

the certification group
enhancing building performance

22nd April 2005

Pittwater Council
PO Box 882
Mona Vale NSW 1660

Dear Sir/Madam,

**Re: Development Application No.N0972/03
Our Construction Certificate No 105/2005-
Premises: No 3a Dygal Street, Mona Vale**

Please find attached a copy of the following:-

- Construction Certificate, stamped approved plans and relevant documentation.
- Notice to Commence Building Work.
- Appointment of a Principal Certifying Authority.

In accordance with the regulations we have enclosed a cheque for the sum of \$30.00 for the submission of the Part 4A certificate.

Should you have any further enquiries please do not hesitate to contact us and we will be pleased to assist you.

**NB:(Please forward receipt for the above \$30.00 fee to The Certification Group P/L.
PO Box 870 Narrabeen NSW 2101)**

Yours faithfully,

Wayne Treble- Director
The Certification Group P/L

R 165959

Pittwater Council

OFFICIAL RECEIPT

22/04/2005 Receipt No 165959

To THE CERTIFICATION GROUP

PO BOX 870
NARRABEEN

Applic Reference	Amount
GL Re PRVC-Priv	\$30.00
1 X DAN0972/03	

Total:	\$30.00
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Amounts Tendered

Cash	\$0.00
Cheque	\$30.00
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$30.00
Rounding	\$0.00
Change	\$0.00
Nett	\$30.00

Printed 22/04/2005 4:47:09

Cashier GHill



the certification group
enhancing building performance

CONSTRUCTION CERTIFICATE DETERMINATION

Issued under the Environmental Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

CONSTRUCTION CERTIFICATE NO: 105/2005

DETERMINATION

Decision: Approved
Date of Decision: 22/04/2005

SUBJECT LAND

Address: No 3a Dygal Street, Mona Vale
Lot No, DP: Lot 3, DP 217045

DESCRIPTION OF DEVELOPMENT Demolition of the existing dwelling and construction of two detached dwellings.

APPLICANT

Name: Tom Mclean
Address: No 3a Dygal Street, Mona Vale
Contact Number: (tel) tel 9913 7407

OWNER

Name: Mrs A McLean & Mrs L Porter
Address: No 3a Dygal Street, Mona Vale
Contact Number: (tel) tel 9913 7407

PLANS AND SPECIFICATIONS

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with "The Certification Group" stamp.

DRAWING NUMBER	DATE
Architectural plans No CC-01 Issue B dated March 2005, CC-02 Issue A dated January 2005, CC-03 Issue A dated January 2005, prepared by Sean Gartner Architects.	Date as indicated with drawing number.
Structural plans No S01 dated Nov 2004, S02 Rev B dated February 2005, S03, S04, S05, S06, S07, S08, S09, S10 dated November 2004, prepared by Northern Beaches Consulting Engineers. P/L	Date as indicated with drawing number.

28 Cook Terrace Mona Vale NSW 2103 . PO Box 870 Narrabeen NSW 2101
tel 9944 8222 . fax 9944 6330 . email: info@thecgroup.com.au . www.thecgroup.com.au . acn 111 092 632

Stormwater plans No D01 Revision A dated February 2005, D02 dated November 2004, prepared by Northern Beaches Consulting Engineers. P/L	Date as indicated with drawing number.
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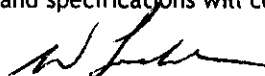
ATTACHMENTS

Landscape plan No L01A, prepared by Landscapes Landscape Architecture.	19 January 2005
Landscape Architects certificate, certifying Landscape plan	15 February 2005
Footpath plans No CC-04 Issue D, CC-05 Issue A, prepared by Sean Gartner Architects.	January 2005
Pittwater Council letter advising Development consent is operative.	4 January 2005
Sydney Water Notice of Requirements. (Case Number 74928)	22 February 2005
Equibuilt Consultant Access certificate, certifying access requirements.	14 December 2004
Pittwater Council Deed of Agreement - Coloured Concrete Driveways.	1 February 2005
Pittwater Council approved access driveway profile.	20 January 2005
Sydney Water Quick Check Stamp	23 December 2005
Sean Gartner Architects certificate certifying internal driveway.	28 February 2005
Northern Beaches Engineers P/L certificate certifying compliance with condition B19 & B29	4 March 2005
Northern Beaches Engineers P/L certificate certifying stormwater plans.	January 2005
Construction Certificate Application Form	15 December 2004_
Section 94 Contributions receipt	4 April 2005
Long Service Levy Receipt	4 April 2005

CERTIFICATE

I certify that the work if completed in accordance with these plans and specifications will comply with the requirements of S81A (5) of the Environmental Planning and Assessment Act 1979.

SIGNATURE



22 APR 2005

DATE OF ENDORSEMENT

CERTIFICATE NO

105/2005

CERTIFYING AUTHORITY

Name of Certifying Authority
Name of Accredited Certifier
Registration No
Contact No
Address

THE CERTIFICATION GROUP P/L
Wayne Treble
P0100 - Dept of Infrastructure, Planning & Natural Resources
PH (02) 9944 8222, FAX (02) 9944 6330
PO BOX 870 NARRABEEN NSW 2101

DEVELOPMENT CONSENT

Council
Development Consent No
Date of Determination

Pittwater Council
N0972/03
No 4 January 2005

BUILDING CODE OF AUSTRALIA
CLASSIFICATION

1a

Pittwater Council

OFFICIAL RECEIPT

04/04/2005 Receipt No 164969

To T N & A MCLEAN

Applic	Reference	Amount
GL Re	OLSL-Buil N0972/03	\$1,187.10
GL Re	SCSF-- S94 N0972/03	\$877.00
GL Re	SLEL-S94 N0972/03	\$875.00
GL Re	SOPB-S94 N0972/03	\$4,906.00

Total: \$7,845.10

Amounts Tendered

Cash	\$0.00
Cheque	\$7,845.10
Card	\$0.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$7,845.10
Rounding	\$0.00
Change	\$0.00
Nett	\$7,845.10

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Cashier GHill

Residential Construction Warranty



Certificate of Insurance

Adco Constructions Pty Ltd
PO Box 905
CROWS NEST NEW SOUTH WALES 2085

COUNCIL COPY

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92

Of The: Home Building Act 1989

Issued By: Vero Insurance Limited

ABN 48 006 297 1107

Building Contract Details

Contract Date: April 08, 2005

Declared Building Contract Value: \$596,627.00

(Refer policy for indemnity limit)

Carried Out By: Adco Constructions Pty Ltd

ABN: 46001044391

Licence No: 9854

For: Thomas Norman McLean

In Respect Of: Single Dwelling

At: House No. 3A/1

Dygal Street

MONA VALE NEW SOUTH WALES 2103

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1989 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and successors in the title to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N XLJT76UJABY

Printed 21/04/2005

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 006 297 1107

Vero Construction and Engineering is a division of Vero Insurance Limited.
V4584 WTX 11/03

Residential Construction Warranty

vero

construction and engineering

Certificate of Insurance

Adco Constructions Pty Ltd
PO Box 996
CROWS NEST NEW SOUTH WALES 2085

COUNCIL COPY

Form 1
Section 92
Home Building Act 1989

CERTIFICATE IN RESPECT OF INSURANCE

Contract Of Insurance Complies With: Section 92
Of The: Home Building Act 1989

Issued By: Vero Insurance Limited
ABN 48 005 297 807

Building Contract Details

Contract Date: April 08, 2005
Declared Building Contract Value: \$596,627.00

(Refer policy for indemnity limit)

Carried Out By: Adco Constructions Pty Ltd
ABN: 48001044391
Licence No: 9864
For: Thomas Notman McLean

In Respect Of: Single Dwelling
At: House No. 3A/2
Dygal Street
MONA VALE NEW SOUTH WALES 2103

Permit Authority: Pittwater Council

Subject to the Act, the Home Building Regulation 1987 and the conditions of the insurance contract, cover will be provided to a beneficiary described in the contract and judgement in the life to the beneficiary. Please note when the insurer has issued this certificate, the insurer is not entitled to refuse to pay a claim, or to cancel the insurance contract, on the grounds that the premium was not paid. This certificate is to be read in conjunction with the policy wording.

N RD83FP2149VC

Printed 21/04/2005

Signed for and on behalf of the insurer:

Insurer: Vero Insurance Limited ABN 48 005 297 807

Vero Construction and Engineering is a division of Vero Insurance Limited
V4884 RTD 11/03



All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018 MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

Amy Webb, Development Officer
8am to 6pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1154

4 January 2004

Alan Blackmore
Sean Gartner Architects
PO Box 1122
MONA VALE NSW 1660

Dear Mr Blackmore

**Re: Deferred Commencement Conditions – Development Application No.
N00972/03 3A Dygal Street, Mona Vale**

Please be advised that pursuant to Regulation 95(5) of the Environmental Planning and Assessment Regulation 2000, Council considers the details provided in accordance with deferred commencement Conditions 1.1, 1.2, 1.3, 1.4, 1.5 contained in Part 1 of the conditions of Development Consent are satisfactory. The following documentation therefore forms part of the consent documentation:

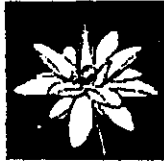
- Plan Numbers DA05 Issue C and DA06 both dated December 2004 prepared by Sean Gartner Architects.

In this regard, the Consent becomes operative from the date of this letter, subject to the conditions listed in Part 2 of the Consent.

Yours faithfully

Amy Webb
DEVELOPMENT OFFICER

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.



ZENSCAPES

LANDSCAPE ARCHITECTS

PO Box 531, Collaroy NSW 2097

Ph 0414 851 357 Fax 9984 8437

15 February, 2005

To whom it may concern,

**Re : 3A DYGAL STREET, MONA VALE
DA NO972/03**

I, Lia Skountzos, am a qualified landscape architect and certify that the Landscape Plan (Dwg. No.L01) by Zenscapes Landscape Architects for the above Development Application has been prepared in accordance with Pittwater Council's DCP 23 - Landscape & Vegetation Management and complies with Clause B45 of the Conditions of Development Consent.

If you should have any queries, please contact myself on 0414 851 357.

Yours sincerely,

A handwritten signature in black ink, appearing to read 'Lia Skountzos'.

Lia Skountzos AAILA



COUNCIL COPY

Michael Frost & Associates
c/- Greg Houston Plumbing P/L

Case Number: 74928

Dear Applicant

NOTICE OF REQUIREMENTS
for
SECTION 73 SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE
(Sydney Water Act 1994, Part 6, Division 9)

Developer: Michael Frost & Associates
Your reference: D0029
Development: 3A Dygal Street Mona Vale (lot 3 DP 217045)
Consent No: N0972/03 by Pittwater Council of 22 November 2004.
Your application: 22 February 2005

Your attention is drawn to the requirements in this Notice that must be met before a Section 73 Subdivider/ Developer Compliance Certificate (the Certificate) can be issued. **This Notice is given by Sydney Water on 1 March 2005, and the requirements are to apply for a year from that date** after which the requirements will be updated on reapplication.

You must engage your current or another authorised Water Servicing Coordinator (the Coordinator) to manage and facilitate the construction of the sewer works that you must provide, at your cost, to service your development.

For a list of authorised Coordinators, see www.sydneywater.com.au and refer to *Developing Your Land* under Building Developing and Plumbing, or call 13 20 92. Coordinators may provide you with a **quote or advice regarding costs for their and other supplier's services/ works as well as other Sydney Water costs.**

The Coordinator will generally be the single point of contact between you and Sydney Water and can answer any questions in the first instance you may have on Sydney Water's developer process and developer charges.

SUMMARY OF REQUIREMENTS TO OBTAIN A CERTIFICATE:

You must:

1. **Note water service requirements for your development.**
2. **Engage a Coordinator prior to signing the enclosed Agreement.**
3. **Sign both copies of the enclosed Minor Works Agreement and lodge with a Water Servicing Coordinator.**
4. **Consequent to signing the Agreement, build sewer works required at your cost and pay associated charges.**

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

5. Pay a total of \$7,733 for the charges identified in Section 5 of this notice. Please note:
 - The Developer Charges total will need to be paid before you will be given permission to construct the sewer works and connect into Sydney Water's water system; and
 - Credit card payments (to a maximum of \$1,000) may be made on Bankcard, MasterCard or Visa only at any Sydney Water Customer Service Centre.
6. Have Sydney Water stamp and approve your building/engineering plans (as there may be Building Over/Adjacent to Assets requirements).
7. Complete any special requirements detailed in Section 7.
8. Note alternatives to your proposal.

DETAILED REQUIREMENTS

1. Water service requirements

Please note that your development can only be served by a single point of connection to a watermain with either one 20mm water meter or two 20mm water meters off a tee.

There is an existing 100mm water main available in Dyal Street to serve your development.

2. Water Servicing Coordinator

You must engage an authorised Coordinator to manage and facilitate the construction of sewer works that you must provide, at your cost, to service your development.

3. Minor Works Agreement

After you engage a Coordinator, you will need to sign and lodge both copies of the enclosed Minor Works Agreement with your nominated Coordinator.

Notes:

- (i) If construction must take place on neighbouring properties, written consent on the Sydney Water Permission to Enter form must be obtained from the relevant property owners by you, or your Water Servicing Coordinator. Your Coordinator has copies of the form (also available on the Internet at the address as above) and can negotiate on your behalf. **This consent must be lodged with the Agreement.**
- (ii) The authorisation of the Coordinator must be current at all times throughout the project.

4. Sewer works.

The Coordinator will facilitate the engagement of a Sydney Water accredited Constructor of Minor Works (Sewer)/ Sewer Constructor (the Constructor) to build the works.

The Coordinator, in conjunction with the Constructor, will determine the location of the works consisting of a junction and a property connection sewer not in excess of six (6) metres in length or 2.5 metres in depth that will adequately drain the property.

The Constructor must give Sydney Water at least two (2) working days notice of the intended connection date. The Council for the area must be consulted before any work is carried out in, on or over a public road.

Upon completion of the required works, your Coordinator must submit to Sydney Water a "Work as Executed" package indicating what was actually constructed.

Sydney Water's specific requirements for your project are:

- A sewerage point of connection within the property boundaries to adequately drain the lot.

In providing these works to Sydney Water you will need to pay construction costs directly to your suppliers. You should consult with your Coordinator in regard to Sydney Water's application and inspection fee (currently \$100.50) and the Coordinator's Minor Works management fee.

In addition, if the watermain/ sewer main/ stormwater located in the footway is found, after the issue of this notice, to require adjustment or deviation this work must be completed to Sydney Water's satisfaction prior to the issue of the Certificate (see also section on building plan stamping). You must use a Sydney Water authorised Coordinator to make an additional application for approval to undertake the works. For a list of authorised Coordinators please refer to the instructions detailed on page 1 of this Notice.

You must then sign a Major Works Agreement to construct the necessary works at no cost to Sydney Water. After the adjustment/ deviation design has been completed and its nature and complexity considered, Sydney Water may require your lodgement of an appropriate security that will be refunded upon completion.

5. Developer charges.

Development Servicing Plan (DSP)	Basis of Calculation	Charge (\$) for Applicable period (01/03/05 - 30/06/05)	Charge (\$) for Applicable Period (01/07/05-28/03/06) (*CPI adjusted)
Warringah Water DSP Area	Residential Development Density 0-20 dwellings per ha band 2 dwellings @ \$851 = \$1,702 Less Credit of \$851 for previous payment/ use plus Upsizing	\$851	STBA
	Development Density 0-20 dwellings per ha band 2 dwellings @ \$188 = \$376 Less Credit of \$188 for previous payment/ use	\$188	STBA
Warriewood Sewer DSP Area	Residential Development Density 0-20 dwellings per ha band 2 dwellings @ \$6,607 = \$13,214 Less Credit of \$6,607 for previous payment/ use plus Upsizing	\$6,607	STBA
	Development Density 0-20 dwellings per ha band 2 dwellings @ \$87 = \$174 Less Credit of \$87 for previous payment/ use	\$87	STBA
Reticulation Recovery		\$NIL	\$NIL
DEVELOPER CHARGES TOTAL: [OFFICE USE- Invoice Charges total- Developer \$7,458 and Upsizing \$275] (*CPI of 7% for 12 months to 31/03/05)		\$7,733	STBA

Notes:

- If you do not pay the charges identified in column 3 of the above table by 30 June, the total will be adjusted for inflation (based on the weighted average of the capital cities CPI for the 12 months to the end of the previous March) from 1 July for the balance of the 12 month period. The charge from 1 July is shown in column 4 when the inflation figure is known.
- **DSP charges** are a contribution towards the cost of systems (eg treatment plants), which serve your development. They have been calculated using base developer charges that cannot be changed or waived by Sydney Water having been established in Plan(s), available on request, and registered with the Independent Pricing and Regulatory Tribunal (IPART) under its relevant Determination. For further details, and a copy of the IPART Act 1992 including section 31 that refers to arbitration rights, see the IPART web site www.IPART.nsw.gov.au. Costs of arbitration, if appropriate, are borne equally by you and Sydney Water irrespective of outcome.
- These charges are directly payable to Sydney Water. Credit card payments (to a maximum of \$1,000) may be made on Bankcard, MasterCard or Visa card only at any Sydney Water Customer Service Centre.
- **You must pay your Developer Charges total before you will be given permission to construct the sewer works and/or connect your development to Sydney Water's water system.**
- **Reticulation Recovery Charges** recover part of the cost of works that have been provided by Sydney Water or other developers that benefit your development. This charge has been calculated before your detailed designs are completed. If later design investigation shows your development will be connected to other main/s, the Reticulation Recovery charge may be varied and/or you may need to construct other works.

6. Stamping and approval of your engineering and building plans.

While NOT a requirement for the Certificate, you are reminded that your building plans must be stamped and approved at:

- a Quick Check agency (for an agency list see www.sydneywater.com.au, refer to Quick Check under *Building Developing and Plumbing* or call 13 20 92); or
- a Sydney Water Customer Service Centre.

Approval is required as construction/building works (eg earthworks, roadworks, drainage, landscaping, excavation, foundation works) may impact on existing Sydney Water assets (eg water and sewer mains). Approval of the plans may take up to 21 days and the results may affect these activities.

Note: If any work on our assets is carried out without that approval, then Sydney Water will take action to have work on the site cease and apply the provisions of Section 44 of the Sydney Water Act 1994.

7. Special requirements**Soffit Requirements**

Please be aware that floor levels must be able to meet Sydney Water's soffit requirements for property connection and drainage.

8. Alternatives to your proposal.

Please note that, should you intend to submit an application for a Certificate for a Torrens, Strata, Stratum or Community Title subdivision in the future, you should consider the advice detailed below **before you commence building**.

(a) Advice before you build

If you subdivide your Dual Occupancy development by a Torrens, Strata, Stratum or Community Title subdivision, you must meet our subdivision requirements which are summarised below. Meeting these requirements at the time of construction of the building(s) rather than waiting for subdivision may be beneficial, in order to:

- Minimise construction costs and disruptions. It is usually less expensive to install both sets of pipes at the same time and will avoid future building works disruptions.
- Pay the current rate for Developer (DSP) charges.
- Obtain a Certificate for the subdivision. When Council approval for the subdivision is granted you must make a **fresh** application for a Certificate with an authorised Coordinator paying the appropriate fees. Then, if there is no alteration to your original proposal your application for a Certificate should be quickly processed. However, if there is a variation to your proposal, further investigation fees and servicing requirements will apply.

(b) Summary of requirements

(i) If you subdivide using Torrens Title you will need to:

- Ensure each dwelling/ lot has a separate point of connection to a watermain with an independent private service line and 20mm water meter; and
- Ensure each dwelling/ lot has a point of connection to a sewer main; and
- Construct works, if necessary, to provide separate points of connection; and
- Pay Developer charges; and
- Meet other requirements; or

(ii) If you subdivide using Strata, Stratum or Community Title you will need to:

- Ensure each dwelling/ lot has a separate point of connection to a watermain with an independent private service line and 20mm meter; and
- Ensure either that each dwelling/ lot has an independent private service line to a separate point of connection to a sewer main or that both dwellings/ lots have a joint private service line to a single point of connection to a sewer main; and
- Construct works, if necessary, to provide separate points of connection; and
- Pay Developer charges; and
- Meet other requirements.

Your Coordinator can provide further advice.

POSSIBLE OTHER COSTS

Requirements in this Notice relate to your Certificate application and may not cover all aspects of Sydney Water's involvement with your development. During design and construction of your development other Sydney Water fees/requirements may be necessary, including:

- construction/building plan stamping fees including fees to ensure the protection of Sydney Water assets
- plumbing and drainage inspection costs for private service lines (including property service connection and inspection fees)
- install backflow prevention devices for certain commercial/industrial connections
- trade waste requirements when constructing a building
- council fire fighting requirements (if not catered for by your current Sydney Water main). You should investigate fire fighting facility requirements for your development as soon as possible, including a standard pressure inquiry to Sydney Water if needed.

END**OF****NOTICE**

COUNCIL COPY

equibuilt

Consultants in Access

Mr Sean Gartner
Sean Gartner Architects
Suite 15,
9 Bungan Street
Mona Vale NSW 2103

14th December 2004

Dear Sean,

Re: 3A Bungan Street Mona Vale
Notice of Deferred Commencement Conditions

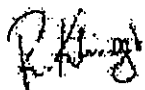
We refer to the above mentioned correspondence from Pittwater Council and confirm that we are satisfied Conditions 1 - 4 inclusive have been resolved on the Drawings listed below.

With regard to Condition 5 we are satisfied Clause 5.7 and 5.8 of AS1428.1 have been resolved however there is no mention of a Clause 5.9 in the current version of AS1428.1.

Drawing No:	Issue:	Title:	Date:
DA - 05	C	Footpath - Dygal Street	Aug 2004
DA - 06	-	Footpath - Waralah / Keenan Streets	Dec 2004

Please do not hesitate to call me on (02) 9314 2759 should you require further information

Sincerely,

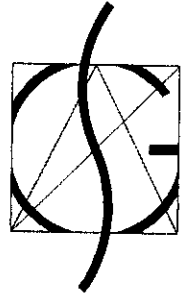


Richard Klinger
Accredited Access Consultant

equibuilt
Pittwater City of Australia
1020 ANZAC Parade MAROUDRA NSW 2006
Telephone (02) 9314 2744 Facsimile (02) 9314 2744 Mobile 0409 556 920 Email equibuilt@optusnet.com.au

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

S E A N G A R T N E R A R C H I T E C T S



ABN :69 226 937 246

28th February 2005

The Certification Group
PO Box 870
NARRABEEN, NSW, 2101

DRIVEWAY CERTIFICATION

**DA N0972/03
3 A DYGAL STREET, MONA VALE**

To Whom It May Concern:

We forward this letter to council to provide confirmation of the driveway in accordance with the condition of consent B28.

We hereby certify that the internal driveway complies with council's policy DCP E3 "Driveways and Internal Roadways", and the Council street levels.

This certification references only the drawing supplied by Sean Gartner Architects on drawing CC-01 issue B.

Yours Faithfully,
SEAN GARTNER ARCHITECTS

Sean Gartner B.Arch



COUNCIL COPY

PITTWATER COUNCIL

Unit 9/5 Vuko Place, Warriewood NSW 2102
Telephone 9970 1111

Date: 20-Jan-05
Receipt No: 160304
Amount: \$165.00

Name: Thomas Mclean for Mrs A Mclean & Mrs J Porter
Postal Address: 78 Narrabeen Park Parade
Warriewood 2102

APPROVED ACCESS DRIVEWAY PROFILE AT:

3A Dygal Street, Mona Vale 2103

The future vehicular access profile will be as per the enclosed plan **EH**.

WORK REQUIRED:

Construct: Vehicular access slab 5.2m long x 3.5m wide at gutter crossing to 3.5m wide at the boundary.

Type of Construction: Domestic

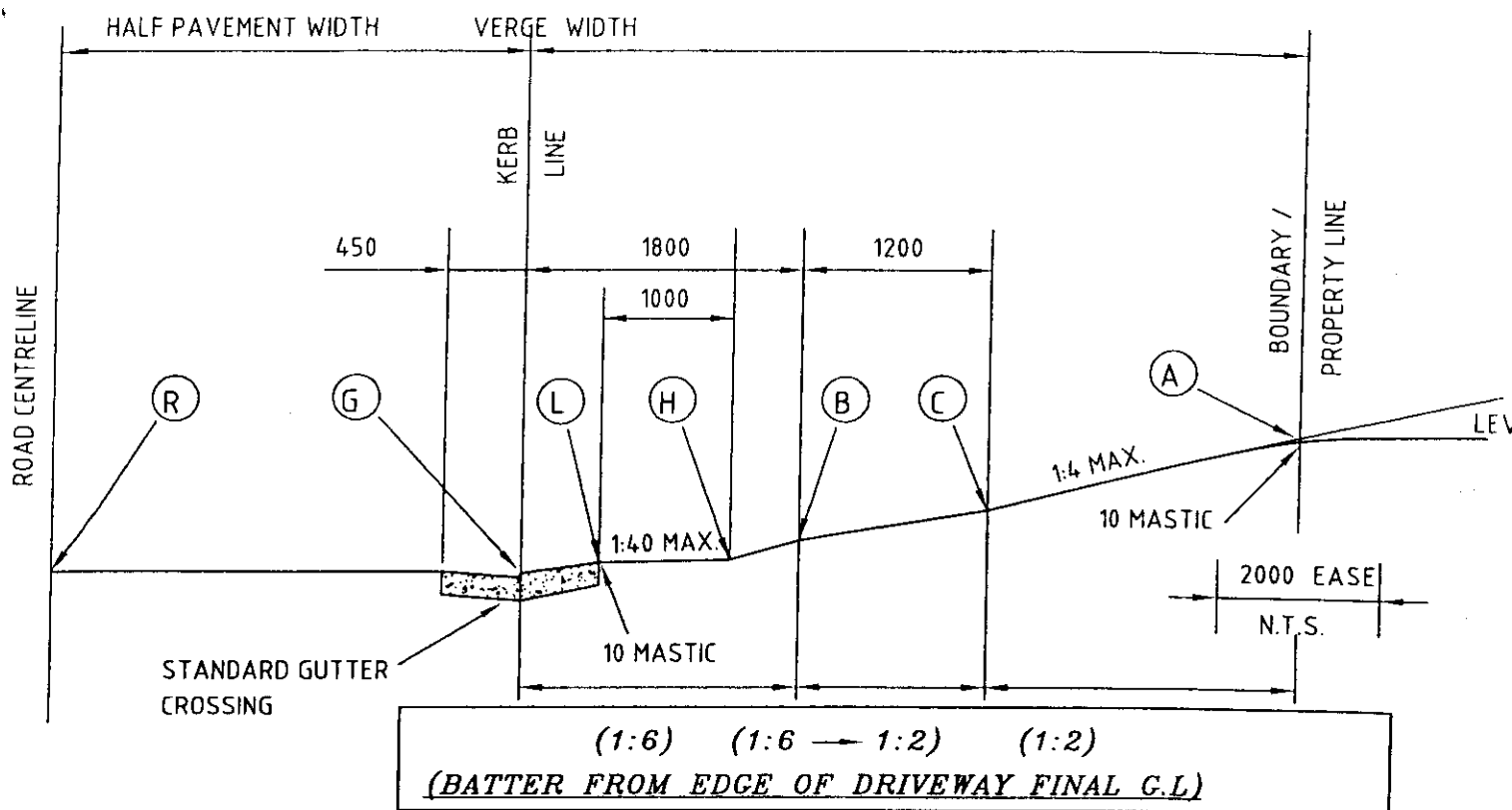
VEHICULAR ACCESS

- (a) All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised contractors only.
- (b) Quotations for the work specified above should be obtained from any of the contractors on the list and should be for the whole of the work stated.
- (c) Construction of vehicular access will be strictly in accordance with the profile supplied and where the drive within the property is to be constructed first, it shall be the responsibility of the owner to have the work carried out in such a manner as to provide a smooth join and continuity of grading.

Please Note: Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage. Refer to relevant attached profile.

Sigi Melderis
ASSETS / RESTORATIONS OFFICER

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
L	BACK OF LAYBACK	100 ABOVE "G"
H	1000 FROM BACK OF LAYBACK	125 ABOVE "G"
B	1800 FROM KERB LINE	MAX 200 ABOVE "G"
C	3000 FROM KERB LINE	MAX 410 ABOVE "G"
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES:

- ALL CONSTRUCTION WITHIN THE ROAD RESERVE TO BE IN PLAIN UNCOLOURED 20Mpa CONCRETE UNLESS OTHERWISE APPROVED BY COUNCIL.
- SINGLE DWELLINGS - 20Mpa CONCRETE 130mm THICK.
DUAL OCCUPANCIES WHERE THE CROSSING SERVICES BOTH DWELLINGS - 20Mpa CONCRETE BASE 150mm THICK WITH F72 REINFORCEMENT.
- THE VEHICULAR CROSSING AND THE DRIVEWAY TO 1800mm BEHIND THE KERBLINE IS TO BE GRADED PARALLEL WITH THE ROAD CENTRE LINE GRADING.
- WHERE THE DRIVE WITHIN THE PROPERTY DRAINS TOWARDS THE ROAD, A GRATED DRAIN SHALL BE CONSTRUCTED ACROSS THE ENTRANCE WITHIN THE PROPERTY AND PIPED TO THE STREET GUTTER. THE WIDTH OF DRAIN AND SIZE OF PIPE WILL BE DETERMINED BY COUNCIL.
- DRIVEWAY PAVERS TO BE LAID ON A 100mm CONCRETE BASE.



PITTWATER COUNCIL

Standard Domestic Driveway Profiles

EXTRA HIGH

PLAN No.

PWC-DW01

REV No. A

DATE 16/06/04

FOR USE ONLY FOR DEVELOPMENTS
OF 2 OR LESS DWELLING UNITS



Pittwater Council

List of Council Approved Contractors

Vehicle Footpath Crossings & Associated Works

- The following contractors are authorised to carry out the above construction within the road reserve in the Pittwater Council area. No other persons are permitted to carry out excavation or any other part of this work.
- Please note that the contractors are specifically recommended as vehicle footpath crossing contractors only and in some instances the contractors may not hold a Builder's Licence or a Restricted Builder's Licence.

Action Concreting & Const. Pty Ltd	P.O. Box 521 Collaroy 2097	9982 2135	0414 355 772
Adaptive Construction Pty Ltd	2 Wollstonecraft Ave, Avalon 2107	9918 5211	0411 520 663
A Grade Concrete Pty Ltd	1A Selby Avenue, Dee Why 2099	9982 2616	0410 565 777
A.K. Concrete Solutions Pty Ltd	164 Madagascar Drive, Kings Park 2148	9837 8322	0412 392 355
Allan's Concreting	11A Second Avenue, Gympie Bay 2227	9542 7479	0417 481 022
Andcrete Pty Ltd	PO Box 546, Kingswood 2747	9756 0833	0418 404 575
Anton Constructions Pty Ltd	17 Cannons Parade Forestville 2086	9451 1300	0418 236 651
Antonio Tomaino	97 Wyadra Avenue, North Manly 2099	9938 3841	0422 994 938
Aranac (Contracting) Pty Ltd	63 Spencer Road, Killara 2071	9498 7050	0408 224 883
Arch Concreting Services (NSW) Pty Ltd	67 Fullers Road, Chatswood 2067	9904 6949	0419 424 930
Barry Bree Concreting	29 Seaview Ave, Newport 2106	9997 8840	0415 183 146
Better Lifestyle Landscaping Pty Ltd	Lot 20 Tomko Grove, Parklea 2768		0439 409 351
Brook Concrete P/L (Bomanite)	26 Adderton Rd, Telopea 2117	9638 2926	0418 218 671
B & D Concreting (Buddy Habkous)	38 Thornleigh Street, Thornleigh 2120	9484 6644	0419 250 312
Capano Concrete Pty Ltd	40 Rowley Street, Smithfield 2164	9604 8715	0409 838 238
Cherrybrook Landscaping Pty Ltd	3 Alleyne Avenue, Nth Narrabeen 2101		0419 423 366
CKJ Building Services Pty Ltd	7 Warrimoo Avenue, St Ives		0414 410 082
Coastline Concrete Pty Ltd	47 Blighs Rd, Cromer 2099	9982 4805	0412 278 507
Cobblecrete Australia	PO Box 121 Hoxton Park 2171	9608 6059	0414 784 550
C-Side Concreting & Pump Hire P/L	43 Wesley Street, Elanora Heights 2101	9913 1653	0404 872 111
Concrete Australia	181 Queens Road, Connells Point 2221	9594 0745	0404 049 999
Cubic Concrete	12A Linden Street, Mount Druitt 2770		0407 016 064
D Spencer & Associates	7/1 Marina Close, Mount Kuring-gai 2080	9457 0332	0425 212 570
Danscapes Pty Ltd	PO Box 764 Caringbah 1495	9523 3335	0416 107 283
Domestic Concreting Services	20 Trentham Avenue, Douglas Park 2569		0416 150 360
Fairmont Homes NSW Pty Ltd	PO Box 752, Campbelltown 2560	024628 1777	0412 279 443
Florimo, John	17 Iluka Ave, Elanora Heights 2099	9913 7440	0415 296 978
Frank's Concrete Pty Ltd	P.O. Box 983, Mona Vale 2103	9997 3999	0418 225 871
G & D Concrete Pty Ltd	18 Hawkesbury Ave, Dee Why 2099	9982 4780	0418 644 887
Hardrock Concrete	285 Carrington Road, Londonderry 2753	4572 5582	0414 608 580
Hardman Paving & Concrete	110 College Street, Cambridge Park 2747	024735 7276	0418 285 703
Harvey, N & P	13 Koorangi Ave, Elanora 2099	9913 9523	0404 475 731
H J Bellamy & Sons Pty Ltd	P.O. Box 541 Collaroy 2097	9981 4137	0418 280 904
Humphrey, Peter	251 Alfred Street, Cromer	9982 2784	0416 229 600
Ingleside Landscaping Pty Ltd	145 Wirreanda Road, Ingleside 2101	9450 2404	0408 296 359
Joe's Concreting Pty Ltd	14 Whitefriars Way, Winston Hills 2153		0411 197 144
Kakoda Concrete Pty Ltd	32 Aldinga Drive Wamberal 2260	4384 2460	0421 342 177
Karisma Building Services	PO Box 78 Yagoona 2199	9608 2103	0419 616 262
Kelpie Concrete Pty Ltd	20 Spring Road Curl Curl	9905 8398	0418 164 604
KMD Landscapes & Stone	183 Rainbow Street, Randwick 2031	9664 6600	0418 688 324

L & G Concrete Pty Ltd	6 Bronzewing Terrace, Bella Vista 2153	8824 8196	0418 971 356
Lloyd Building & Civil Constructions P/L	17 Ilya Avenue, Bayview 2104		0418 232 523
Luch's Concrete Pty Ltd	15 Milpera Place Cromer 2099	9982 8739	0411 879 257
Maiolo, Raffele	1 Batho Road, Harbord 2096	9939 1982	
Masterform Pty Ltd	150 Alfred Street Narraweena 2099	9971 6309	0409 244 056
N.B.E Concrete Pty Ltd	1 Whitney Street Mona Vale 2103	9979 7035	0418 244 793
Newborn Concrete Pty Ltd	8 Hilmer St, Frenchs Forest 2086	9451 6048	0408 678 528
Newport Concreting Pty Ltd	P.O. Box 108 Newport 2106	9997 5686	0407 068 716
Noreast Constructions Pty Ltd	P.O. Box 62, Camperdown 1450	9519 9470	0414 696 731
Northcrete Concreting Pty Ltd	8 David Rd, Collaroy Plateau 2097	9971 7868	0418 239 958
Northshore Formwork & Concreting P/L	30 Nimbey Avenue, Narraweena 2099	9981 4390	0418 169 365
Northside Concreting Services Pty Ltd	P.O. Box 168 Mona Vale 2103	9913 2600	0411 529 004
Ocean Concrete Pty Ltd	7 Nursery Pl, Belrose	9452 1473	0412 449 297
Paton Concrete Works Pty Ltd (formerly Naivy Pty Ltd)	PO Box 1237, Mona Vale 1660	9999 4220	0414 994 220
Pavecrete Pty Ltd	PO Box 710, Avalon 2107	9913 8500	0418 772 799
Pearl Design & Construction	20 Moxon Road, Punchbowl 2196	9708 2741	0414 692 348
Peter Yorke Landscapes Pty Ltd	205 Garden Street, Warriewood 2101	9979 6558	0414 997 644
PRC Constructions Pty Ltd	14 Buena Vista Avenue, Mona Vale 2103	9940 1019	0410 303 806
Prime Constructions Pty Ltd	394 Pacific Highway, Lane Cove 2066	9418 7707	0418 163 506
Rocco Crea Concrete Pty Ltd	177 Fisher Road North, Dee Why 2099	9982 8585	0412 237 559
Rocco Mileto & Co Pty Ltd	24 Cubitt Drive Denham Court 2565	9829 4061	0418 072 012
Rylehall Pty Ltd	Level 3,1C Homebush Bay Dr Rhodes 2138	9767 2000	
San Marcos Civil & Concreting Pty Ltd	196 Fairfield Road, Yennora NSW 2161	9721 3771	0413 428 435
S & E Cavalieri Pty Ltd	29 Quinlan Pde, Manly Vale 2093	9948 5442	0412 285 301
Spaghetti Concretors Pty Ltd	4/28 Goodwin Street, Narrabeen 2101	9971 6663	
SJ Hensby & Sons Concrete Maintenance Pty Ltd	7 Chippenham Street, Chipping Norton 2170	9755 5544	0400 110 453
T.B.R.H. Concreting and Landscaping P/L	P.O. Box 2078 Normanhurst 2076	9489 2620	0413 072 702
T & L Fowler	161 Ebenezer Wharf Road, Ebenezer 2756	4579 9332	0438 402
326	72 Kevin Avenue, Avalon 2107	9979 5670	0418 208 278
The Gardenmakers Pty Ltd	55 Laurel Rd, Ingleside 2101	9979 5500	
Timber Time Pty Ltd	57 Therry Street Avalon	9918 3313	0414 975 354
Warringah Formwork Pty Ltd	22 Waine St, Harbord 2096	9905 0602	0412 520 094
Wellington, Walter	34 Alexander St, Collaroy 2097	9982 6335	0414 614 119

Builders who wish to carry out their own work only. (No quotes)

DAF Constructions Pty Ltd	3/6 Wilmette Pl, Mona Vale 2103	9997 6723	0408 976 723
Gubler & Associates Pty Ltd	49 Careel Head Rd, Nth Avalon 2107	9918 2896	
Lamrock, BJ & LF	P.O. Box 76 Avalon 2107	9918 7037	0418 406 221
Shorecent Pty Ltd	18A Pine Avenue, Brookvale 2100	9944 0860	0402 853 921



**Pittwater Council
Deed of Agreement - Coloured Concrete Driveways**

(For coloured surfaces only)

This refers to the section of your driveway between your property boundary and the roadway/kerb and gutter.

Council will allow a coloured driveway provided:

- a) A Legal Agreement is signed by owner/s indemnifying Council.
- b) The crossing is constructed by a Council approved contractor to Council's specifications.
- c) This type of agreement applies to coloured concrete only.

TWO (2) Deed of Agreement Forms attached are to be SIGNED BY ALL OWNERS and BOTH COPIES returned to Council with the prescribed fee of \$66.00. One copy endorsed by Council will be returned to the owner AFTER THE DRIVEWAY HAS BEEN CONSTRUCTED.

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

DEED OF AGREEMENT FOR COLOURED DRIVEWAY INDEMINIFYING AGAINST LIABILITY

THIS DEED made the 1st day of FEBRUARY 20 05.

BETWEEN

Owner/s name: ADELIA McLEAN & LAURA PORTER
Postal Address: 78 NARRABEEN PARK PDE Postcode: NSW 2102

Hereinafter called "the owner" of the one part and THE COUNCIL OF PITTWATER (hereinafter called "the Council" of the other part NOW THIS DEED WITNESSETH as follows:

1. The owner/s acknowledge that:-

No: 3A Lot No: 3 IN DP 217045 Street: DYCAL STREET
Suburb: MONA VALE Postcode: NSW 2103

2. In consideration of the Council allowing the footpath/vehicular crossing to be constructed in coloured concrete, which is structurally in conformity with Council's standards, the owner agrees:

- To accept full responsibility for all restoration and maintenance of the crossing and to keep it in a sound and safe condition to the satisfaction of Council at all times.
- That should the crossing be damaged at any time during the course of work by any authorised person or body, the restoration of the surface appearance will be the owner's responsibility.
- That the obligation of the authorised person causing damage extends only to replacing the damaged portion in normally coloured portland cement concrete to render it safe for vehicle and pedestrian movement.
- That the existence of the special surface and the conditions pertaining to it will be noted in Council's records for the advice of any intending purchaser of the property.

IN WITNESS WHEREOF the parties hereto have hereunto set their hands and seals on the day and year first hereinbefore written.

SIGNED SEALED AND DELIVERED

By the said owner in the presence of:-

Julie Body
Signature of Witness

Julie Body
Name of Witness

23 Cook Terrace mona vale
Address of Witness

Adelia McLean
Signature of Owner

Laura Porter
Signature of Owner

Signer on behalf of THE COUNCIL OF PITTWATER
URBAN INFRASTRUCTURE MANAGER

Inspecting Officer

Date: _____

Date: _____

Office Use Only:

CODE: EROP

FEE: \$36.00 incl. GST

RECEIPT NO:

760787

as at 1.7.04

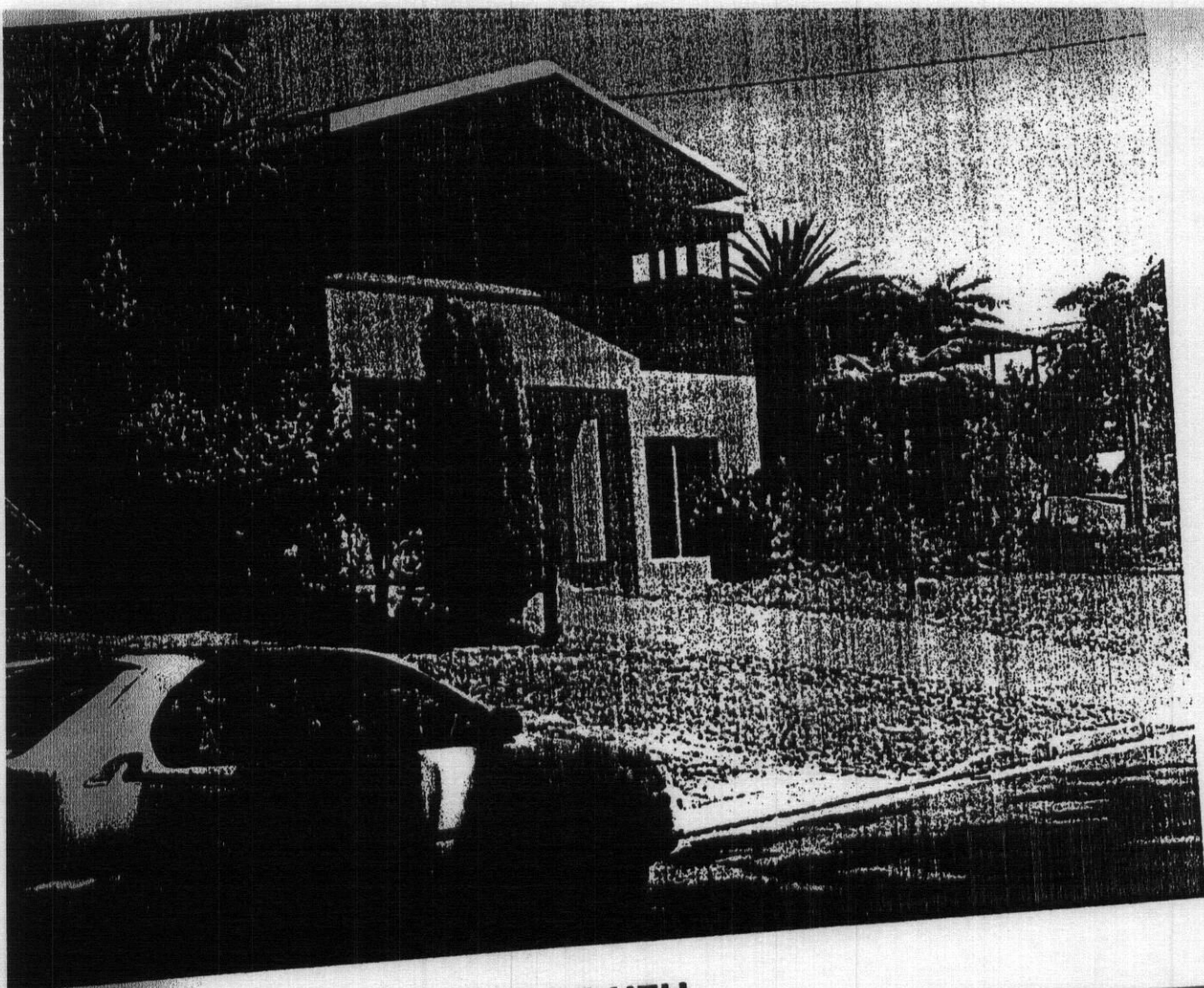
ISSUED BY:

[Signature]

Form No: COL0603

DATE: 1 Feb 05

Any enquiries please contact Customer Service
Ph: (02) 9970 1111 Fax: (02) 9970 7150



ONTAGE VIEW FROM THE SOUTH

COUNCIL COPY

SYDNEY WATER
APPROVED

Position of structure in relation to Sydney Water's assets is satisfactory.

Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.

3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.

Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.

Gullies, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

6. Property No. 3414163

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

Per: REECE 2312105

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

COUNCIL COPY

DIRECTORS

Design Certificate

Date: 4th March 2005
Client: Tom McClean

Job No. 041124
Engineer: LM

Site: 3A Dygal Street, Mona Vale

We hereby certify that the plans prepared by NB Consulting Engineers P/L (Job No: 041124 drawings D01A to D02) are in accordance with the condition B19 of the DA consent.

We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NB CONSULTING ENGINEERS P/L

Per Lucas Molloy
BE MIEA CPeng NPER
Director NBConsulting

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

NAENG NBC\2004\041124\SC002.doc

COUNCIL COPY

DIRECTORS

Bruce Lewis Lucas Molloy - Rick Wray - Stewart McClean
 Richard McGeehan Rick Wray, Leigh Moss

Design Certificate

Date: 4th March 2005
 Client: Tom McClean


Job No. 041124
 Engineer: LM

Site: 3A Dygal Street, Mona Vale

We hereby certify that the plans prepared by NB Consulting Engineers P/L (Job No: 041124 drawings S02B) are in accordance with the condition B29 of the DA consent.

We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NB CONSULTING ENGINEERS P/L


 Per Lucas Molloy
 BE MIEA CPEng NPER
 Director NBConsulting

THE CERTIFICATION GROUP PTY LTD
 APPROVED CONSTRUCTION CERTIFICATE
 DOCUMENTATION.

NAENG\NBC\2004\041124\SC002.doc

Northern Beaches Consulting Engineers Pty Ltd (Structural, Civil & Stormwater Engineers) ACN 076 121 616 ABN 24 076 121 616
 Suite 207, 30 Fisher Road Dee Why, NSW 2099 Tel 9984 7000 Fax 9984 7444 Email nb@nbconsulting.com.au

Stormwater Certificate

Date: 31 January 2005
Client: Tom McClean

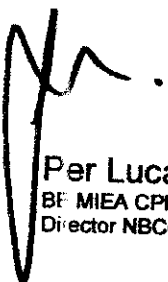
Job No. 041124
Engineer: LM

Site: 3A Dygal Street Mona Vale

We hereby certify that the plans prepared by NB Consulting Engineers P/L (Job No: 041124 drawings D01 to D02) for the residential development at the above property address are in accordance with the intention of Councils Policy and Guidelines for the on-site detention of stormwater.

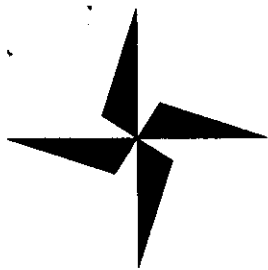
We trust that this certificate meets with your requirements. Please contact the author if further clarification is required.

NB CONSULTING ENGINEERS P/L


Per Lucas Molloy
BE MIEA CPEng NPER
Director NBConsulting

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

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the certification group

enhancing building performance

COUNCIL COPY

APPLICATION FORM

Made under the Environmental Planning and Assessment Act 1979, Sections 81A(2)(4), 84A, 85A, & 109C (1)(b),
Environmental Planning and Assessment Regulation 2000, clauses 126(1), 139(1), or 157(1)
To complete this form, please place a cross in the boxes and fill out the white sections as appropriate.

Application Sought

- ☐ Complying Development Certificate
☒ Occupation Certificate
☒ Construction Certificate
☒ Principal Certifying Authority

Subject Land

Address 3A DYKAL STREET MONA VALE

Lot No, DP, SP, vol/fol. Etc. LOT 3 DP 217045

Details of the applicant

Name /Company THOMAS McLEAN Contact Person _____

Postal Address 78 NARRABEEN PARK PARADE Postcode 2102 State NSW
WARRIEWOOD

E-mail _____ Daytime telephone 9913 7407

Fax _____ Mobile 0418 165 129

Applicant Signature [Signature] Date 15/12/04

Consent of Owner(s)

I/We as the owner/s of the above property authorise for either Mark Wysman, or Wayne Treble to provide Construction Certification and to act as the Principal Certifying Authority for the subject building works, including site inspections and to lodge the Notice of Commencement / Appointment of the Principal Certifying Authority with the relevant Council.

Name(s)/ Company MRS A. McLEAN & MRS C. PORTER

Address 78 NARRABEEN PARK PYE WARRIEWOOD Postcode 2102 State NSW

Phone No 9913 7407 Mobile _____ Fax _____

Signature of Registered owner(s). Company stamp or seal to be affixed if applicable

[Signature]

Date 15/12/04

Description of the work proposed

Type of work proposed:

☒ New Building ☐ Additions / Alterations

Class of Building under Building Code of Australia

1a

Description of the work CONSTRUCTION OF 2 DETACHED DWELLINGS

Construction Cost of Works \$ 593,000

Details of Builder

Contact Person

Name /Company

ADCO CONSTRUCTIONS P/L LICENCE No 9864

Fax

8437 5050

Mobile

Daytime telephone

8437 5000

Email

sydney@adcoconstruct.com.au

Builders address

PO Box 995 CROWNS NESE NSW

Postcode

2065

Details of the relevant Development Consent granted

Consent No.

No 972/03

Date the consent was granted

22-11-04

Applicant Checklist

- ☒ Complete Application Form – Pages 1 & 2
- ☒ Attach supporting documentation as nominated on Page 3
- ☒ Complete statistical Return on Page 4

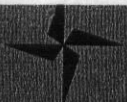
Private Policy

The information you provide in this notice is required under the Environmental Planning and Assessment Act 1979 if you are going to erect a building. If you do not provide the information to the consent authority, you cannot commence the work. The information will be held by the consent authority and by the council (if the council is not the consent authority). Please contact the certification group if the information you have provided in this notice is incorrect or changes.

Date of receipt (To be completed by Certifying Authority)

Date

15/12/2004



STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the site area of land?	Area in square meters	1361
Gross floor area of existing building? If no existing building, write NIL	Area in square meters	
What is the existing building or site used for at present?	Main Uses	DWELLING
	Other Uses	NIL
Does the site contain dual occupancy?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	In square meters	FRONT DWG 312.2 REAR 357.4
What will the proposed building be used for?	Main Uses	SEPP 5
	Other Uses	NIL
How many dwellings?		1
Are pre-existing at this property?	Dwellings	1
Are proposed to be demolished?	Dwellings	1
Are proposed to be constructed?	Dwellings	2
Are attached to an existing building?	Dwellings	NIL
Are attached to a new building?	Dwellings	NIL
How many storeys will the building consist of?	Storeys	2

What are the main building materials? (Please tick appropriate boxes)

WALLS

- ☐ Full Brick
- ☒ Brick Veneer
- ☐ Concrete or Stone
- ☐ Steel
- ☐ Fibrous Cement
- ☐ Timber/weatherboard
- ☐ Cladding- aluminium
- ☐ Curtain glass
- ☐ Other
- ☐ Unknown

ROOF

- ☐ Aluminium
- ☐ Concrete or Slate
- ☐ Tile
- ☐ Fibrous Cement
- ☒ Steel
- ☐ Other
- ☐ Unknown

FLOOR

- ☒ Concrete or slate
- ☒ Timber
- ☐ Other
- ☐ Unknown

FRAME

- ☒ Timber
- ☐ Steel
- ☐ Aluminium
- ☐ Other
- ☐ Unknown



3A Dyce Street 1st Feb 2005

Road Reserve From On
(ie. Looking West) And is An
Accurate Representation of The
Scene Depicted

53064

3A Dyce Street 1st Feb 2005

Road Reserve Looking From North
And is An Accurate
Representation of The Scene Depicted

53066

3A Dyce Street 1st Feb 2005

Road Reserve Looking South
And is An Accurate
Representation of The Scene Depicted

53061



3A. Dyca Street 16 Feb 2005.

ROAD RESERVE (FRONT ON)
(ie Looking West) AND IS AN
ACCURATE REPRESENTATION OF THE
SCENE DEPICTED

MU NA 2000203 1 6684

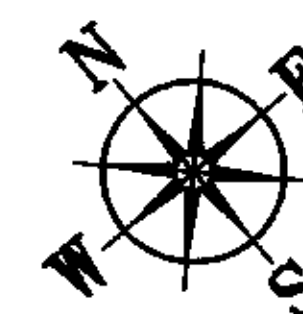
53065

3A Dyca Street 16 Feb 2005

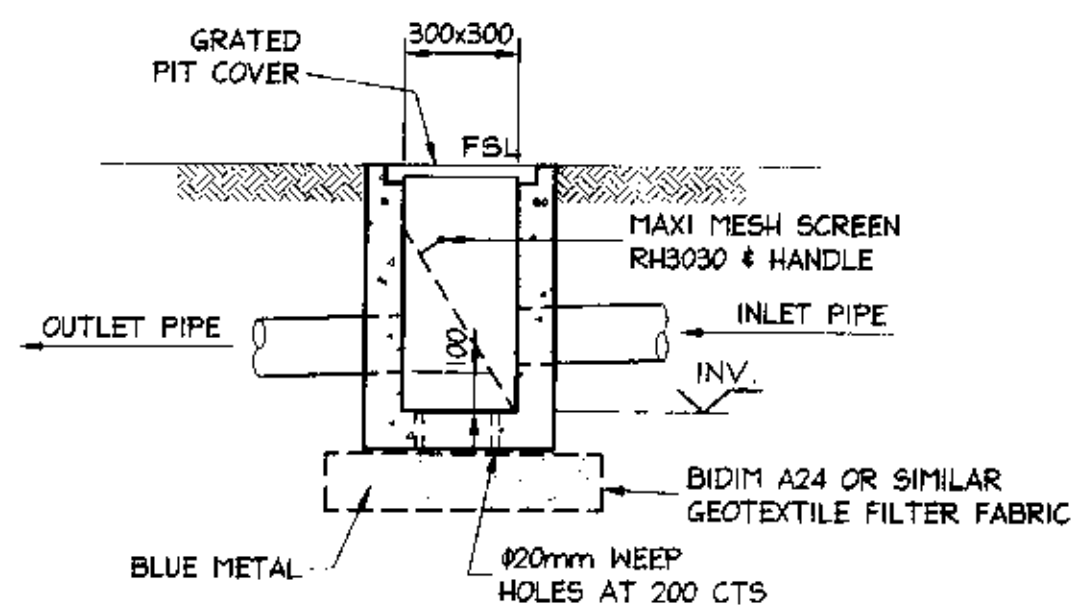
ROAD RESERVE FRONT ON
(ie Looking West) AND IS AN
ACCURATE REPRESENTATION OF THE
SCENE DEPICTED

MU NA 2000203 NUNT 2 6684

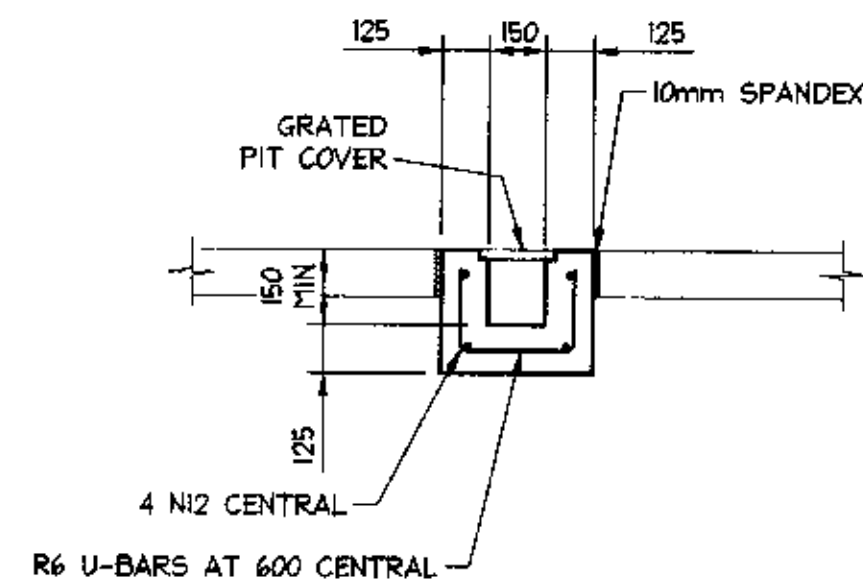
53063



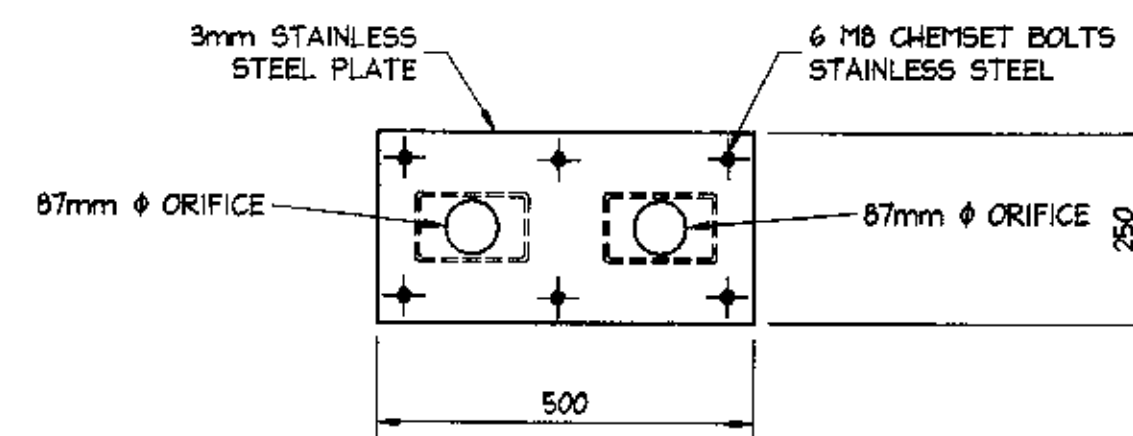
Date: Nov 2004	Design: L.M.	Drawn: Paul R Bruce OMIEAust.	Check:
Job No: 041124		Drawing No: D01	Rev: A



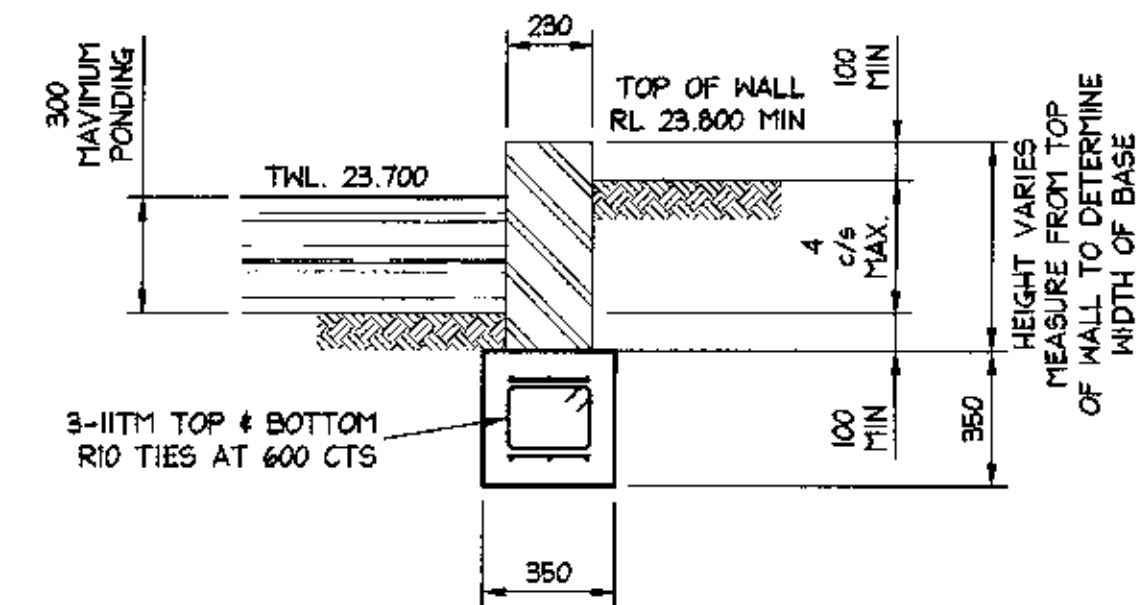
PRECAST OR CAST INSITU PIT
REFER STORMWATER NOTES
300x300 PIT DETAIL
SCALE = 1 : 20



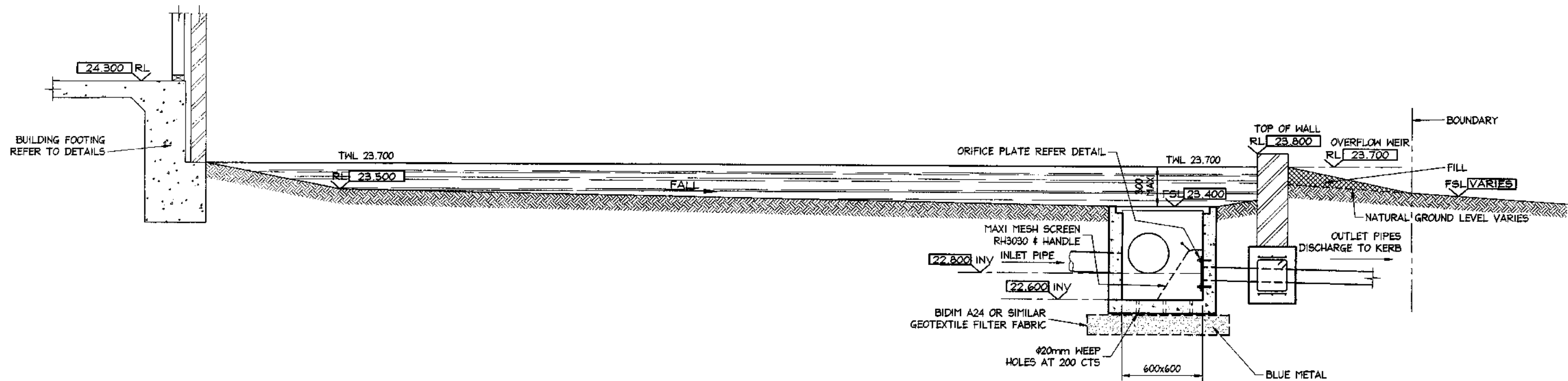
OR PRECAST GRATED DRAIN
TYPICAL GRATED DRAIN
SCALE = 1 : 20



ORIFICE PLATE DETAIL



TYPICAL BRICK RETAINING WALL
SCALE = 1 : 20



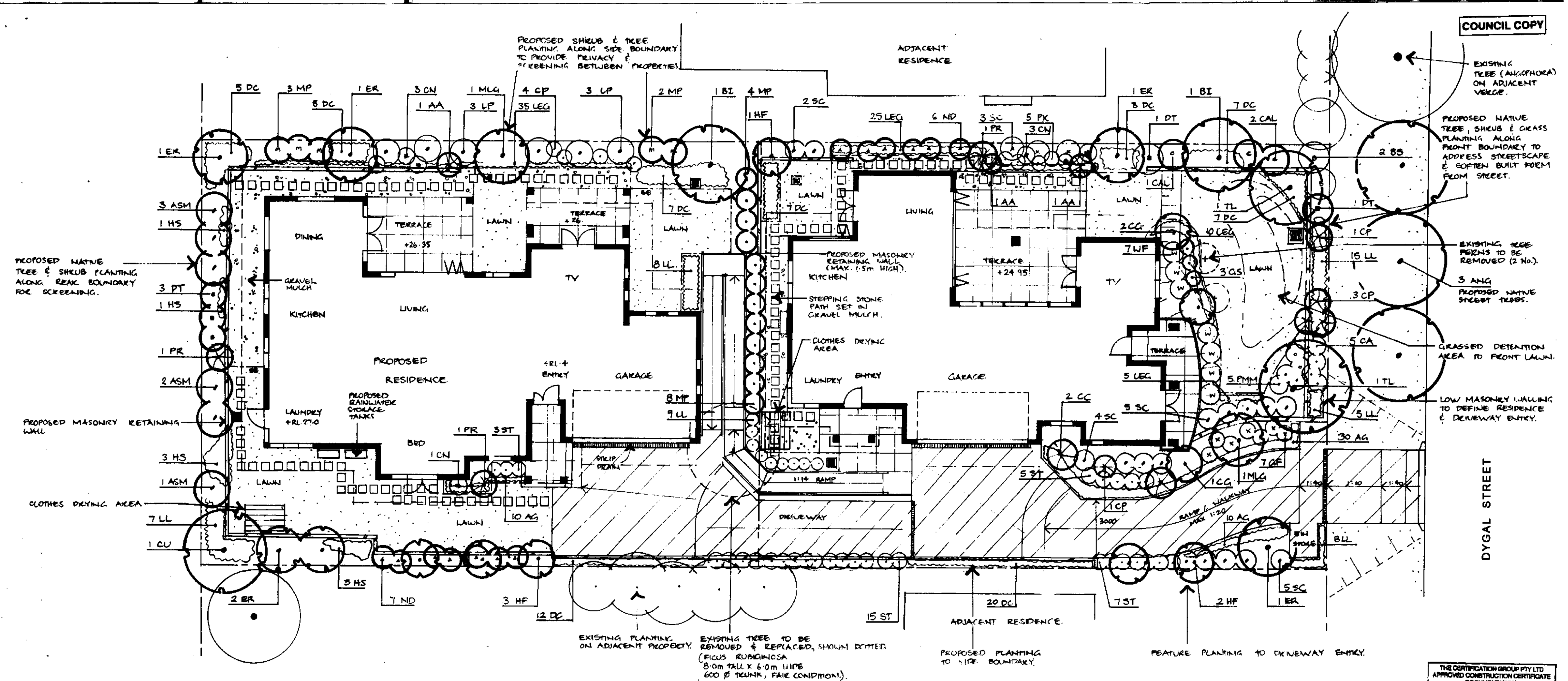
OSD TANK AND OSD CONTROL PIT SECTION
SCALE = 1 : 20

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

ISSUED FOR
CONSTRUCTION
CERTIFICATE
SUBMISSION ONLY

- NOTES:**
- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
 - FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

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PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	SPACING (m)	No.	MATURE HEIGHT (m)	MATURE WIDTH (m)
ANG	<i>Angophora costata</i>	Smooth-barked Apple 200L	20L	As shown	3	12m	7m
BI	<i>Banksia integrifolia</i>	Coastal Banksia	25L	As shown	2	6m	3m
CU	<i>Cuscuta australis</i>	Tuckeroo	25L	As shown	1	6m	5m
ER	<i>Elaeagnus reticulata</i>	Blueberry Ash	25L	As shown	8	6m	4m
TL	<i>Tillandsia lutea</i>	Water Gum	25L	As shown	2	6m	5m
PALEMS / FERNS							
AA	<i>Asplenium australicum</i>	Birds Nest Fern	5L	As shown	3	1m	1m
OC	<i>Cyrtia cooperi</i>	Tree Fern	specimen	As shown	2	4m	-
HF	<i>Hawea forsterana</i>	Kentia Palm	25L	As shown	8	6m	-
PR	<i>Phoradendron</i>	Dwarf Date Palm	specimen	As shown	3	2m	-
SHRUBS							
ASM	<i>Acmena smithii</i> 'Minor'	Greek Lily Pilly	25L	As shown	8	5m	3m
BS	<i>Banksia spinulosa</i>	Heath Banksia	5L	As shown	2	2.5m	2.5m
CAL	<i>Callistemon linearifolius</i>	Bottlebrush	5L	As shown	3	3m	2m
LP	<i>Laportea polyphylla</i>	Lemon-scented Tea Tree	5L	As shown	8	2.5m	1.5m
CG	<i>Ceratopetalum purpurascens</i>	NSW Christmas Bush	5L	As shown	3	3m	2m
CN	<i>Cordyline 'Negra'</i>	Black Cordyline	5L	As shown	7	2m	1m
CA	<i>Correa alba</i>	White Correa	5L	As shown	5	1m	1m
CP	<i>Citrus pandanulatum</i>	Sweetie Lily	5L	As shown	5	2m	1.5m
DT	<i>Dodonaea trifurcata</i>	Hop Bush	5L	As shown	5	3m	2m
GF	<i>Gardenia augusta</i> 'Florida'	Gardenia	5L	As shown	7	0.75m	0.5m
OS	<i>Oryzopsis spicata</i>	Red Spider Flower	5L	As shown	3	1m	1m
MLG	<i>Magnolia 'Little Gem'</i>	Dwarf Magnolia	25L	As shown	2	3.0m	2.0m
MP	<i>Murraya paniculata</i>	Murrays	5L	As shown	17	2.5m	1.5m
ND	<i>Nandina domestica</i>	Sacred Bamboo	5L	As shown	13	2m	1m
PX	<i>Philodendron 'Xanadu'</i>	Dwarf Philodendron	5L	As shown	5	0.5m	0.75m
PM	<i>Philopodium 'Miss Muffet'</i>	Dwarf Philopodium	5L	As shown	5	1.2m	1.2m
ST	<i>Syzygium 'Tiny Tree'</i>	Dwarf Lily Pilly	25L	As shown	30	1m	0.75m
SC	<i>Syzygium 'Cascade'</i>	Dwarf Lily Pilly	25L	As shown	17	2m	1m
WF	<i>Westringia frutescens</i>	Coastal Rosemary	5L	As shown	7	1.2m	1.2m
GRASSES / GRASSES							
AG	<i>Agapanthus 'Snowball'</i>	Agapanthus	2.5L	As shown	40	0.8m	0.8m
DC	<i>Dianella caerulea</i>	Native Flax Lily	2.5L	As shown	73	0.75m	0.75m
HS	<i>Hibiscus scandens</i>	Snake Vine	2.5L	As shown	8	0.3m	1.0m
LEG	<i>Lupinus 'Evergreen Giant'</i>	Giant Lupine	2.5L	As shown	75	0.5m	0.8m
LL	<i>Lomandra longifolia</i>	Lomandra	2.5L	As shown	47	1.0m	1.0m

LANDSCAPE NOTES (GUIDELINES)

- GENERAL**
- FOR EXISTING & PROPOSED LEVELS, REFER TO ARCHITECTS DRAWINGS.
 - FOR SITE COVERAGE CALCULATIONS, REFER TO ARCHITECTS DRAWINGS.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, ENGINEERING & OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS.
 - DO NOT SCALE FROM DRAWING.

DRAINAGE
Ensure adequate drainage to all garden beds & lawn areas. Install 100mm agricultural pipe with 'sock' as required in garden beds and behind all retaining walls. Encase in 300 x 300mm of blue metal and cover with filter cloth. Agricultural pipes to drain to junction pits. Pits to connect to the household stormwater system. Ensure paved areas are free draining.

SITE PREPARATION
Remove unwanted matter including stones exceeding 50mm, loose sticks, and branches, damaged roots and building rubbish. Remove existing weeds / grass from all proposed garden beds areas. Where required, spray areas with an approved herbicide. Cultivate by hand garden beds to a depth of 200mm. Grade garden bed surfaces accordingly.

PLANTING
Carry out planting as per landscape plan and plant schedule, no substitutes will be accepted without approval by landscape architect. Do not plant during extreme weather conditions. Thoroughly water plants before planting begins, immediately after planting & thereafter to maintain growth rates free of stress.

Fertilise exotic plants with Camocote 'Plus' 8-9 month slow release fertiliser, and native plants with Camocote zero Phosphorus 5-6 month slow release. Apply as per manufacturer's instructions.

MULCH
Two mulches are to be used. Generally, all garden bed areas are to be mulched to 100mm depth using fine (15mm) Horticultural Grade pine bark mulch, as supplied by Australian Native Landscapes Pty Ltd.

Install 75mm depth of Nepean River pebbles (10-20mm dia.), as supplied by Australian Native Landscapes Pty Ltd., to gravel mulch areas and surrounding proposed stepping stone paths, as shown on plan.

STEPPING STONES
Stepping stones are to be 400 x 400 x min 45mm to match selected pavers for paved areas. Install stepping stones on 50mm depth mortar bed on compacted subgrade. Allow 200mm gap between stepping stones, set flush with new lawn areas or backfill with 75mm depth mulch as spec.

TURFING
Install new turf to lawn areas, as shown on plan. New turf to be Soft Leaf Buffalo 'Sir Walter'. Turf to be laid on a 50mm depth of Turf Underlay, as supplied by Australian Native Landscapes Pty Ltd. and cultivate thoroughly into soil. Fertilise with a lawn starter product.

PLANT ESTABLISHMENT / MAINTENANCE PERIOD

- Regular maintenance is to be carried out, including the following works:
- Watering - to maintain healthy growth, adjusted on regular basis to suit seasons.
 - Weeding to all garden and lawn areas.
 - Pest & disease control.
 - Tip pruning and fertilising as required.
 - Mowing and edging of all turf areas.

LEGEND

- EXISTING TREES & SHRUBS TO BE RETAINED & PROTECTED DURING CONSTRUCTION WORKS
- EXISTING TREE TO BE REMOVED
- PROPOSED NATIVE FEATURE TREE PLANTING (refer to Plant Schedule & Landscape Notes)
- PROPOSED SHRUB & GROUND COVER PLANTING (refer to Plant Schedule & Landscape Notes)
- LAWN AREAS
- GRAVEL MULCH
- DRIVEWAY PAVING
- PAVED AREAS (Pavers to be selected)
- MASONRY RETAINING WALLING (To engineers detail)
- STEPPING STONES 400x400mm pavers to match selected paving. Set in mulch or lawn.
- BRICK GARDEN EDGING

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE DOCUMENTATION

PLAN CERTIFICATION

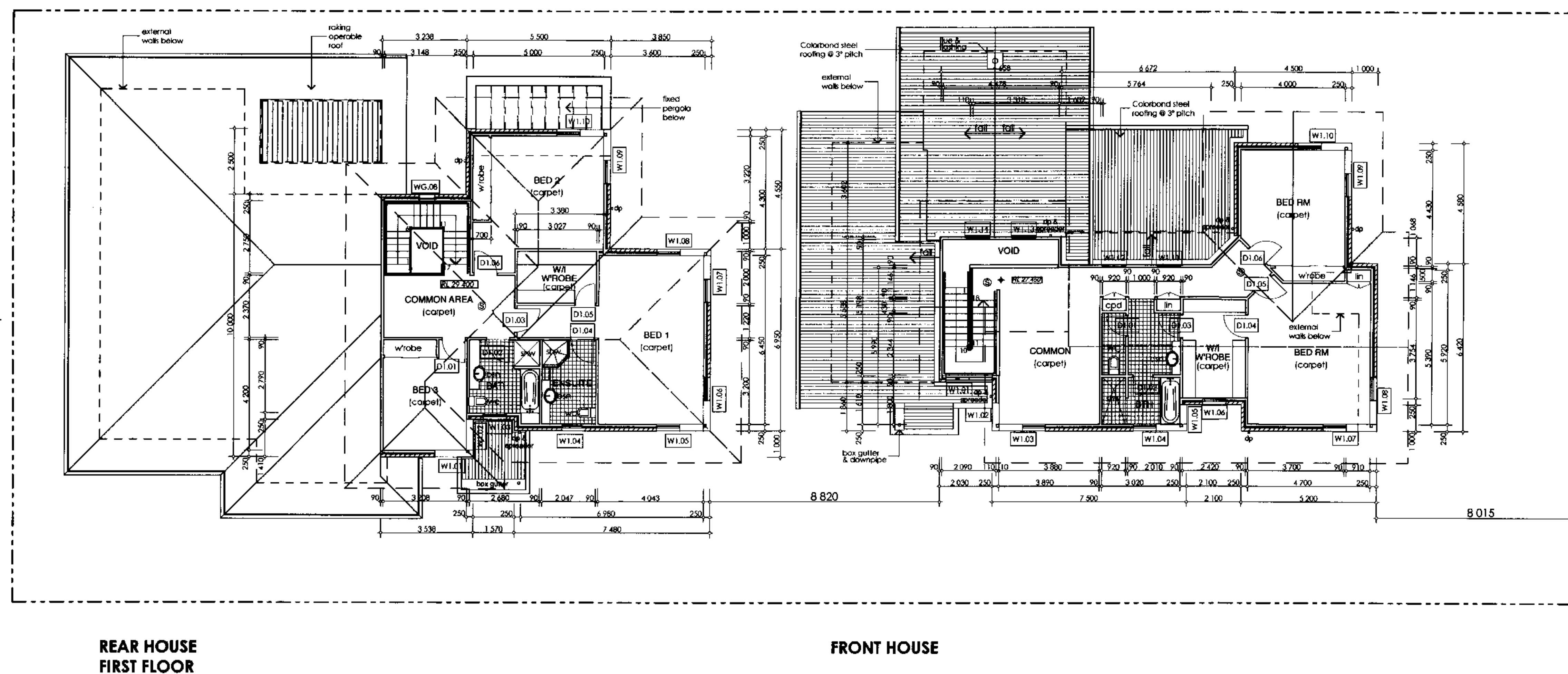
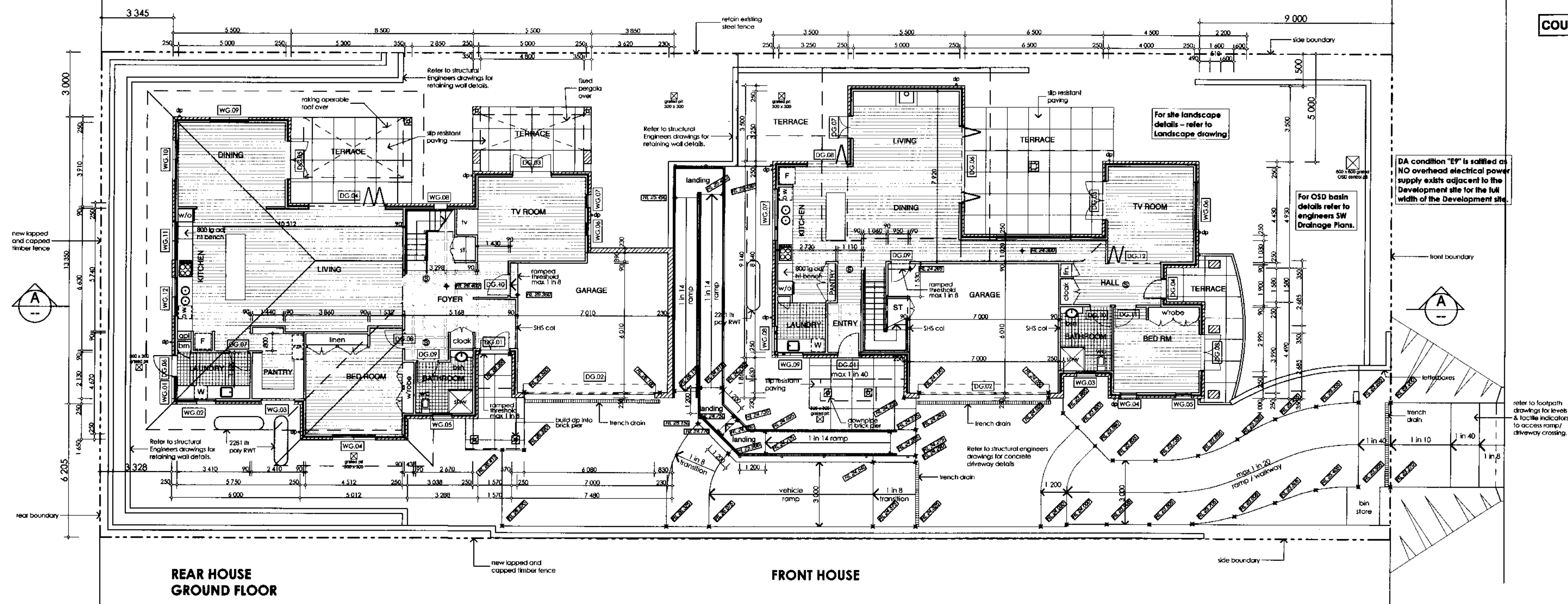
I, Lia Skountzou, the undersigned, am a practicing landscape architect (A/LA), suitably qualified to certify this component of the project.

Lia Skountzou 19/11/05
LIA SKOUNTZOU DATE

AMENDMENTS

A. Realignment of driveway entry; deletion of pedestrian entry; 19.05.05
lamp to rear house added; amendments to small detention & retaining walling added; adjustments to proposed planting & plant schedule.

ZENSCAPES LANDSCAPE ARCHITECTURE PO Box 531, COLLAROY NSW 2097 Ph 0414 851 357 Fax 9984 4337	
CLIENT: Mr T & Mrs D McLean	
PROJECT: 3A DYGAL STREET, MONA VALE	
DRAWING: LANDSCAPE PLAN	
DATE: 19/11/2005	DRAWN: LS
SCALE: 1:100	DWG No: L 01 A



- GENERAL NOTES:**

1. Carry out all work in accordance with the requirements of the Building Code of Australia.
2. Provide glazed panels or eye holes to doors DG-D1.
3. Install water conservation devices including tap flow restrictors, shower head restrictors & dual flush toilets with AIAA rollings.
4. Install hot water systems having minimum 3.5 star rating.
5. Fit out both dwellings to comply with the requirements of the Building Code of Australia.
6. Provide handrails complying with Figs. 9 & 17 of AS1428.1, to both sides of all stairs.
7. Provide 850mm clear opening to operate level with circulation spaces complying with Fig. 12 of AS1428.1, both inside & outside to all external stairs.
8. Provide 820mm clear opening to operate level of all internal doors.
9. Fit out the front (designated accessible) dwelling in accordance with the requirements of AS1429 Class 8.
10. Conceal all plumbing & drainage fixtures from public view.
11. Pipe all stormwater to the Council approved system (refer to engineers SW drawing).
12. Provide 100mm x 150mm access shown on the drawing satisfy the requirements for RW1s in Pitheadwater 21 DCP. (RW1s shown on engineers SW drawing D1 are no diagrams for this purpose as they are not in the sections to SW drawings).
13. Depict any specific storage locations.

All ramps to comply with AS 1428.

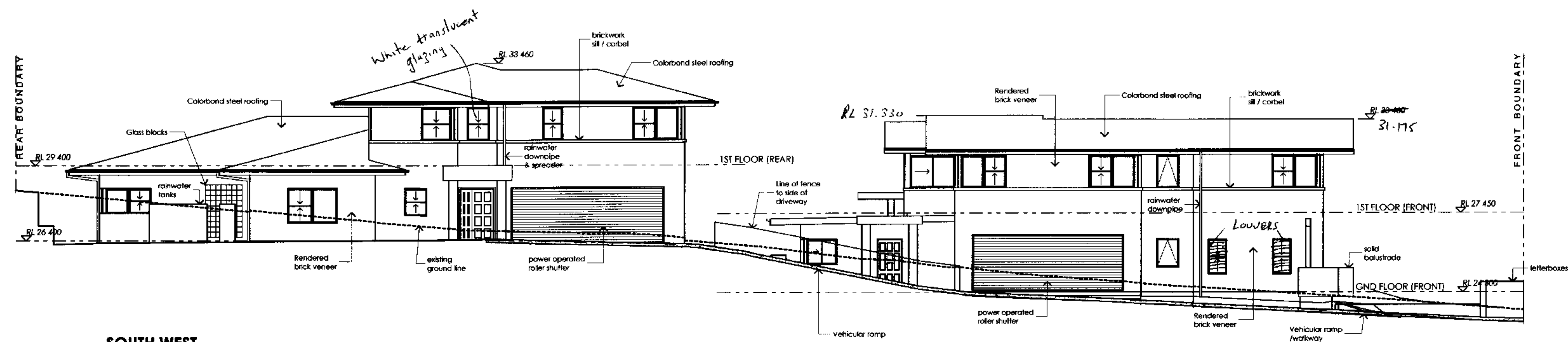
THE CERTIFICATION GROUP PTY LTD
CONSTRUCTION CERTIFICATE No. 105/2
Consent No. 972/68 Date 4/1/05
Plans or documentation associated with the issue of
the Construction Certificate
[Signature] Date 22/4/65
Wayne Treble Accreditation No P0100

WARNING

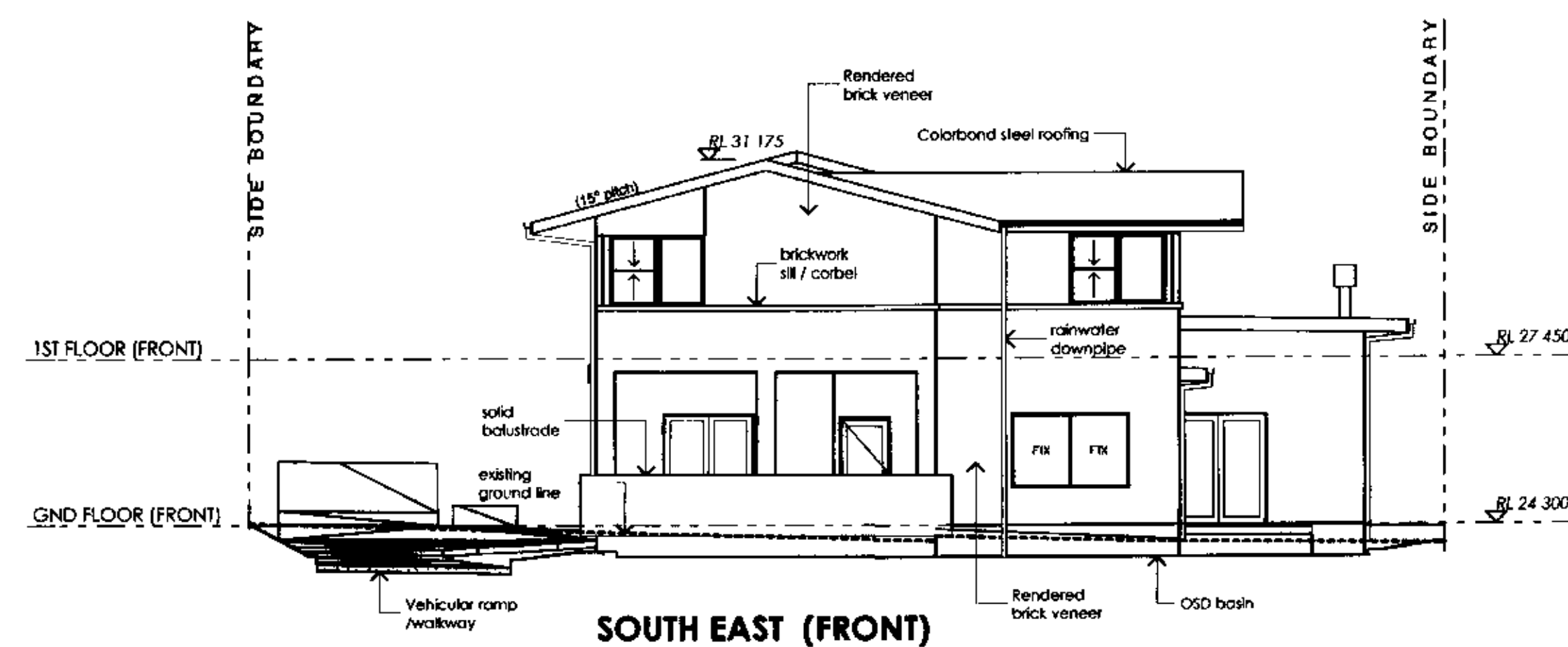
PLEASE NOTE: The stamping of this plan by The Certification Group P/L does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or utilities prior to commencement of any works.

DIAL BEFORE YOU DIG 1100

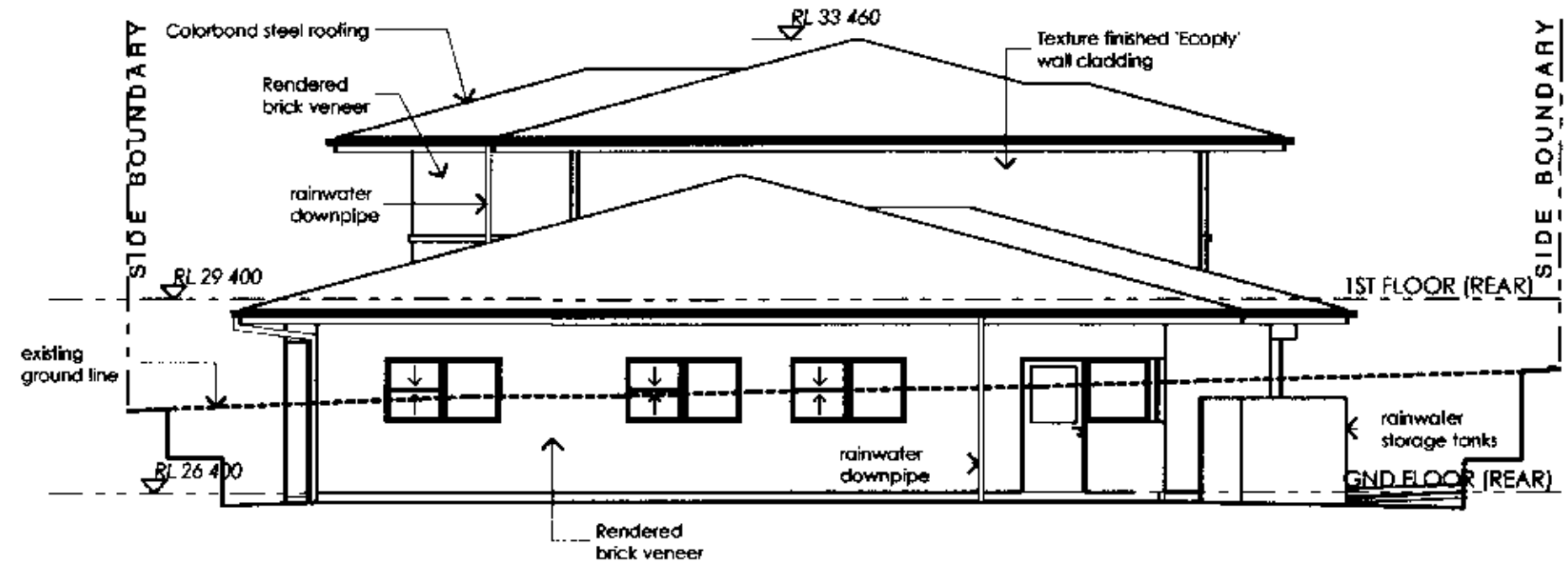
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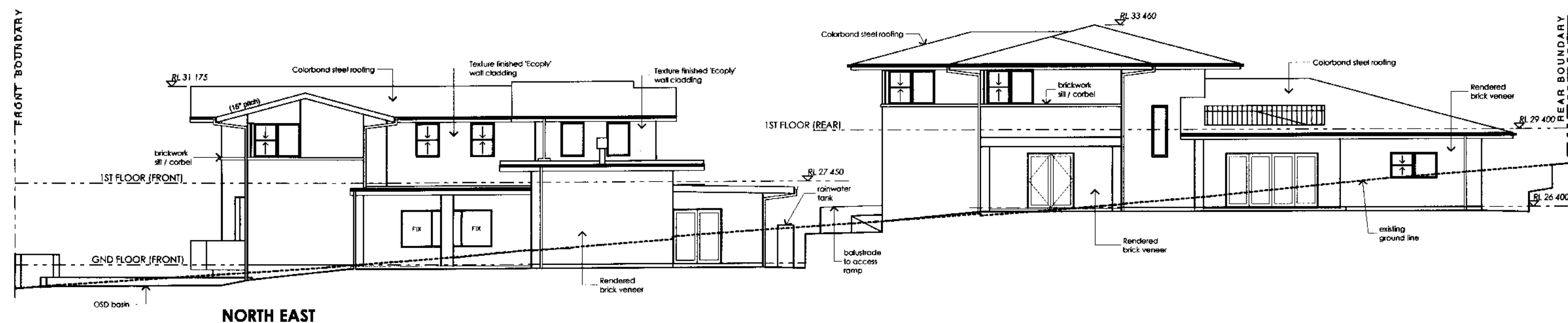
SOUTH WEST



SOUTH EAST (FRONT)



NORTH WEST (REAR)



NORTH EAST

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

WARNING

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DIAL BEFORE YOU DIG 1100

<p>Jan 2005</p> <p>A</p> <p>Issued for Construction Certificate purposes</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>
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The builder shall check and verify all dimensions and verify all errors and omissions to the Architect. Drawings shall not be used for construction purposes until issued by the Architect for construction.



SEAN GARTNER ARCHITECTS

SITE 15/16 RICHMOND STREET (PO BOX 1120)
MONA VALE NSW 2103

T: (02) 9379 4411
F: (02) 9379 4422
E: seangartner.com.au

Project: **PROPOSED HOUSES
3A DYGAL STREET, MONA VALE**

Client: **MCLEAN**

Drawing: **ELEVATIONS - SECTIONS - SHEET 1**

Drawn/Designed: **AB**

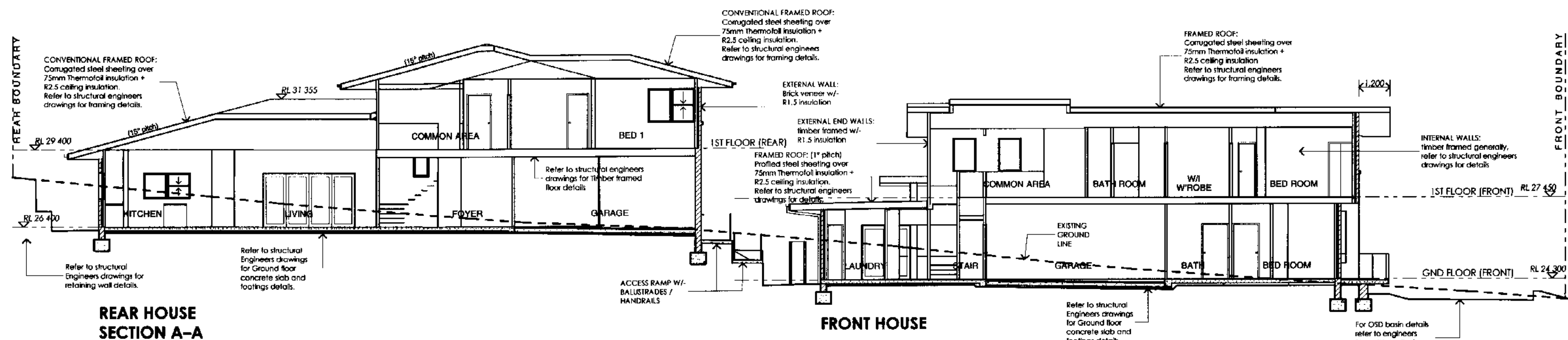
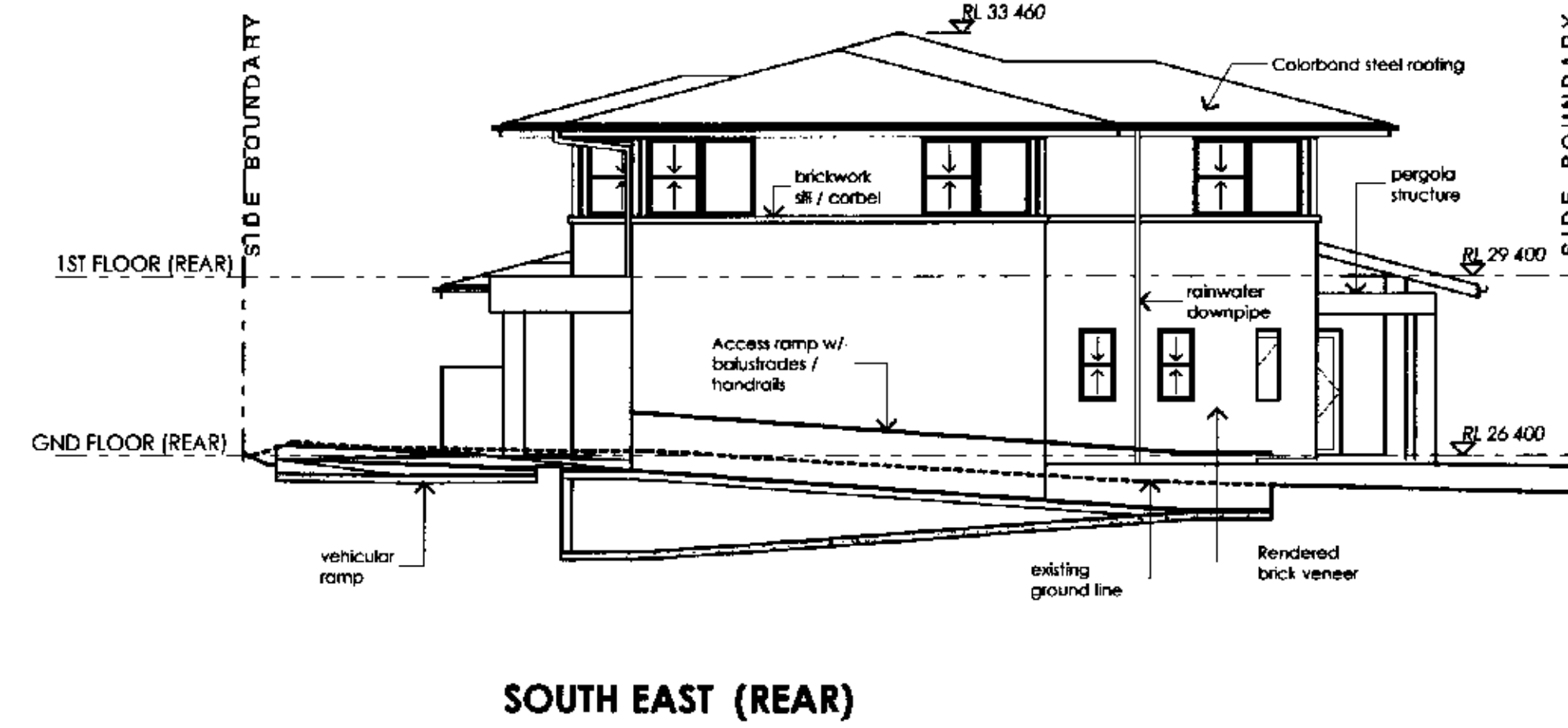
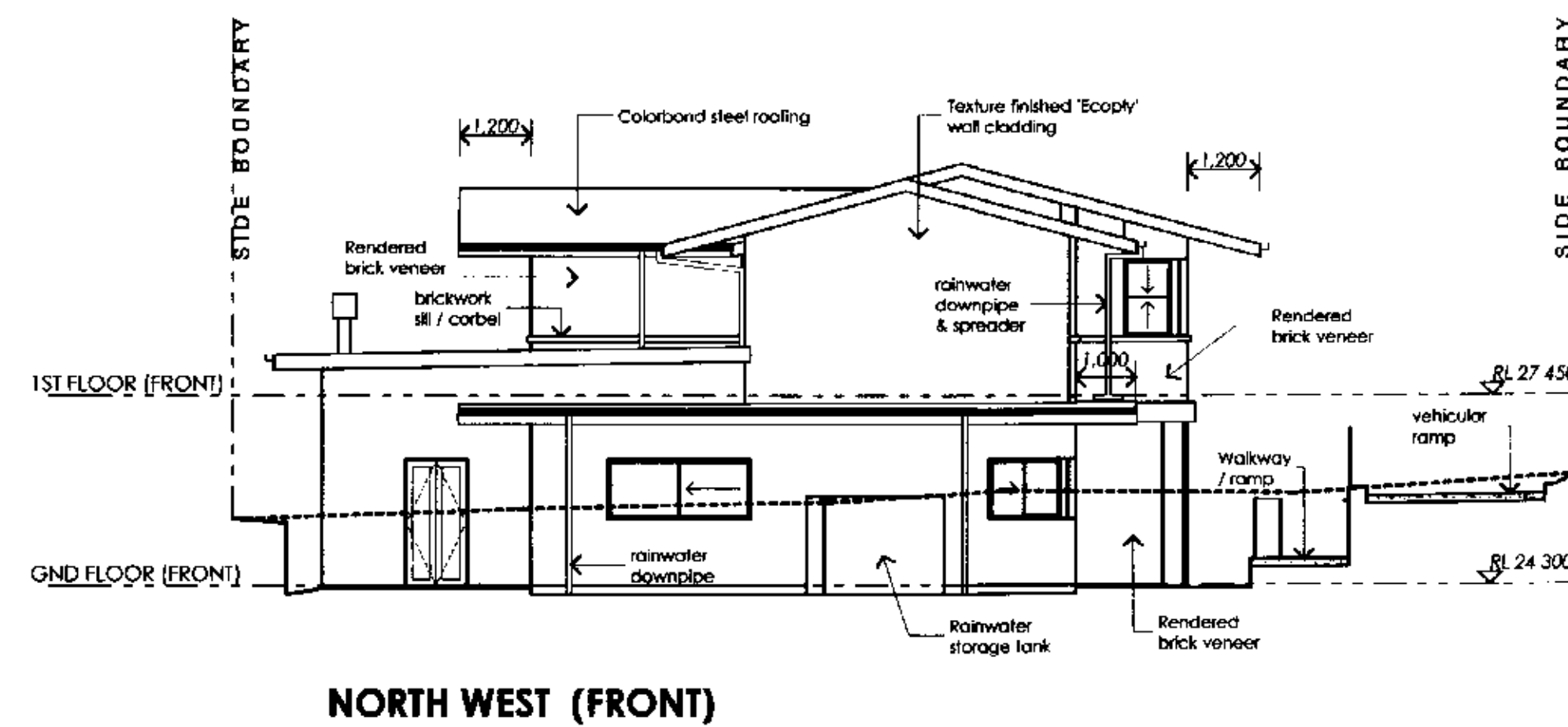
Project Number: **0347**

Drawing No: **CC-02**

Date: **DEC 2004**

Scale: **1:100 @ (A1)**

Issue: **A**



WARNING
PLEASE NOTE: The stamping of this plan by The Certification Group P/L does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or unless prior to commencement of any works.
DIAL BEFORE YOU DIG 1100

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

<p>Jan 2005</p> <p>A</p> <p>Issued for Construction Certificate purposes</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>	<p>Date:</p> <p>Issue:</p> <p>Description:</p>
--	--	--	--	--	--	--	--	--	--

The builder shall check and verify all dimensions and verify all notes and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

SEAN GARTNER ARCHITECTS

10/10 BUNGLAN STREET (PO BOX 1122)
MONA VALE NSW 2103

P: (02) 9379 4411
F: (02) 9379 4422
E: seangartner@seangartner.com.au

Project: **PROPOSED HOUSES**
3A DYGAL STREET, MONA VALE

Client: **MCLEAN**


Drawing: **ELEVATIONS - SECTIONS - SHEET 2**


Drawn/Designed: AB	Date: DEC 2004
Project Number: 0347	Scale: 1:100 @ A1
Drawing No: CC-03	Sheet: A


[illegible]

FOOTPATH DETAIL.
DYGAL ST., MONA VALE.
SCALE 1:200 DATUM A.H.D.



CONCRETE FOOTPATH: 

REVISED LEVELS: 

EXISTING LEVELS: 

**NB. PROPOSED FOOTPATH
INFORMATION ADDED TO
SURVEY DETAIL BY
SEAN GARTNER ARCHITECTS
SUITE 159 BUNGAN STREET
MONA VALE NSW 2103
TEL. 9978 4411
FAX. 9978 4422
DATE: 11 AUG & 9 DEC, 2004
OUR JOB N° 0347**

D. P. SURVEYING, INC.
LAND & ENGINEERING SURVEYORS
27 QUEBENS AVENUE, AVALON 2107.
PHONE : 98182090
FAX NO : 98187877
DATE : 26 JUL. 9 AUG & 2 DEC, 2004
MY REF: 1016

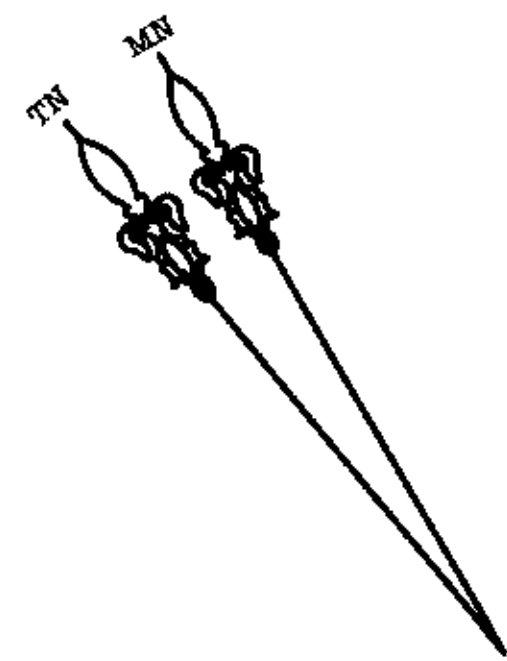
WARNING

PLEASE NOTE: The stamping of this plan by The Certification Group P/L does not relieve the Applicant's responsibility to obtain approval from Sydney Water or other Authority or utilities prior to commencement of any works.

DIAL BEFORE YOU DIG 1100

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION.

[illegible]



PLAN OF
FOOTPATH DETAIL
WARATAH ST., MONA VALE.
SCALE 1:200 DATUM A.H.D.

LEGEND:-

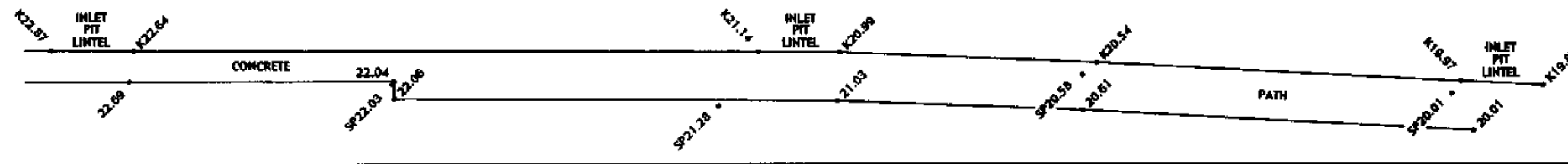
RECONSTRUCTED
CONCRETE: 
REVISED LEVELS: 
EXISTING LEVELS: 



D. P. SURVEYING SERVICES

LAND & ENGINEERING SURVEYORS
27 QUEENS AVENUE, AVALON 2107.
PHONE : 99162060
FAX NO : 99167677
DATE : 2 DECEMBER, 2004
MY REF : 1016

NB. PROPOSED FOOTPATH &
KERB RAMP RECONSTRUCTION
INFORMATION ADDED TO
SURVEY DETAIL BY
SEAN GARTNER ARCHITECTS
SUITE 15/9 BUNGAN STREET
MONA VALE NSW 2103
TEL 9979 4411
FAX 9979 4422
DATE: 6 DEC 2004
OUR JOB N° 0347



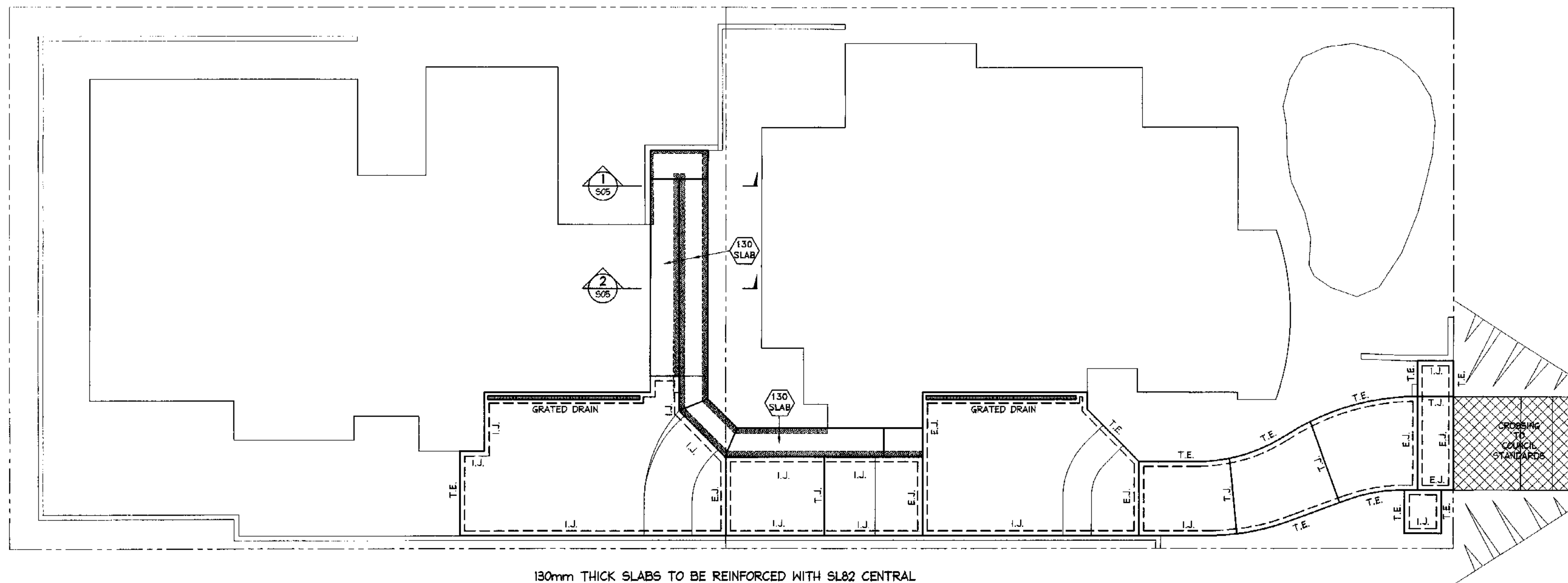
WARNING

PLEASE NOTE: The stamping of this plan by The
Certification Group P/L does not relieve the
Applicant's responsibility to obtain approval from
Sydney Water or other Authority or utilities prior to
commencement of any works.
DIAL BEFORE YOU DIG 1100

THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

Jan 2005		A	Previous Drawn/Designed/Issued for Construction Certificate purposes	Dec 2004		B	Issued for Construction Certificate purposes
Dec 2004		B	Issued for Construction Certificate purposes	Dec 2004		B	Issued for Construction Certificate purposes
Dec 2004		B	Issued for Construction Certificate purposes	Dec 2004		B	Issued for Construction Certificate purposes

The builder shall check and verify all dimensions and verify all areas and omissions to the Architect. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.		SEAN GARTNER ARCHITECTS SUITE 15/9 BUNGAN STREET (PO BOX 1128) MONA VALE NSW 2103 P 9979 4411 F 9979 4422 E sgartner@seanarchitects.com.au		Project: PROPOSED HOUSES 3A DYGAL STREET, MONA VALE Client: MCLEAN Drawing: FOOTPATH - WARATAH / KEENAN STS		Drawn/Designed: AS Project Number: 0347 Drawing No.: CC-05		Date: DEC 2004 Scale: 1:200 @ (A1) Sheet: A	
--	--	---	--	--	--	--	--	---	--



130mm THICK SLABS TO BE REINFORCED WITH SL82 CENTRAL
 ALL SLAB PANELS TO 125mm THICK SLAB ON GRADE UNO.
 ALL SLAB PANELS TO BE REINFORCED WITH SL82 TOP UNO
EXTERNAL WORKS SLAB PLAN
 SCALE = 1 : 100

NOTE:
 CONCRETE STRENGTH:
 EXTERNAL SLABS:
 f'c = 40 MPa, COVER = 45 mm

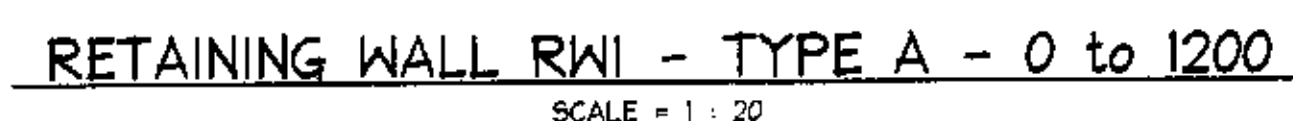
THE CERTIFICATION GROUP PTY LTD
 APPROVED CONSTRUCTION CERTIFICATE
 DOCUMENTATION

- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
 2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

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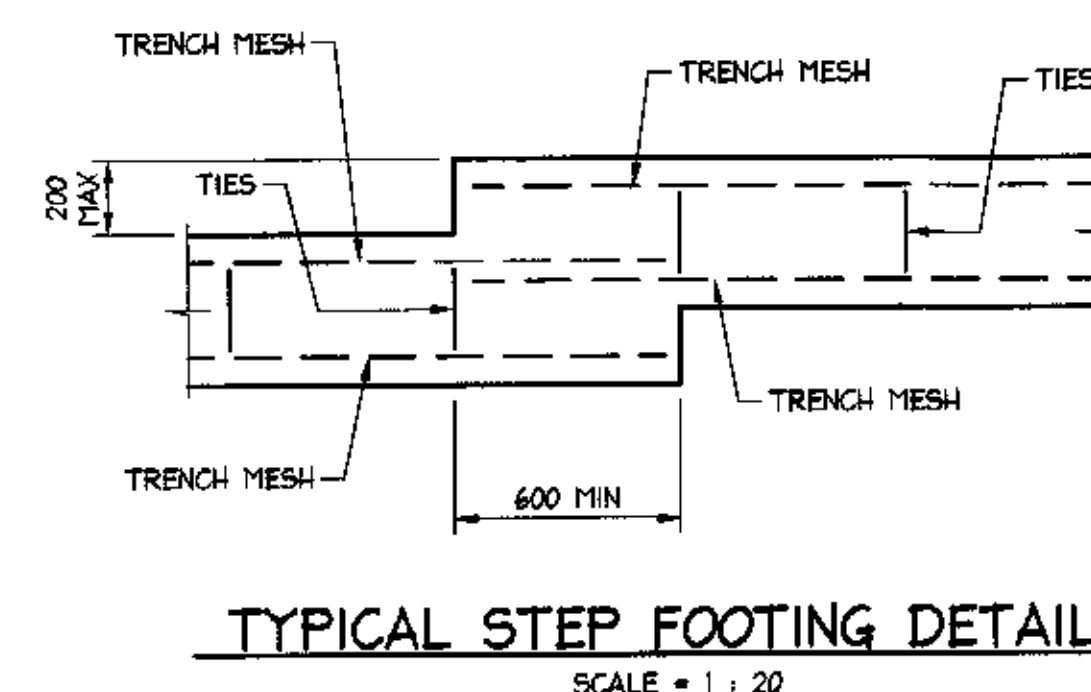
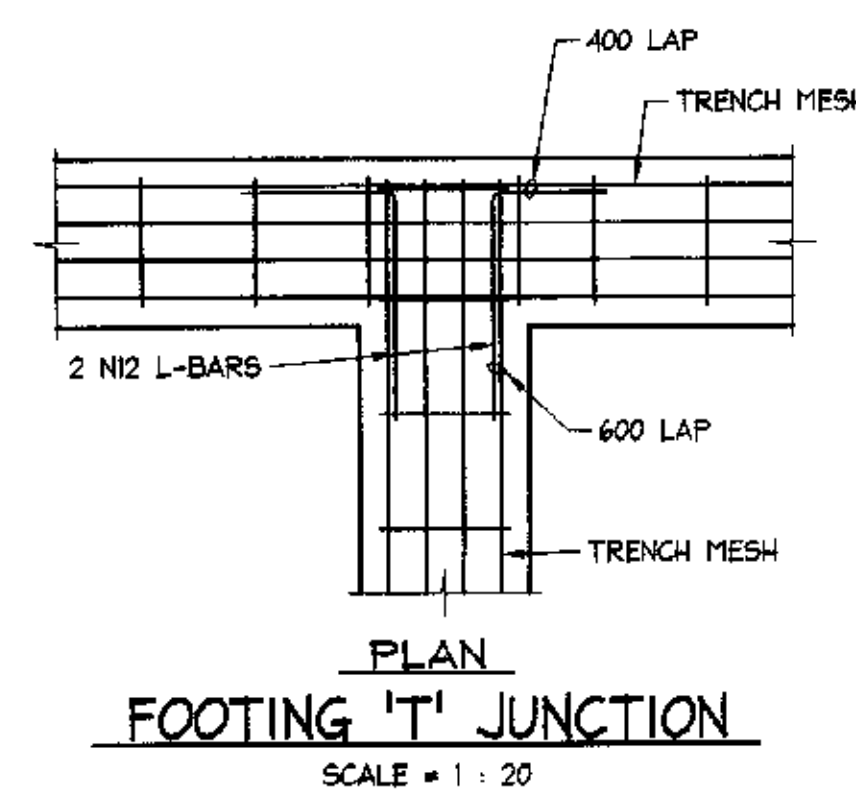
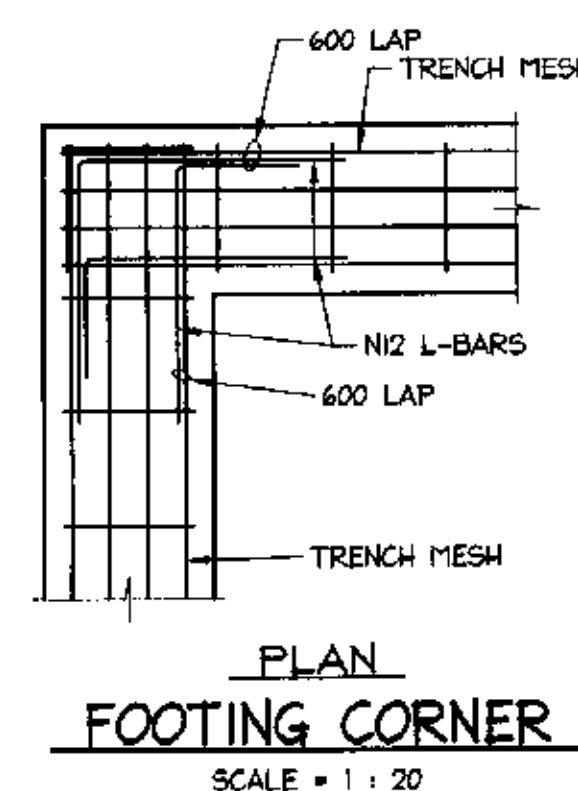
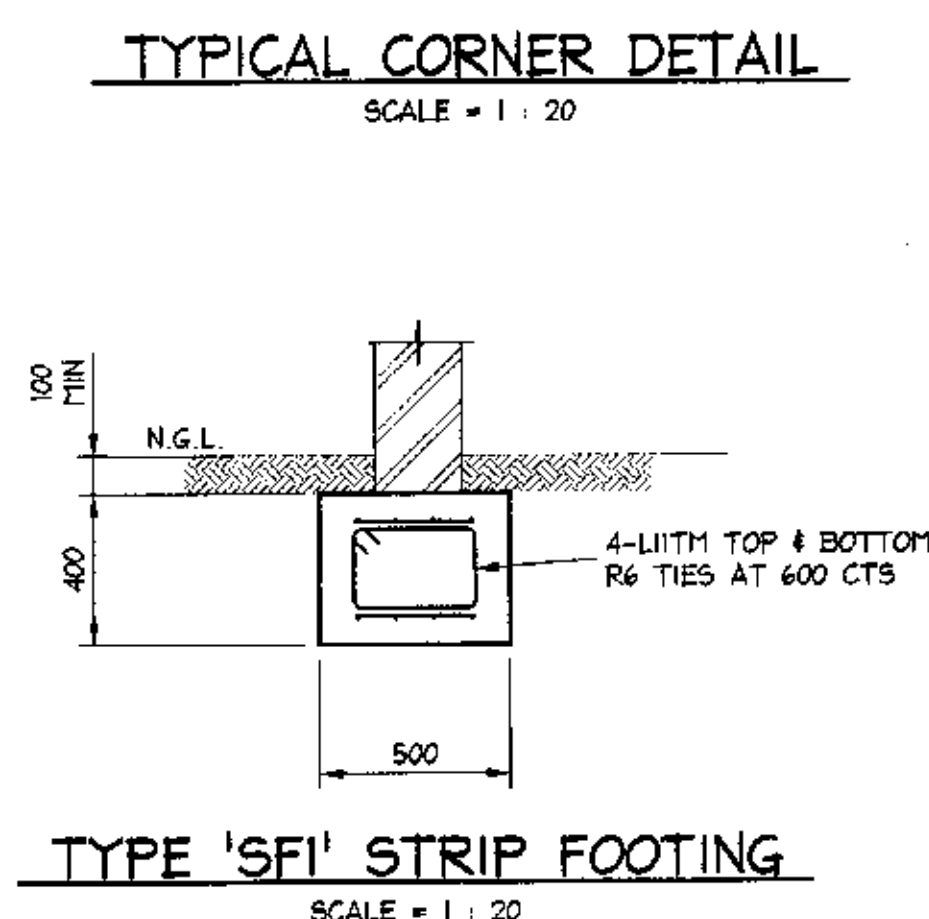
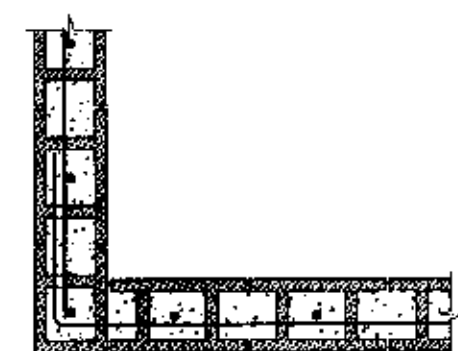
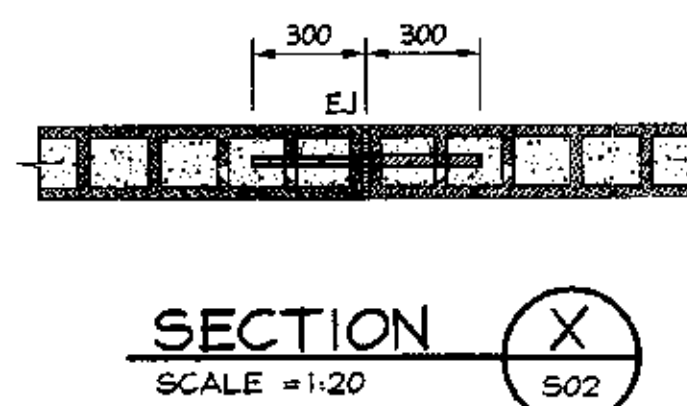
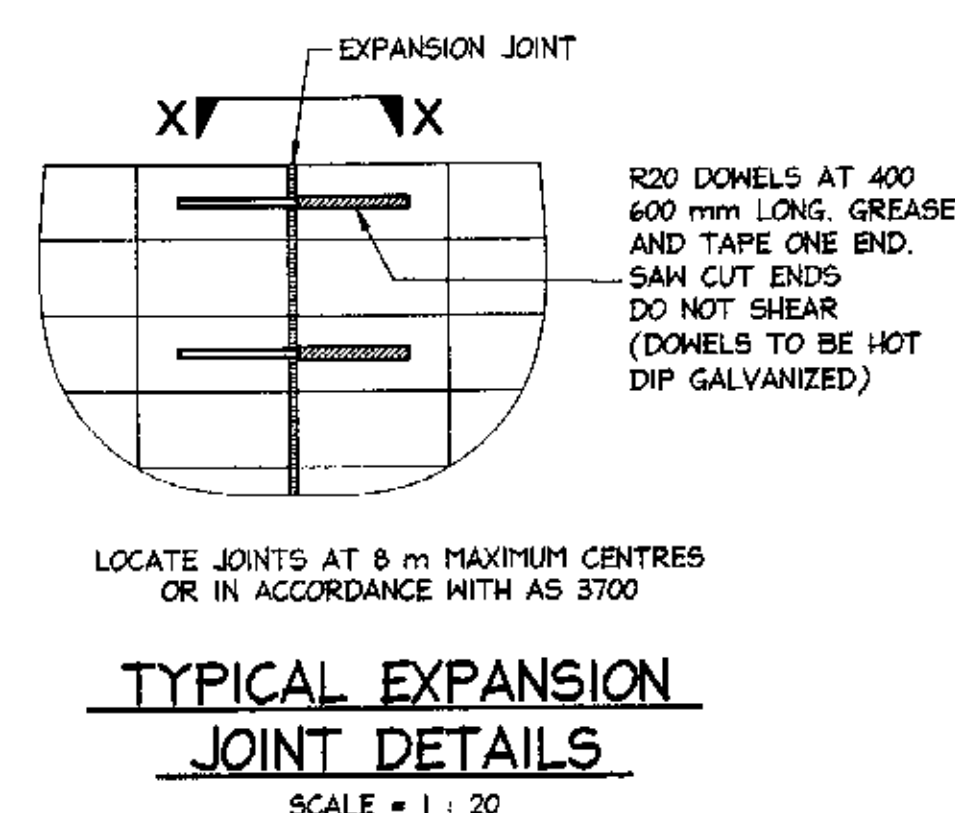
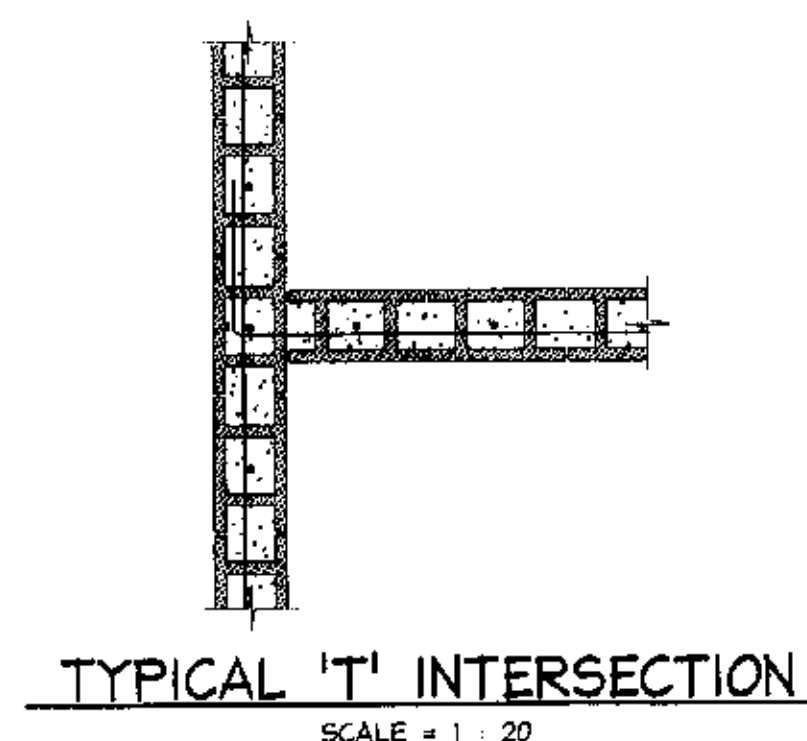
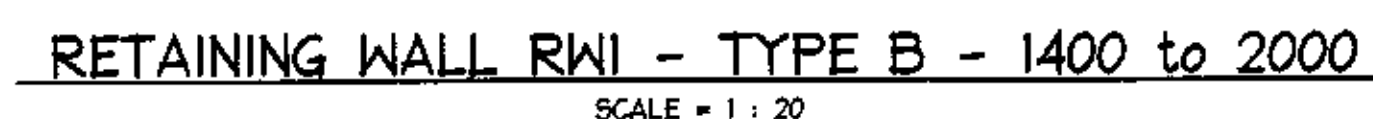
AI

			DOCUMENT CERTIFICATION						Project: PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tam McClean			Drawing Title: EXTERNAL WORKS SLAB PLAN			Date: Nov 2004	Design: L.M.	Drawn: Paul R Bruce OMIEAust.	Checked:
Date: 12/05/04 Lucas Molloy (Director Northern Beaches Consulting Engineers)			I am a qualified Structural/Civil Engineer. I hold the following qualifications: BE(Civil), CPEng, MIEAust., NPER, Institute of Engineers Membership No. 788184 I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.			ACN: 078 121 616 A.B.N. 24 078 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2089 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbconsulting.com.au						The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.			Job No: 041124	Drawing No: S03	Rev: -	
Date:	Rev:	Amendment:																



WALL TYPE	TOTAL WALL HEIGHT 'H'	LEVEL BACKFILL			's'/BARS	MAX. 1 in 4 SLOPING BACKFILL	
		'B'	'D'	'H'		'B'	'D'
A	800	600	500	450	N12 AT 400	800	500
	1000	800	500	450	N12 AT 400	1000	500
	1200	1000	500	450	N12 AT 400	1200	600
B	1400	1200	500	450	N16 AT 400	1400	600
	1600	1400	600	450	N16 AT 400	1600	700
	1800	1400	700	450	N16 AT 400	1800	800
	2000	1800	700	600	N16 AT 200	2000	800

NOTE: BASE DIMENSIONS FOR LEVEL BACKFILL, SLOPE UP TO 1 in 4 WITH 5 kpa SURCHARGE



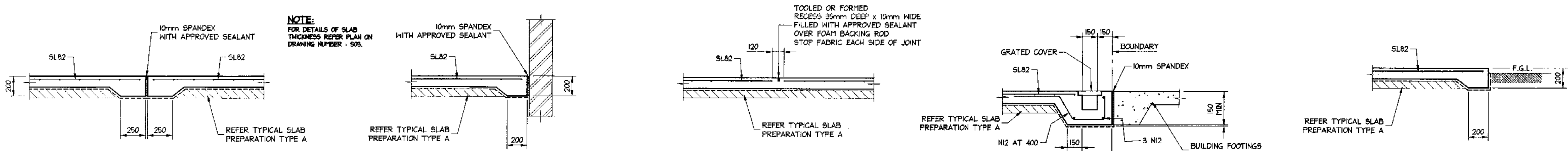
THE CERTIFICATION GROUP PTY LTD
APPROVED CONSTRUCTION CERTIFICATE
DOCUMENTATION

NOTES:

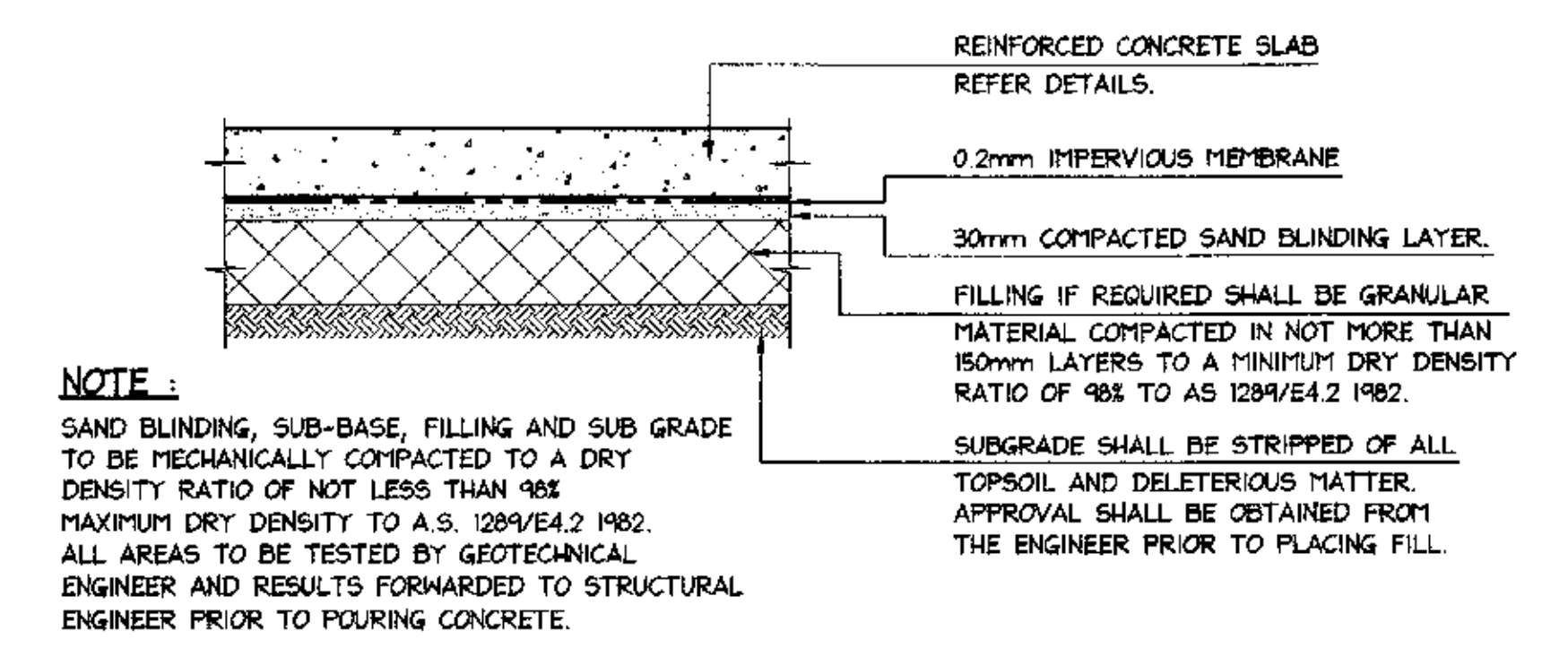
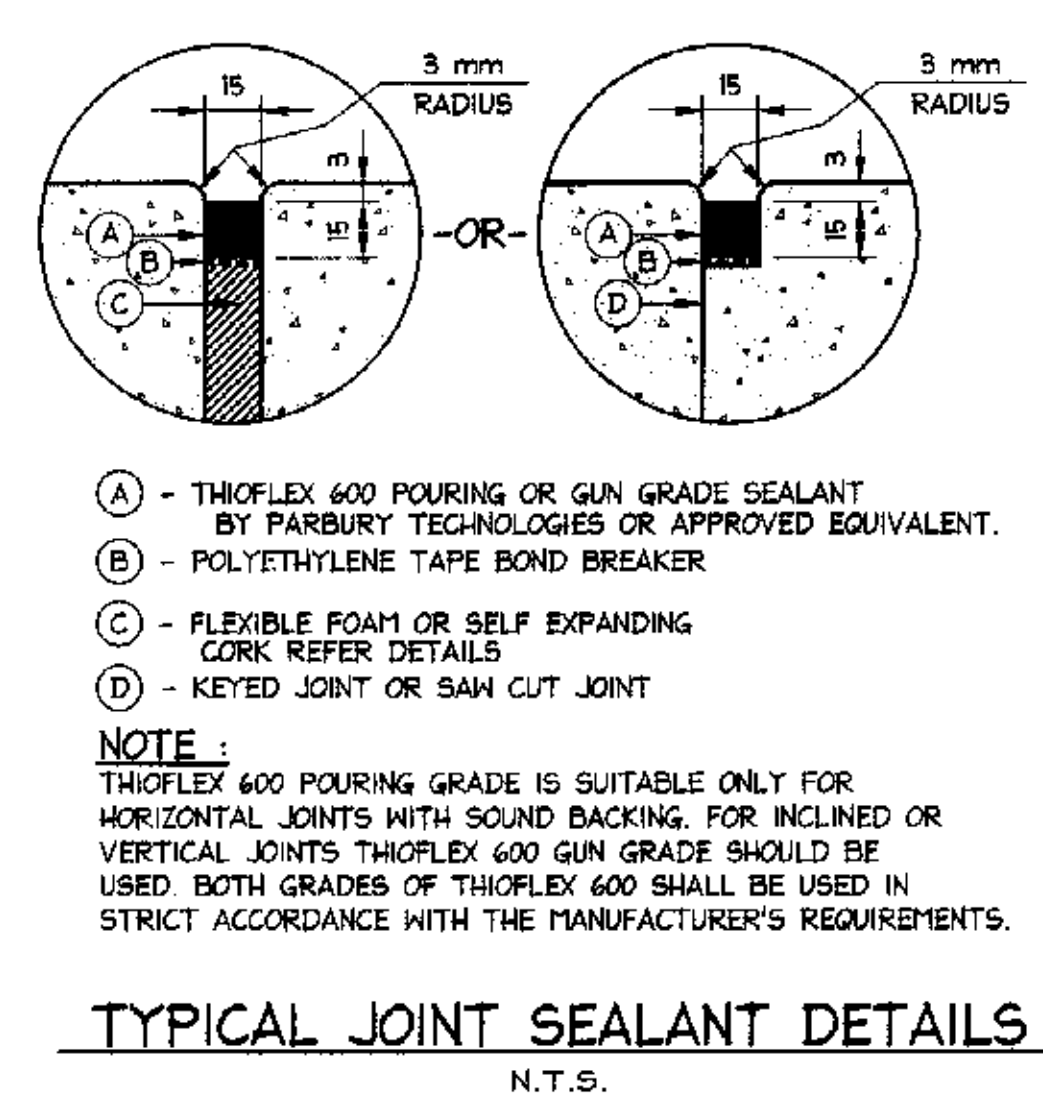
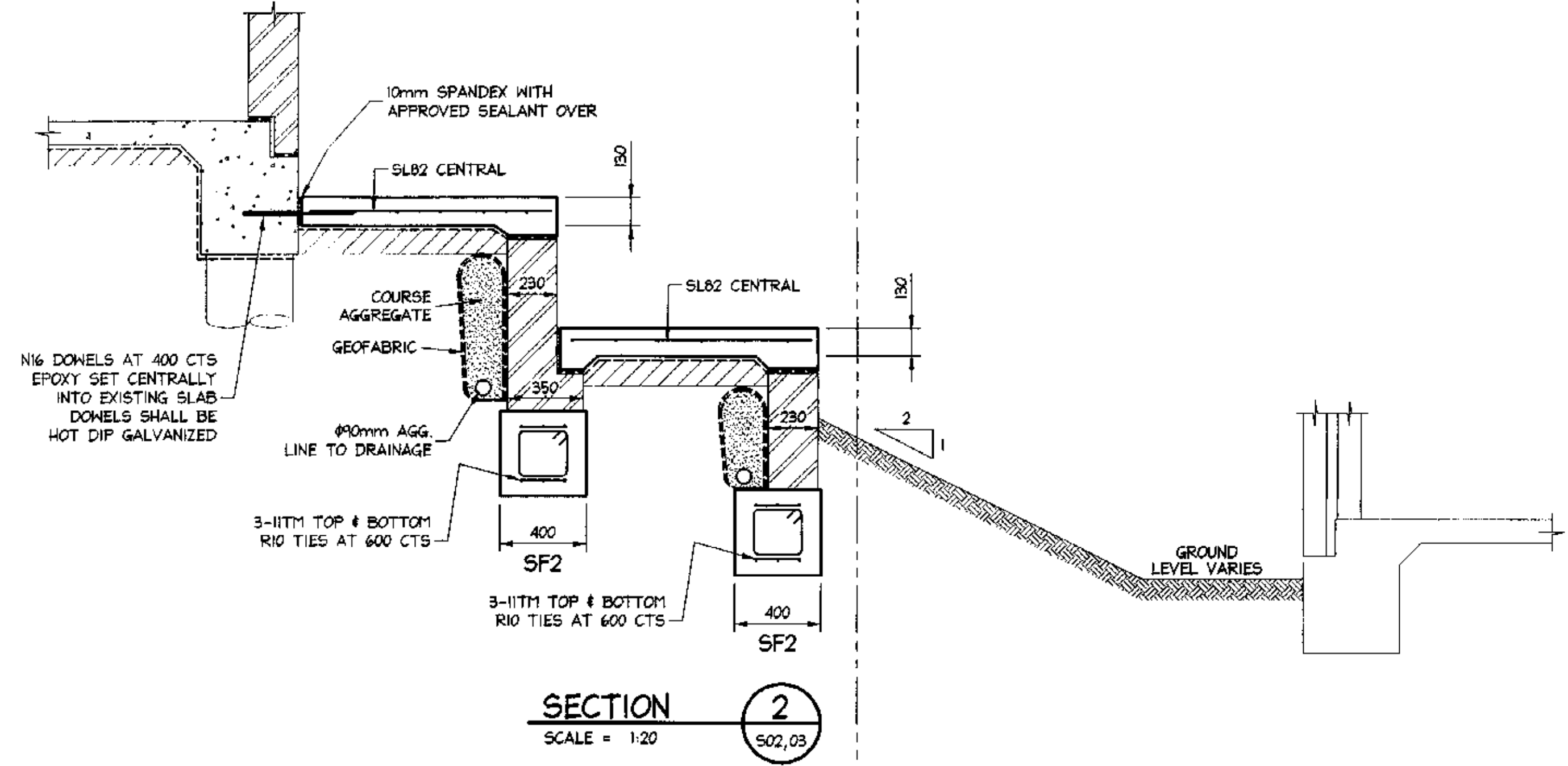
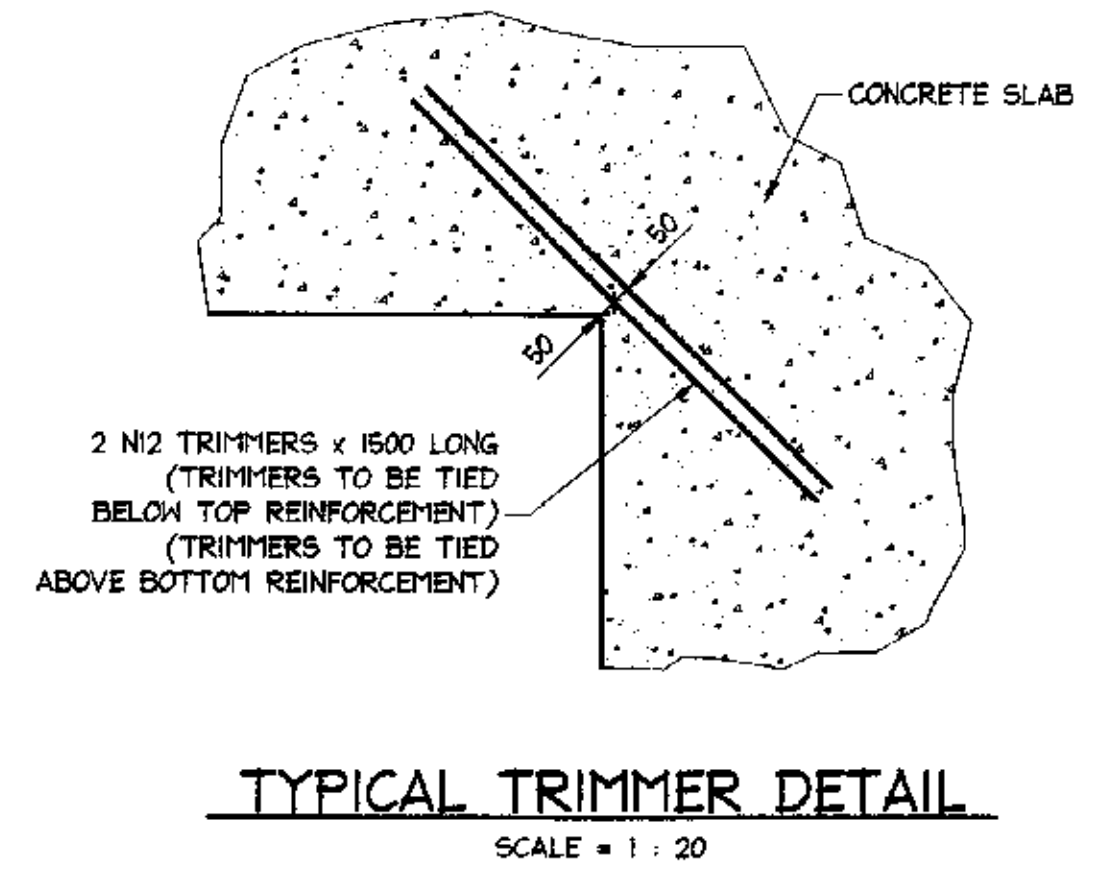
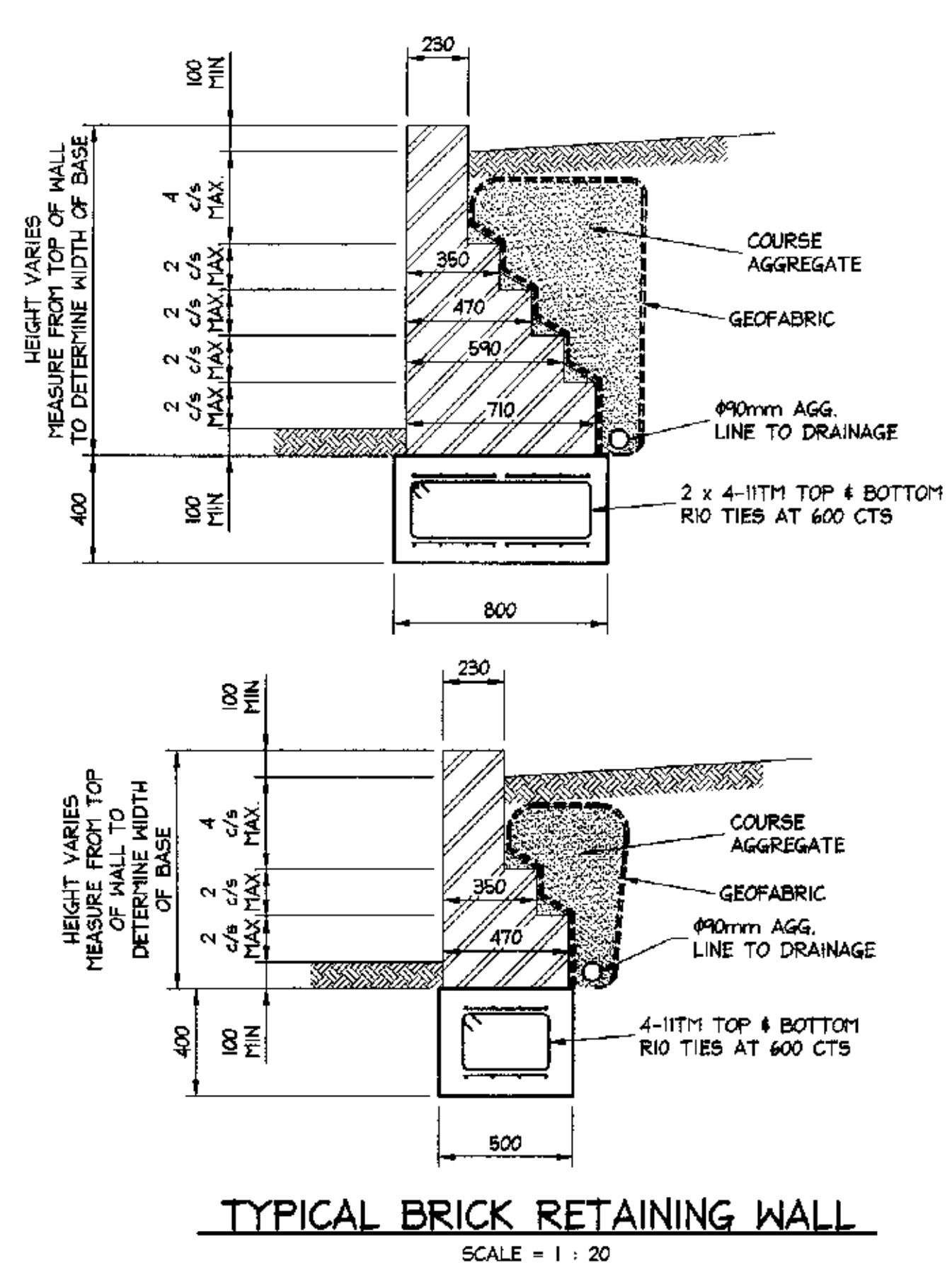
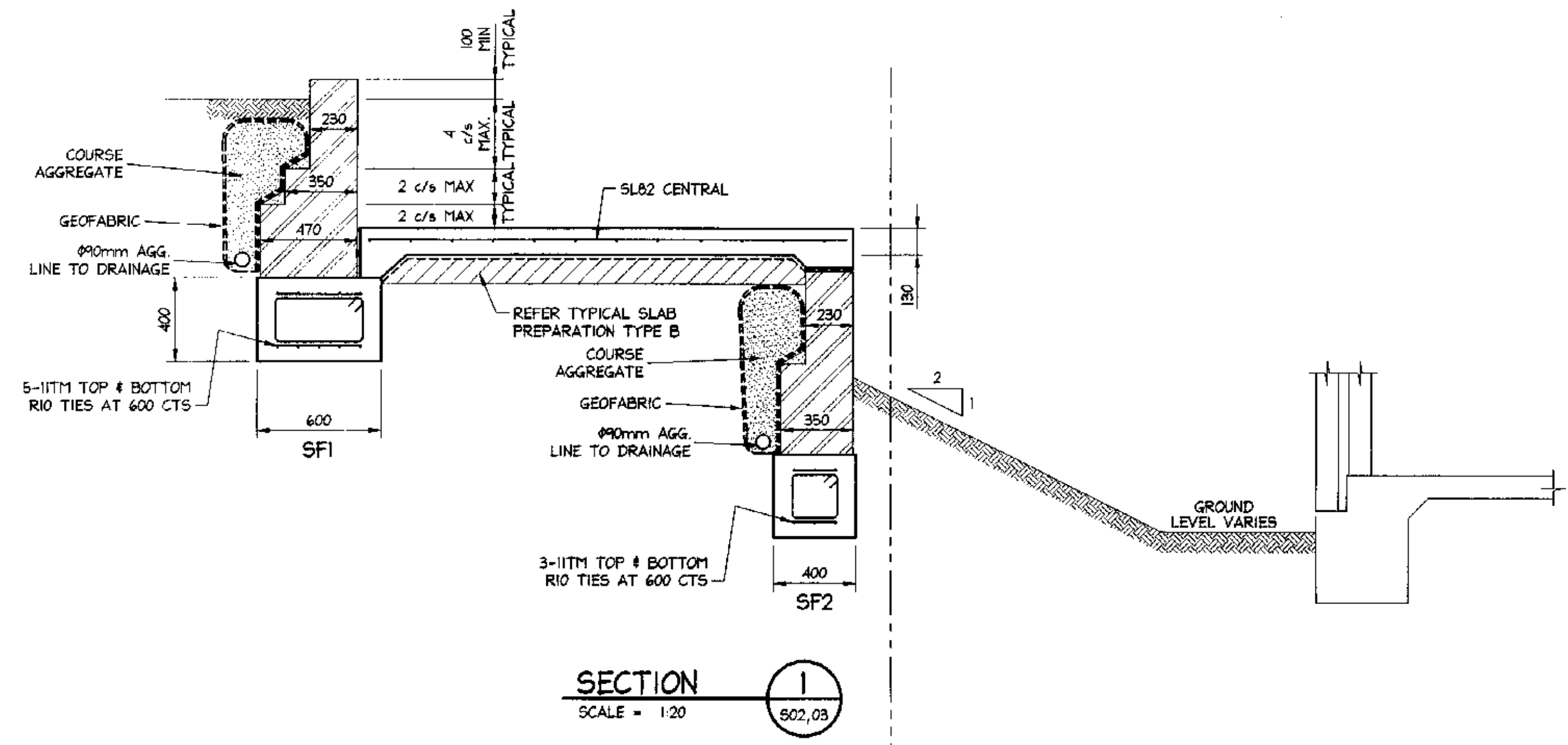
1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: 501

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CONSTRUCTION
CERTIFICATE
SUBMISSION ONLY**

Date: <u>5/10/04</u> Lucas Molloy (Director Northern Beaches Consulting Engineers)			DOCUMENT CERTIFICATION I am a qualified Structural/Civil Engineer. I hold the following qualifications: BE(Civil), CPEng, MIEAust., NPFR. Institute of Engineers Membership No 78818/4 I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.			 NORTHERN BEACHES Consulting Engineers P/L A.C.N. 078 121 816 A.B.N. 24 078 121 816 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9884 7000 Fax: (02) 9884 7444 e-mail: nb@nbconsulting.com.au			Project: PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tom McClean			Drawing Title: EXTERNAL WORKS DETAILS FOOTINGS AND RETAINING WALLS The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.			Date: Nov 2004		Design: L.M.		Drawn: Paul R Bruce CMIEAust.		Check: —	
Date: _____ Rev: _____ Amendment: _____									Job No: 041124			Drawing No: S04		Rev: —								



THICKENED EDGE DETAIL DENOTED T.E. ON PLAN
SCALE = 1 : 20

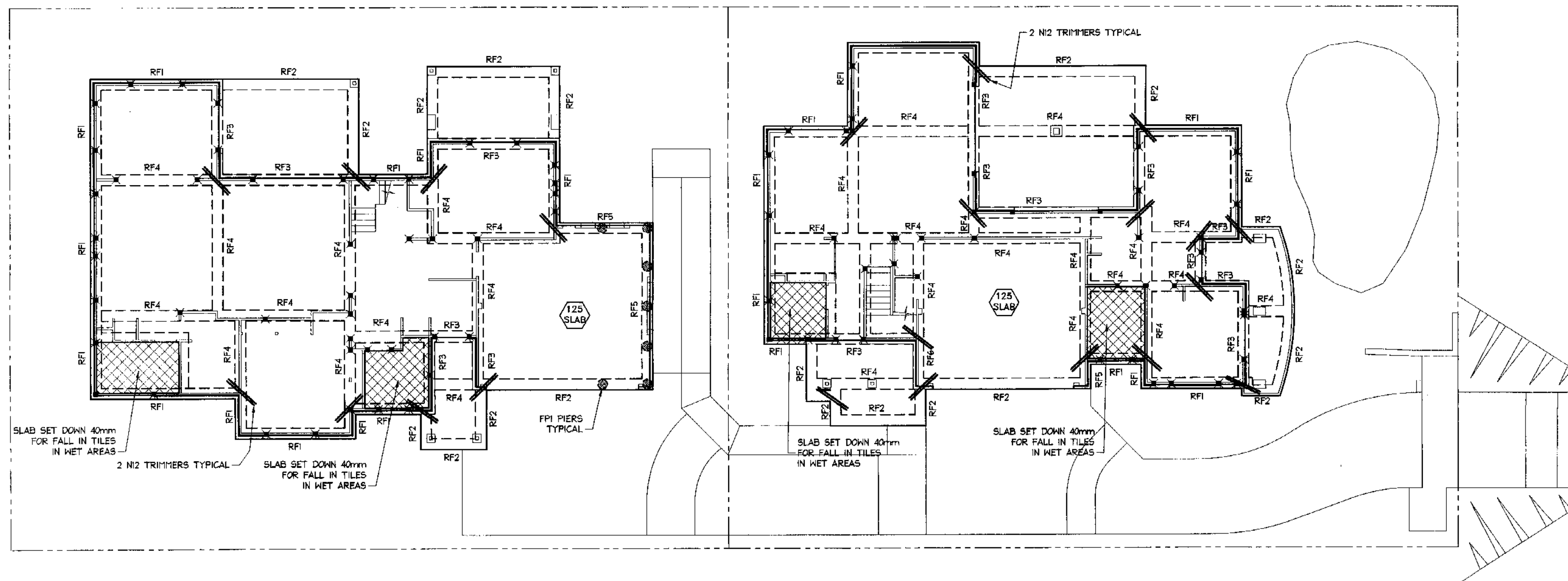


NOTES:

- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
- FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

ISSUED FOR CONSTRUCTION CERTIFICATE SUBMISSION ONLY

<p>AI</p>	<p>DOCUMENT CERTIFICATION</p> <p>Date: <i>Jan 05</i></p> <p>Lucas Molloy (Director Northern Beaches Consulting Engineers)</p>	<p>I am a qualified Structural/Civil Engineer. I hold the following qualifications: BE(Civil), CPEng, MIEAust, NPER Institute of Engineers Membership No. 788184 I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.</p>	<p>NORTHERN BEACHES Consulting Engineers P/L</p> <p>ACN: 078 121 616 ABN: 24 078 121 616 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbconsulting.com.au</p>	<p>Project: PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tom McClean</p>	<p>Drawn Title: EXTERNAL WORKS SLAB DETAILS</p> <p>Date: Nov 2004 Design: L.M. Drawn: Paul R Bruce Checked: <i>Paul R Bruce</i></p> <p>Job No: 041124 Drawing No: S05 Rev: -</p>
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ALL SLAB PANELS TO 110mm THICK SLAB ON GRADE UNO.
ALL SLAB PANELS TO BE REINFORCED WITH SL82 TOP UNO

FOOTING AND GROUND FLOOR SLAB PLAN

SCALE = 1 : 100

NOTE:
CONCRETE STRENGTH:
FOOTINGS:
f'c = 25 MPa, COVER = 65 mm
INTERNAL SLABS:
f'c = 32 MPa, COVER = 30 mm
EXTERNAL SLABS:
f'c = 40 MPa, COVER = 45 mm

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DOCUMENTATION

- NOTES:**
- ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
 - FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

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CERTIFICATE
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Date:	Design:	Drawn:	Checked:
Nov 2004	L.M.	Paul R Bruce OMIEAust.	
Job No:	Drawing No:	Rev:	
041124	S06	-	

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DOCUMENT CERTIFICATION

Date: 5/11/05
Lucas Molloy
(Director Northern Beaches Consulting Engineers)

I am a qualified Structural/Civil Engineer.
I hold the following qualifications:
BE(Civil), CPENG, MIEAust, NPER,
Institute of Engineers Membership No. 788184
I hereby state that this drawing is in compliance
with the provisions of the Building Code of
Australia and/or relevant Australian/Industry
Standards.

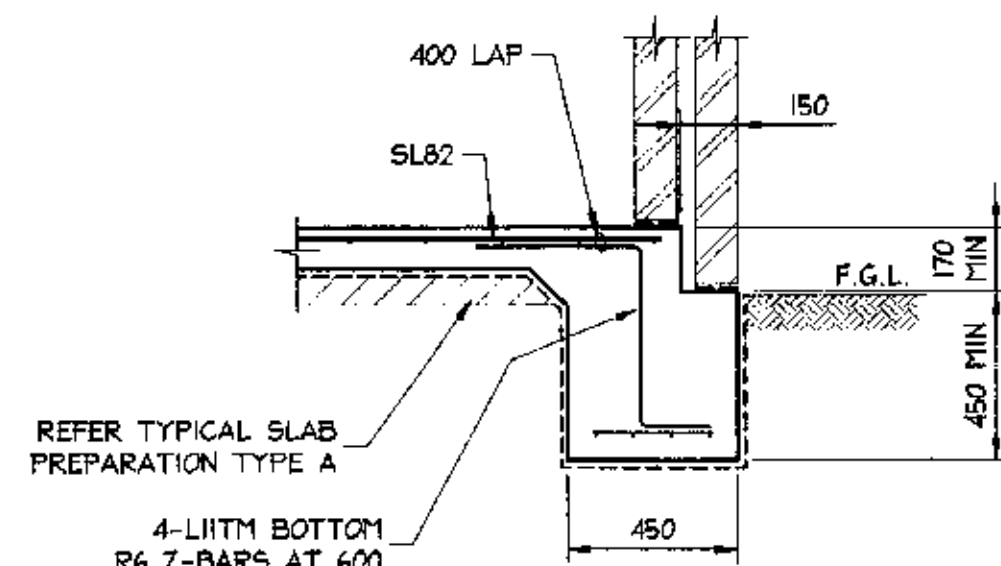
NB NORTHERN BEACHES
Consulting Engineers P/L
A/CN 078 121 816 A/BN 34 078 121 816
Suite 207, 30 FISHER ROAD
DEE WHY N.S.W. 2099
Ph: (02) 9984 7000 Fax: (02) 9984 7444
e-mail: nb@nbconsulting.com.au

Project:
PROPOSED HOUSES
at: 3A Dygal Street
Mona Vale
for: Tom McClean

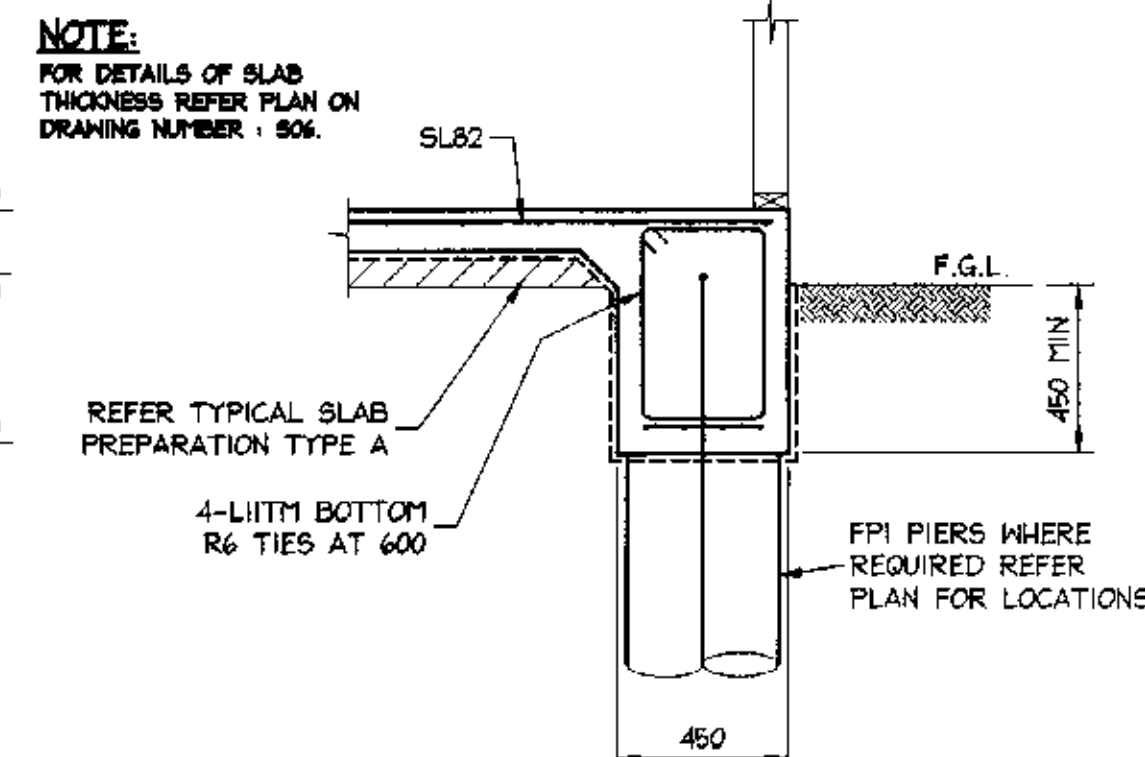
Drawing Title:
**FOOTING AND GROUND
FLOOR SLAB PLAN**

AI

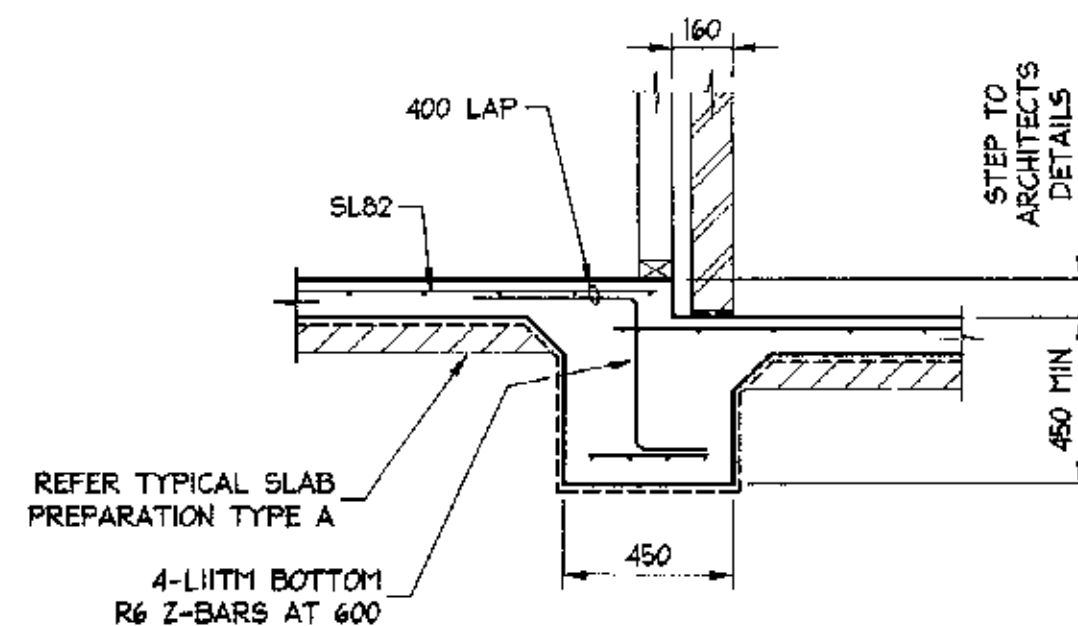
Date:	Rev:	Amendment:



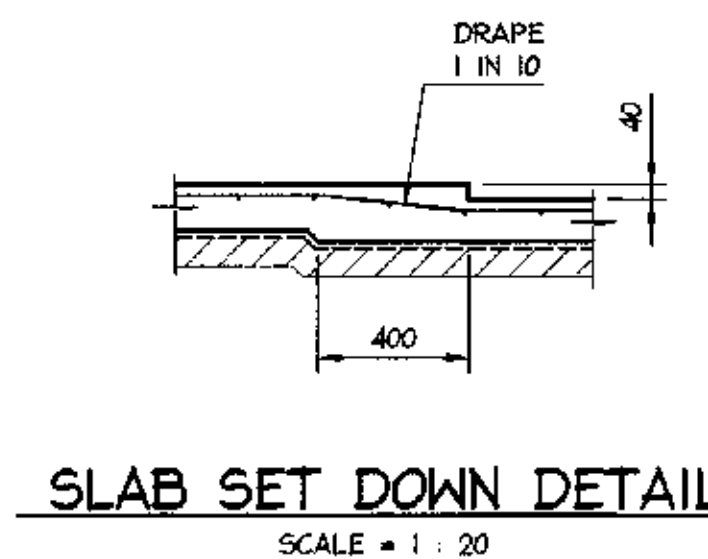
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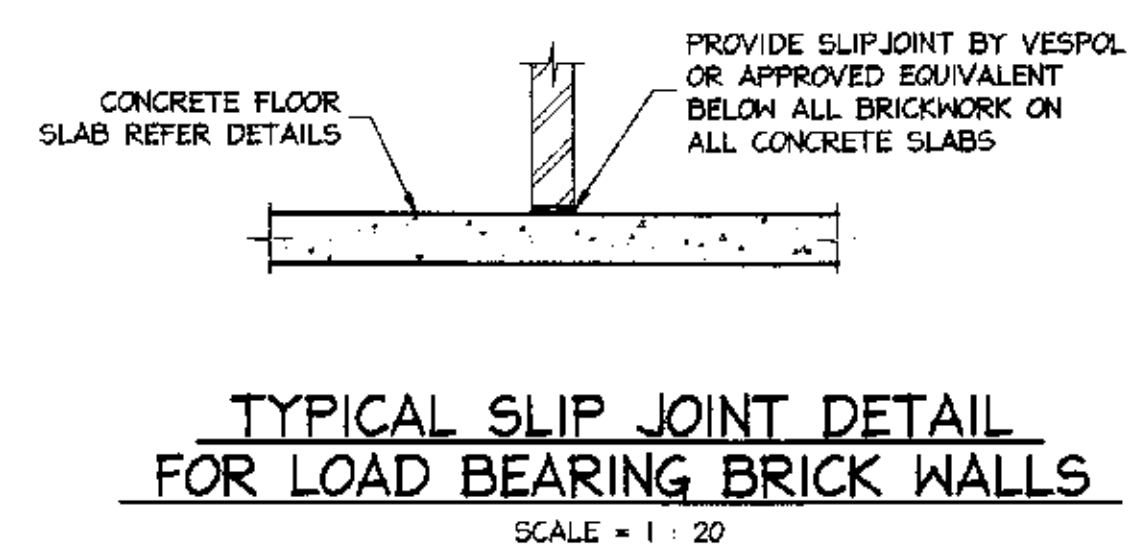
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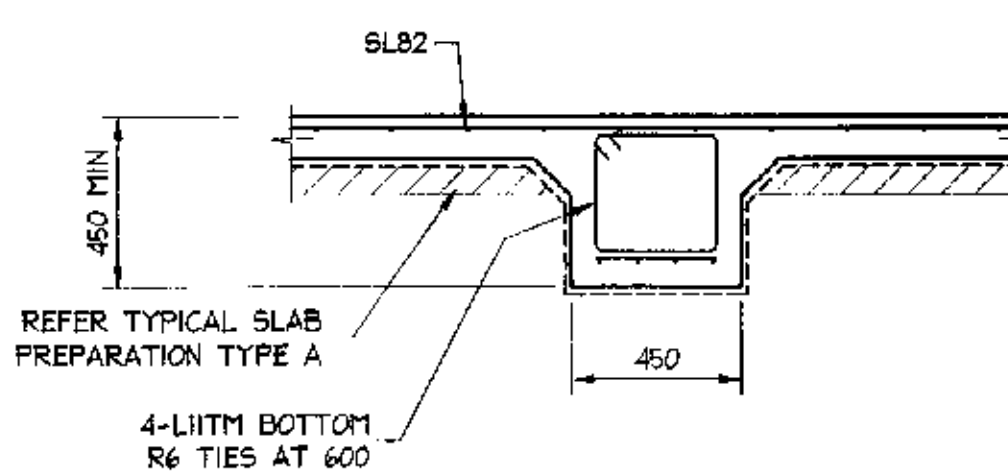
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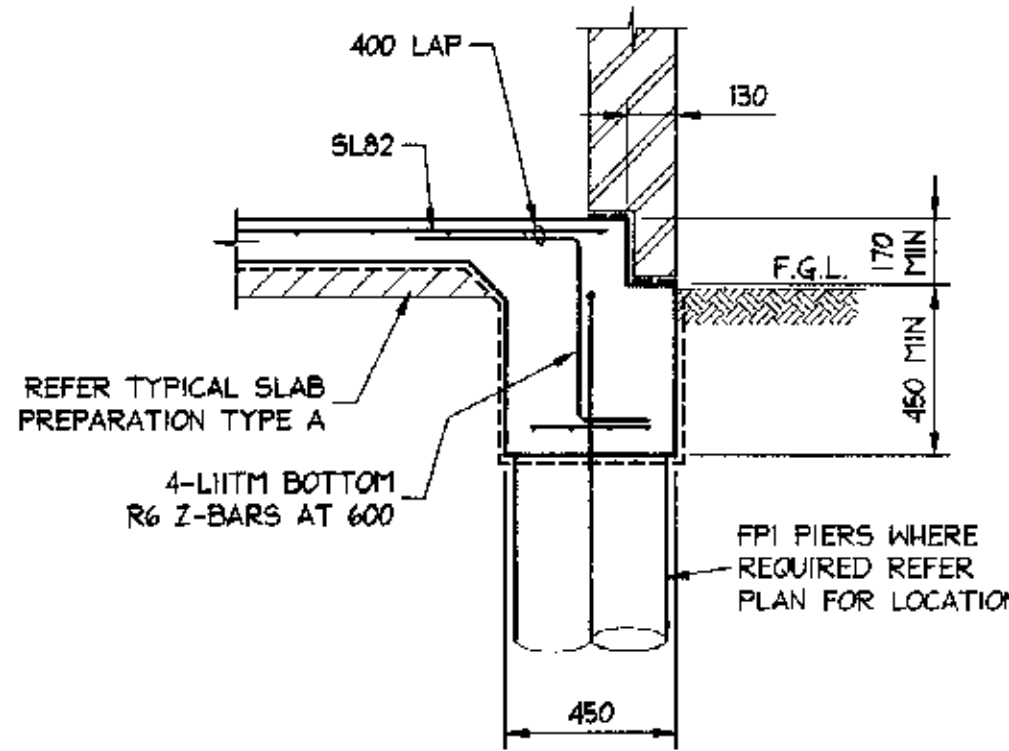
SLAB SET DOWN DETAIL
SCALE = 1 : 20



**TYPICAL SLIP JOINT DETAIL
FOR LOAD BEARING BRICK WALLS**
SCALE = 1 : 20



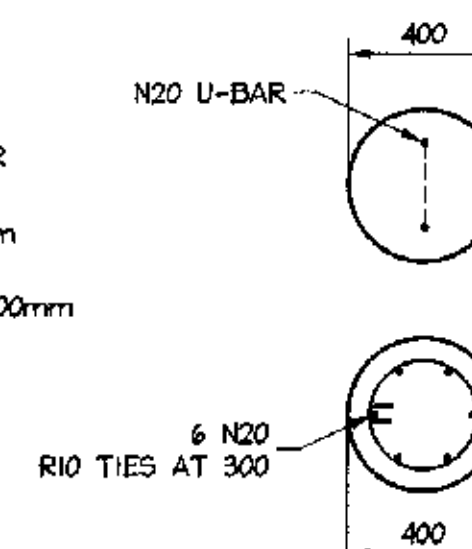
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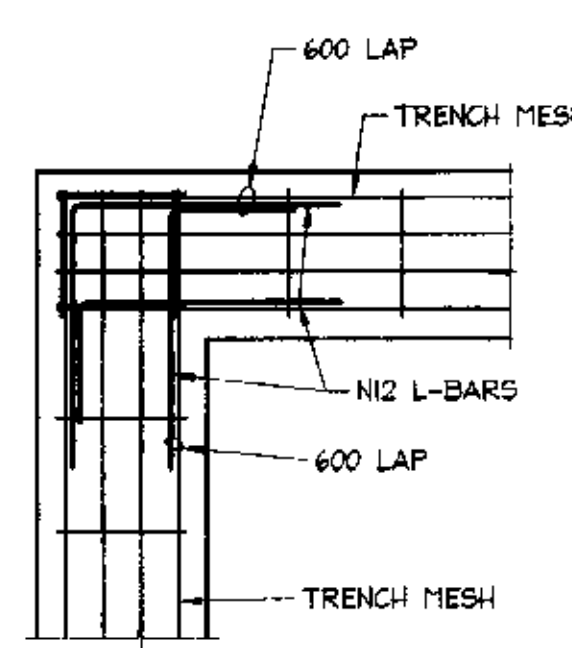
TYPE 'RF5' BEAM
SCALE = 1 : 20

CONCRETE PIERS:

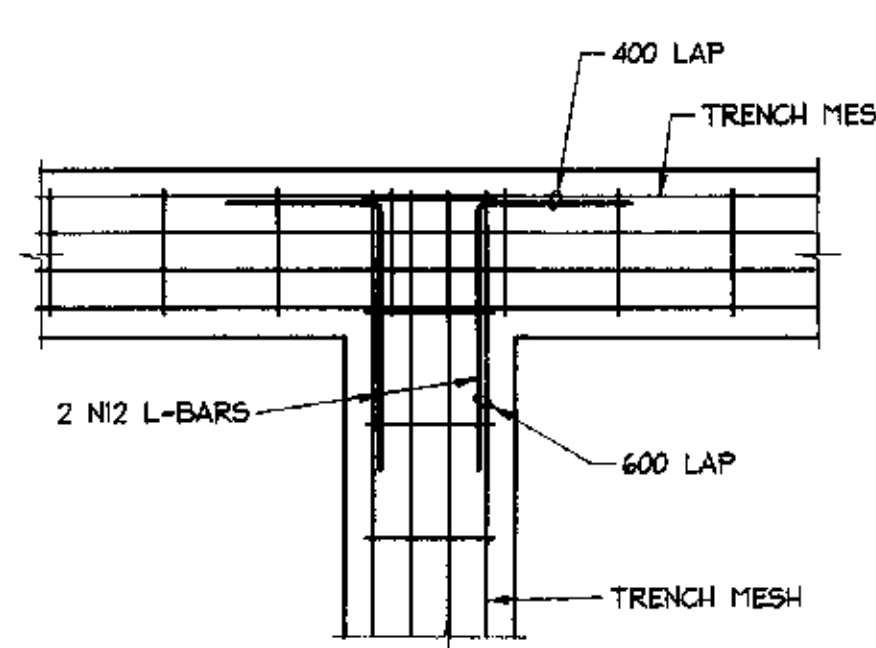
- PIERS TO BE 400mm DIAMETER
- FOR DEPTH LESS THAN 1200mm
1 N20 U-BAR
- FOR DEPTH GREATER THAN 1200mm
6 N20, R10 TIES AT 300



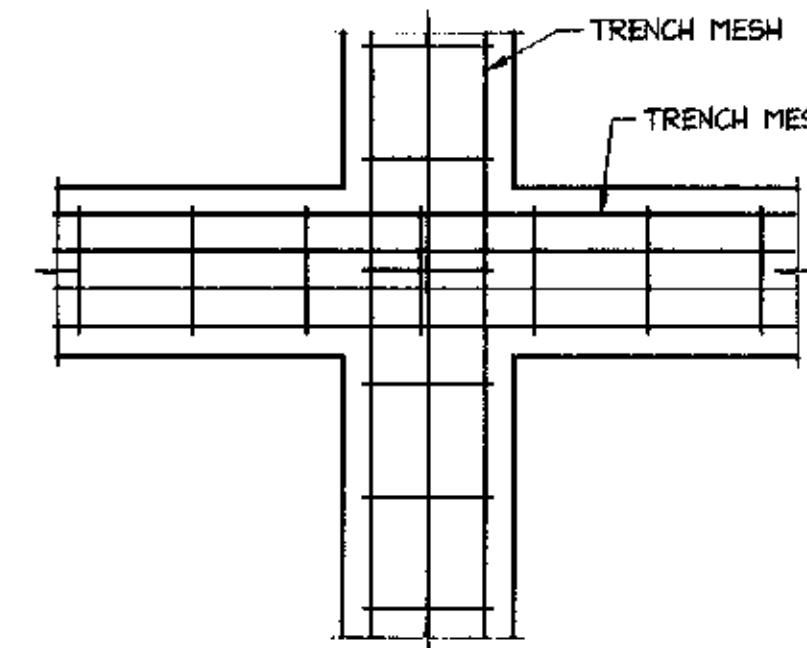
TYPE 'FPI' FOOTING PIER SECTION
SCALE = 1 : 20



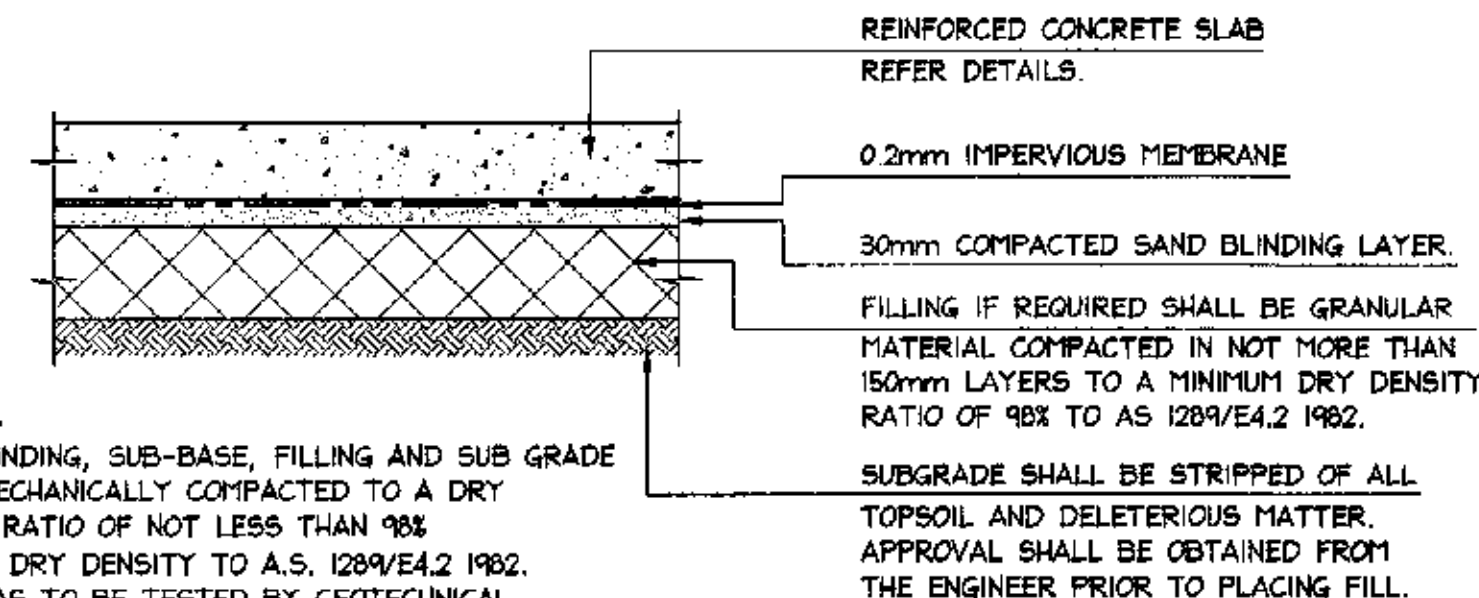
**PLAN
FOOTING CORNER**
SCALE = 1 : 20



**PLAN
FOOTING 'T' JUNCTION**
SCALE = 1 : 20

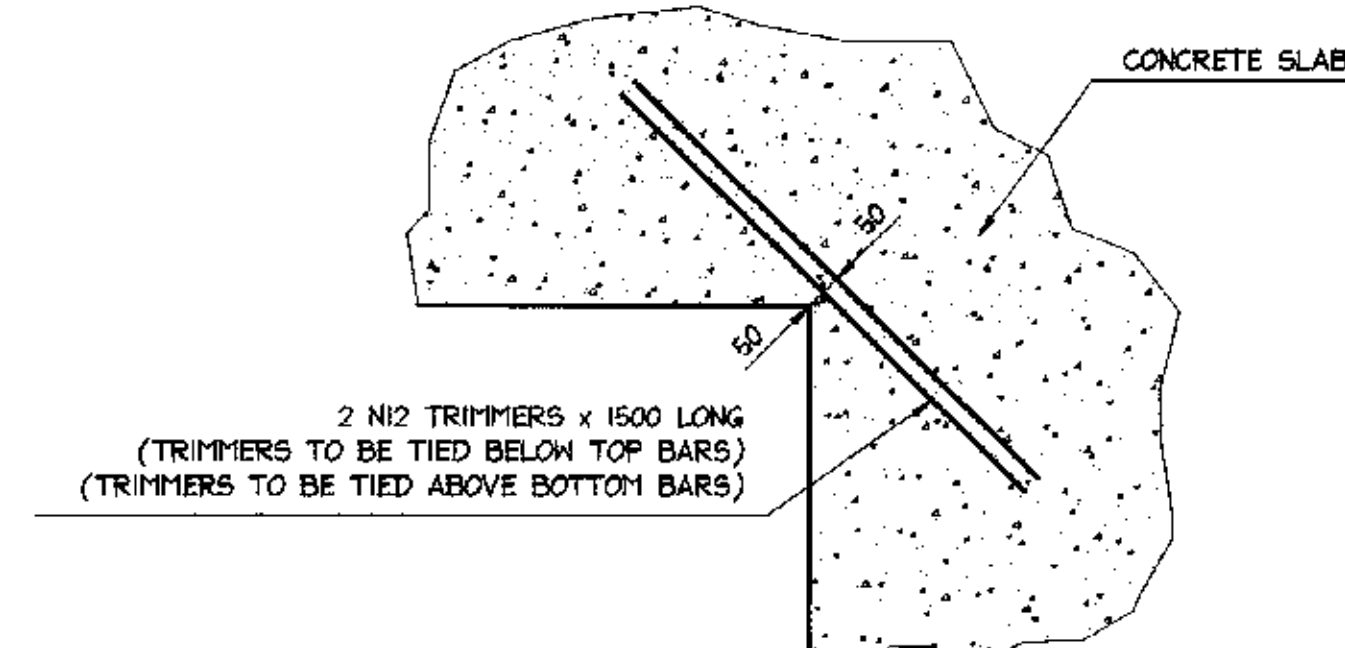


**PLAN
FOOTING 'X' JUNCTION**
SCALE = 1 : 20

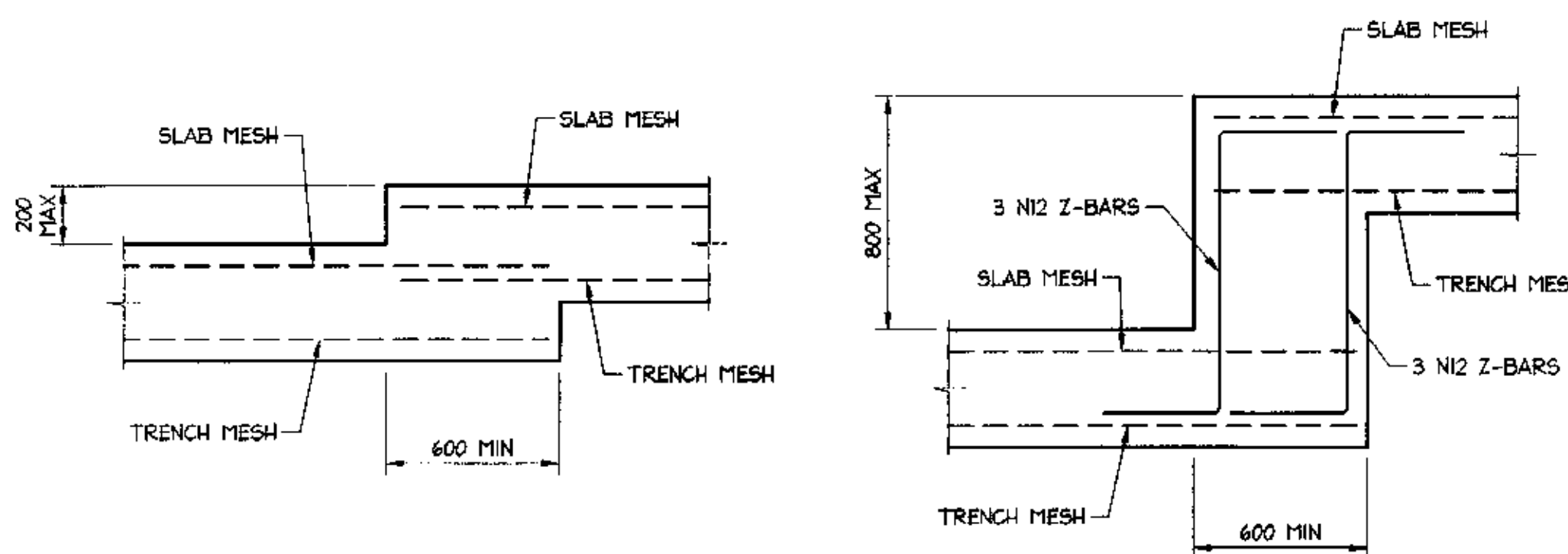


NOTE :
SAND BLINDING, SUB-BASE, FILLING AND SUB GRADE TO BE MECHANICALLY COMPACTED TO A DRY DENSITY RATIO OF NOT LESS THAN 98% MAXIMUM DRY DENSITY TO A.S. 1289/E4.2 1982. ALL AREAS TO BE TESTED BY GEOTECHNICAL ENGINEER AND RESULTS FORWARDED TO STRUCTURAL ENGINEER PRIOR TO POURING CONCRETE.

**TYPICAL SLAB PREPARATION TYPE A
SLAB ON GRADE**
N.T.S.



TYPICAL TRIMMER DETAIL
SCALE = 1 : 20



TYPICAL STEP FOOTING DETAILS
SCALE = 1 : 20

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DOCUMENTATION.

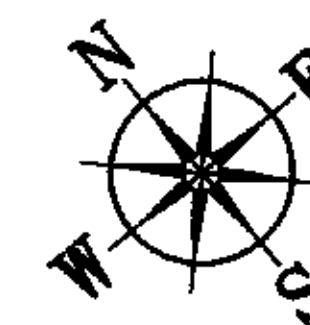
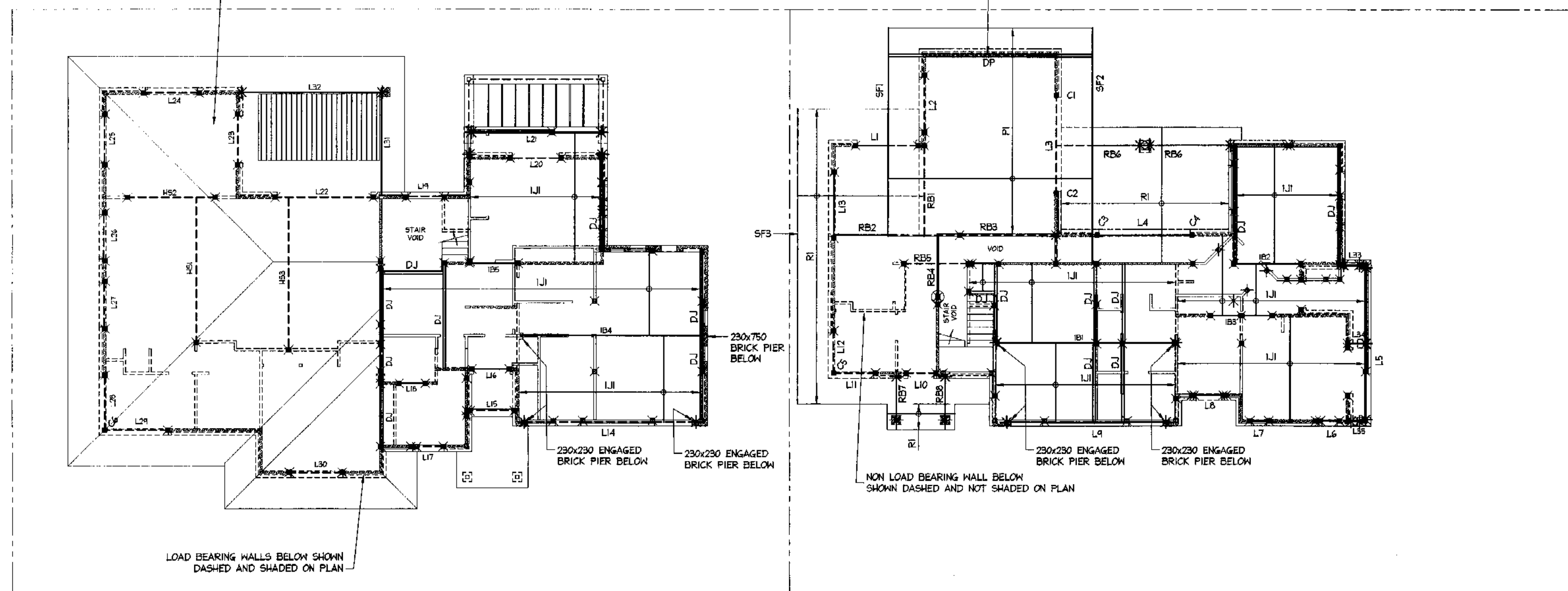
NOTES:

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- FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

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CONSTRUCTION
CERTIFICATE
SUBMISSION ONLY

AI			DOCUMENT CERTIFICATION		I am a qualified Structural/Civil Engineer. I hold the following qualifications: BE(Civil), CPENG, MIEAust., NPER, Institute of Engineers Membership No. 786184 I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.		 NORTHERN BEACHES Consulting Engineers P/L. ACN: 078 121 618 ABN: 34 078 121 618 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbconsulting.com.au		Project: PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tom McClean		Drawing Title: FOOTING AND GROUND FLOOR SLAB DETAILS The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L.		Date: Nov 2004 Job No: 041124		Design: L.M. Drawing No: S07		Drawn: Paul R Bruce 011E Aust. Rev: -	
Date: _____ Rev: _____ Amendment: _____			Date: <u>JAN 05</u> Lucas Molloy (Director Northern Beaches Consulting Engineers)															

LOAD BEARING WALLS BELOW SHOWN
DASHED AND SHADED ON PLAN



DYGAL STREET

FIRST FLOOR AND LOWER ROOF FRAMING PLAN

SCALE = 1 : 100

MEMBER SCHEDULE		
MARK	MEMBER	REMARKS
FIRST FLOOR FRAMING		
C1 - C6 incl	8x10x4 3 S4S	COLUMNS
IB1	310 UB 46	BEAM
H2, I3B, I5	240x45 F7 KILN DRIED or 200x45 HYSPAN LVL	BEAM
IB4	310 UB 46	BEAM
IJ1	240x45 F7 KILN DRIED or 200x45 HYSPAN LVL	FLOOR JOISTS AT 450 CTS
L1, L2, L11, L12	140x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L3, L4	150 PFC + 250x12 PLATE HOT DIP GALVANIZED	LINTEL
L5	190x70 F7 INTERNAL SKIN + 150x100 GALINTEL EXTERNAL SKIN	LINTEL
L6, L7, L8, L10	40x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L9, L14	350 PFC + 250x16 PLATE HOT DIP GALVANIZED	LINTEL
L13	190x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L15, L16, L20	140x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L17, L18	90x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L19	90x70 F7	LINTEL
L21	250 PFC + 250x12 PLATE HOT DIP GALVANIZED	LINTEL
L22	250 PFC + 250x12 PLATE HOT DIP GALVANIZED	LINTEL
L23 - L30 incl	140x70 F7 INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
L31, L32	2 x 300x45 HYSPAN LVL GLUE AND NAIL LAMINATED	LINTEL
L33, L34, L35	140x70 F7	LINTEL
LOWER ROOF FRAMING		
RB1, RB2, RB3	200x63 HYSPAN LVL	BEAM
RB4	200 PFC (11m MAXIMUM CANTILEVER TO SUPPORT RB2 + RB3)	BEAM
RB5	200 PFC	BEAM
RB6	200x63 HYSPAN LVL	BEAM
RB7, RB8	190x70 F7	BEAM
P1	200x45 HYSPAN LVL	PURLINS AT 900 CTS
R1	190x45 F7 KILN DRIED	RAFTERS AT 900 CTS
H81, H82, H83	400x65 HYSPAN LVL	HANGING/STRUTTING BEAM

MEMBER SCHEDULE		
MARK	MEMBER	REMARKS
GENERAL FRAMING		
SB	PRYDA STRAP BRACING WITH TENSIONERS TO UNDER SIDE OF FLOOR JOISTS AND RAFTERS WHERE INDICATED ON PLAN	
A	ANGLE BRACING TO WALLS REFER TYPICAL DETAILS	
B	PLY BRACING TO WALLS REFER TYPICAL DETAILS	
DI	DOUBLE JOISTS GLUE AND NAIL LAPINATED	
DR	DOUBLE RAFTERS GLUE AND NAIL LAPINATED	
DP	DOUBLE PURLINS GLUE AND NAIL LAPINATED	
NPI	45mm THICK FT KILN DRIED NAILING PLATE DEPTH TO MATCH ADJACENT MEMBER. FIX TO BRICK WALL WITH M12 EPOXY SET ANCHORS AT 900 CTS	
NPT	45mm THICK FT KILN DRIED NAILING PLATE DEPTH TO MATCH ADJACENT MEMBER. FIX TO STUD WALL WITH M12 COACH BOLTS AT 900 CTS	
⊗	LOAD CONCENTRATION POINT OVER	
□	COLUMN OVER	
★	BEAM SUPPORT LOCATIONS DIRECT ONTO BRICK WALL BEARING - 100mm MINIMUM END BEARING	
⊗	2 STUDS NAIL LAPINATED @ 90x90 FT POST	LOAD CONCENTRATION POINT BELOW
⊗	M10 THREADED ROD TIE DOWN TO FLOOR SLAB. HOT DIP GALVANIZED	TIE DOWN LOCATION
NOTE:		
1. PGP 12 MAY BE SUBSTITUTED FOR FT SPOOTH OR LESS.		
2. MGP MUST NOT BE USED AS A SUBSTITUTE WHEN SUBGRADE IS SPECIFIED.		
3. ALL TYRER SHALL BE KILN DRIED, DO NOT USE GREEN TYRER.		
4. ALL SPOOTHWOOD TYRER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF M2 OR T2 TREATED FOR TERMITE PROTECTION UNLESS NOTED OTHERWISE.		

NOTES

1. ON-ING TERNITE TREATMENT TO BE CARRIED OUT TO PERIMETER OF ENTIRE BUILDING AND SUB-FLOOR AREAS, ANNUAL INSPECTIONS AND TREATMENT AS REQUIRED SHALL BE THE RESPONSIBILITY OF THE PROPRIETOR.
2. HALL FRAMING SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NSW TIMBER FRAMING MANUAL. 90x6 F7 K/LN DRIED T2 TREATED STUDS AT 450 CTS.
3. BRACE WALLS AND ROOF IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NSW TIMBER FRAMING MANUAL.
4. PROVIDE DOUBLE JOISTS BELOW ALL LOAD BEARING WALLS UNLESS NOTED OTHERWISE.
5. THE DOINGS TO ROOF R rafters AND BEAMS SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND AS 1702 WIND LOAD CODE.
6. TRIM FLOOR/ROOF OPENINGS WITH EQUIVALENT JOIST/RAFTER SIZES UNLESS NOTED OTHERWISE.
7. EXTERNAL/EXPOSED HYSPAN LVL OR TAGSHEAM MEMBERS TO BE SUITABLY PRESERVATIVE TREATED TO H3 LEVEL. (AS 1604) THEN STAINED OR PAINTED.
8. EXTERNAL/EXPOSED HARDWOOD MEMBERS TO BE DURABILITY CLASS 2 OR BETTER (AS 1604) THEN STAINED OR PAINTED.
9. ENGINEER TO INSPECT AND CERTIFY ALL FRAMING AND BRACING PRIOR TO SHEETING.

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NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: 501.

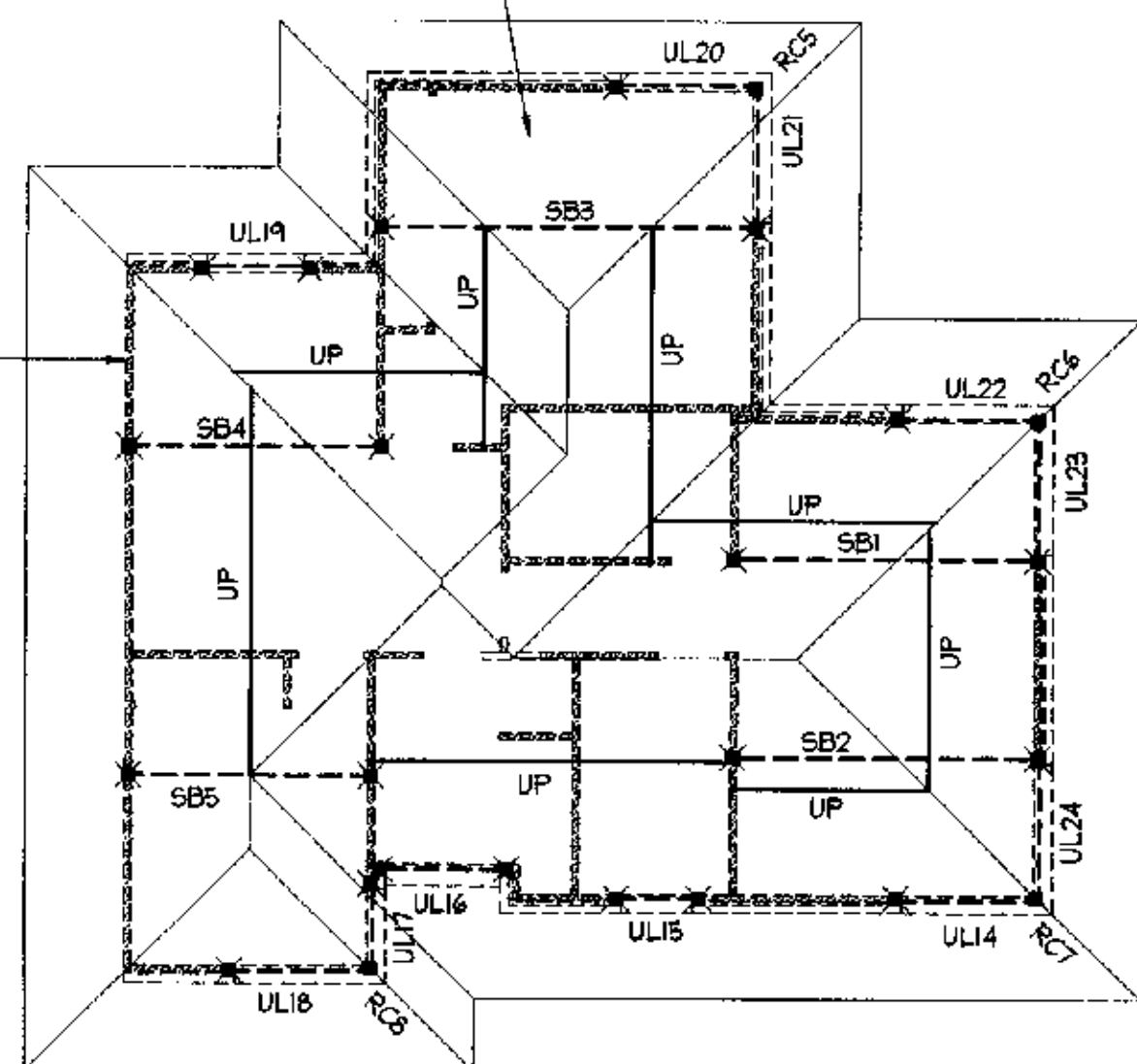
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			DOCUMENT CERTIFICATION				NORTHERN BEACHES Consulting Engineers P/L		Project:		PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tom McClean		Drawing Title:		FIRST FLOOR AND LOWER ROOF FRAMING PLAN		Date: Nov 2004		Design: L.M.		Drawn: Paul R Bruce CR18Aust.		Checked:	
Date: JAN 05																	Job No: 041124		Drawing No: S08		Rev: -			
Date: Rev: Amendment:			Lucas Molloy (Director Northern Beaches Consulting Engineers)																					

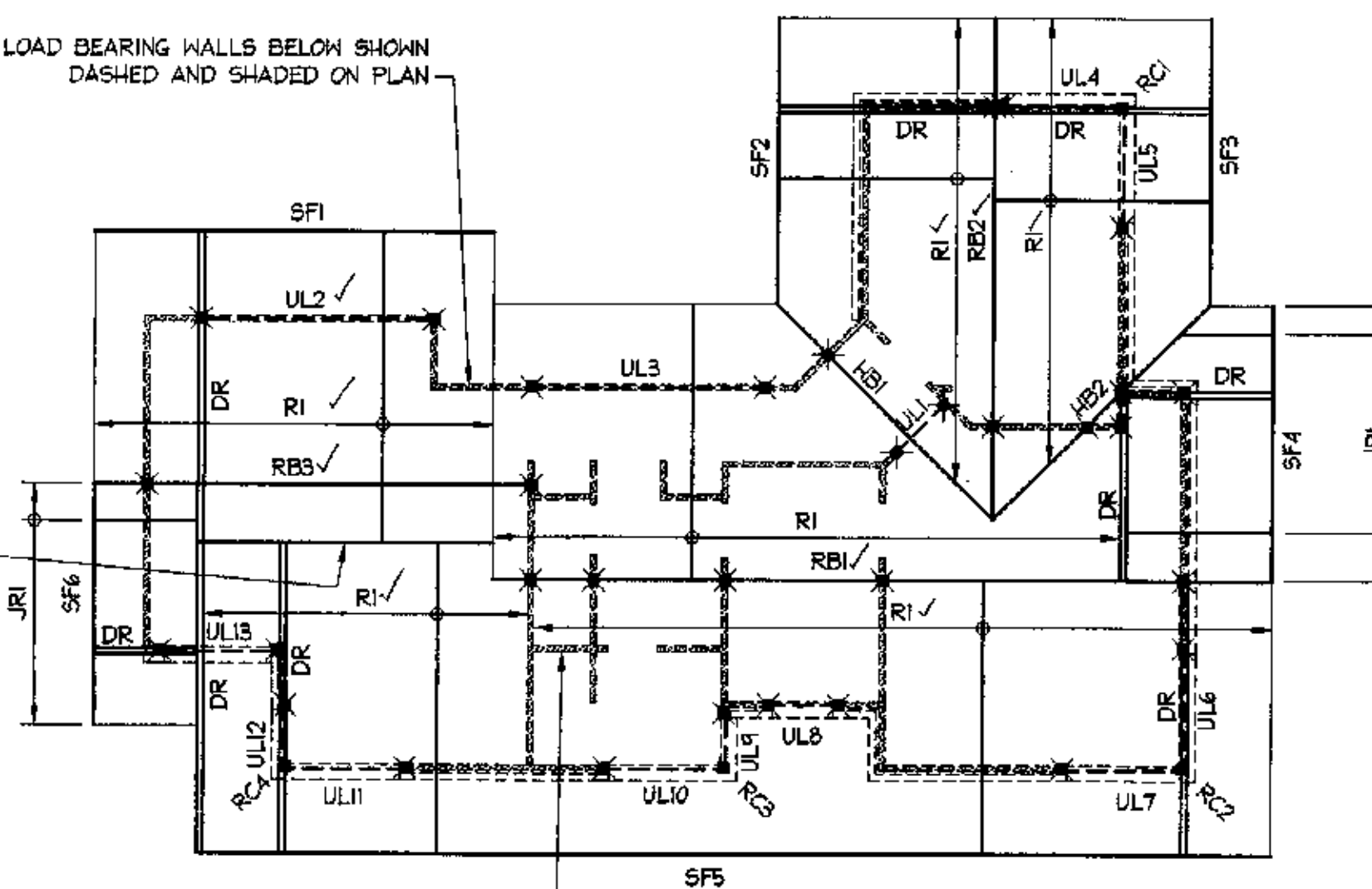
CONVENTIONAL ROOF FRAMING TO AS 1684
 RIDGE, HIP AND VALLEY BEAMS - 240x45 HYSPAN LVL
 RAFTERS - 140x45 FT KILN DRIED AT 900 CTS, MAXIMUM SPAN 3000
 UNDER PURLINS (UP) - 140x70 FT MAXIMUM SPAN 2300
 STRUTTING BEAMS SB1, SB2, SB4, SB5 - 200x63 HYSPAN LVL
 STRUTTING BEAM SB3 - 240x63 HYSPAN LVL

LOAD BEARING WALLS BELOW SHOWN
 DASHED AND SHADED ON PLAN

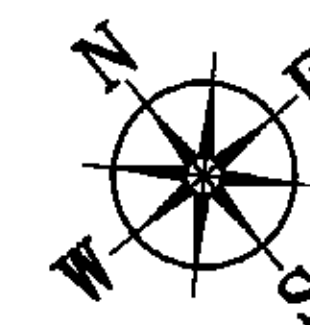


LOAD BEARING WALLS BELOW SHOWN
 DASHED AND SHADED ON PLAN

RIDGE BOARD
 TO AS 1684



NON LOAD BEARING WALL BELOW
 SHOWN DASHED AND NOT SHADED ON PLAN



DYGAL STREET

UPPER ROOF FRAMING PLAN

SCALE = 1 : 100

MEMBER SCHEDULE		
MARK	MEMBER	REMARKS
UPPER ROOF FRAMING		
RC1 - RC8 incl	80x80x5 S45 HOT DIP GALVANIZED	COLUMN
RB1, RB2	300x63 HYSPAN LVL	BEAM
RB3	200 UB 18 or 400x63 HYSPAN LVL	BEAM
HB1, HB2	300x63 HYSPAN LVL	HIP BEAM
SF1 - SF5 incl	200x45 HYSPAN LVL	STRUCTURAL FASCIA
RI, RJ1	160x45 FT KILN DRIED (MAXIMUM OVERHANG 1950)	RAFTERS AT 900 CTS
UL1	140x70 FT	LINTEL
UL2, UL3	240x70 FT or 200x63 HYSPAN LVL	LINTEL
UL4 - UL7 incl	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
UL8, UL9, UL12	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
UL10, UL11, UL18	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
UL14, UL16, UL19	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
UL15, UL17, UL19	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
UL20 - UL24 incl	140x70 FT INTERNAL SKIN + 100x100 GALINTEL EXTERNAL SKIN	LINTEL
GENERAL FRAMING		
SB	PRYDA STRAP BRACING WITH TENSIONERS TO UNDER SIDE OF FLOOR JOISTS AND RAFTERS WHERE INDICATED ON PLAN	
A	ANGLE BRACING TO WALLS REFER TYPICAL DETAILS	
B	PLY BRACING TO WALLS REFER TYPICAL DETAILS	
DR	DOUBLE RAFTERS GLUE AND NAIL LAMINATED	
⊗	2 STUDS NAIL LAMINATED or 140x90 FT POST	LOAD CONCENTRATION POINT BELOW
⊗	M10 THREADED ROD TIE DOWN TO FLOOR FRAMING, HOT DIP GALVANIZED	MEMBER IDENTIFICATION
NOTE:		
1. MGP 12 MAY BE SUBSTITUTED FOR F7 SOFTWOOD OR LESS.		
2. MGP MUST NOT BE USED AS A SUBSTITUTE WHERE HARDWOOD IS SPECIFIED.		
3. ALL TIMBER SHALL BE KILN DRIED, DO NOT USE GREEN TIMBER.		
4. ALL SOFTWOOD TIMBER FRAMING TO HAVE A MINIMUM TREATMENT PROTECTION OF H2 or T2 TREATED FOR TERMITE PROTECTION UNLESS NOTED OTHERWISE.		

NOTES:

- ORGANIC TERMITE TREATMENT TO BE CARRIED OUT TO PERIMETER OF ENTIRE BUILDING AND SUB-FLOOR AREAS. ANNUAL INSPECTIONS AND TREATMENT AS REQUIRED SHALL BE THE RESPONSIBILITY OF THE PROPRIETOR.
- WALL FRAMING SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NSW TIMBER FRAMING MANUAL. 90x45 FT KILN DRIED T2 TREATED STUDS AT 450 CTS.
- BRACE WALLS AND ROOF IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND NSW TIMBER FRAMING MANUAL.
- TIE DOWN TO ROOF RAFTERS AND BEAMS SHALL BE IN ACCORDANCE WITH AS 1684 TIMBER FRAMING CODE AND AS 1170.2 WIND LOADING CODE.
- TRIM ROOF OPENINGS WITH EQUIVALENT RAFTER SIZES UNLESS NOTED OTHERWISE.
- EXTERNAL/EXPOSED HYSPAN LVL OR TASBEAM MEMBERS TO BE SUITABLY PRESERVATIVE TREATED TO H3 LEVEL (AS 1604) THEN STAINED OR PAINTED.
- EXTERNAL/EXPOSED HARDWOOD MEMBERS TO BE DURABILITY CLASS 2 OR BETTER (AS 1604) THEN STAINED OR PAINTED.
- ENGINEER TO INSPECT AND CERTIFY ALL FRAMING AND BRACING PRIOR TO SHEETING.

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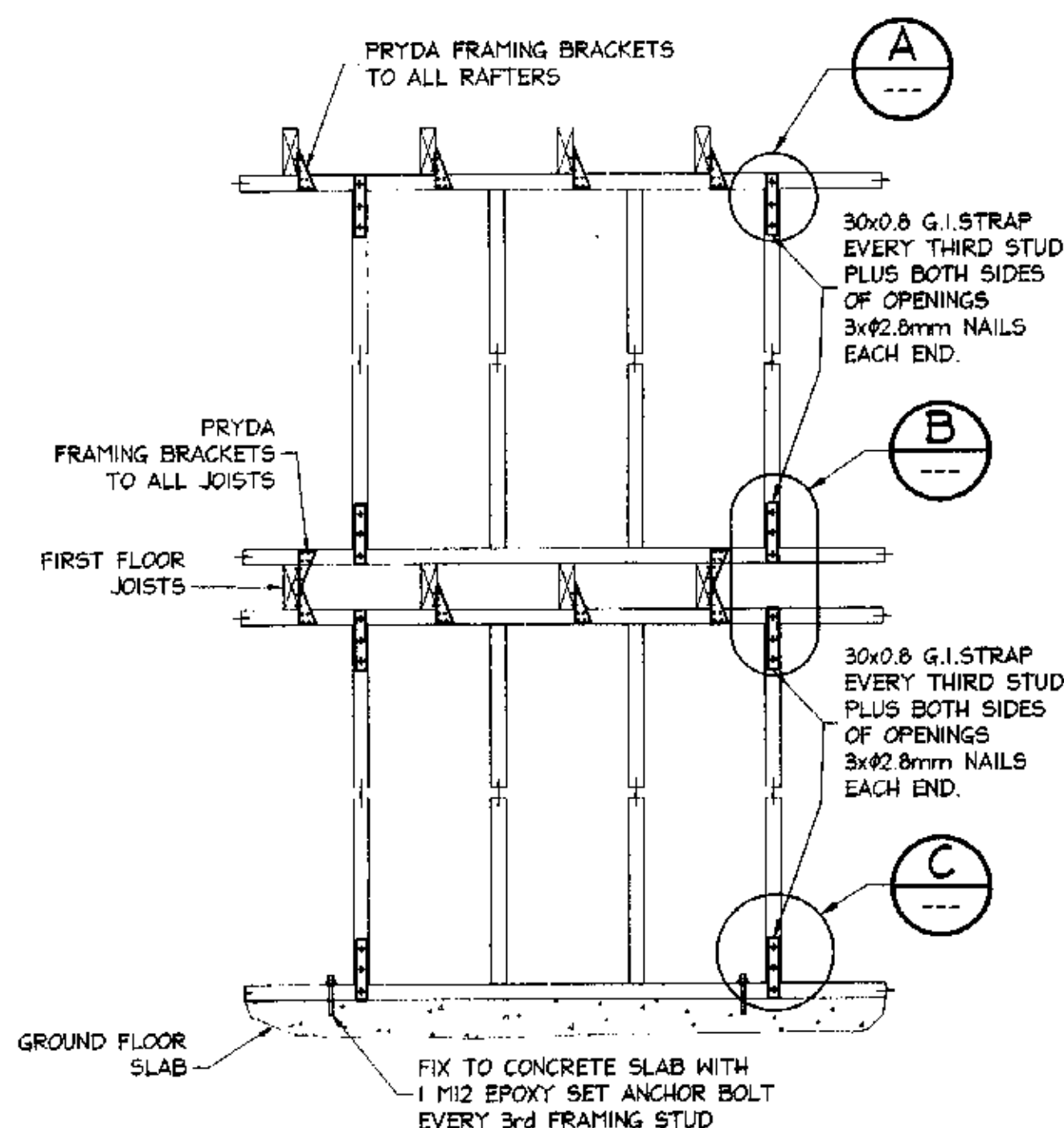
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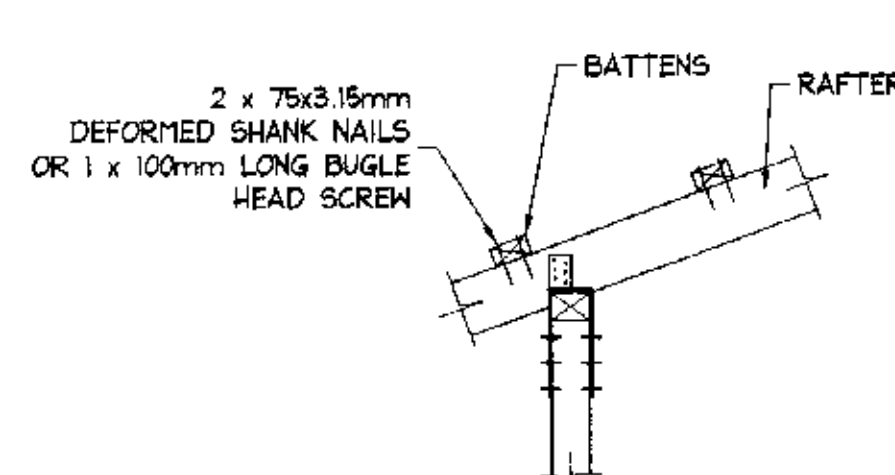
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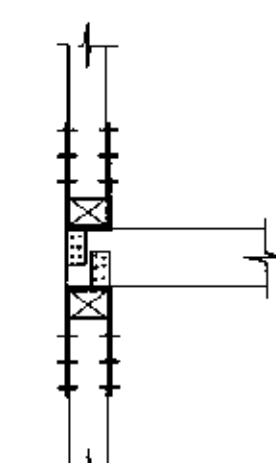
			DOCUMENT CERTIFICATION		 <div>NORTHERN BEACHES Consulting Engineers P/L A.C.N. 078 121 818 A.B.N. 24 078 121 818 Suite 207, 30 FISHER ROAD DEE WHY N.S.W. 2099 Ph: (02) 9984 7000 Fax: (02) 9984 7444 e-mail: nb@nbcconsulting.com.au</div>	Project: <div>PROPOSED HOUSES at: 3A Dygal Street Mona Vale for: Tom McClean</div>	Drawing Title: <div>UPPER ROOF FRAMING PLAN</div> <div>The copyright of this drawing remains with Northern Beaches Consulting Engineers P/L</div>	Date: Nov 2004	Design: L.M.	Drawn: Paul R Bruce ORLIEAUST.	Check:
Date:	Rev:	Amendment:	Job No: 041124	Drawing No: S09				Rev: -			
I am a qualified Structural/Civil Engineer. I hold the following qualifications: BE(Civil), CPENG, MIEAust., NIPER, Institute of Engineers Membership No. 785184			I hereby state that this drawing is in compliance with the provisions of the Building Code of Australia and/or relevant Australian Industry Standards.								
Date <u>Jan'05</u> Lucas Molloy (Director Northern Beaches Consulting Engineers)											



TYPICAL TIE DOWN DETAIL
SCALE = 1 : 20



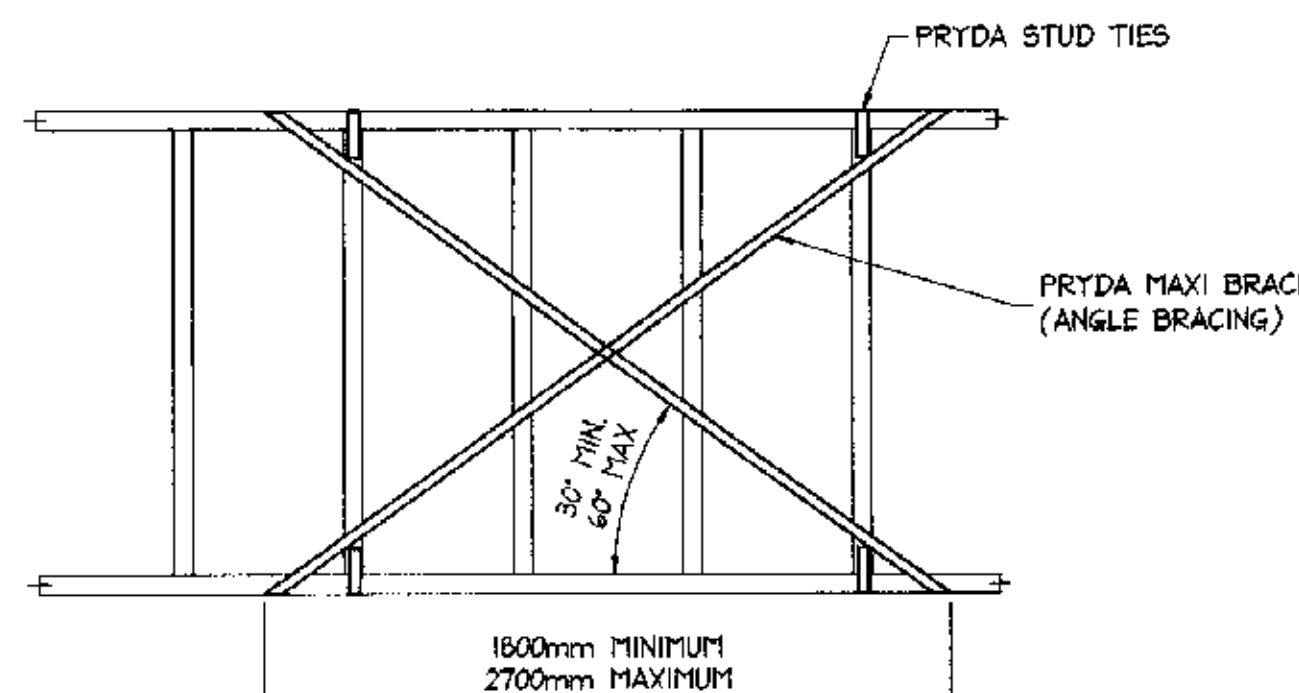
DETAIL A
SCALE = 1:20



FIRST FLOOR

DETAIL B
SCALE = 1:20

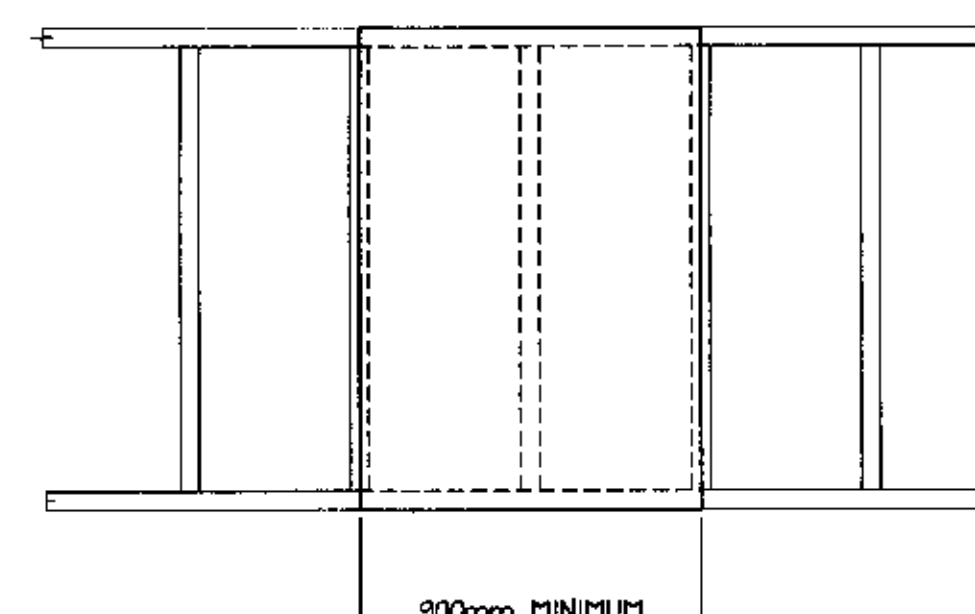
METAL TENSION STRAP BRACING:
PRYDA MAXI BRACE (ANGLE BRACING) FIXED WITH TWO GALVANISED FLATHEAD NAILS Ø3.15mm x 50mm LONG TO EACH STUD, AND THE FACE OF THE TOP AND BOTTOM PLATE AND FOUR GALVANISED FLATHEAD NAILS Ø3.15mm x 30mm LONG TO THE STRAP RETURN OVER THE TOP PLATE AND UNDER THE BOTTOM PLATE.



NOTES:
1. FOR POWER DRIVEN NAILS AND STAPLES REFER ABOVE.
2. NOGGINGS HAVE BEEN OMITTED FOR CLARITY.

TYPE A - WALL BRACING UNIT
SCALE = 1 : 20

PLYWOOD BRACING:
FIX PLYWOOD PANELS WITH GALVANISED FLATHEAD NAILS Ø2.8mm x 30mm LONG MINIMUM OR EQUIVALENT AT 50mm CENTRES ALONG TOP AND BOTTOM PLATES, 150mm CENTRES ALONG VERTICAL EDGES AND 300mm CENTRES ALONG INTERMEDIATE STUDS.
NAILS SHALL BE LOCATED A MINIMUM OF 7mm FROM PANEL EDGES. POWER DRIVEN GALVANISED NAILS OR COATED STAPLES MAY BE USED WHERE THEY PROVIDE AT LEAST THE EQUIVALENT STRENGTH TO HAND DRIVEN Ø2.8mm x 30mm LONG GALVANISED CLOUTS OR FLATHEAD NAILS. IN THE CASE OF POWER DRIVEN STAPLES, STAPLE SPACING SHALL BE 95mm CENTRES AT TOP AND BOTTOM PLATES, 100mm CENTRES AT VERTICAL PLYWOOD EDGES AND 200mm CENTRES ALONG INTERMEDIATE STUDS.

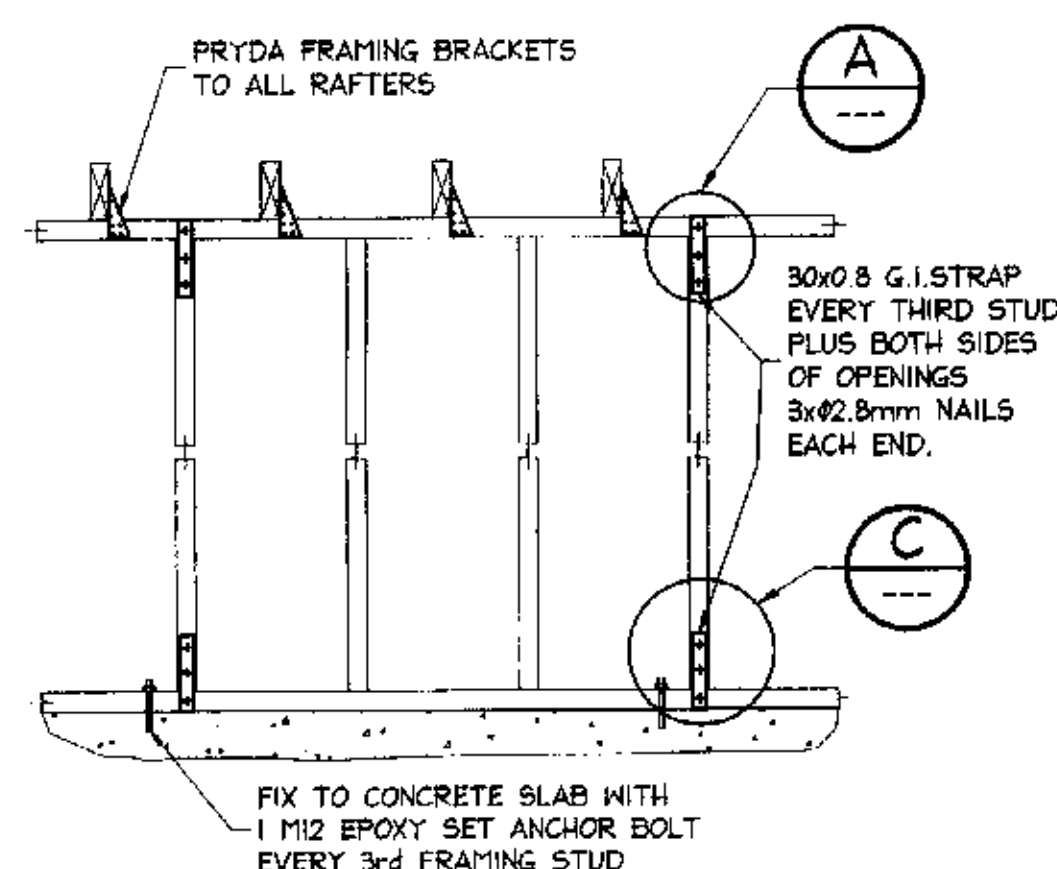


NOTES:
1. FOR PLYWOOD THICKNESS REFER TO TABLE.
2. FOR POWER DRIVEN NAILS AND STAPLES REFER ABOVE.
3. PANEL EDGES SHALL BE SUPPORTED BY STUDS.
4. NOGGINGS HAVE BEEN OMITTED FOR CLARITY.

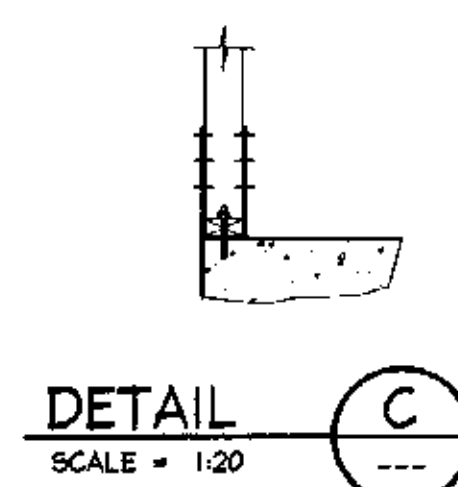
TYPE B - WALL BRACING UNIT
SCALE = 1 : 20

LINTEL/STUD TIE DOWN				
No. OF NAILS REQUIRED EACH END OF STRAP 30mmx0.8mm G.I. STRAP WITH NAILS AS PER BELOW				
OPENING WIDTH	TIE DOWN DISTANCE			
	2.5m	3.6m	5.2m	6.7m
1200mm	3	3	3	4
1800mm	3	3	4	6
3000mm	3	6	-	-
4800mm	6	-	-	-

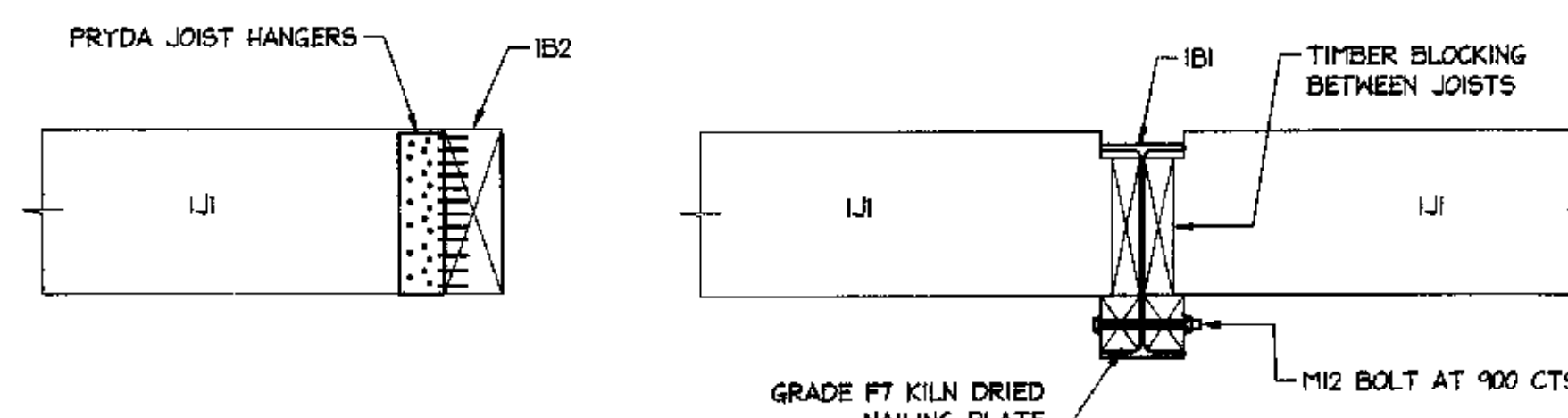
PLYWOOD THICKNESS		
PLYWOOD STRESS GRADE	PLYWOOD THICKNESS	
	MAXIMUM STUD SPACING	
F8	450mm	600mm
F11	7.0mm	9.0mm
F14	6.0mm	7.0mm
F27	4.0mm	4.5mm



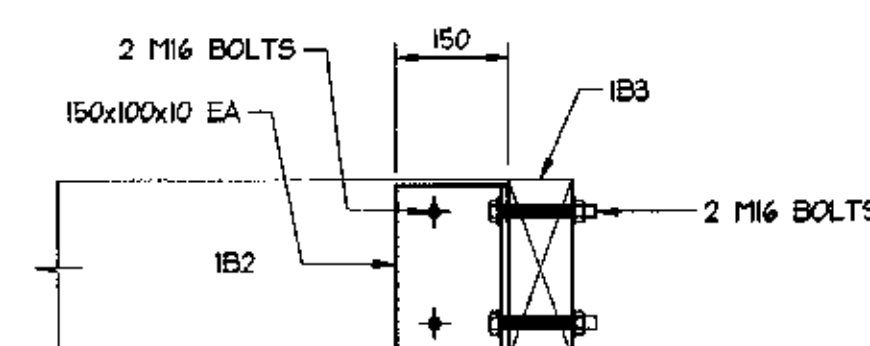
TYPICAL TIE DOWN DETAIL
SCALE = 1 : 20



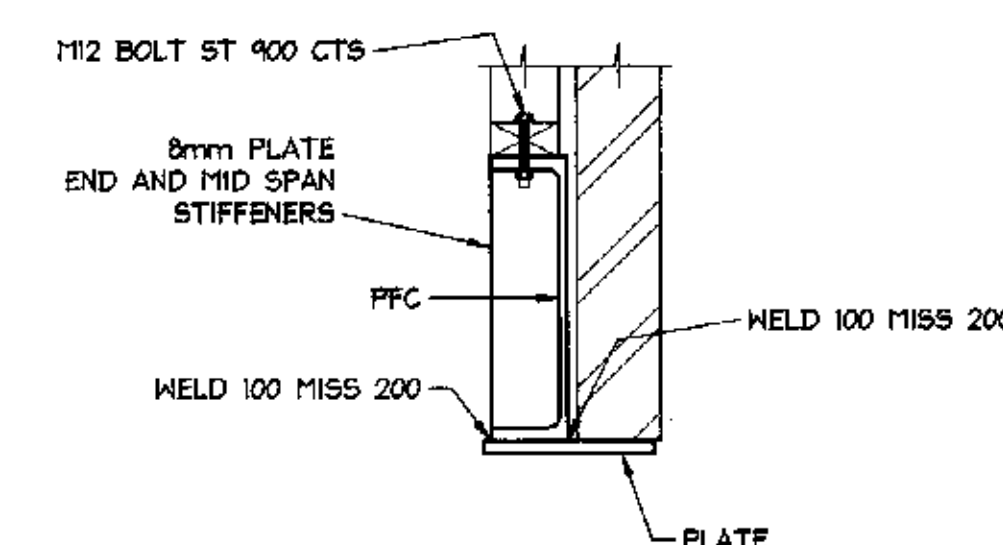
DETAIL C
SCALE = 1:20



TYPICAL FLOOR JOIST CONNECTION DETAILS
SCALE = 1 : 10



TIMBER BEAM CONNECTION DETAIL
SCALE = 1 : 10



TYPICAL LINTEL SECTION
SCALE = 1 : 10

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2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.

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DOCUMENT CERTIFICATION

I am a qualified Structural/Civil Engineer.
I hold the following qualifications:
BE(Civil), CPENG, MIEAust., NPER,
Institute of Engineers Membership No. 788184
I hereby state that this drawing is in compliance
with the provisions of the Building Code of
Australia and/or relevant Australian/Industry
Standards.

Date: 3 Jan 05
Lucas Molloy
(Director Northern Beaches Consulting Engineers)

NORTHERN BEACHES
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e-mail: nb@nbconsulting.com.au

Project:
PROPOSED HOUSES
at: 3A Dygal Street
Mona Vale
for: Tom McClean

Drawing Title:
**FRAMING
DETAILS**

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Date: Nov 2004
Design: L.M.
Drawn: Paul R Bruce
OMIEAust.
Job No: 041124
Drawing No: S10
Rev: -