

THIS PLAN IS ON M.M.
 LOT 120 DP 526584
 SITE AREA: 651.3 M²







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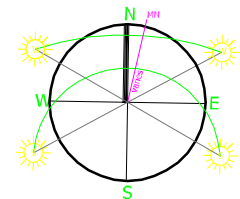
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CONTRACTOR ARE TO LAISE WITH THIRD PARTY SUPPLIERS TO CONFIRM EXACT REQUIREMENTS.

LEGEND

-  PROPOSED STAIR CASE
-  PROPOSED BINS AREA
-  PROPOSED SUB FLOOR ADDITION
-  TREE TO BE REMOVED
-  PROPOSED ADDITION
-  STRUCTURE TO BE REMOVED



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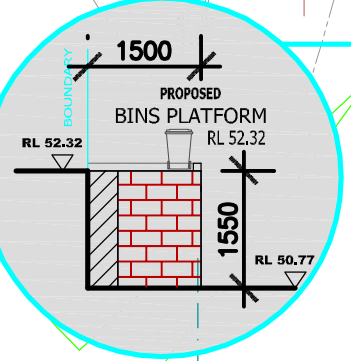
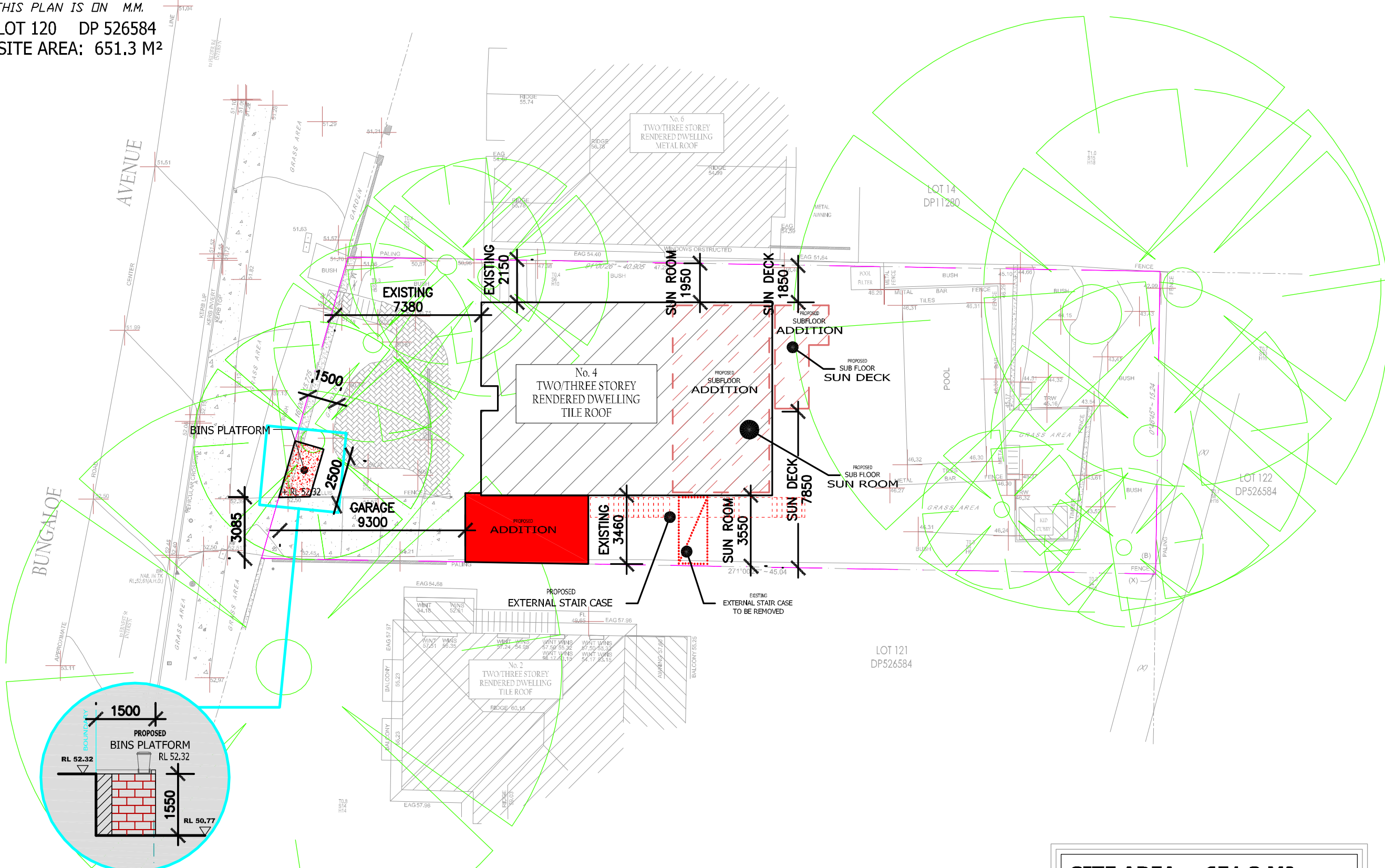
Tel: 02 9553 8777
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 Email: john@mgrupe.com.au
 anthony@mgrupe.com.au
 sam@mgrupe.com.au
 john.boar@mgrupe.com.au

PROPOSED ALTERATION AND ADDITION
 JOB : 4 BUNGALOE AVENUE, BALCONIAH HEIGHTS NSW 2053
 FOR : MR. PAUL GRATTIAN
 DRAWN BY : S. L. SCALE : 1:200 A3
 DATE : OCT 2019
 DRAWING : No.8278/19 SHEET : 1

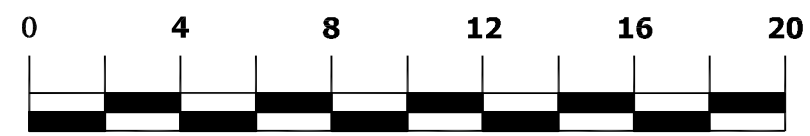
SUB	Detail	Date
CDC	DRAFT DESIGN	20/10/19
CDC	APPLICATION PROGRESS	20/11/19

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ABN: 610 4123 962



SITE PLAN



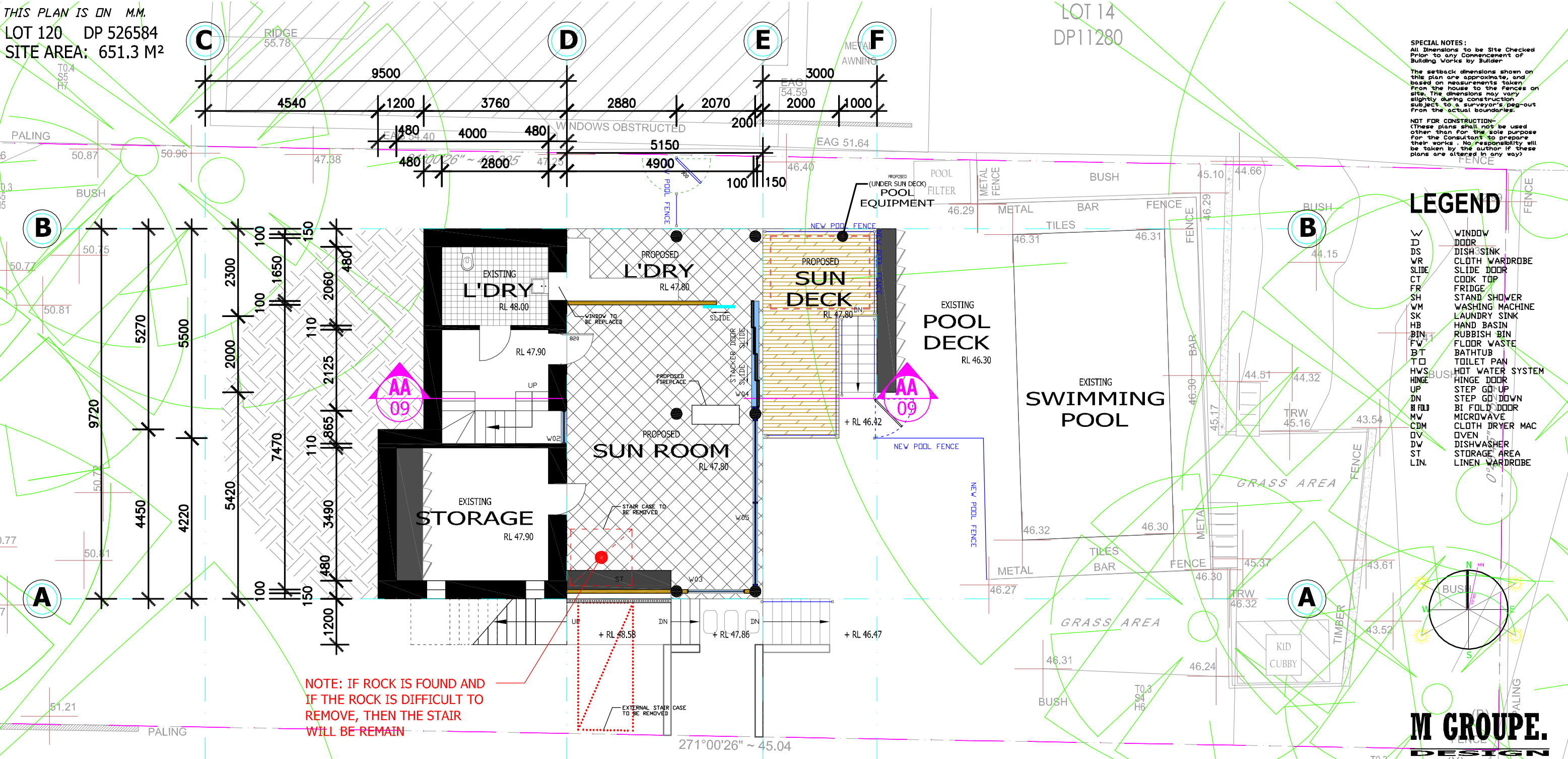
SCALE 1:200

SITE AREA = 651.3 M ²		
SUB FLOOR	EXISTING	28.716 M ²
	ADDITION	39.269 M²
GROUND FLOOR	EXISTING	119.70 M ²
FIRST FLOOR	EXISTING	70.700 M ²
	TOTAL	258.38 M²
GARAGE	ADDITION	19.698 M ²
SUN DECK	ADDITION	13.300 M ²
POOL DECK	EXISTING	26.300 M ²
	ADDITION	19.850 M²
	TOTAL	46.15 M²
SWIMMING POOL	EXISTING	31.720 M ²

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 SITE AREA: 651.3 M²

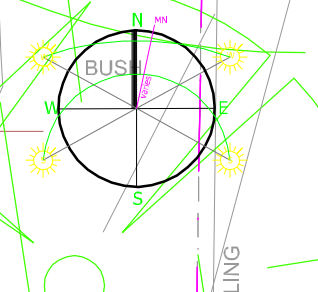
LOT 14
 DP11280

SPECIAL NOTES:
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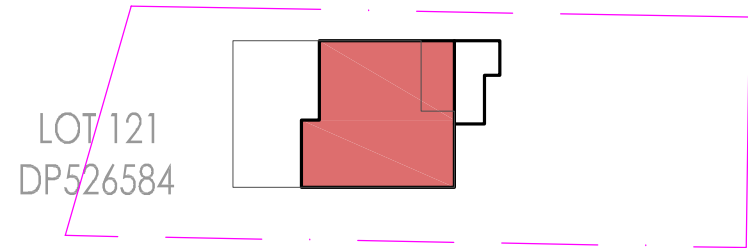
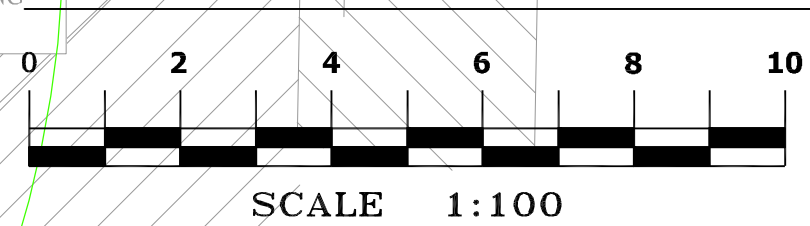
LEGEND

W	WINDOW
D	DOOR
DS	DISH SINK
WR	CLOTH WARDROBE
SL	SLIDE DOOR
CT	COOK TOP
FR	FRIDGE
SH	STAND SHOWER
WM	WASHING MACHINE
SK	LAUNDRY SINK
HB	HAND BASIN
BN	RUBBISH BIN
FW	FLOOR WASTE
BT	BATHTUB
TO	TOILET PAN
HWS	HOT WATER SYSTEM
HD	HINGE DOOR
UP	STEP GO UP
DN	STEP GO DOWN
IF	BI FOLD DOOR
MW	MICROWAVE
CDM	CLOTH DRYER MAC
OV	OVEN
DW	DISHWASHER
ST	STAIR
LIN	LINEN WARDROBE



NOTE: IF ROCK IS FOUND AND IF THE ROCK IS DIFFICULT TO REMOVE, THEN THE STAIR WILL BE REMAIN

(FLOOR AREA = 68.0 M²)
SUB FLOOR PLAN



KEY PLAN
 SCALE 1:500

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 sam@mgrupe.com.au
 john.boar@mgrupe.com.au

PROPOSED ALTERATION AND ADDITION
 JOB : 4 BELGRAVE AVENUE, BALCONIAH HEIGHTS NSW 2053
 FOR : MRL PAUL GRATTAN
 DRAWN BY : S. L. SCALE: 1:100 A3
 DATE: OCT 2019
 DRAWING : No.8278/19 SHEET : 2

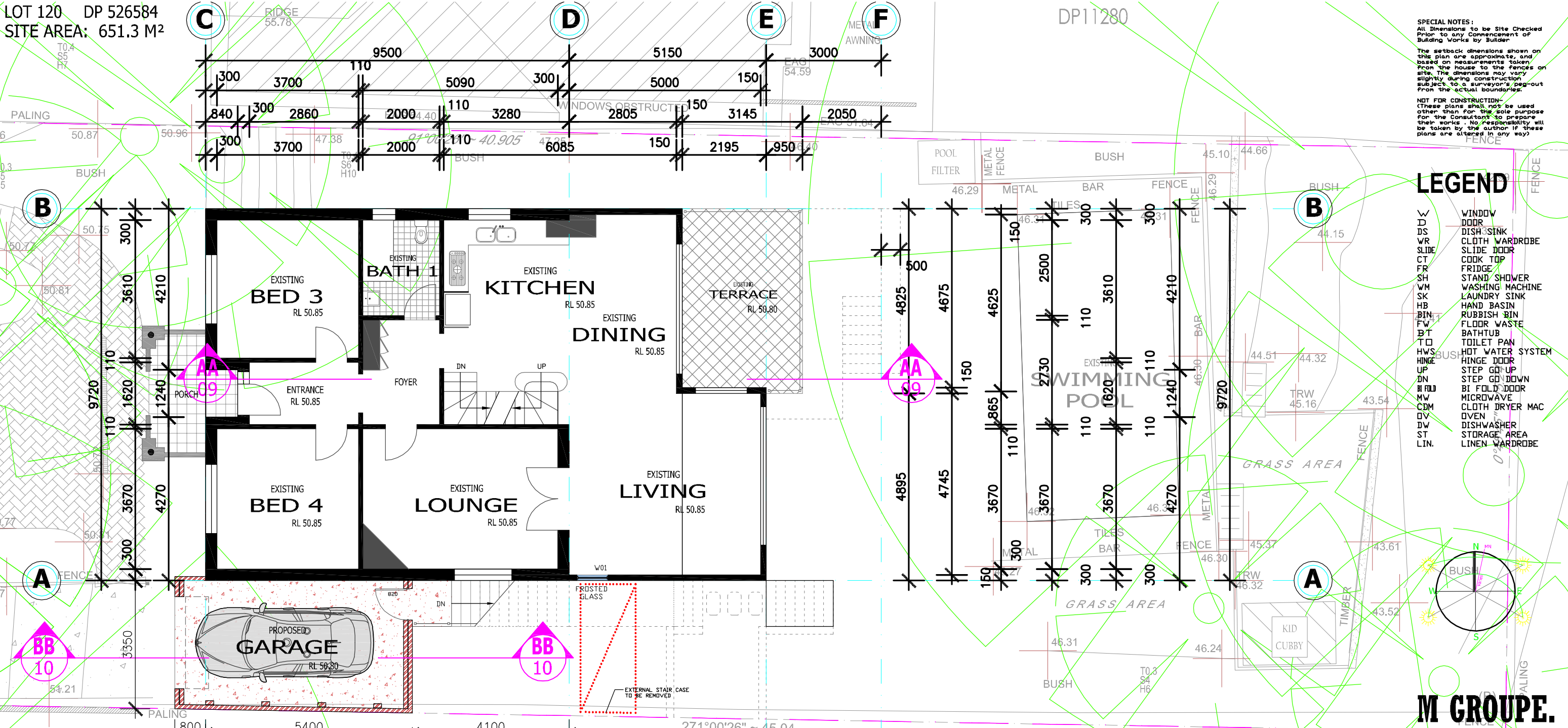
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CDC	APPLICATION PROGRESS	20/11/19

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 ABN: 610 423 962

LOT 120 DP 526584
SITE AREA: 651.3 M²

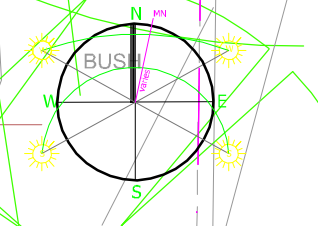
DP11280

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LEGEND

W	WINDOW
D	DOOR
DS	DISH SINK
VR	CLOTH WARDROBE
SL	SLIDE DOOR
CT	COOK TOP
FR	FRIDGE
SH	STAND SHOWER
WM	WASHING MACHINE
SK	LAUNDRY SINK
HB	HAND BASIN
BR	RUBBISH BIN
FW	FLOOR WASTE
B/T	BATHTUB
TO	TOILET PAN
HWS	HOT WATER SYSTEM
HINGE	HINGE DOOR
UP	STEP GO UP
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OV	OVEN
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ST	STORAGE AREA
LIN.	LINEN WARDROBE



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sam@mgroup.com.au
john.boar@mgroup.com.au

PROPOSED ALTERATION AND ADDITION
JOB: 4 BUNGALOW AVENUE, BALGOULAH HEIGHTS NSW 2093
FOR: MR. PAUL GRATTAN
DRAWN BY: S. L. SCALE: 1:100 A3
DATE: OCT 2019
DRAWING: No.8278/19 SHEET: 3

SUB	Detail	Date
CD	DRAFT DESIGN	20/10/19
CD	APPLICATION PROGRESS	20/11/19

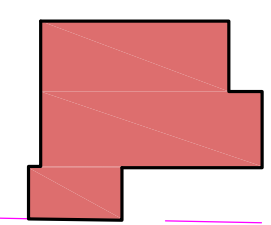
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(FLOOR AREA) = 119.7 M²
GROUND FLOOR PLAN



SCALE 1:100

LOT 121
DP526584

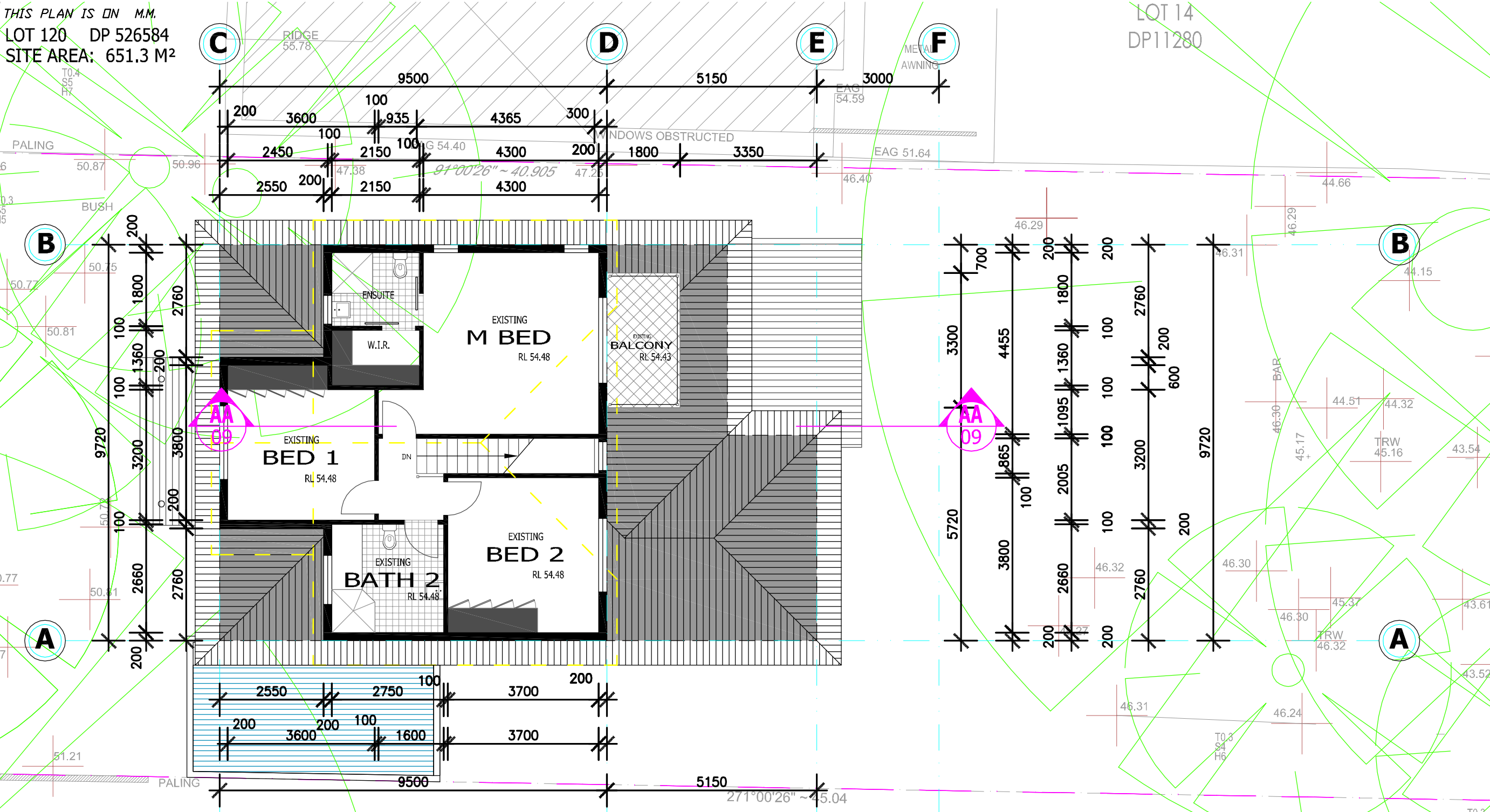


KEY PLAN

THIS PLAN IS ON M.M.
 LOT 120 DP 526584
 SITE AREA: 651.3 M²

LOT 14
 DP11280

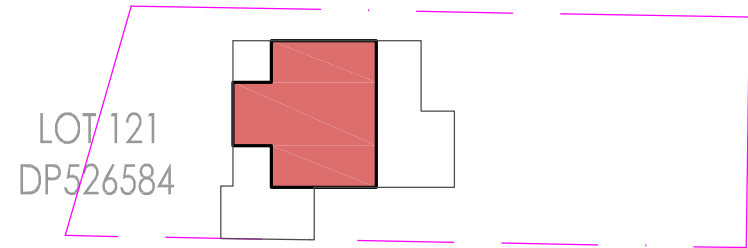
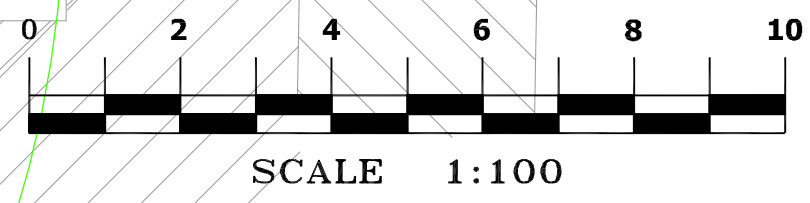
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LEGEND

W	WINDOW
D	DOOR
DS	DISH SINK
WR	CLOTH WARDROBE
SLIDE	SLIDE DOOR
CT	COOK TOP
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SH	STAND SHOWER
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SK	LAUNDRY SINK
HB	HAND BASIN
BIN	RUBBISH BIN
FW	FLOOR WASTE
BT	BATHTUB
TO	TOILET PAN
HWS	HOT WATER SYSTEM
HINGE	HINGE DOOR
UP	STEP GO UP
DN	STEP GO DOWN
IFOLD	BI FOLD DOOR
MW	MICROWAVE
CDM	CLOTH DRYER MAC
OV	OVEN
DW	DISHWASHER
ST	STORAGE AREA
LIN.	LINEN WARDROBE

(FLOOR AREA = 70.7 M²)
FIRST FLOOR PLAN



KEY PLAN

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 anthony@mgrupe.com.au
 sam@mgrupe.com.au
 john.boar@mgrupe.com.au

PROPOSED ALTERATION AND ADDITION
 JOB: 4 SURVIVAL APPLIC BALCONY/MAH HEIGHTS 18/19 2019
 FOR: MRL PAUL GRATTAN
 DRAWN BY: S. L SCALE: 1:100 A3
 DATE: OCT 2019
 DRAWING: No.8278/19 SHEET: 4

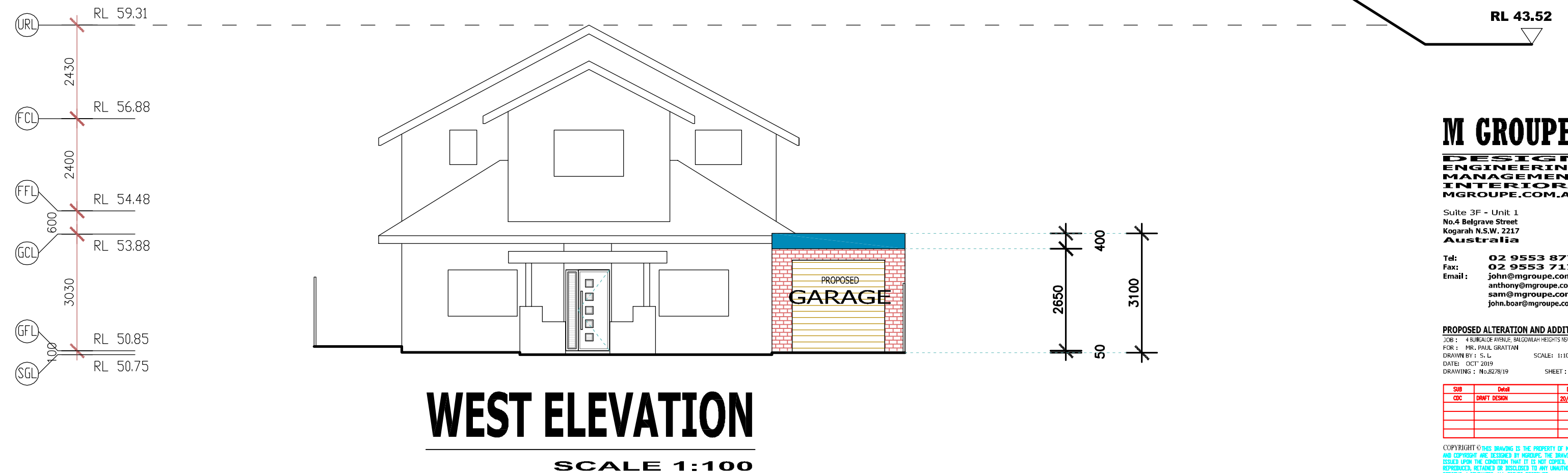
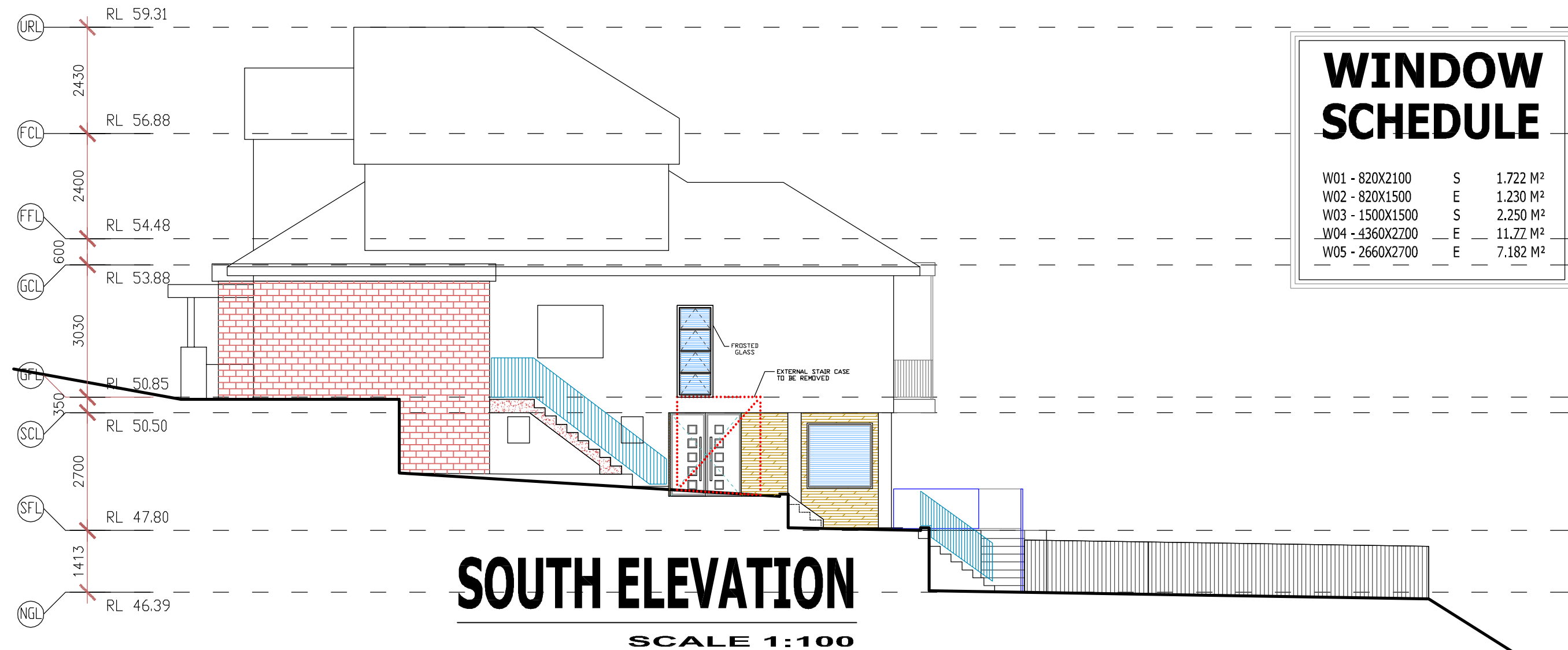
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 ABN: 610 4123 902

WINDOW SCHEDULE

W01 - 820X2100	S	1.722 M ²
W02 - 820X1500	E	1.230 M ²
W03 - 1500X1500	S	2.250 M ²
W04 - 4360X2700	E	11.77 M ²
W05 - 2660X2700	E	7.182 M ²

SPECIAL NOTES:
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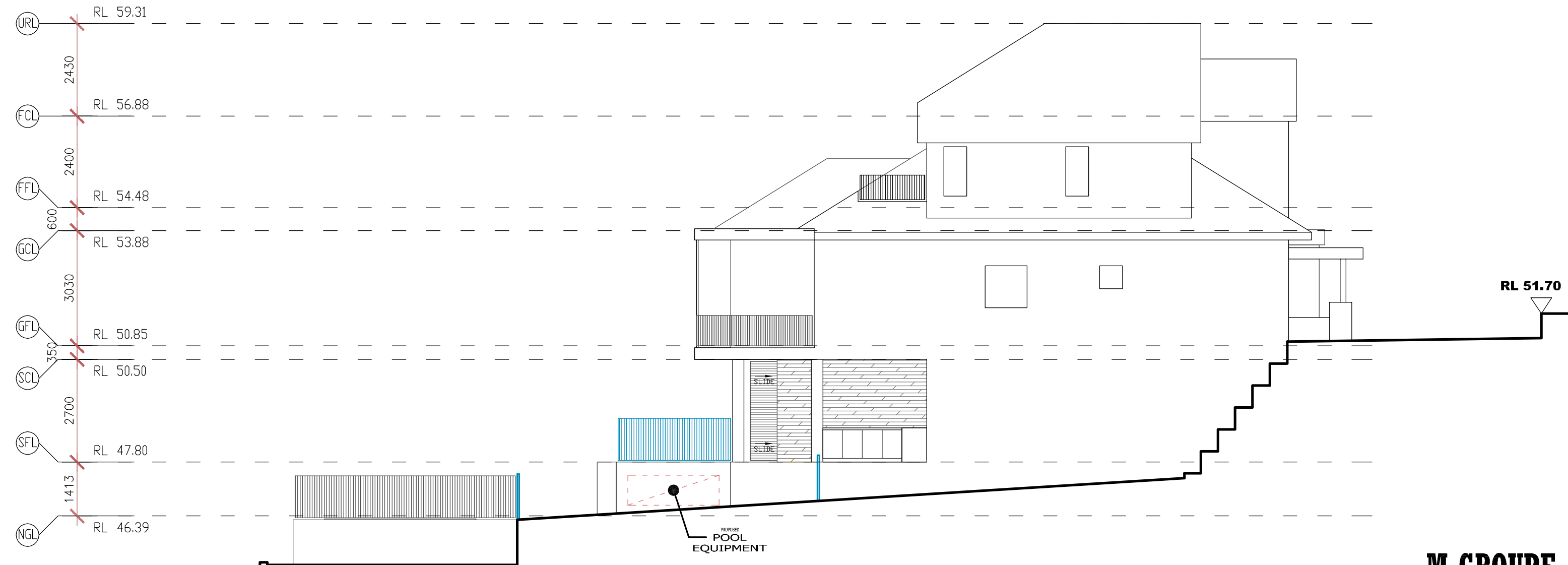
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 anthony@mgroupe.com.au
 sam@mgroupe.com.au
 john.boar@mgroupe.com.au

PROPOSED ALTERATION AND ADDITION
 JOB : 4 BUNCALOE AVENUE, BALGONLAH HEIGHTS NSW 2093
 FOR : MR. PAUL GRATTAN SCALE: 1:100 A3
 DRAWN BY : S. L. DATE: OCT 2019 SHEET : 6
 DRAWING : No.8278/19

SUB	Detail	Date
001	DRAFT DESIGN	20/10/19

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 ABN: 410 423 962

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NORTH ELEVATION

SCALE 1:100

WINDOW SCHEDULE

W01 - 820X2100	S	1.722 M ²
W02 - 820X1500	E	1.230 M ²
W03 - 1500X1500	S	2.250 M ²
W04 - 4360X2700	E	11.77 M ²
W05 - 2660X2700	E	7.182 M ²

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PROPOSED ALTERATION AND ADDITION
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 FOR : MR. PAUL GRATTIAN SCALE: 1:100 A3
 DRAWN BY : S. L. DATE: OCT' 2019
 DRAWING : No.8278/19 SHEET : 7

SUB	Detail	Date
00C	DRAFT DESIGN	20/10/19

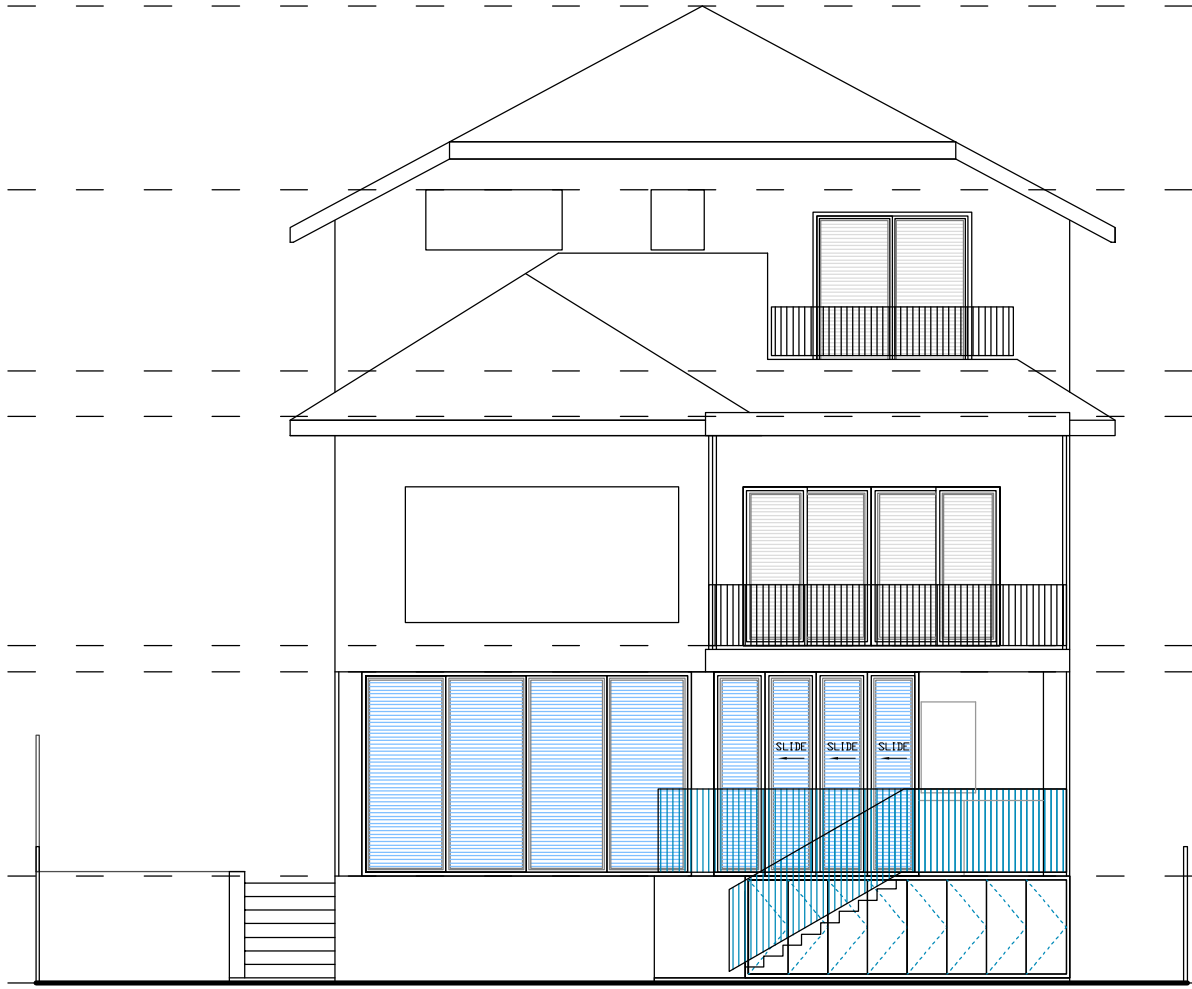
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 ABN: 610 423 962

WINDOW SCHEDULE

W01 - 820X2100	S	1.722 M ²
W02 - 820X1500	E	1.230 M ²
W03 - 1500X1500	S	2.250 M ²
W04 - 4360X2700	E	11.77 M ²
W05 - 2660X2700	E	7.182 M ²

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URL	RL 59.31
FCL	RL 56.88
FFL	RL 54.48
GCL	RL 53.88
GFL	RL 50.85
SCL	RL 50.50
SFL	RL 47.80
NGL	RL 46.39



EAST ELEVATION

SCALE 1:100

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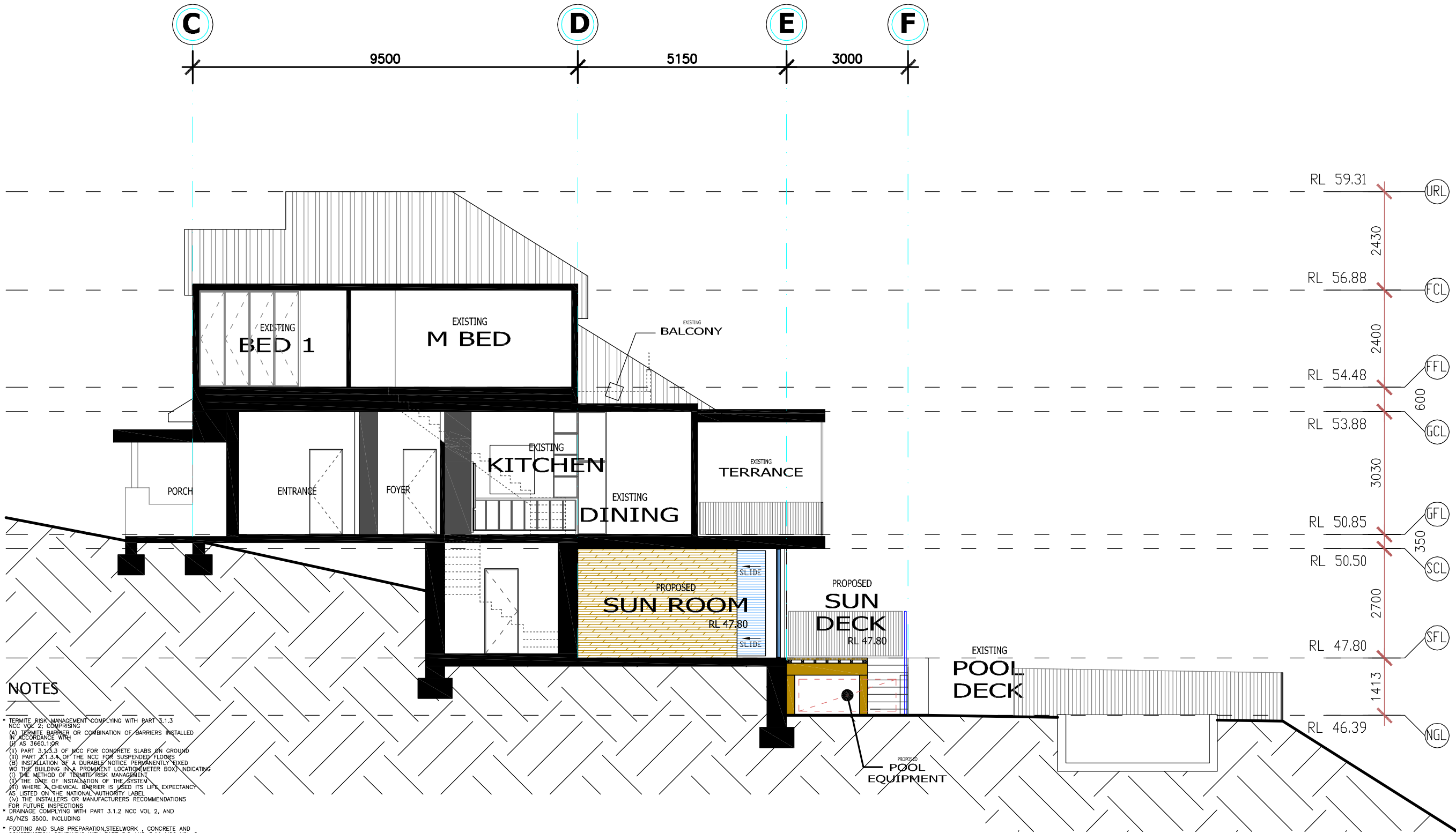
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 JOB : 4 BUNCALOE AVENUE, BALGOWLAH HEIGHTS NSW 2093
 FOR : MR. PAUL GRATTAN
 DRAWN BY : S. L. SCALE: 1:100 A3
 DATE: OCT 2019
 DRAWING : No.8278/19 SHEET : 8

SUB	Detail	Date
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 ABN: 610 423 962

THIS PLAN IS DN M.M.
 LOT 120 DP 526584
 SITE AREA: 651.3 M²

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NOTES

- * TERMITES RISK MANAGEMENT COMPLYING WITH PART 3.1.3 NCC VOL 2; COMPRISING
 - (A) TERMITE BARRIER OR COMBINATION OF BARRIERS INSTALLED IN ACCORDANCE WITH AS 3660.1:1995
 - (B) PART 3.1.3.3 OF NCC FOR CONCRETE SLABS ON GROUND
 - (C) PART 3.1.3.4 OF THE NCC FOR SUSPENDED FLOORS
 - (D) INSTALLATION OF A DURABLE NOTICE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION (METER BOX) INDICATING THE METHOD OF TERMITES RISK MANAGEMENT
 - (E) THE DATE OF INSTALLATION OF THE SYSTEM
 - (F) WHERE A CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL AUTHORITY LABEL
 - (G) THE INSTALLERS OR MANUFACTURERS RECOMMENDATIONS FOR FUTURE INSPECTIONS
- * DRAINAGE COMPLYING WITH PART 3.1.2 NCC VOL 2, AND AS/NZS 3500, INCLUDING
 - * FOOTING AND SLAB PREPARATION, STEELWORK, CONCRETE AND CONSTRUCTION COMPLYING WITH PART 3.2 AND 3.11 NCC VOL 2
 - * INSTALL A CONTINUOUS WATERPROOF MEMBRANE TO ANY SLAB CONSTRUCTION FOR A HABITABLE BUILDING BETWEEN THE CONCRETE SLAB CONSTRUCTION AND SURFACE TO CLAUSE 3.2.2.6 NCC VOL 2
 - * TIMBER FRAMING CONSTRUCTION COMPLYING WITH PART 3.4.3 NCC VOL 2 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES, SPACES, BRACING, SPANS, LOCATIONS AND STRESS GRADES, WHERE ROOF TRUSSES ARE TO BE USED, PROVIDE FULL DETAILS OF SAME PRINCIPAL CERTIFYING AUTHORITY BEFORE ERECTION OF THE ROOF FRAME, INCLUDING BRACING DETAILS
 - * SARKING MATERIALS USED IN THE ROOF OF THE CLASS 1 BUILDING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 25
 - * GLAZING COMPLYING WITH PART 3.6 NCC VOL 2
 - * INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH PART 3.7.2.2 NCC VOL 2, INCLUDING SMOKE ALARMS
 - * STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 NCC VOL 2 INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS
 - * BALUSTRADES / BARRIERS TO COMPLY WITH PART 3.9.2 NCC VOL 2
 - * WATERPROOFING OF WET AREAS INCLUDING BATHROOMS, SHOWERS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE COMPLYING WITH PART 3.8.1 NCC VOL 2 AND AUSTRALIAN STANDARD 3740
 - * TIMBER FRAMEWORK COMPLYING WITH ALL RELEVANT PROVISIONS OF AUSTRALIAN STANDARD 1684-PARTS 2 & 4 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES, SPACES, BRACING, SPANS, LOCATIONS AND STRESS GRADES
 - * AUSTRALIAN STANDARD AS 3500 PLUMBING AND DRAINAGE AND PART 5 DOMESTIC INSTALLATIONS
 - * CEILING INSULATION TO COMPLY WITH NSW PARTS 3.12.1 BUILDING
 - * BUILDING SEALING TO COMPLY WITH NCC PART 3.12.3
 - * SERVICES TO COMPLY WITH NCC PART 3.12.5
 - * STAIRS TO COMPLY WITH NCC PART 3.9.1.3

SECTION AA-AA

SCALE 1:100

NOTES :

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Australian Authorities.
2. All Building work to comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with AS3660.1-1995 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale Of Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
7. Wet area waterproofing shall comply with Part 3.8.1 of B.C.A
8. All stair balustrades to comply with Part 3.9 of B.C.A
9. Mechanical ventilation to all internal bathrooms and w.f.'s shall comply with Part 3.8.5 of B.C.A.
10. All timber framing shall comply with AS 1684 and Part 3.4.8 of B.C.A.
11. All glazing to comply with Part 3.6 of B.C.A.
12. W.C. doors to comply with Part 3.8.3.3 of the B.C.A. (Housing Provisions)

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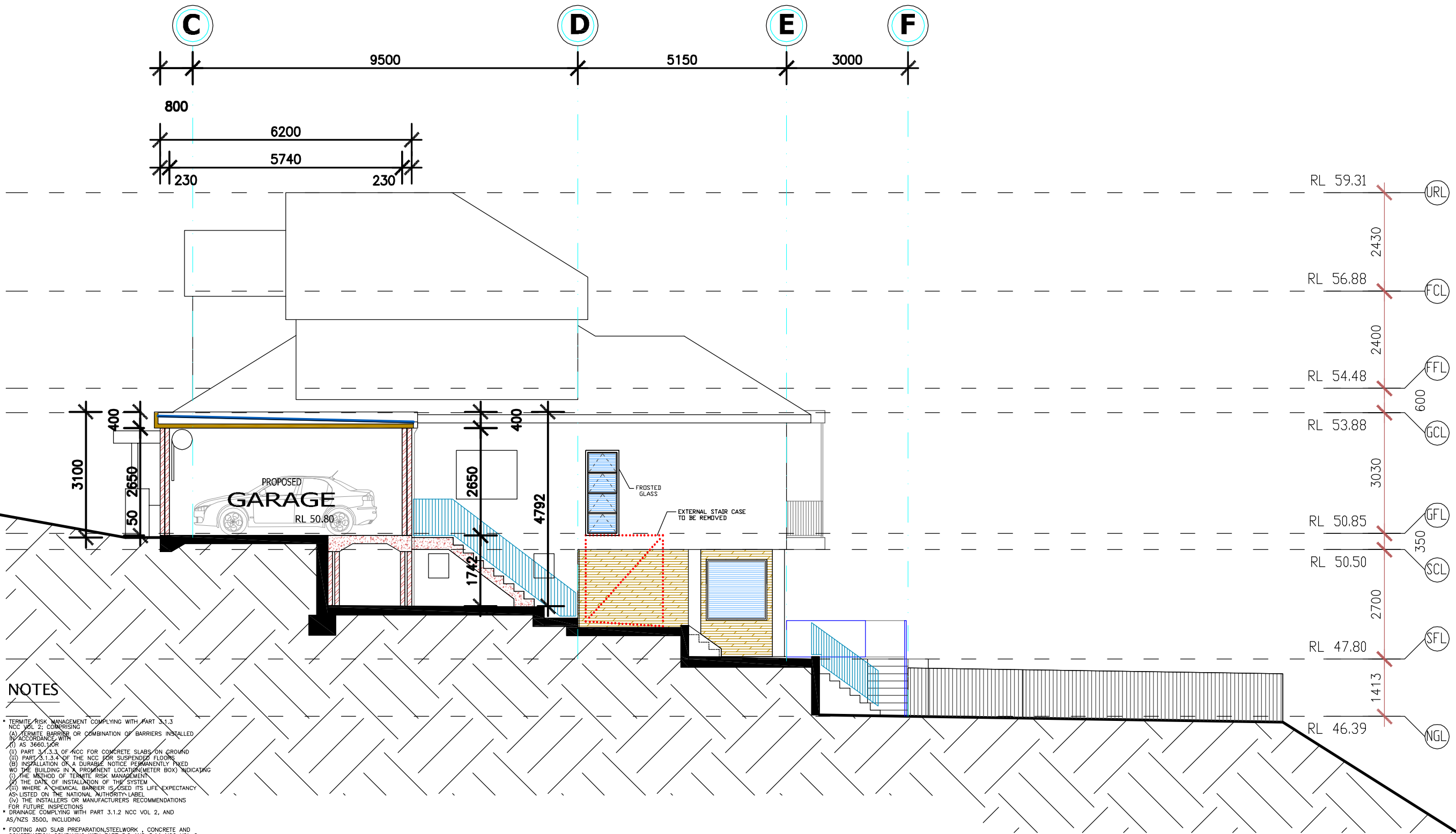
PROPOSED ALTERATION AND ADDITION
 JOB : 4 BUNCALOE AVENUE, BALCONIAH HEIGHTS NSW 2053
 FOR : MR. PAUL GRATTAN
 DRAWN BY : S.L. SCALE: 1:100 A3
 DATE: OCT 2019
 DRAWING: No.8278/19 SHEET : 9

SUB	Detail	Date
CDC	DRAFT DESIGN	20/10/19
CDC	APPLICATION PROGRESS	20/11/19

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 ABN: 610 423 962

THIS PLAN IS ON M.M.
 LOT 120 DP 526584
 SITE AREA: 651.3 M²

SPECIAL NOTES :
 All Dimensions to be Site Checked Prior to any Commencement of Building Works by Builder
 The setback dimensions shown on this plan are approximate, and based on measurements taken from the house to the fences on site. The dimensions may vary slightly during construction subject to a surveyor's peg-out from the actual boundaries.
NOT FOR CONSTRUCTION-
 (These plans shall not be used other than for the sole purpose for the Consultant to prepare their works. No responsibility will be taken by the author if these plans are altered in any way)



NOTES

- * TERMITES RISK MANAGEMENT COMPLYING WITH PART 3.1.3 NCC VOL 2: COBRING
- (A) TERMITES BARRIERS OR COMBINATION OF BARRIERS INSTALLED IN ACCORDANCE WITH
- (i) AS 3660.1/2
- (ii) PART 3.1.3.3 OF NCC FOR CONCRETE SLABS ON GROUND
- (iii) PART 3.1.3.4 OF THE NCC FOR SUSPENDED FLOORS
- (B) INSTALLATION OF A DURABLE NOTICE PERMANENTLY FIXED TO THE BUILDING IN A PROMINENT LOCATION (METER BOX) INDICATING
- (i) THE METHOD OF TERMITES RISK MANAGEMENT
- (ii) THE DATE OF INSTALLATION OF THE SYSTEM
- (iii) WHERE A CHEMICAL BARRIER IS USED ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL AUTHORITY LABEL
- (iv) THE INSTALLERS OR MANUFACTURERS RECOMMENDATIONS FOR FUTURE INSPECTIONS
- * DRAINAGE COMPLYING WITH PART 3.1.2 NCC VOL 2, AND AS/NZS 3500, INCLUDING
- * FOOTING AND SLAB PREPARATION, STEELWORK, CONCRETE AND CONSTRUCTION COMPLYING WITH PART 3.2 AND 3.11 NCC VOL 2
- * INSTALL A CONTINUOUS WATERPROOF MEMBRANE TO ANY SLAB CONSTRUCTION FOR A HABITABLE BUILDING BETWEEN THE CONCRETE SLAB CONSTRUCTION AND SURFACE TO CLAUSE 3.2.2.6 NCC VOL 2
- * TIMBER FRAMING CONSTRUCTION COMPLYING WITH PART 3.4.3 NCC VOL 2 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES, SPACES, BRACING, SPANS, LOCATIONS AND STRESS GRADES, WHERE ROOF TRUSSES ARE TO BE USED, PROVIDE FULL DETAILS OF SAME. PRINCIPAL CERTIFYING AUTHORITY BEFORE ERECTION OF THE ROOF FRAME, INCLUDING BRACING DETAILS
- * SARKING MATERIALS USED IN THE ROOF OF THE CLASS 1 BUILDING MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5 COMPLYING WITH CLAUSE 3.7.1.9 NCC VOL 2 AND BE SUITABLE FOR WEATHERPROOFING
- * MASONRY CONSTRUCTION COMPLYING WITH PART 2.2 NCC VOL 2
- * GLAZING COMPLYING WITH PART 3.6 NCC VOL 2
- * INSTALLATION OF SMOKE DETECTORS TO COMPLY WITH PART 3.7.2.2 NCC VOL 2, INCLUDING SMOKE ALARMS
- * STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 NCC VOL 2 INCLUDING GEOMETRY AND CONSTRUCTION REQUIREMENTS
- * BALUSTRADES / BARRIERS TO COMPLY WITH PART 3.9.2 NCC VOL 2
- * WATERPROOFING OF WET AREAS INCLUDING BATHROOMS, SHOWERS, LAUNDRIES, SANITARY COMPARTMENTS AND THE LIKE COMPLYING WITH PART 3.8.1 NCC VOL 2 AND AUSTRALIAN STANDARD 3740
- * TIMBER FRAMEWORK COMPLYING WITH ALL RELEVANT PROVISIONS OF AUSTRALIAN STANDARD 1684-PARTS 2 & 4 INCLUSIVE OF REQUIREMENTS FOR MEMBER SIZES, SPACES, BRACING, SPANS, LOCATIONS AND STRESS GRADES
- * AUSTRALIAN STANDARD AS 3500 PLUMBING AND DRAINAGE AND PART 5 DOMESTIC INSTALLATIONS
- * CEILING INSULATION TO COMPLY WITH NSW PARTS 3.12.1 BUILDING
- * BUILDING SEALING TO COMPLY WITH NCC PART 3.12.3
- * SERVICES TO COMPLY WITH NCC PART 3.12.5
- * STAIRS TO COMPLY WITH NCC PART 3.9.1.3

SECTION BB-BB

SCALE 1:100

NOTES :

1. Builder to check all Building and Boundary Dimensions Prior to Commencement of work so that the work can be carried out in accordance to Australian Authorities.
2. All Building work to comply with Australian Building codes and Local Council Requirements.
3. Provide Termite Protection in Accordance with AS3660.1-1995 Requirements.
4. All Dimensions shown are Theoretical only and are subject to Site Measure during Construction.
5. Do not Scale Of Drawings.
6. Site Boundary Survey to be provided where necessary to confirm Boundary Position in Accordance with Adjoining Properties and Services.
7. Wet area waterproofing shall comply with Part 3.8.1 of B.C.A
8. All stair balustrades to comply with Part 3.9 of B.C.A
9. Mechanical ventilation to all internal bathrooms and w.f.'s shall comply with Part 3.8.5 of B.C.A.
10. All timber framing shall comply with AS 1684 and Part 3.4.8 of B.C.A.
11. All glazing to comply with Part 3.6 of B.C.A.
12. W.C. doors to comply with Part 3.8.3.3 of the B.C.A. (Housing Provisions)

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 SITE AREA: 651.3 M²




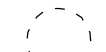
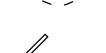
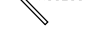
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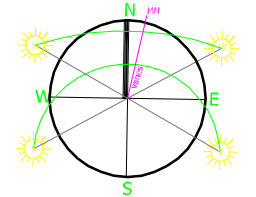
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LEGEND

-  WINDS DIRECTION
-  VIEWS
-  POTENTIAL NOISE
-  TREE TO BE REMOVED
-  SITE ACCESS
-  STRUCTURE TO BE REMOVED



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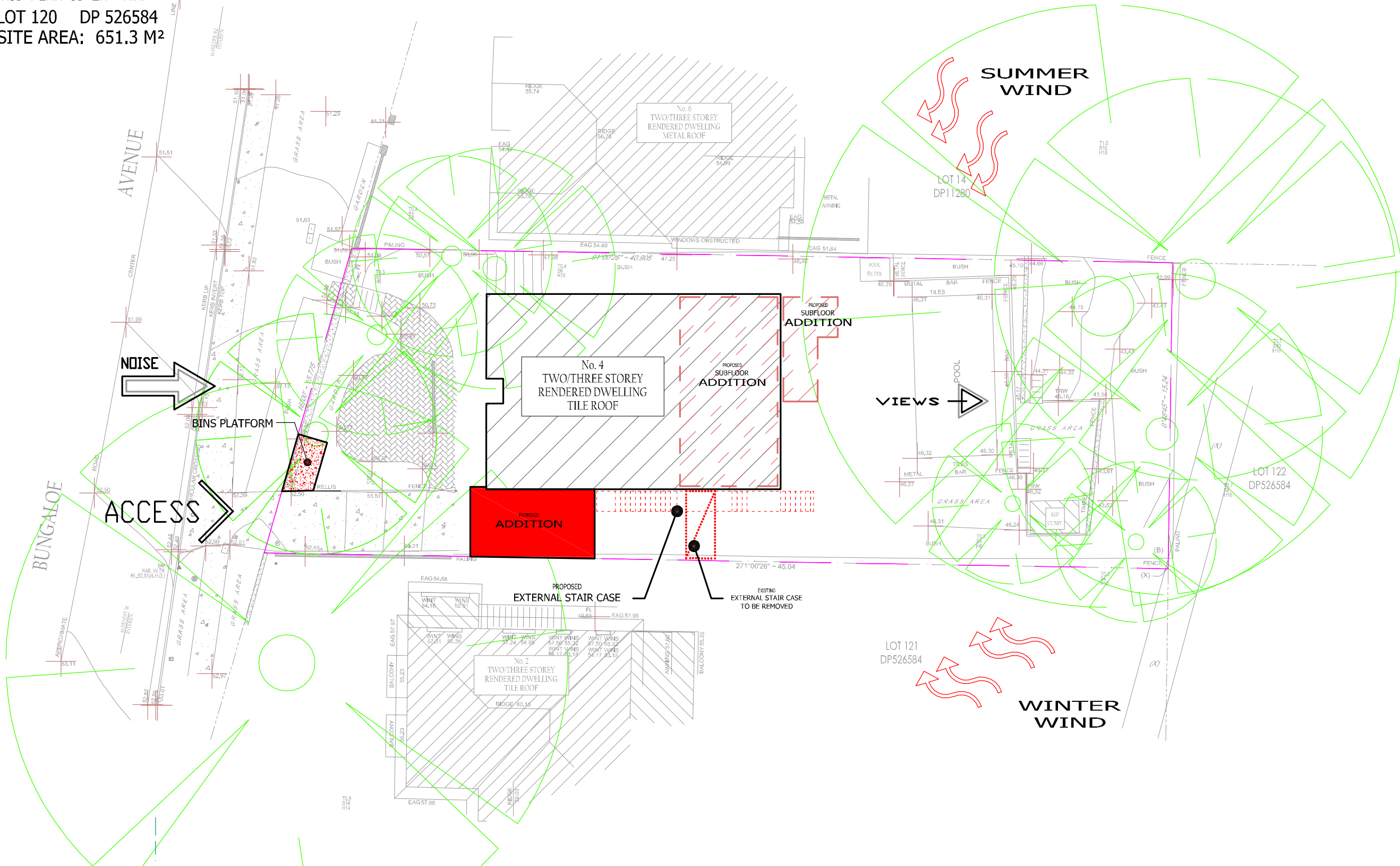
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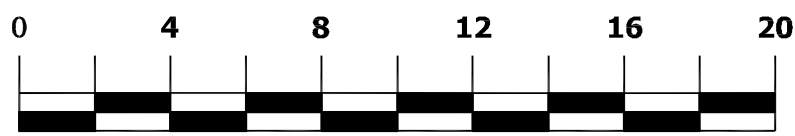
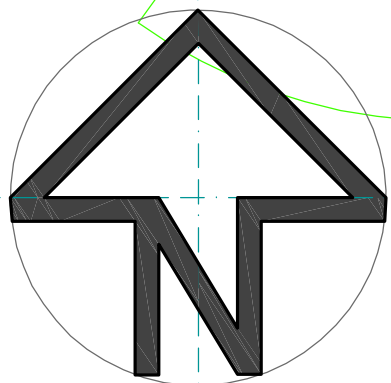
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 FOR : MR. PAUL GRATTAN
 DRAWN BY : S. L. SCALE: 1:200 A3
 DATE: OCT 2019
 DRAWING: No.8278/19 SHEET : 11

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 A.B.M. 410 423 502



SITE ANALYSIS PLAN



SCALE 1:200

THIS PLAN IS ON M.M.
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 SITE AREA: 651.3 M²





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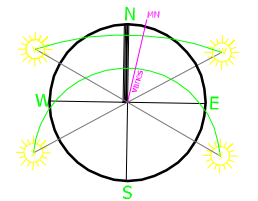
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LEGEND

-  9 AM
-  12 PM
-  3 PM
-  PROPOSED GARAGE



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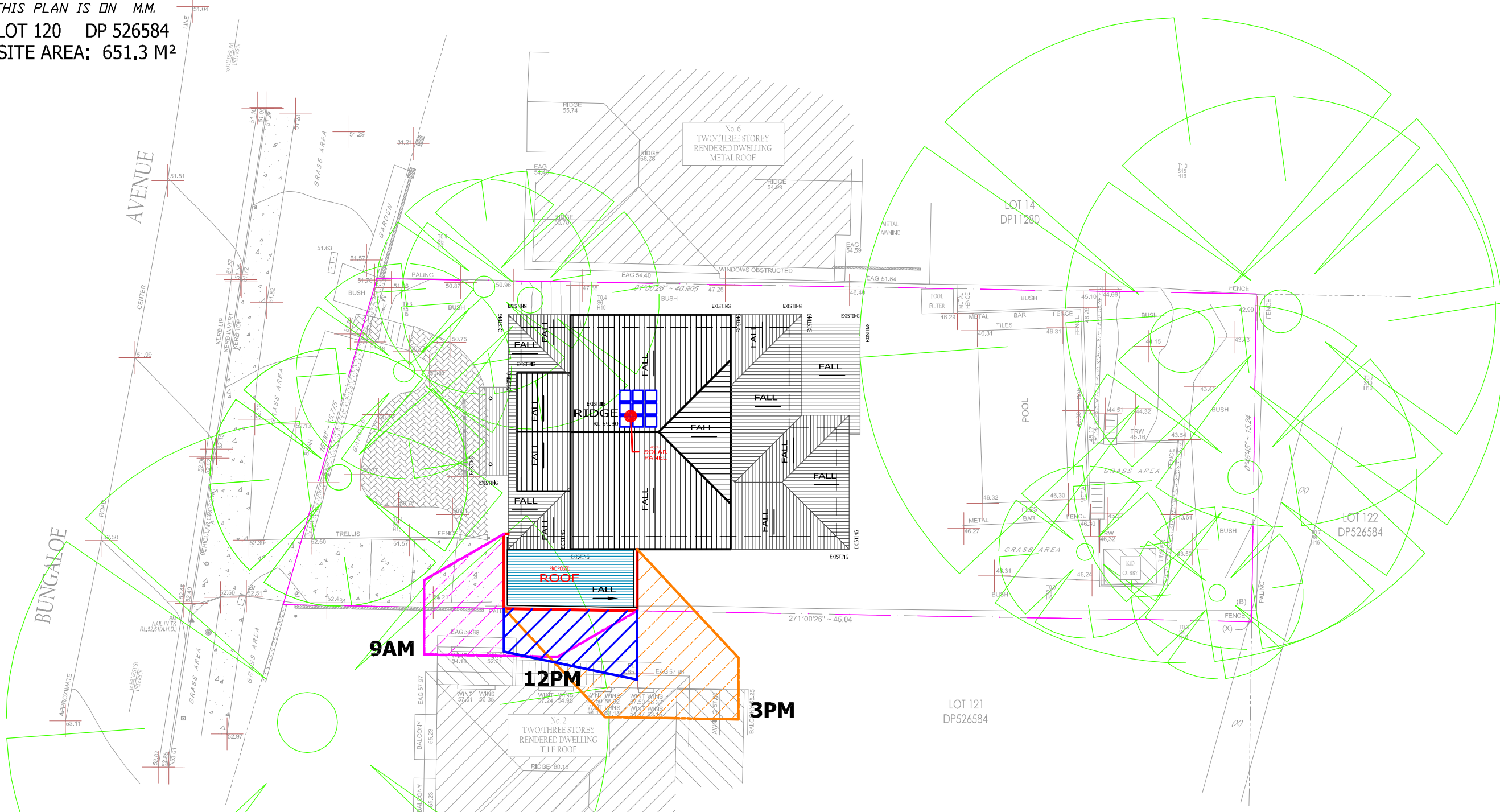
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 FOR : MR. PAUL GRATTAN SCALE: 1:200 A3
 DRAWN BY : S.L. DATE: OCT 2019
 DRAWING : No.8278/19 SHEET : 12

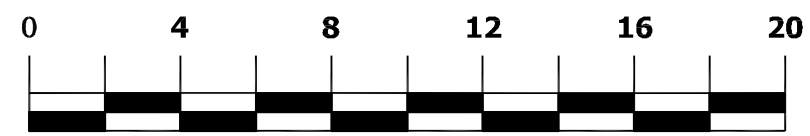
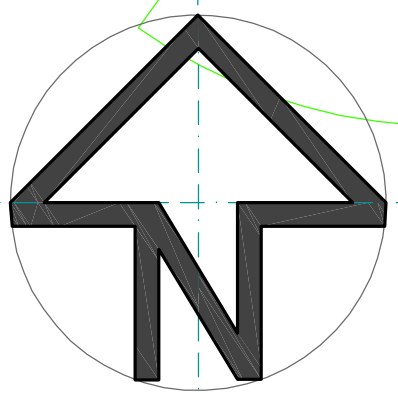
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 A.B.M. 410 423 502



**(PROPOSED ADDITION GARAGE)
 (21ST MARCH/SEPTEMBER AT 9AM, 12PM AND 3PM)**

PROPOSED SHADOWING PLAN



SCALE 1:200

THIS PLAN IS ON M.M.
 LOT 120 DP 526584
 SITE AREA: 651.3 M²





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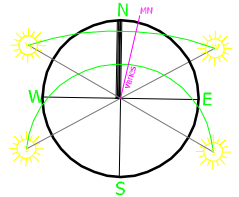
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LEGEND

-  9 AM
-  12 PM
-  3 PM
-  PROPOSED GARAGE



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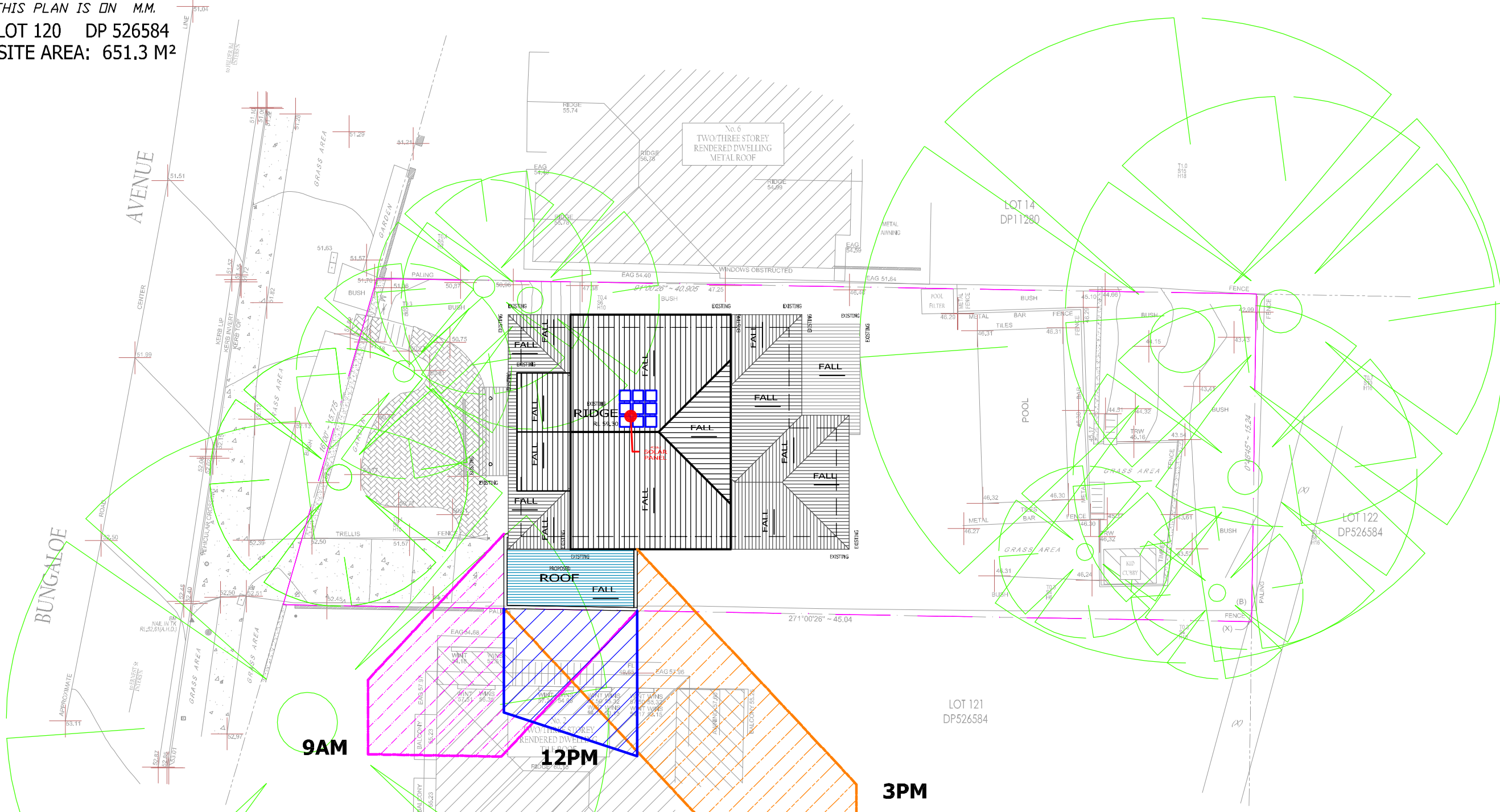
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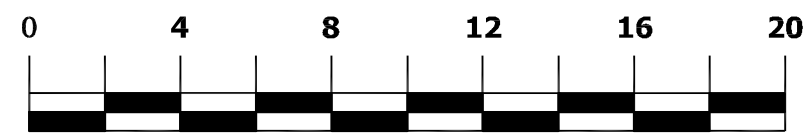
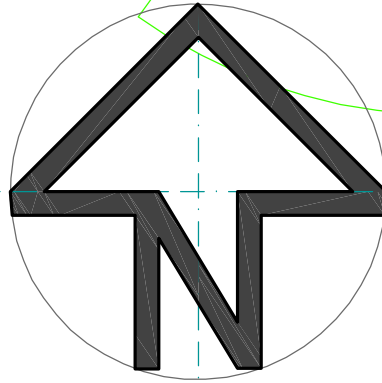
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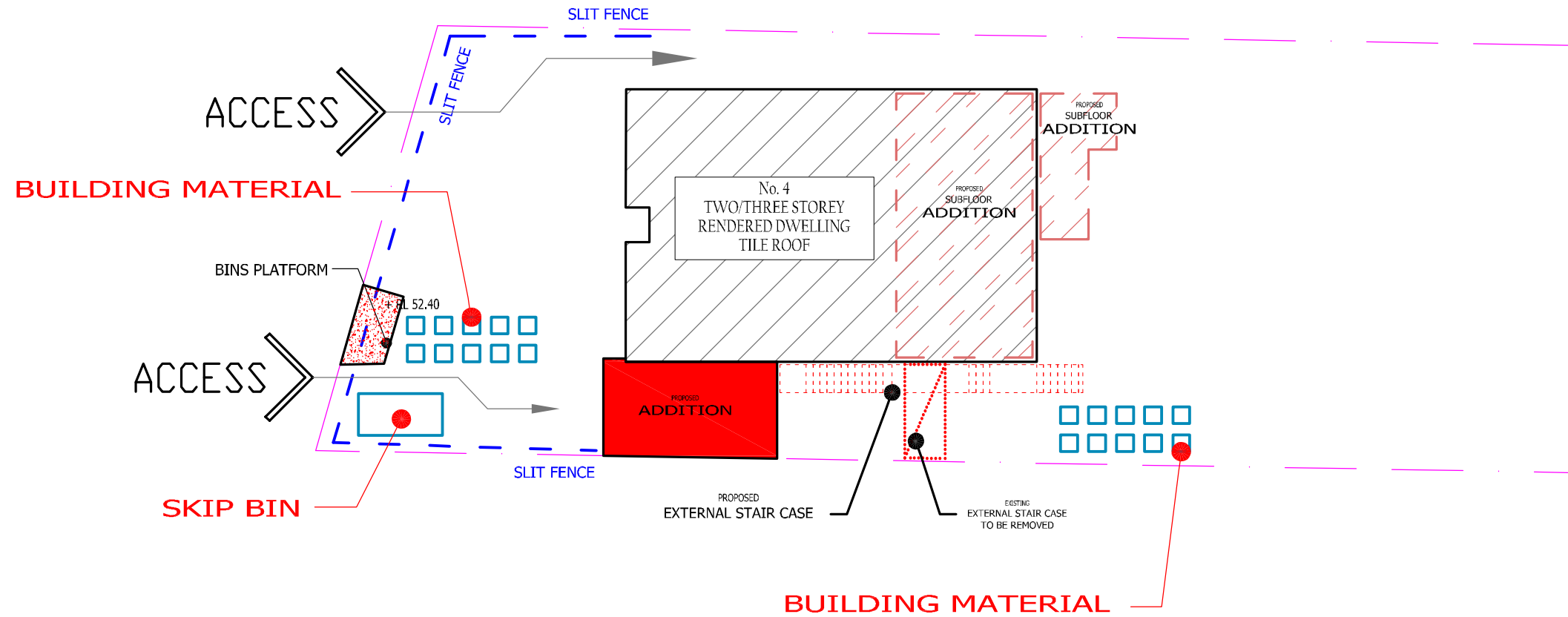


(PROPOSED ADDITION GARAGE)
(21ST JUNE AT 9AM, 12PM AND 3PM)

PROPOSED SHADOWING PLAN

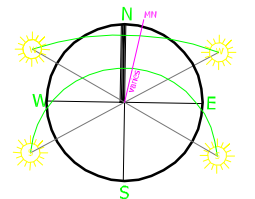


SCALE 1:200



LEGEND

- PROPOSED STAIR CASE
- PROPOSED BINS AREA
- PROPOSED SUB FLOOR ADDITION
- TREE TO BE REMOVED
- PROPOSED ADDITION
- STRUCTURE TO BE REMOVED



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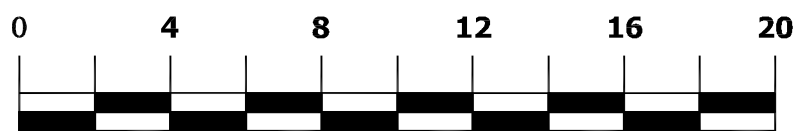
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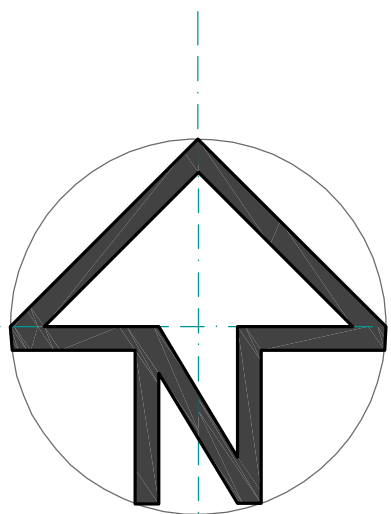
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EROSION AND SEDIMENT CONTROL PLAN



SCALE 1:200



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 SITE AREA: 651.3 M²

LANDSCAPE AREA = 282.5 M² (43%)







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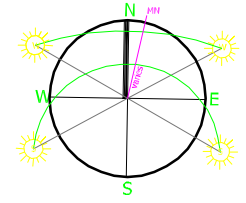
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LEGEND

-  PROPOSED STAIR CASE
-  PROPOSED BINS AREA
-  PROPOSED SUB FLOOR ADDITION
-  TREE TO BE REMOVED
-  PROPOSED ADDITION
-  STRUCTURE TO BE REMOVED



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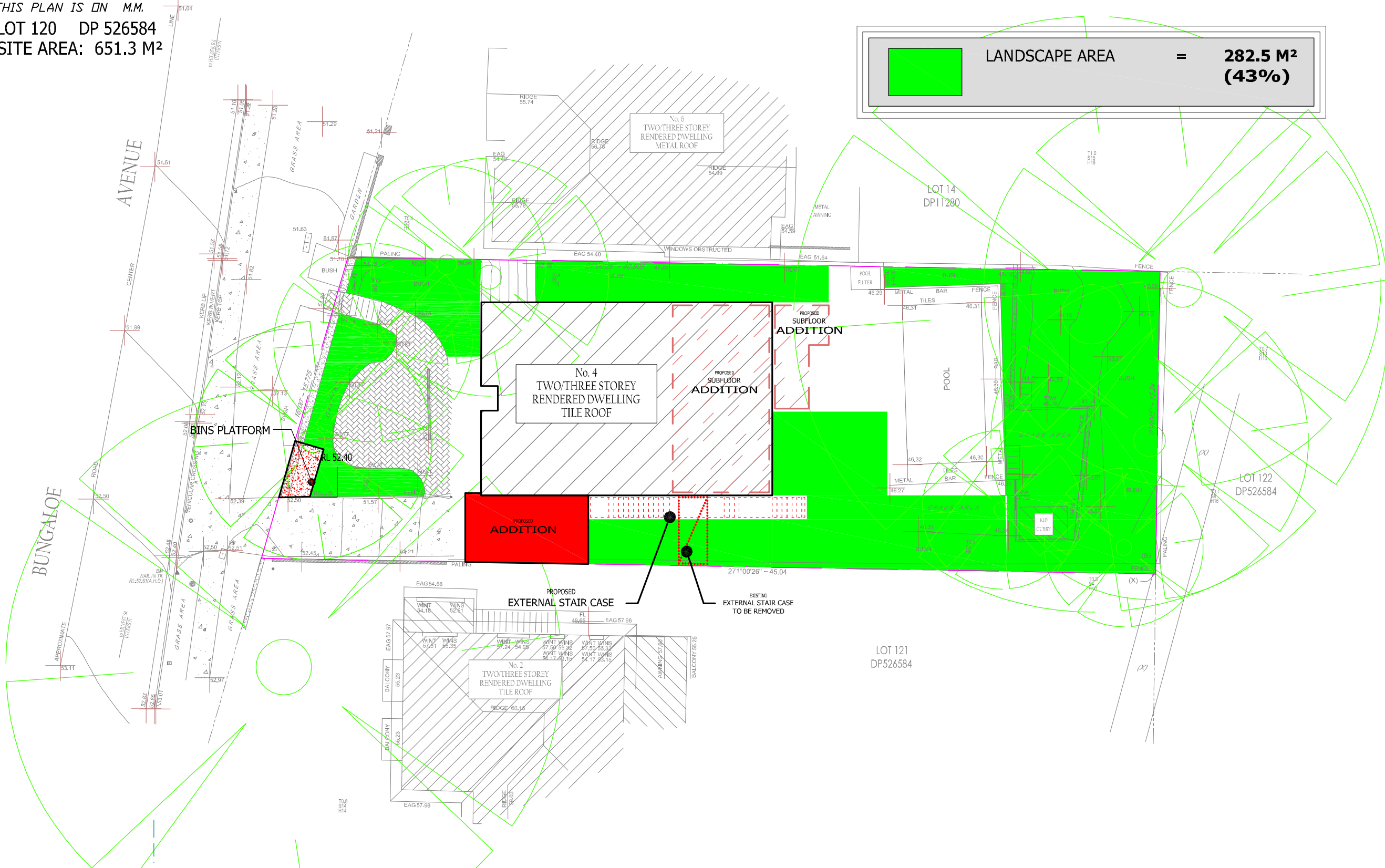
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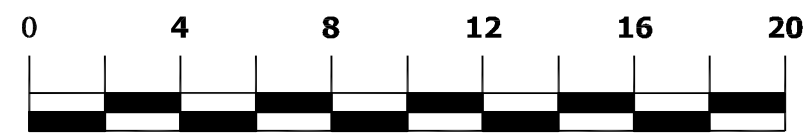
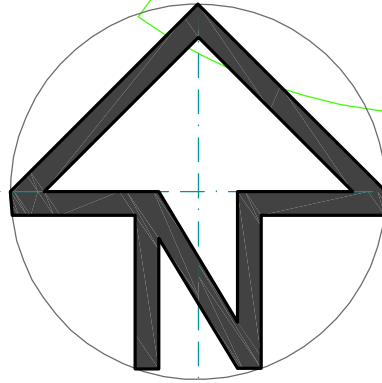
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LANDSCAPE PLAN



SCALE 1:200



Build something great™

BoralSampler



Flat



Painted Wide Fascia
Colour: Cream 5

Gutter



Powdercoat/Painted Gutters
Colour: Warm Grey 1

Fascia



Painted Fascia
Colour: Red 2

Windows



Windows & Doors
Colour: White Birch

Rendered



Cement Render
Colour: Cream 4

Concrete



Concrete
Colour: Standard Grey

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Mix and match brick colours, roof tiles and fascia/gutter colours with ease. Choose from hundreds of possibilities then download, email, print and share your selections.

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