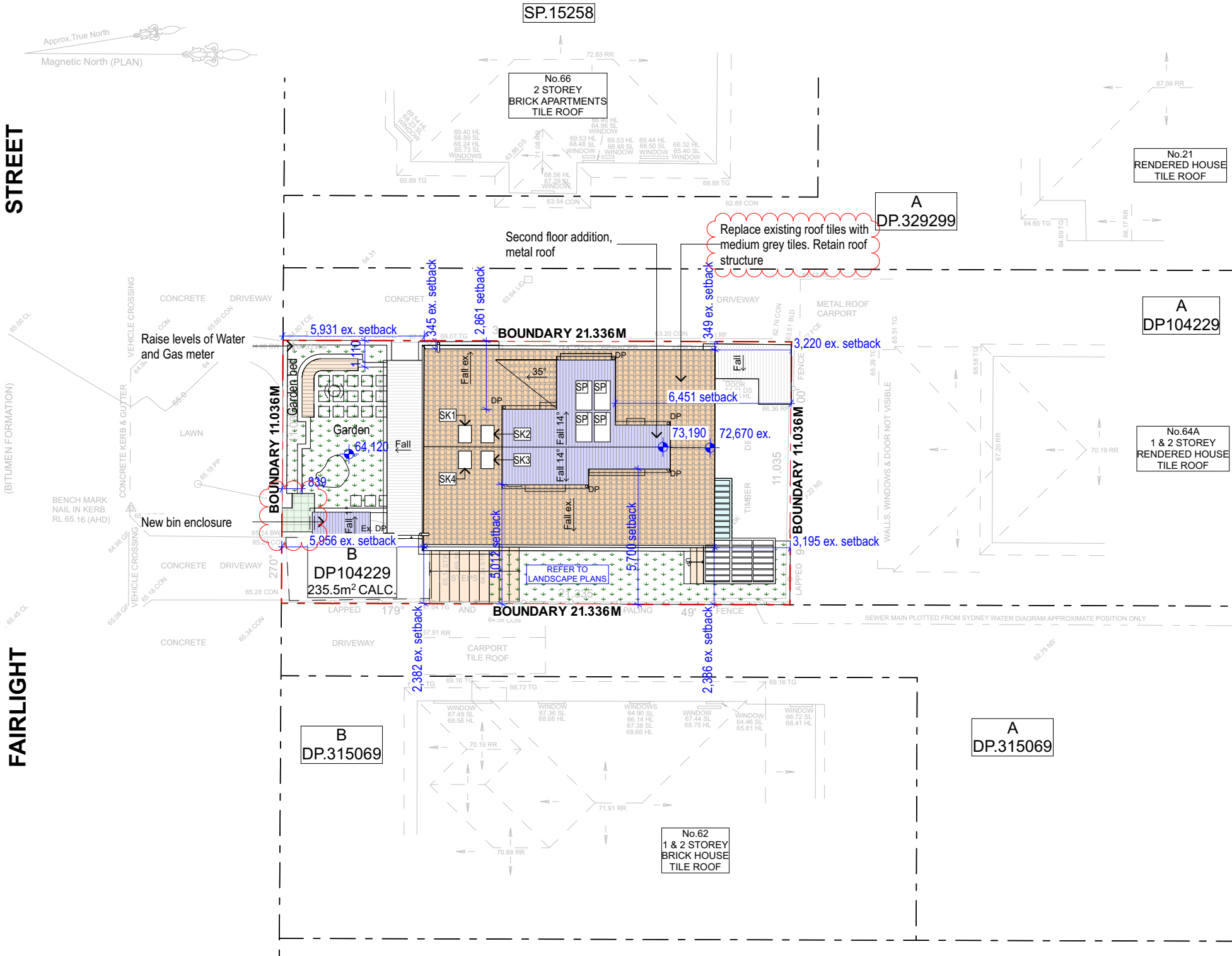


NOTES:
1. Connect new stormwater drainage to existing stormwater system to the street.
2. Displayed roof falls are approximate, verify on site.

LEGEND	
CB	COLORBOND ROOFING
RT	ROOF TILES
SD	SOLID DANIEL

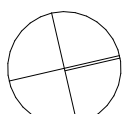


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SITE PLAN
1:200

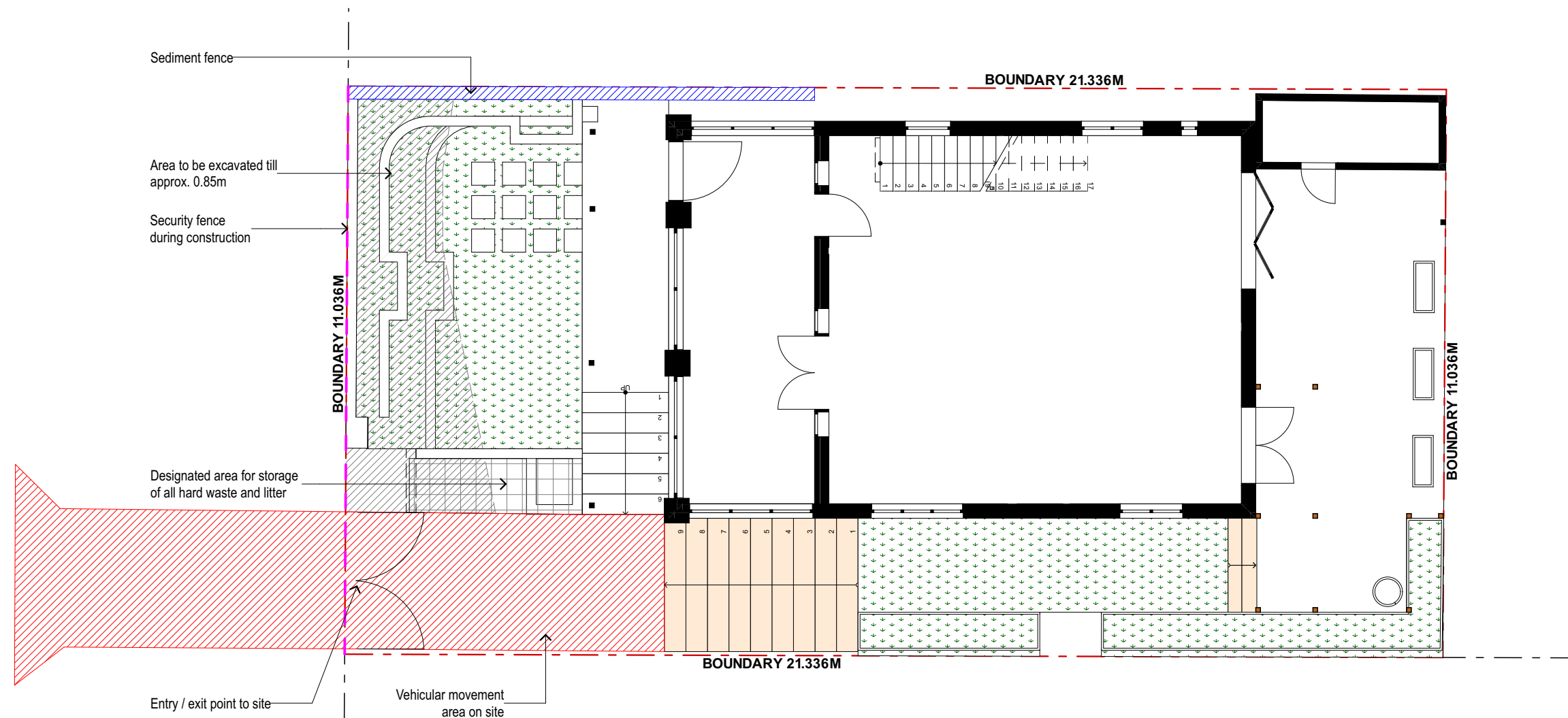
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		A	03.10.2019	DEVELOPMENT APPLICATION ISSUE						DRAWN: MS	
		B	07.01.2019	FOR CLIENT APPROVAL						DATE: 10/11/22	
		C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE						JOB NO: 1915	
		D	30.09.2021	AMMENDMENT: S455						ISSUE: F	
		E	15.12.2021	AMMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE							
		F	08.11.2022	AMMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES							

SUITE 8, 21 SYDNEY RD, MANLY NSW 2095
Nom. arch. Luisa Manfredini | NSW ARB 6666
admin@mmjarchitects.com.au

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1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln

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EXCAVATION / EROSION & SEDIMENT CONTROL PLAN
1:100

NOTES:

BUILDER TO RESTRICT VEHICLE MOVEMENTS TO THE DESIGNATED AREA.

BUILDER TO CLEAR ONLY THOSE AREAS THAT MUST BE DISTURBED DURING THE BUILDING WORKS.

VEGETATION IS NOT TO BE DISTURBED DURING CONSTRUCTION.

INSTALL ONSITE WASTE RECEPTACLES, SUCH AS SKIPS OR BINS, AND WIND-PROOF LITTER RECEPTACLES.

INSTALL AND CONNECT NEW ROOF DOWNPIPES BEFORE THE FRAME INSPECTION.

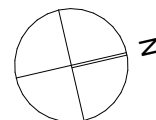
LEGEND

-  SEDIMENT FENCE
-  VEGETATED AREA
-  DESIGNATED AREA FOR VEHICULAR MOVEMENT DURING CONSTRUCTION
-  STORAGE AREA
-  AREA TO BE EXCAVATED
-  SECURITY FENCE



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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
C	30.09.2021	AMMENDMENT: S455



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CLIENTS: LUCY SHEPHERD & IAN DONALDSON
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094
TITLE: EXCAVATION / EROSION & SEDIMENT CONTROL PLAN

SCALE: 1:100
DRAWN: MS
DATE: 10/11/22
JOB NO: **1915**

DRAWING NO: **DA04**
ISSUE: **C**



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STREET

FAIRLIGHT

SP.15258

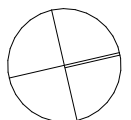
A
DP.329299

A
DP.104229

A
DP.315069

GROUND FLOOR PLAN

1:100



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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
A	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
B	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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CLIENTS:
LUCY SHEPHERD & IAN DONALDSON
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094
TITLE:
GROUND FLOOR PLAN

SCALE: 1:100
DRAWN: MS
DATE: 10/11/22
JOB NO: 1915

DRAWING NO:
DA06
ISSUE:
B

1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln

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SP.15258

No.66
2 STOREY
BRICK APARTMENTS
TILE ROOF

A
DP.329299

STREET

FAIRLIGHT

BENCH MARK
NAIL IN KERB
RL 65.16 (AHD)

VEHICLE CROSSING

CONCRETE KERB & GUTTER

VEHICLE CROSSING

CONCRETE

DRIVEWAY

LAWN

CONCRETE

DRIVEWAY

CONCRETE

CONCRETE

DRIVEWAY

METAL ROOF
CARPORT

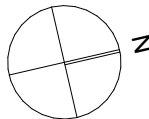
WALLS, WINDOWS & DOOR NOT VISIBLE

No.64A
1 & 2 STOREY
RENDERED HOUSE
TILE ROOF

SEWER MAIN PLOTTED FROM SYDNEY

FIRST FLOOR PLAN

1:100



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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
A	03.10.2019	DEVELOPMENT APPLICATION ISSUE
B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT
C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
D	30.09.2021	AMMENDMENT: S455
E	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
F	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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CLIENTS:
LUCY SHEPHERD & IAN DONALDSON
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094
TITLE:
FIRST FLOOR PLAN

SCALE: 1:100
DRAWN: MS
DATE: 10/11/22
JOB NO:
1915

DRAWING NO:
DA07
ISSUE:
F

1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln

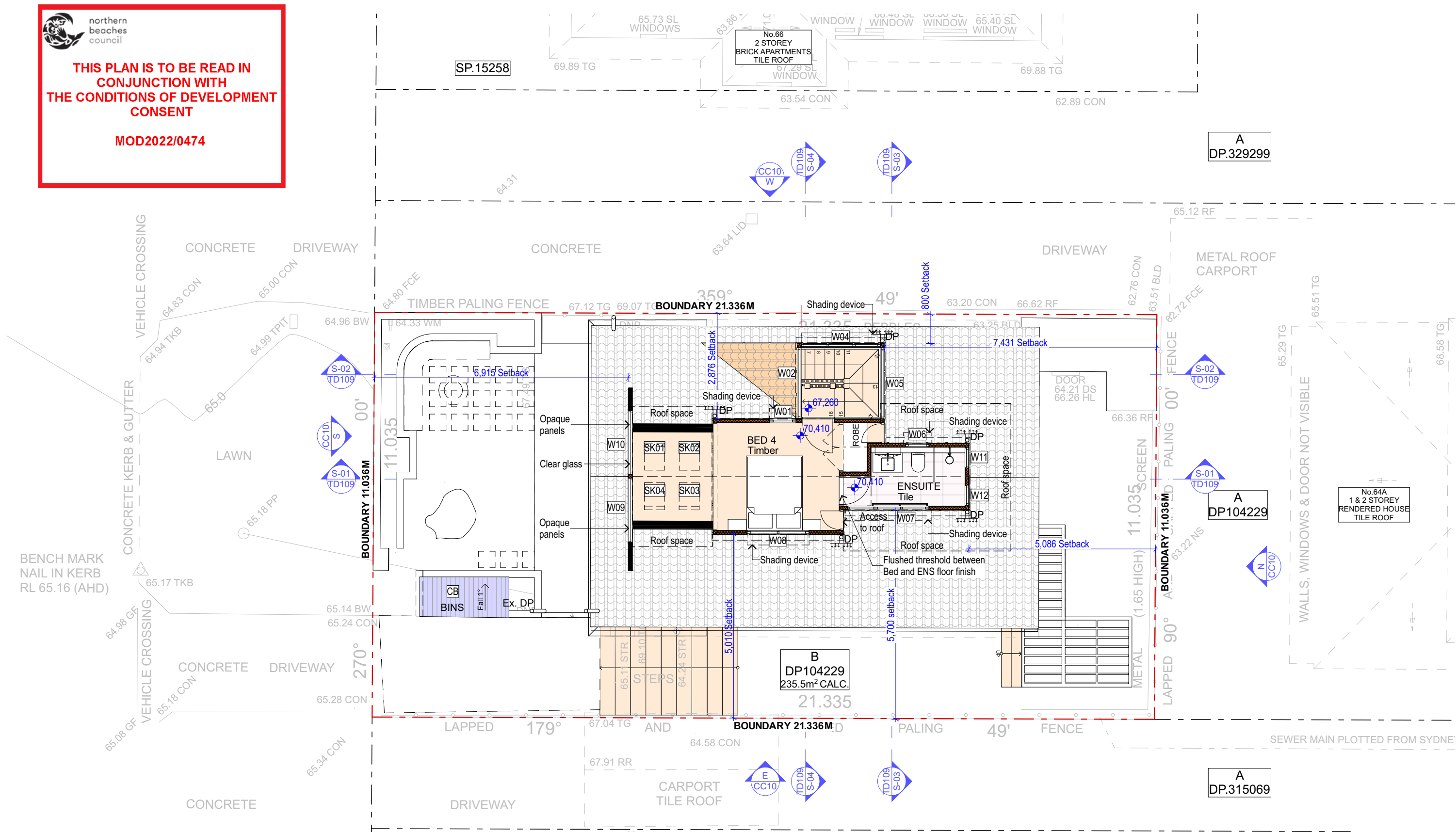
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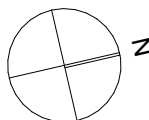
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SECOND FLOOR PLAN

1:100



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DEVELOPMENT APPLICATION

REV	DATE	DESCRIPTION
B	18.12.2019	AMENDMENTS TO DA - ISSUE FOR CONSULTANT
C	07.01.2019	FOR CLIENT APPROVAL
D	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE
E	30.09.2021	AMMENDMENT: S455
F	30.11.2021	WINDOW AMENDMENT: S4.55
G	02.12.2021	WINDOW AMENDMENT: S4.55
H	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE
I	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES



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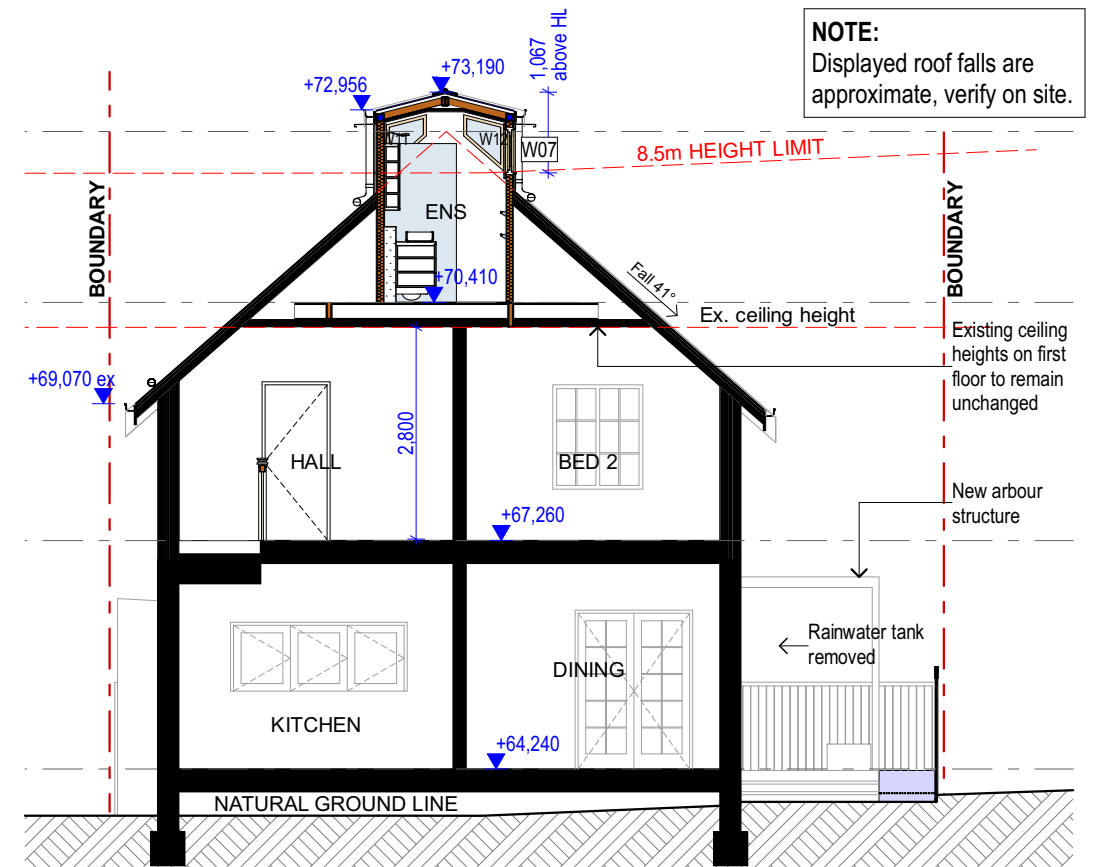
CLIENTS:
LUCY SHEPHERD & IAN DONALDSON
PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING
64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094
TITLE:
SECOND FLOOR PLAN

SCALE: 1:100
DRAWN: MS
DATE: 10/11/22
JOB NO:
1915

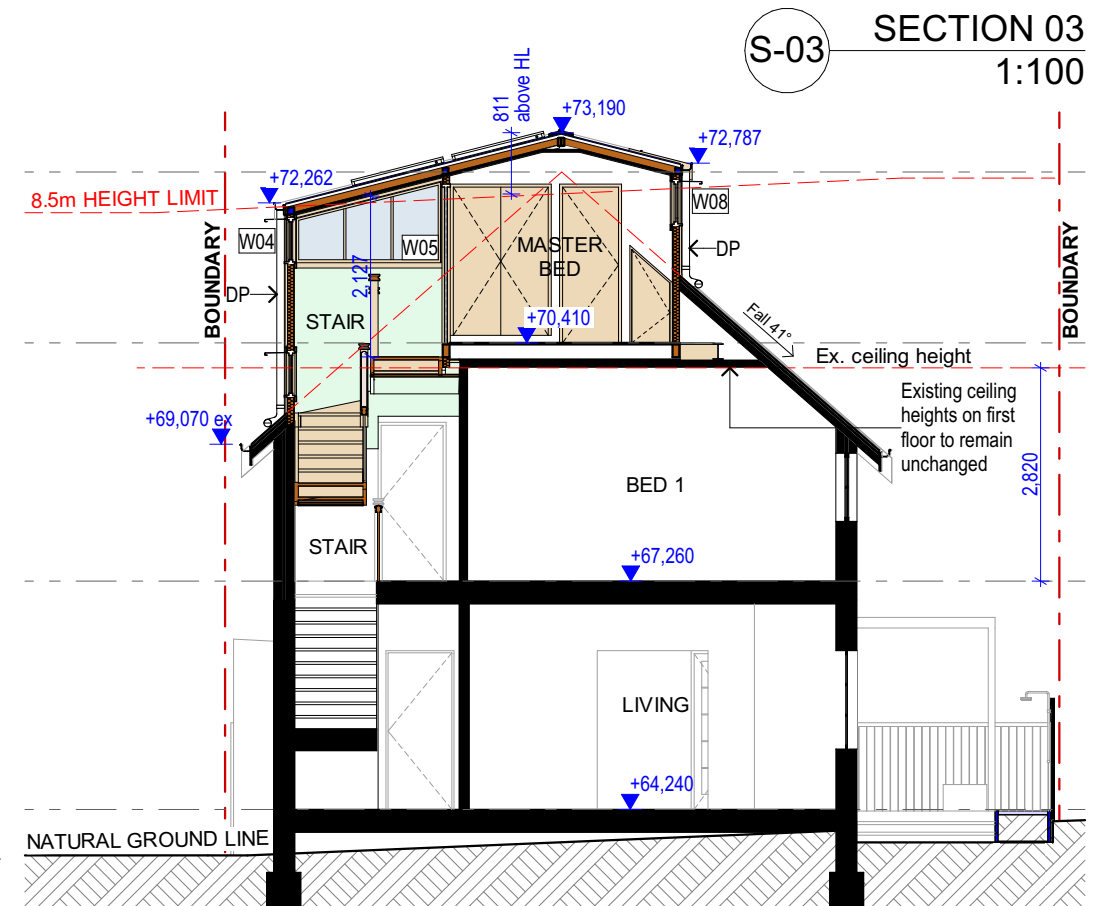
DRAWING NO:
DA08
ISSUE:
I

1915 FAIRLIGHT 64_AC24_MASTER_221108_VA_House.pln

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S-03 SECTION 03
1:100

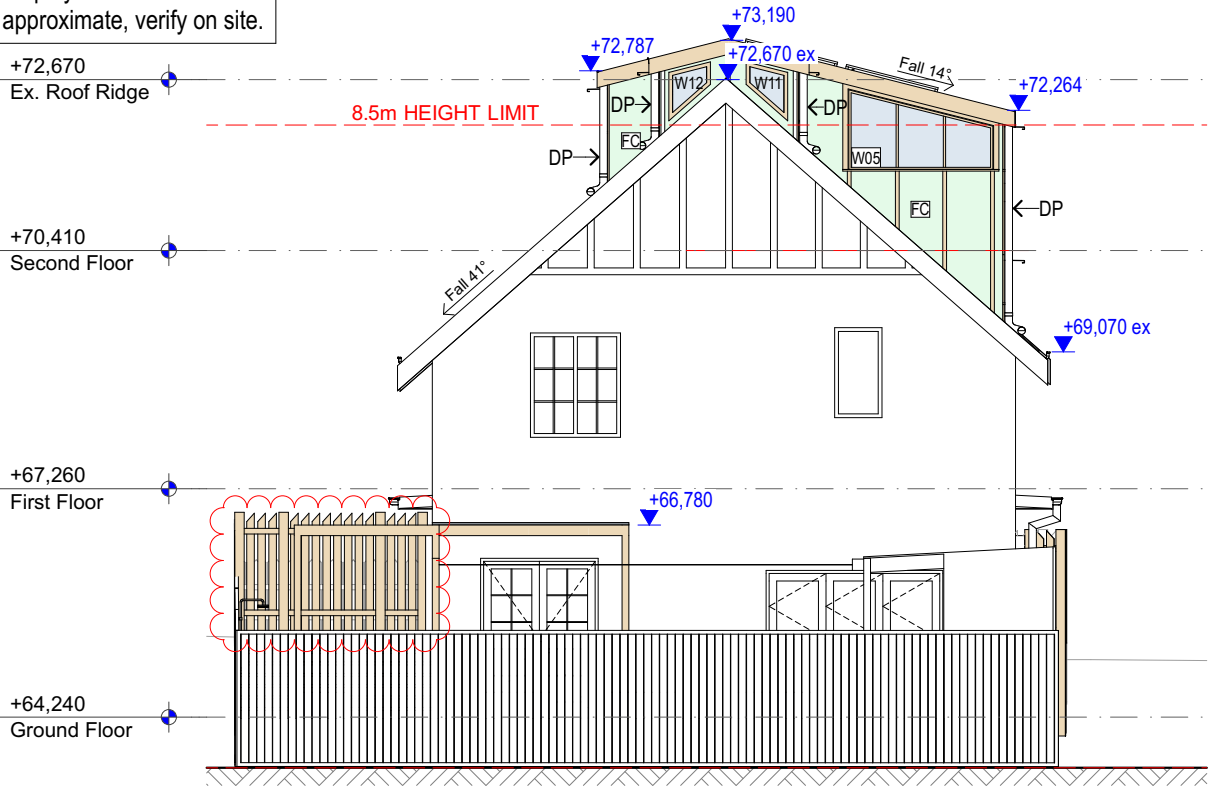


S-04 SECTION 04
1:100

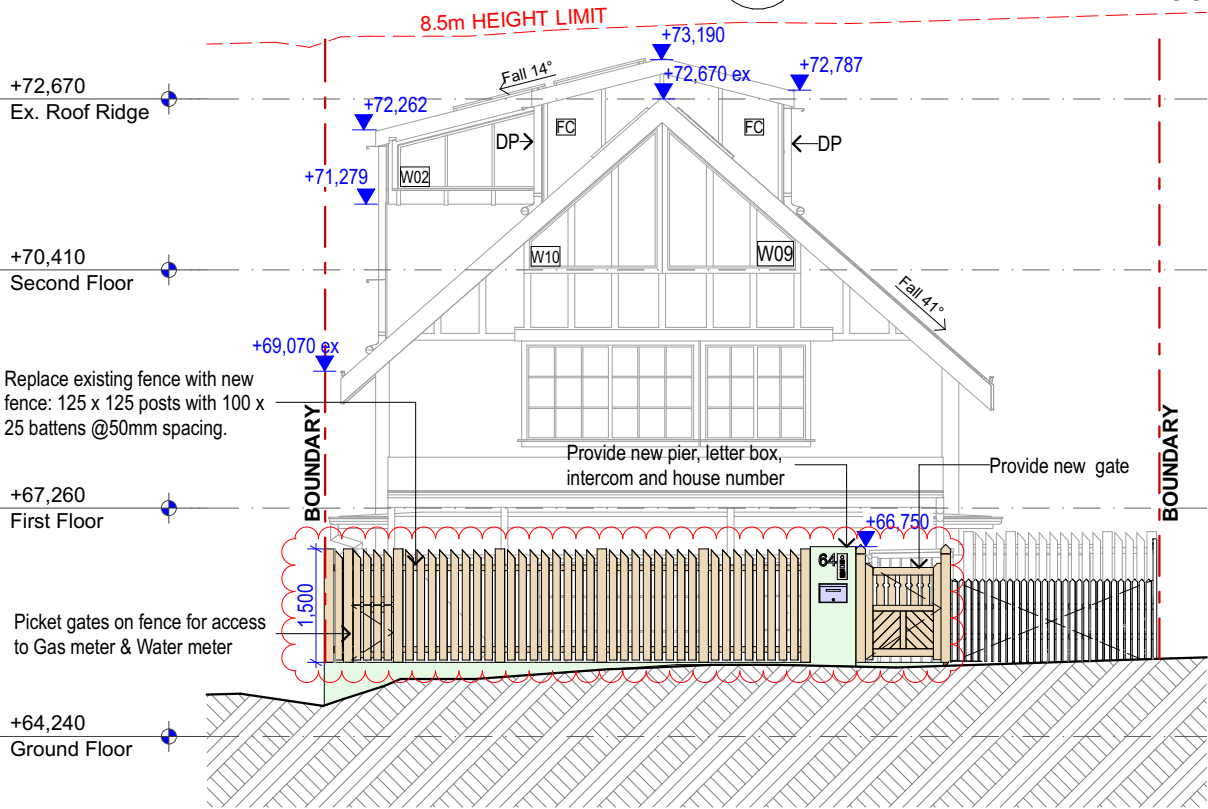
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	A	03.10.2019	DEVELOPMENT APPLICATION ISSUE			DRAWN: MS						
	B	07.01.2019	FOR CLIENT APPROVAL			DATE: 10/11/22						
	C	08.01.2020	REVISED DEVELOPMENT APPLICATION ISSUE						JOB NO:	1915	ISSUE:	H
	D	30.09.2021	AMMENDMENT: S455									
	E	30.11.2021	WINDOW AMENDMENT: S4.55									
	F	02.12.2021	WINDOW AMENDMENT: S4.55									
	G	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE									
	H	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES									

1915 FAIRLIGHT 64 AC24 MASTER 221108 VA House.pln

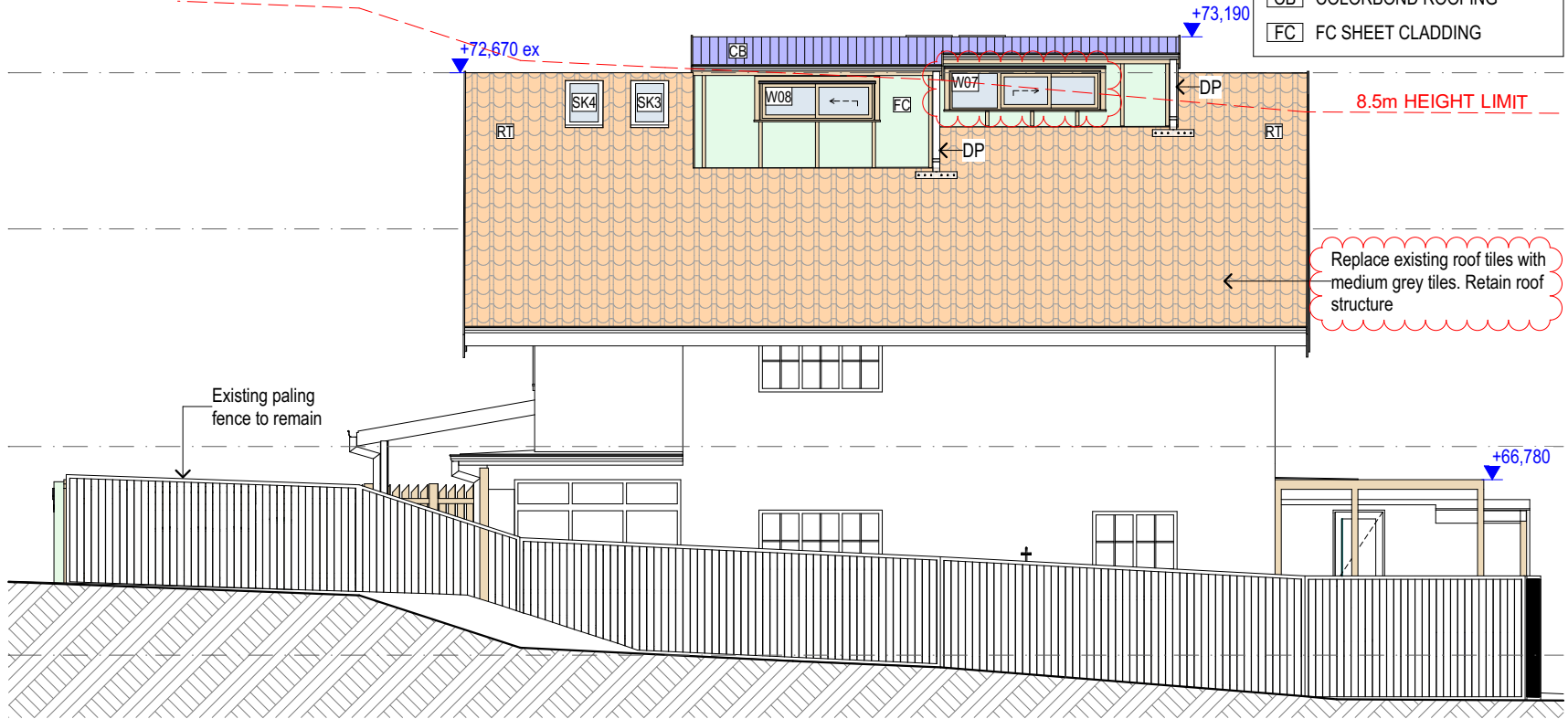
NOTE:
Displayed roof falls are approximate, verify on site.



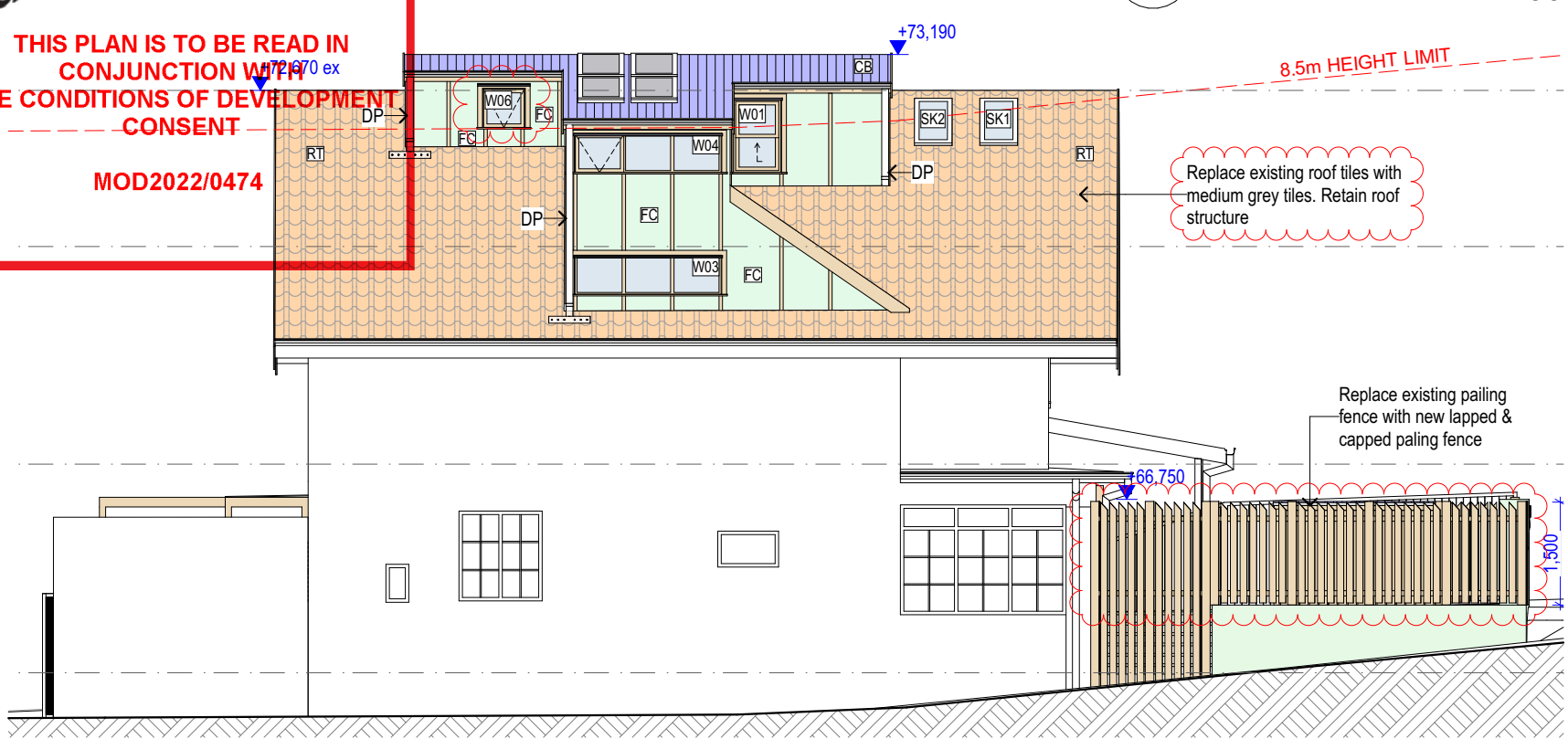
N NORTH ELEVATION
1:100



S SOUTH ELEVATION
1:100



E EAST ELEVATION
1:100



W WEST ELEVATION
1:100

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	E	16.03.2021	AMENDMENTS TO DA - FOR CLIENT REVIEW								
	F	06.04.2021	CHANGES REQUESTED BY CLIENT								
	G	02.08.2021	ADJUSTMENTS TO LANDSCAPE - FRONT YARD								
	H	30.09.2021	AMMENDMENT: S455								
	I	30.11.2021	WINDOW AMENDMENT: S4.55								
	J	02.12.2021	WINDOW AMENDMENT: S4.55								
	K	15.12.2021	AMENDMENT: REMOVAL OF CARPORT & TILT-LIFT GATE								
	L	08.11.2022	AMENDMENT: CONCRETE TILES TO LETTER BOX AREA - NEW ROOF TILES								
mm+j architects SUITE 8, 21 SYDNEY RD, MANLY NSW 2095 Nom. arch. Luisa Manfredini NSW ARB 6666 admin@mmjarchitects.com.au				CLIENTS: LUCY SHEPHERD & IAN DONALDSON PROJECT: ALTERATIONS AND ADDITIONS TO DETACHED DWELLING 64 FAIRLIGHT STREET, FAIRLIGHT NSW 2094 TITLE: ELEVATIONS				SCALE: 1:100 DRAWN: MS DATE: 10/11/22 JOB NO: 1915		DRAWING NO: DA10 ISSUE: L	
PLOTTED 10/11/22 15:57 PM											

PLOTTED 10/11/22 1:57 pm