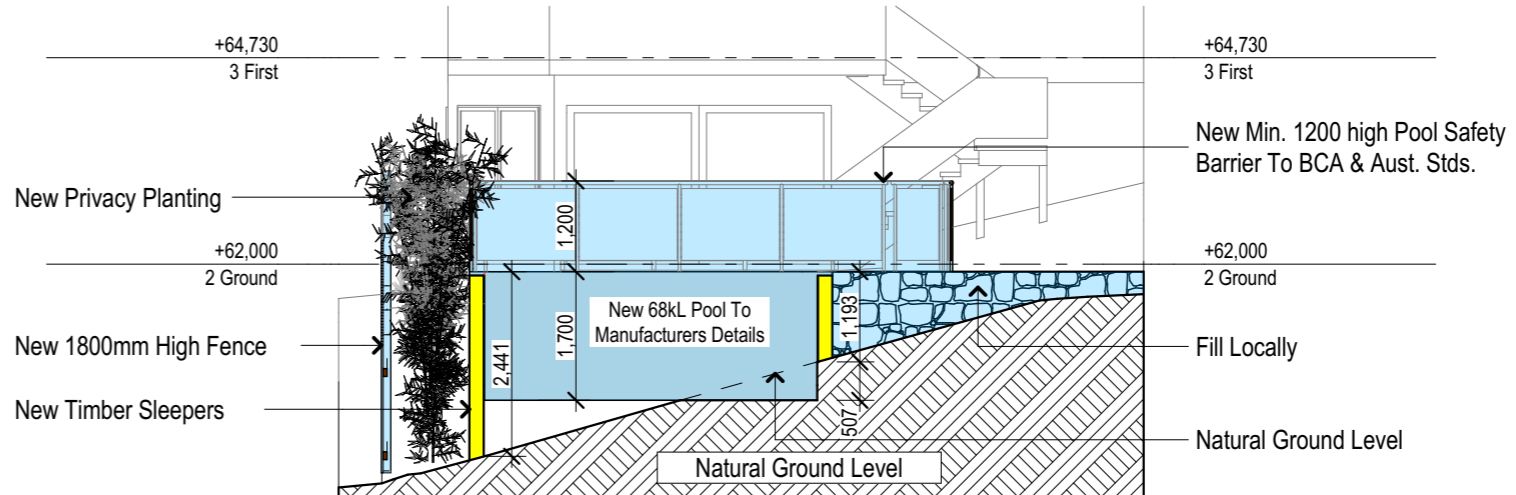
Scale: A3 as noted Date: 9-12-2020

Status: DA Rev1 Checked By: GBJ

Project No: RP161118 Drawing No. DA3003



- Pool and Spa**
- Rainwater tank**
 The applicant must install a rainwater tank of at least 2296 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
 The applicant must configure the rainwater tank to collect rainwater runoff from at least 228.08 square metres of roof area.
 The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool.
- Outdoor swimming pool**
 The swimming pool must be outdoors.
 The swimming pool must not have a capacity greater than 68 kilolitres.
 The applicant must install a pool pump timer for the swimming pool.
 The applicant must not incorporate any heating system for the swimming pool that is part of this development.



- Denotes New Works**
- Wall Legend**
- Denotes New Timber Framed Wall/Floor
 - Denotes Existing Wall/Floor
 - Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOTES
29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item

Construction
Timber Frame, Timber Frame Walls
Roof Sheet Metal to have Nil Insulation
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Trish Quirk
Project Name: **Alterations & Additions**
29 Wandean Road, Clareville
2107
Lot 89 D.P. 13760

Elevations - Elevations 1		
West		

Scale: A3 as noted Date: 9-12-2020
Status: DA Rev1 Checked By: GBJ

Project No: **RP161118** Drawing No: **DA4001**

New Timber Framed Sheet Metal Roof Pitch 5°

RL +70,957
Ridge
RL +70,130
FCL

New Cladded 90mm Timber Framed Wall

New Timber Post

New Handrail To BCA & Aust. Stds.

RL +67,730
Second

½ Tiled Timber Deck To BCA & AS1684

Existing Masonry Wall

New Glass Block Privacy Screen

New Handrail To BCA & Aust. Stds.

RL +64,730
First

New Tiled & Waterproofed Compressed Fibro Timber Deck To BCA & AS1684

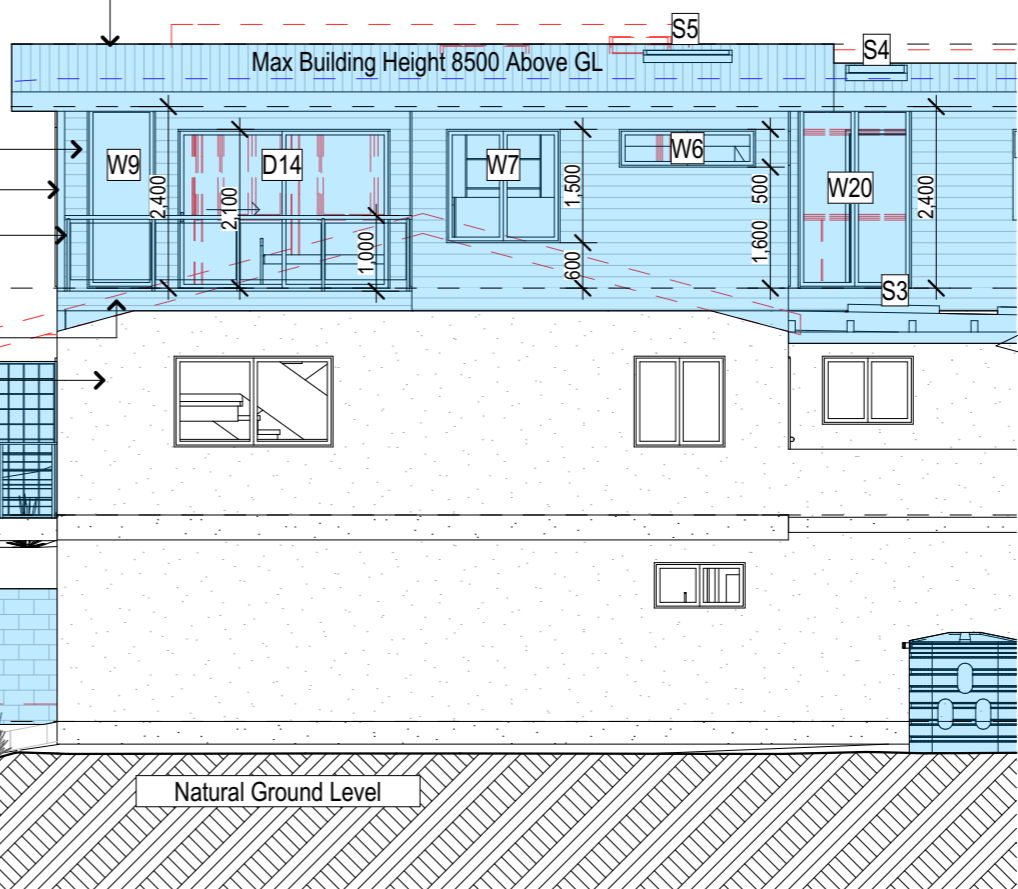
New Timber Post

New Concrete Block Retaining Wall To Eng. Details

RL +62,000
Ground

Demolish Items Shown Red Dashed

Max Building Height 8500 Above GL



ADJOINS BELOW

West
1:100

Demolish Items Shown Red Dashed

New Timber Framed Sheet Metal Roof Pitch 5°

RL +70,957
Ridge
RL +70,130
FCL

New Cladded 90mm Timber Framed Wall

New Skylight To Manufacturers Details

RL +67,730
Second

New Timber Pergola

Existing Masonry Wall

New Timber Post

Denotes New Works

Wall Legend

Denotes Demolished Item

RL +64,730
First

New Timber Stairs & Handrail To BCA & Aust. Stds.

New Min. 1200 high
Pool Safety Barrier To
BCA & Aust. Stds.

RL +62,000
Ground

New Timber Log
Retaining Wall To
Eng. Details

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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2

length in millimeters at full size

ADJOINS ABOVE

West
1:100

1

length in millimeters at full size

NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item

Construction
 Timber Frame, Timber Frame Walls
 Roof Sheet Metal to have Nil Insulation
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS1288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basix
 Basix Certificate Number A369348_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door.
 For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

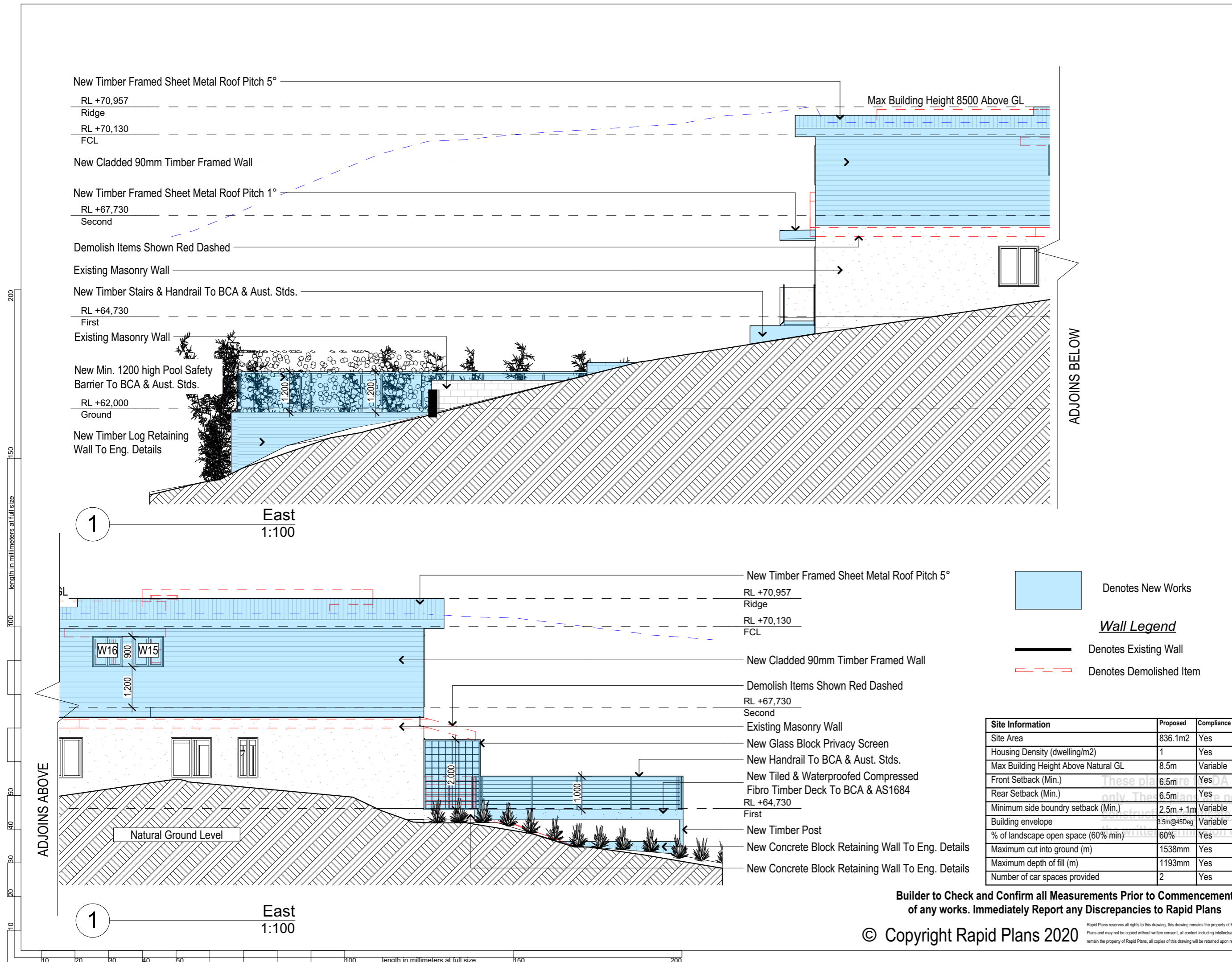
Client: Trish Quirk
 Project Name: **Alterations & Additions**
 29 Wandean Road, Clareville
 2107

Lot 89 D.P. 13760
 Drawing Title:

Elevations - Elevations 2
 East

Scale: A3 as noted Date: 9-12-2020
 Status: DA Rev1 Checked By: GBJ

Project No: RP161118 Drawing No: DA4002



Denotes New Works

Wall Legend
 Denotes Existing Wall
 Denotes Demolished Item

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Glazing requirements						
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						
The following requirements must also be satisfied in relation to each window and glazed door:						
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.						
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.						
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.						
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.						
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	S	1.92	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	S	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	W	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	W	2.25	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	N	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	N	6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	N	3.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	N	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W13	N	4.87	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	N	2.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W15	E	0.81	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	E	0.18	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W19	W	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W20	W	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D10	W	4.87	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D11	S	1.81	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	W	5.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights glazing requirements			
Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S4	0.92	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	0.79	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

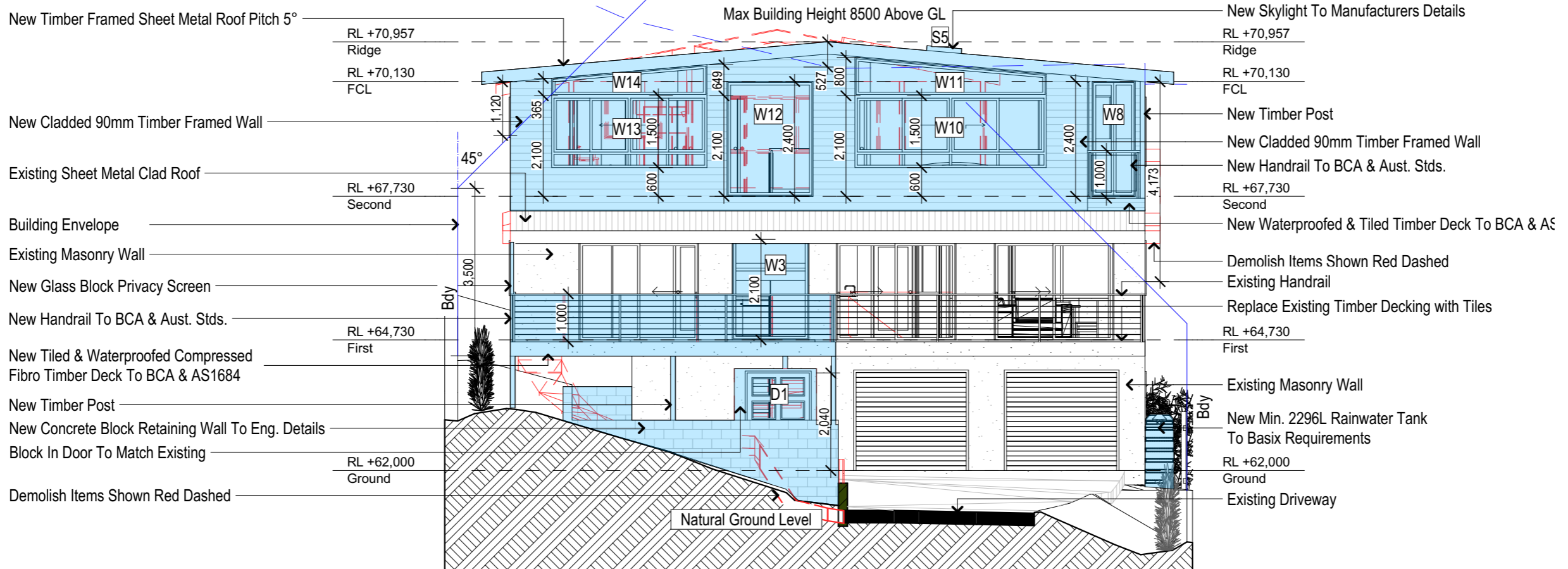
Denotes New Works

Wall Legend

Denotes New Concrete Block Wall

Denotes Existing Wall/Drive

Denotes Demolished Item



1 North 1:100

NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item
Certifying
 The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

DA APPLICATION ONLY
 NOT FOR CONSTRUCTION

Construction
 Timber Frame Floors, Timber Frame Walls
 Roof Sheet Metal
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps

Basix
 Basix Certificate Number A369348_02
 All Plans to be read in conjunction with Basix Certificate
 The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
 a) additional insulation is not required where the area of new construction is less than 2m²,
 b) insulation specified is not required for parts of altered construction where insulation already exists.
 The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
 Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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 Fax: (02) 9905-8865
 Mobile: 0414-945-024
 Email: greg@rapidplans.com.au



Project North

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
 Client: Trish Quirk

Client: Trish Quirk
 Project Name: Alterations & Additions
 29 Wandean Road, Clareville 2107

Lot 89 D.P. 13760
 Drawing Title: Elevations - Elevations 3
 North

Scale: A3 as noted
 Status: DA Rev1
 Project No: RP161118
 Date: 9-12-2020
 Checked By: GBJ
 Drawing No: DA4003

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	S	1.92	0	0	none	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W2	S	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W3	N	3.36	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W4	S	1.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W5	S	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W6	W	0.9	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W7	W	2.25	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W8	N	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W9	W	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W10	N	6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W11	N	3.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W12	N	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W13	N	4.87	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W14	N	2.11	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W15	E	0.81	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W16	E	0.18	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W17	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
W18	S	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W19	W	4.32	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
W20	W	3.6	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D10	W	4.87	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D11	S	1.81	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)
D14	W	5.9	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75)

Skylights

The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight:

Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.

Skylight number	Area of glazing inc. frame (m ²)	Shading device	Frame and glass type
S4	0.92	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
S5	0.79	no shading	timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)

Denotes New Works

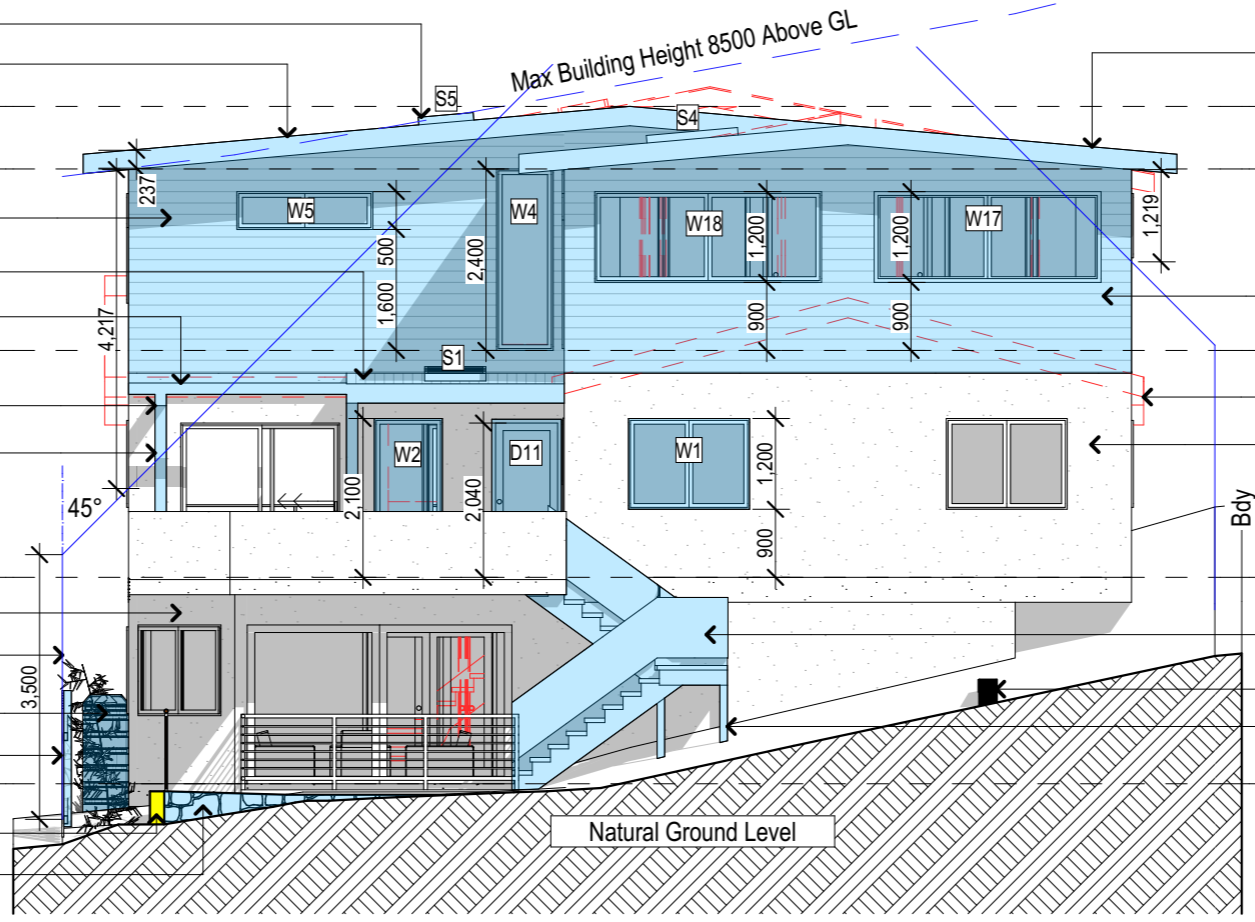
Wall Legend

Denotes New Timber Framed Wall/Floor

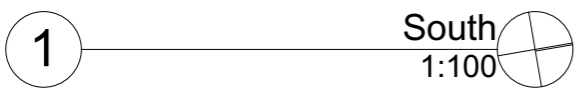
Denotes Existing Wall

Denotes Demolished Item

- New Skylight To Manufacturers Details
- New Timber Framed Sheet Metal Roof Pitch 5°
- +70,957
- 6 Ridge
- +70,130
- 5 FCL
- New Cladded 90mm Timber Framed Wall
- New Timber Framed Sheet Metal Roof Pitch 1°
- New Timber Pergola
- +67,730
- 4 Second
- Demolish Items Shown Red Dashed
- New Timber Post
- +64,730
- 3 First
- Existing Masonry Wall
- Building Envelope
- New Min. 2296L Rainwater Tank To Basix Requirements
- New 1800mm High Timber Boundary Fence
- +62,000
- 2 Ground
- New Timber Log Retaining Wall To Eng. Details
- Fill Locally



- New Timber Framed Sheet Metal Roof Pitch 5°
- +70,957
- 6 Ridge
- +70,130
- 5 FCL
- New Cladded 90mm Timber Framed Wall
- +67,730
- 4 Second
- Demolish Items Shown Red Dashed
- Existing Masonry Wall
- +64,730
- 3 First
- New Timber Stairs & Handrail To BCA & Aust. Stds.
- Existing Retaining Wall
- New Timber Post
- +62,000
- 2 Ground



NOTES

29 Wandean Road, Clareville is zoned E4 - Environmental Living

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue

29 Wandean Road, Clareville is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Timber Frame Floors, Timber Frame Walls

Roof Sheet Metal

Insulation to External Timber Frame Walls R1.70

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

a) additional insulation is not required where the area of new construction is less than 2m²,

b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Project North

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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandean Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Elevations - Elevations 4
South

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118
Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA4004

Denotes New Works



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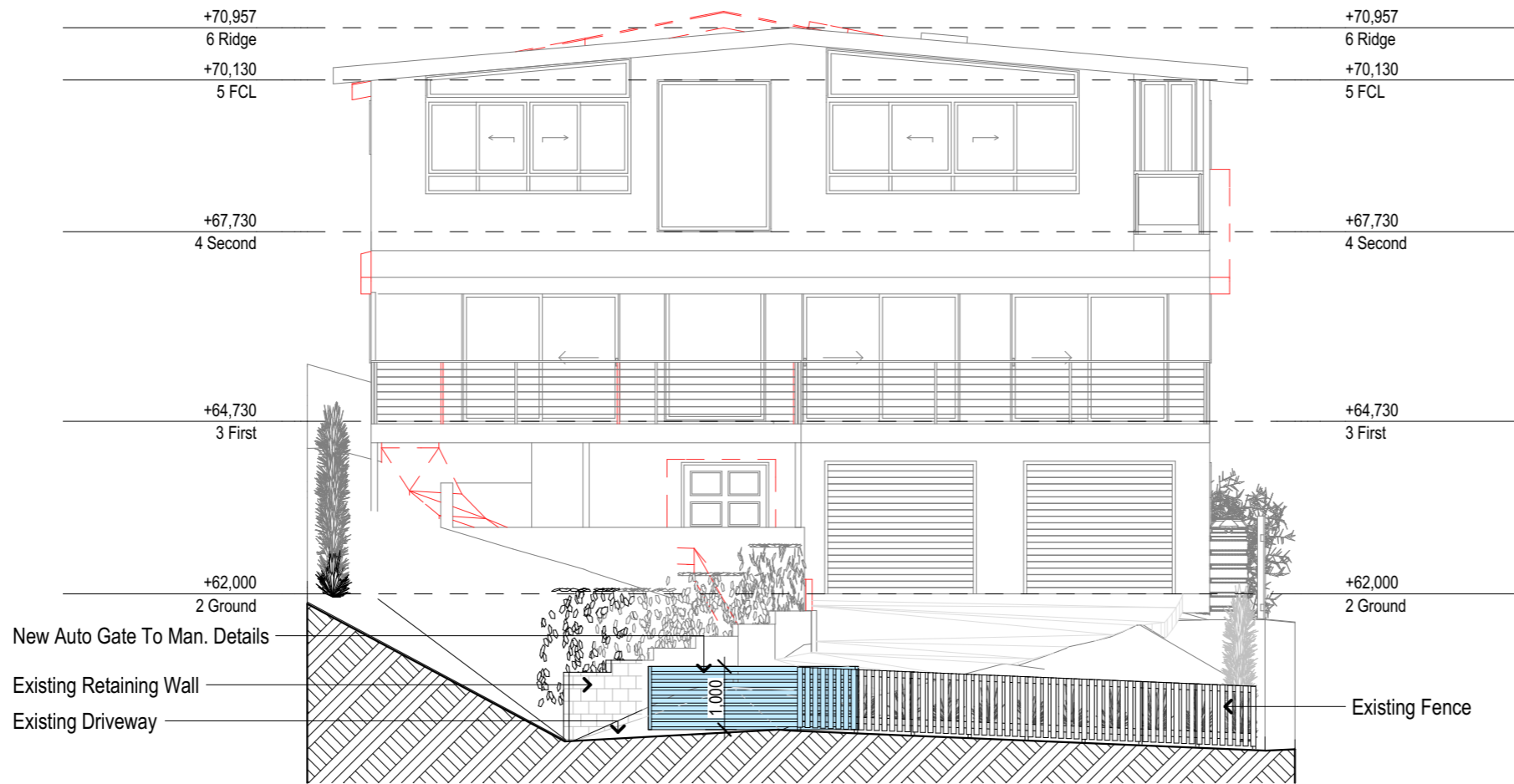


NOTES
 29 Wandean Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate
 New Works to be constructed shown in Shaded/Blue
 29 Wandean Road, Clareville is not considered a heritage item

Construction
 Timber Frame, Timber Frame Walls
 Roof Sheet Metal to have Nil Insulation
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
 All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
 Basix Certificate Number A369348_02
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



1 Front Fence 1:100

Typical Type Sliding Gate System. Easy Gate or Similar

MODEL: E-8 DC SLIDING GATE Motor Specification

Power Supply	AC 220-240V, 50Hz, Single Phase
Operating Voltage	DC 24V for Normal Speed DC 12V for Cushioning Speed
Motor Type	Oil Bath Gear Motor
Motor Rotation Speed	3000 rpm
Operating Ambient Temperature	-20°C to 80°C
Power Absorb	150 Watts
Maximum Gate Weight	600kg Force Adjustable
Gate Speed	15 Meter / min
Safety Clutch	Electronic Counter Technology Auto Reverse
Protection Class	IP24
Remote Control	2-Channel, 330 MHz UHF
Manual Override	Special Release Key for Power Failure

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	8.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Client: Trish Quirk
 Project Name: Alterations & Additions
 29 Wandean Road, Clareville 2107

Lot 89 D.P. 13760

Drawing Title: Elevations - Elevation Front Fence

Scale: A3 as noted Date: 9-12-2020
 Status: DA Rev1 Checked By: GBJ

Project No: RP161118 Drawing No: DA4005

length in millimeters at full size

length in millimeters at full size

NOTES
 29 Wandeen Road, Clareville is zoned E4 - Environmental Living
 All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
 29 Wandeen Road, Clareville is not considered a heritage item

Construction
 Timber Frame, Timber Frame Walls
 Roof Sheet Metal to have Nil Insulation
 Insulation to External Timber Frame Walls R1.70
 Refer to Engineers drawings for structural details
 All work to Engineers Specification and BCA
 Timber framing to BCA and AS 1684
 Termite Management to BCA and AS 3660.1
 Glazing to BCA and AS01288-2047
 Waterproofing to BCA and AS 3740
 New Lighting to have minimum of 40% compact fluorescent lamps
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 Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client: Trish Quirk
 Project Name: **Alterations & Additions**
 29 Wandeen Road, Clareville
 2107

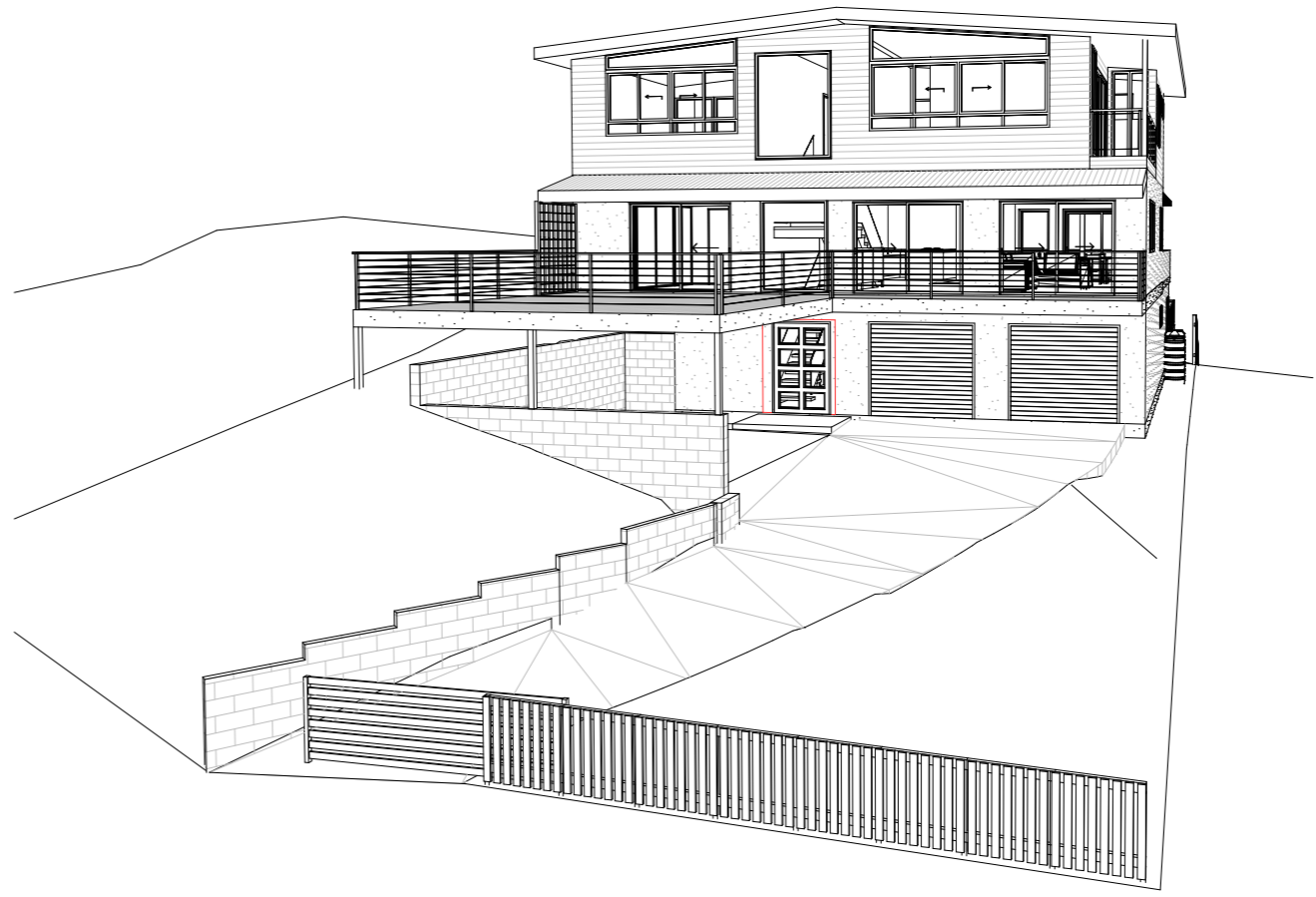
Lot 89 D.P. 13760
 Drawing Title:

Sunstudy - Perspective
Perspective Front, Perspective Rear

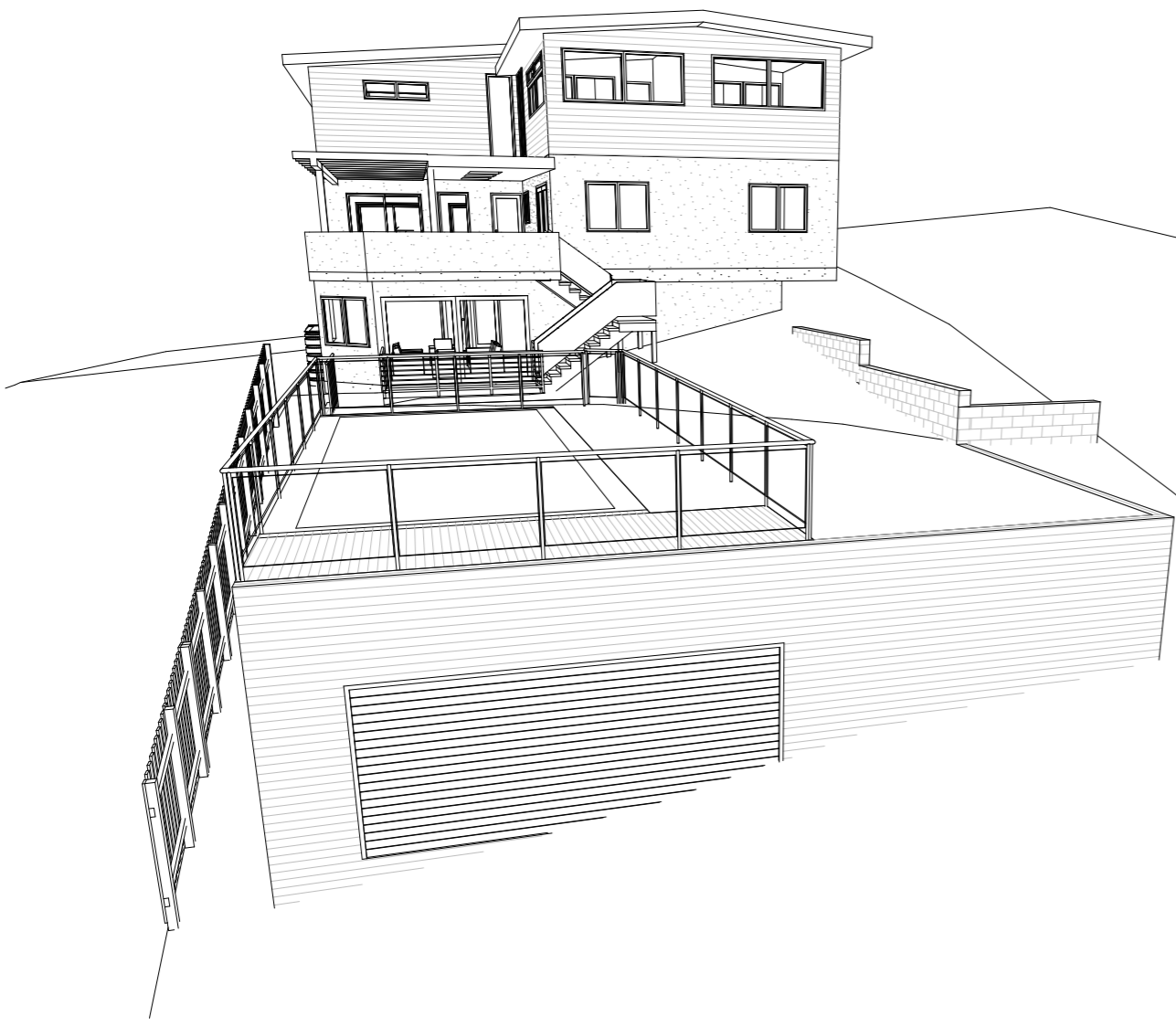
Scale: A3 as noted Date: 9-12-2020

Status: DA Rev1 Checked By: GBJ

Project No: **RP161118** Drawing No: **DA5001**



1 Perspective Front



1 Perspective Rear

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes

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200
150
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20
10
length in millimeters at full size

10 20 30 40 50 100 150 200 length in millimeters at full size



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Colour



Denotes Timber Deck To AS39559 (Typical).
Owner To Confirm Colour



Denotes Cladding To AS39559 (Typical).
Owner To Confirm Colour



Denotes Tiled Deck To AS39559 (Typical).
Owner To Confirm Colour



Denotes Handrail (Typical).
Owner To Confirm Colour



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NOTES

29 Wandean Road, Clareville is zoned E4 - Environmental Living
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
29 Wandean Road, Clareville is not considered a heritage item

Construction

Timber Frame, Timber Frame Walls
Roof Sheet Metal to have Nil Insulation
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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Certifying

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Basix

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Trish Quirk
Project Name: **Alterations & Additions**
29 Wandean Road, Clareville
2107
Lot 89 D.P. 13760

Drawing Title:
Sunstudy - Material & Colour Sample Board

Scale: A3 as noted Date: 9-12-2020
Status: DA Rev1 Checked By: GBJ

Project No: RP161118 Drawing No: DA5002

Site Information	Proposed	Compliance
Site Area	836.1m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundry setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes


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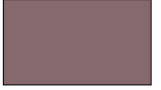
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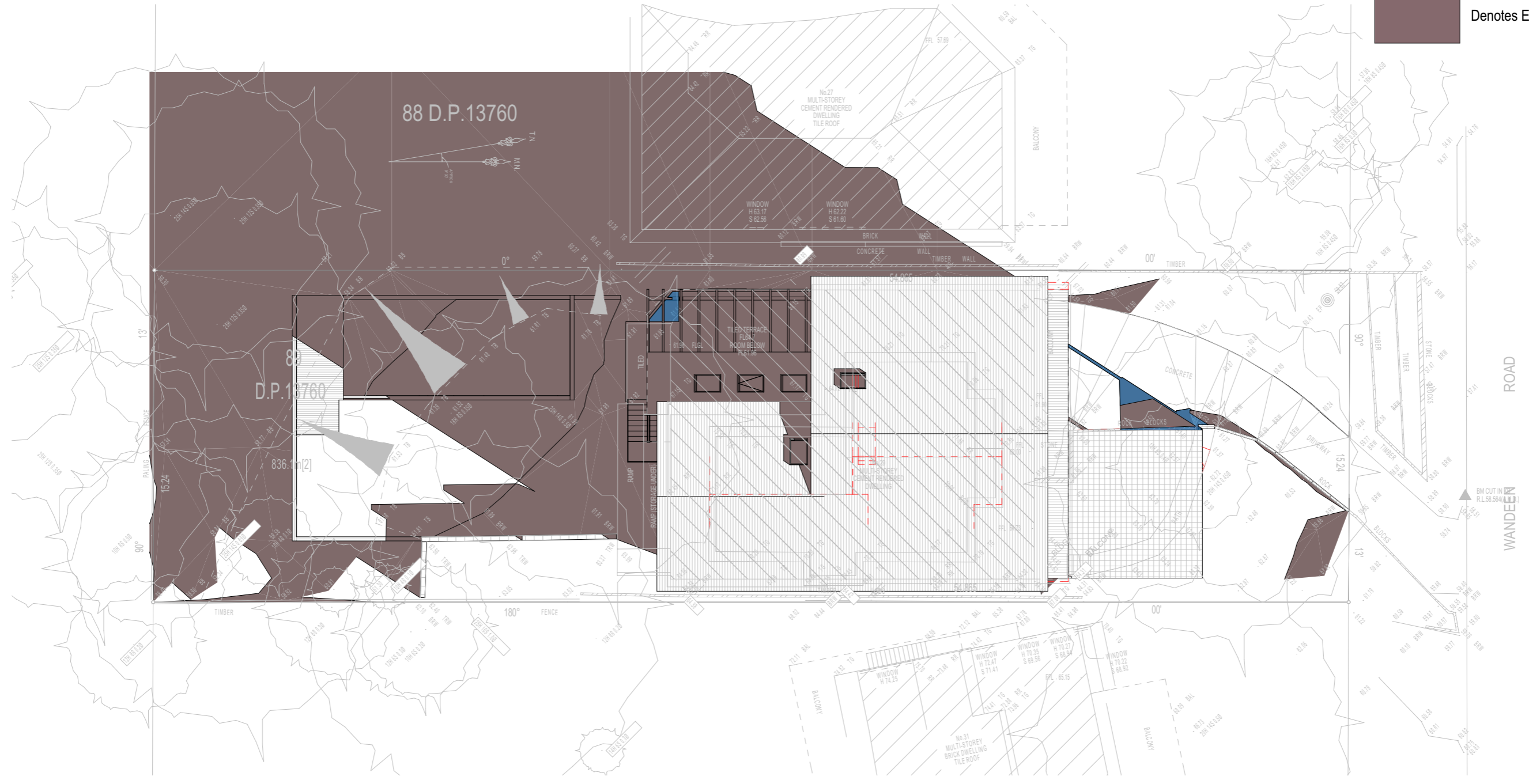
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200
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10 20 30 40 50 100 150 200 length in millimeters at full size

 Denotes Proposed Shadow

 Denotes Existing Shadow



1 Jun-21-9am 1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
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NOTES
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29 Wandeen Road, Clareville is not considered a heritage item
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Construction
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Roof Sheet Metal
Insulation to External Timber Frame Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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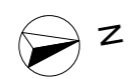
Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client: Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandeen Road, Clareville
2107

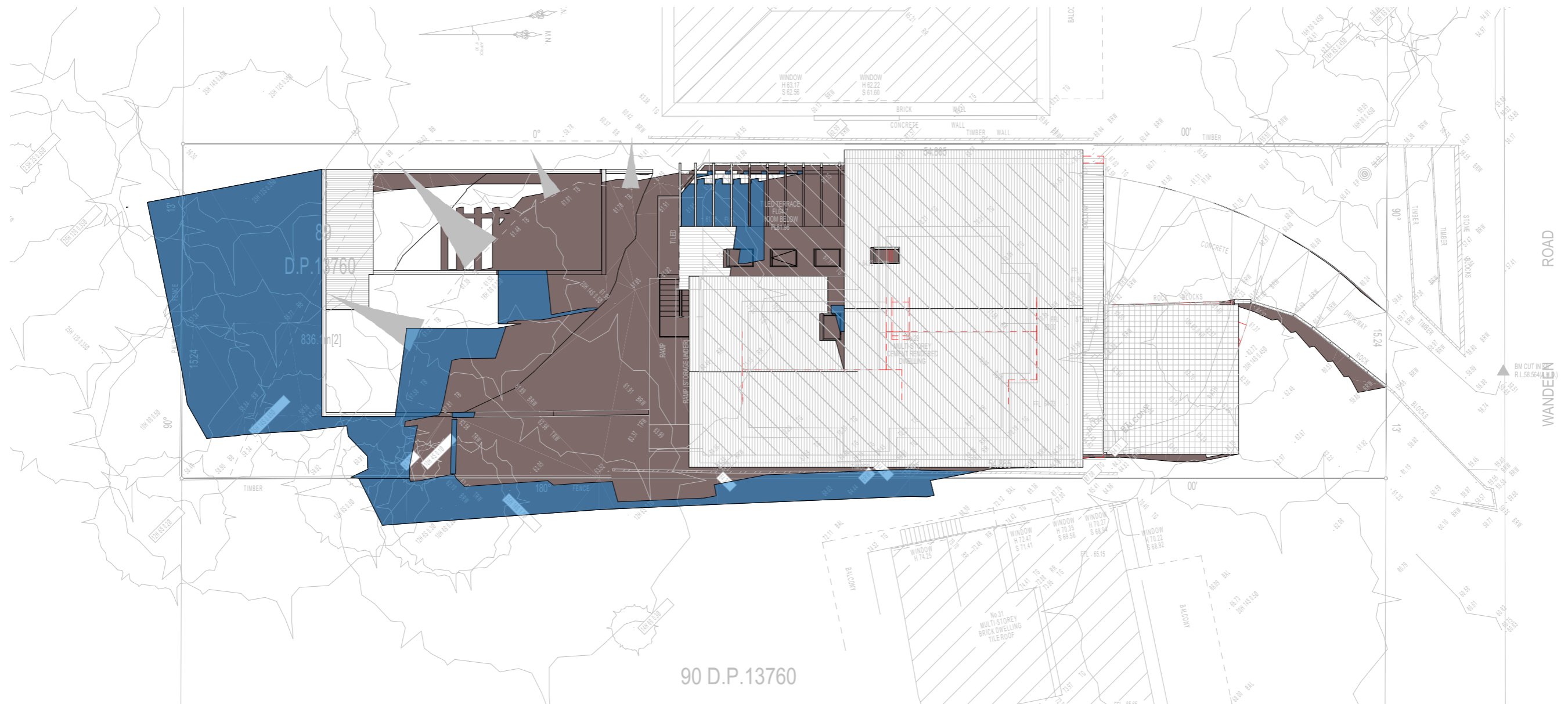
Lot 89 D.P. 13760
Drawing Title:
Sunstudy - June 21st Shadow - 9am
Jun-21-9am

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA5003

Denotes Proposed Shadow

Denotes Existing Shadow



1 Jun-21-12pm 1:200

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NOTES
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Construction
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Insulation to External Timber Frame Walls R1.70
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Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02
All Plans to be read in conjunction with Basix Certificate

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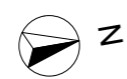
Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client: Trish Quirk

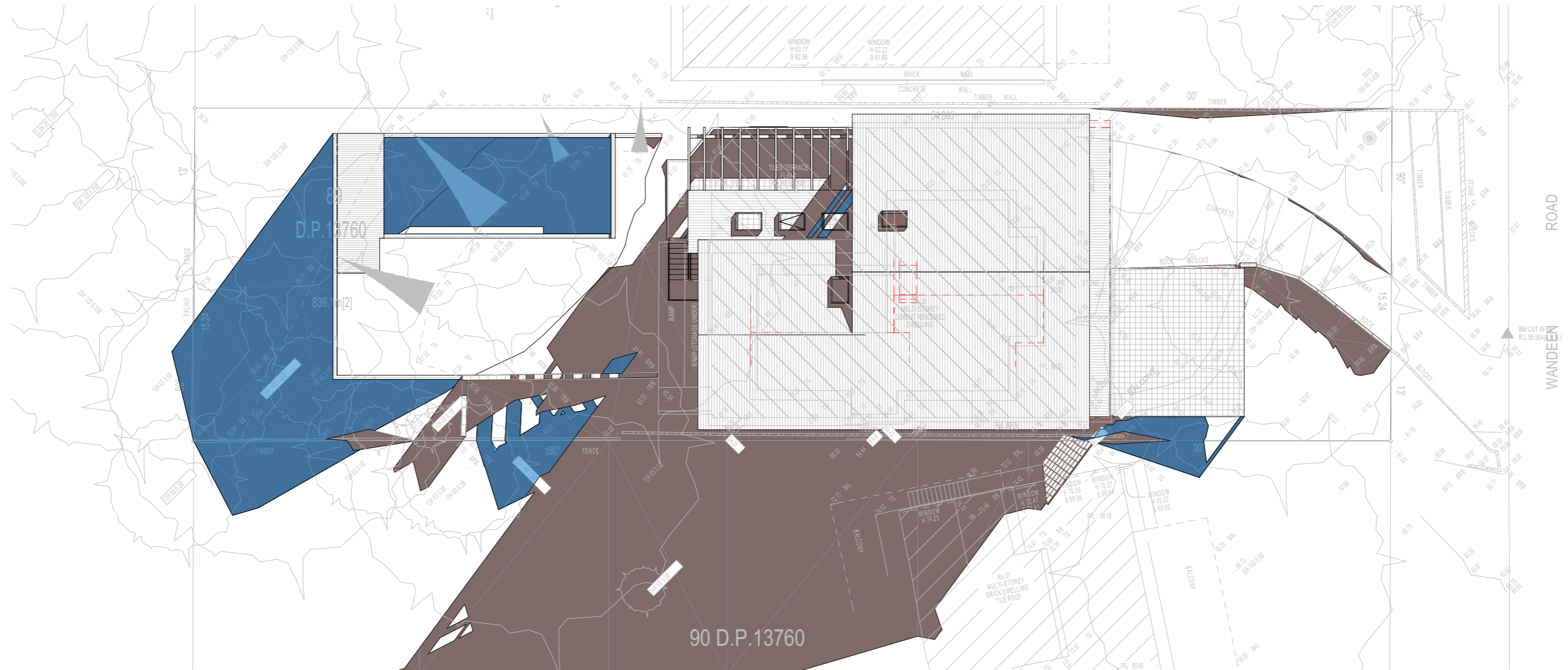
Client
Trish Quirk
Alterations & Additions
29 Wandeen Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Sunstudy - June 21st Shadow - 12pm
Jun-21-12pm

Scale: A3 as noted
Date: 9-12-2020
Status: DA Rev1
Project No. RP161118
Checked By: GBJ
Drawing No. DA5004

 Denotes Proposed Shadow

 Denotes Existing Shadow



1 Jun-21-3pm
1:200

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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NOT FOR CONSTRUCTION

NOTES
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All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
29 Wandeen Road, Clareville is not considered a heritage item
Certifying
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Construction
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Roof Sheet Metal
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Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A369348_02

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Site Information	Proposed	Compliance
Site Area	836.1m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Building Height Above Natural GL	8.5m	Variable
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	2.5m + 1m	Variable
Building envelope	3.5m@45Deg	Variable
% of landscape open space (60% min)	60%	Yes
Maximum cut into ground (m)	1538mm	Yes
Maximum depth of fill (m)	1193mm	Yes
Number of car spaces provided	2	Yes



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Client:
Trish Quirk

Client
Trish Quirk
Project Name
Alterations & Additions
29 Wandeen Road, Clareville
2107

Lot 89 D.P. 13760
Drawing Title:
Sunstudy - June 21st Shadow -
3pm
Jun-21-3pm

Scale: A3 as noted
Status: DA Rev1
Project No.
RP161118

Date: 9-12-2020
Checked By: GBJ
Drawing No.
DA5005