

DIMENSIONS INCLUDE CLADDING THICKNESS



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0109

NOTE:

FRONT SETBACK IS TO BE
AT LEAST:
6.5m

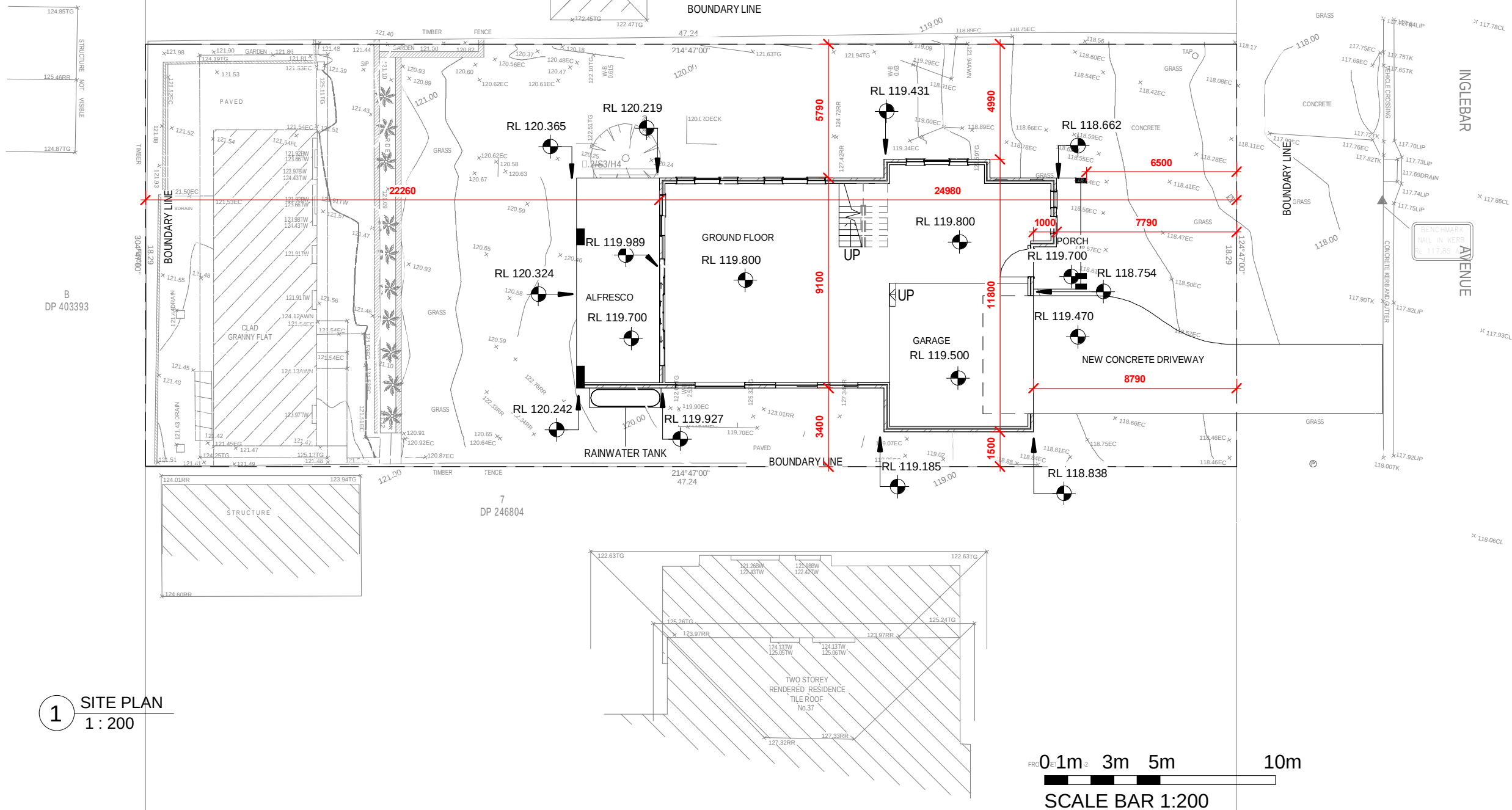
SIDE SETBACK IS TO BE AT
LEAST:
.9m



PROPOSED FLOOR SPACES		
NAME	AREA	%

ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
D	UPDATED SURVEY AND RL'S	01/11/2019
E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020



1 SITE PLAN
1 : 200

0.1m 3m 5m 10m
SCALE BAR 1:200

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G.J. Gardner. HOMES
Builders Details

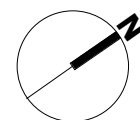
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TO G.J. GARDNER HOMES

DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

PROJECT:
**39 INGLEBAR AVE
ALLAMBIE HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A03** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.
OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



northern
beaches
council

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CONSENT

DA2020/0109

LANDSCAPE SCHEDULE

AREA NAME	AREA	%
-----------	------	---

BUILDING FOOTPRINT	228 m ²	26%
OPEN LANDSCAPE	558 m ²	65%
OTHER AREAS	78 m ²	9%
TOTAL AREAS:	864 m ²	100%

DRAWING REVISION SCHEDULE

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PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

LANDSCAPE COLOURS

- BUILDING FOOTPRINT
- OPEN LANDSCAPE
- OTHER AREAS

1 PROPOSED LANDSCAPE PLAN 1 : 200

G.J. Gardner. HOMES
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2 STOREY SWELLING

DRAWING TITLE:
LANDSCAPE PLAN
SCALE: 1 : 200

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: A3
SHEET No: A04
REVISION: G
DATE: 22/01/2020
JOB NO: 230256
STAGE: DA
DRAWN: NF
GJGN093

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REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

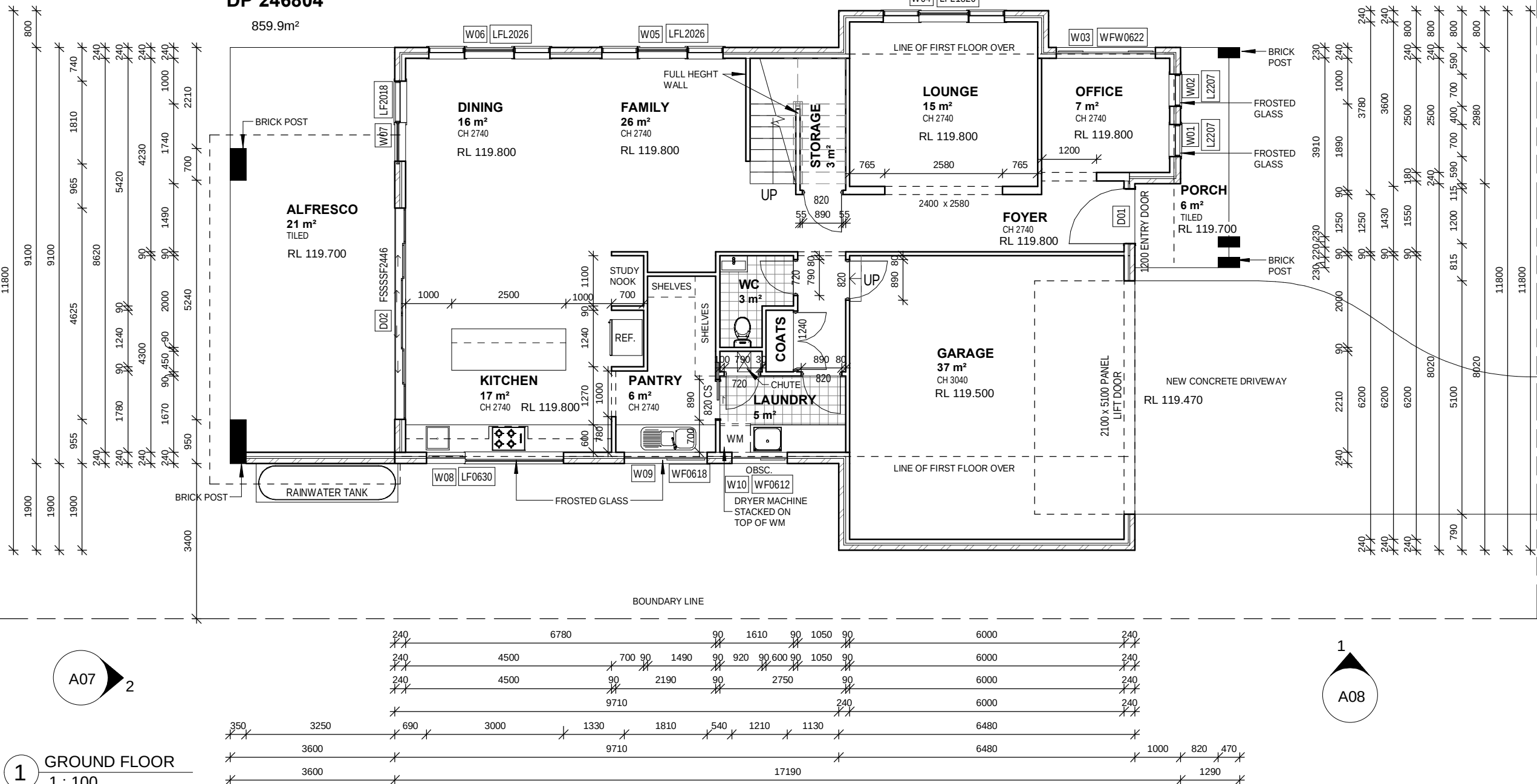
DIMENSIONS ARE TO FRAME
SIZE ONLY

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CONSENT

DA2020/0109

Lot 6
DP 246804

859.9m²



STAIRS

FLOOR TO FLOOR = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 250mm

DRAWING REVISION SCHEDULE

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WINDOW SCHEDULE

Code	Width	Height
W01	700	2200
W02	700	2200
W03	2170	600
W04	2650	1800
W05	2650	2060
W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

G.J. Gardner. HOMES
Builders Details

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DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3

SHEET No:

A05

REVISION:

G

DATE:

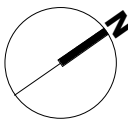
22/01/2020

JOB NO: 230256

STAGE: DA

DRAWN: NF

GJGN093



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BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME SIZE ONLY

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A08 DA2020/0109

STAIRS

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TREADS = 250mm

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W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

G.J. Gardner. HOMES
Builders Details

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DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1 : 100

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3

SHEET No:

A06

REVISION:

G

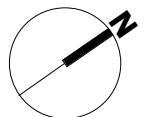
DATE: 22/01/2020

JOB NO: 230256

STAGE: DA

DRAWN: NF

GJGN093

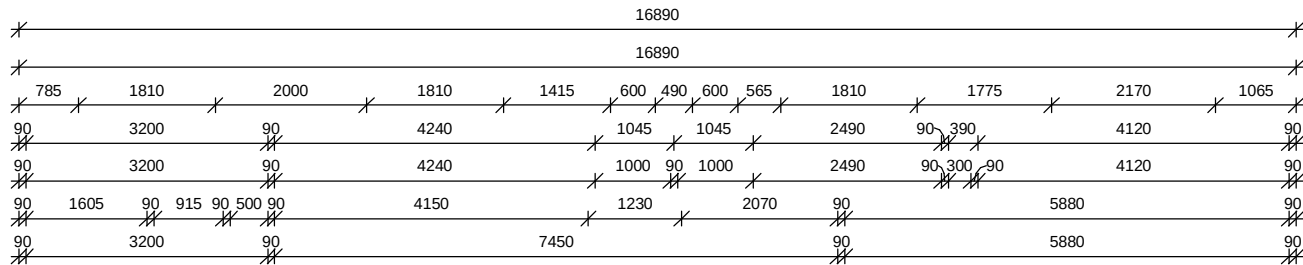


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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



TRANSLUCENT GLASS

EAVES GUTTER

METAL ROOF TO LEVEL BELOW

W12 WFW0622

MASTER

21 m²

RAKED CEILING

RL 122.840

W12 WFW0622

W12 WFW0622

W12 WFW0622

W12 WFW0622

W12 WFW0622

W12 WFW0622

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REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES



northern
beaches
council

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CONSENT

DA2020/0109

RL 127.237 ▼ ROOF PEAK

RL 125.390 ▼ UF CEILING

RL 122.840 ▼ UF

RL 122.540 ▼ GF CEILING

RL 119.800 ▼ GF

RL 119.500 ▼ GARAGE

1 FRONT ELEVATION
1 : 100

RL 127.237 ▼ ROOF PEAK

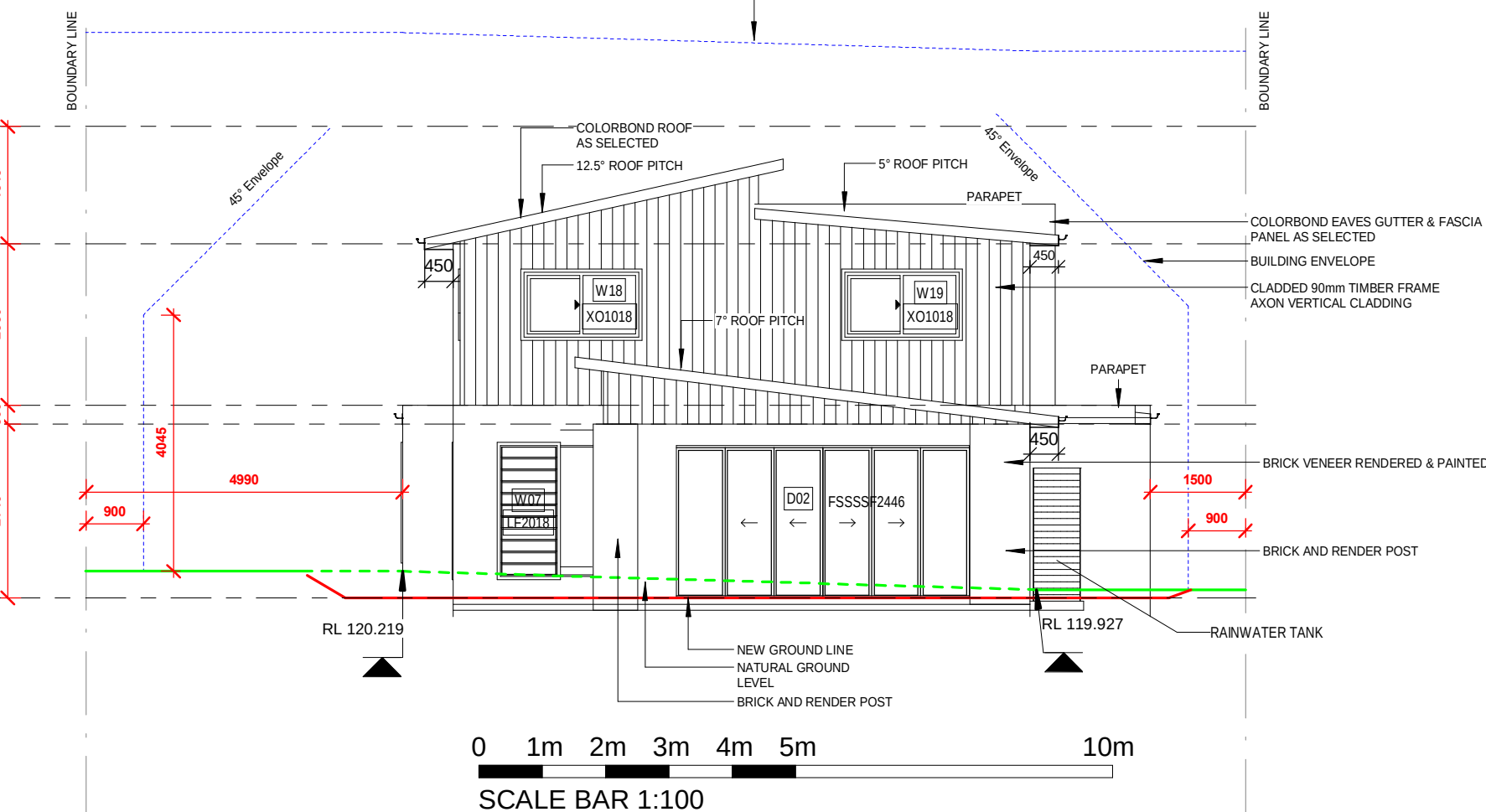
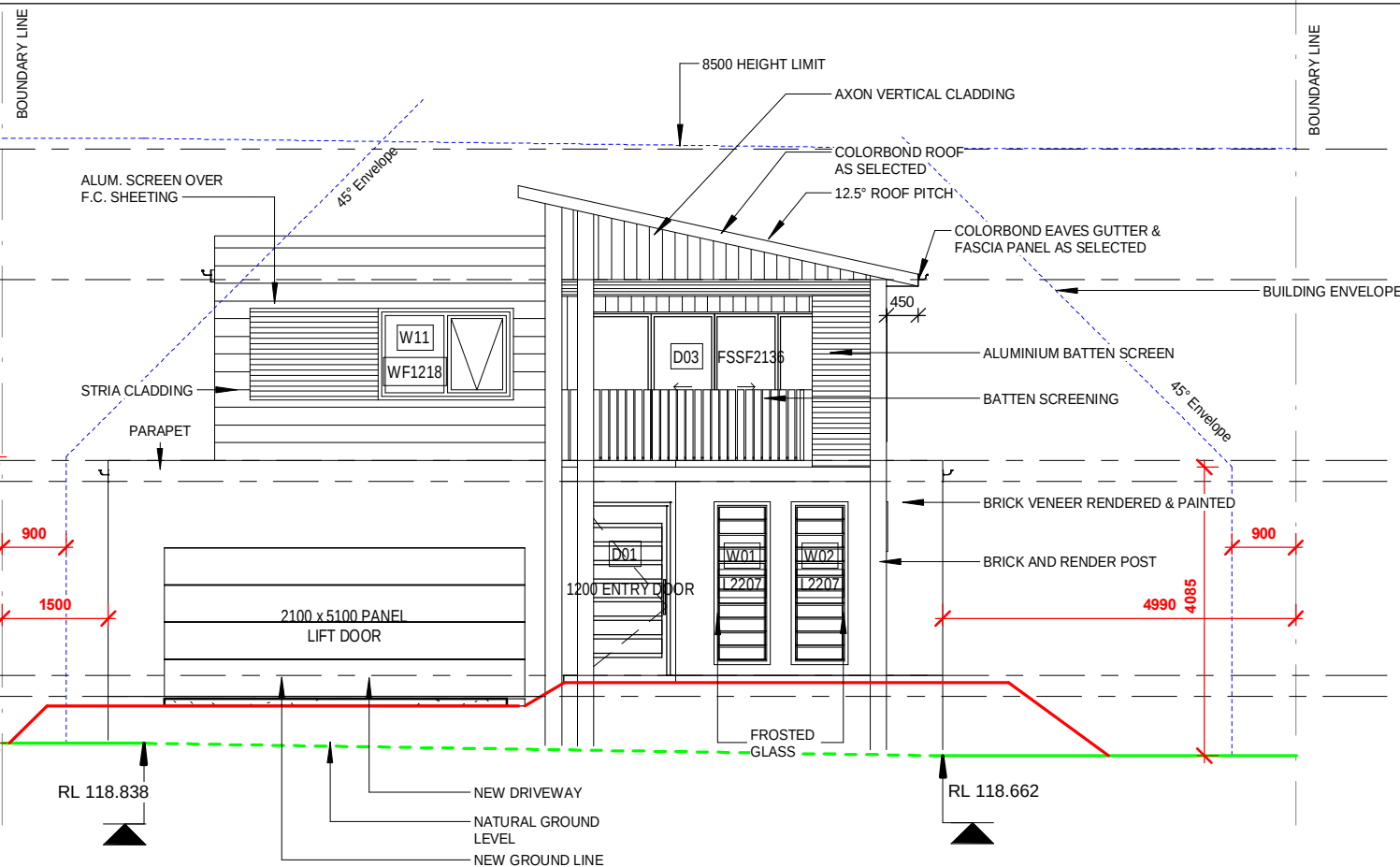
RL 125.390 ▼ UF CEILING

RL 122.840 ▼ UF

RL 122.540 ▼ GF CEILING

RL 119.800 ▼ GF

2 REAR ELEVATION
1 : 100



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
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Code	Width	Height
W01	700	2200
W02	700	2200
W03	2170	600
W04	2650	1800
W05	2650	2060
W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

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5 CELEBRATION DRIVE
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093

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OWNER SIGNED: DATE:
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BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
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RL 125.390 DA25 CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

RL 119.500 GARAGE

1 SIDE ELEVATION 1
1 : 100

RL 127.237 ROOF PEAK

RL 125.390 UF CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

RL 119.500 GARAGE

2 SIDE ELEVATION 2
1 : 100

CDC APPLICATION - NOT FOR CONSTRUCTION

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CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**39 INGLEBAR AVE
ALLAMBIE HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A08** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093

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Grand total: 24

DOOR SCHEDULE

Code	Width	Height
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D01	1200	2400
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Grand total: 3

SCALE BAR 1:100

REFER TO COLOUR SELECTION FOR BATHROOM
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northern
beaches
council

RL 127.237

ROOF PEAK

THIS PLAN IS TO BE READ IN
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CONSENT

RL 125.390

UF CEILING

DA2020/0109

RL 122.840

UF

RL 122.540

GF CEILING

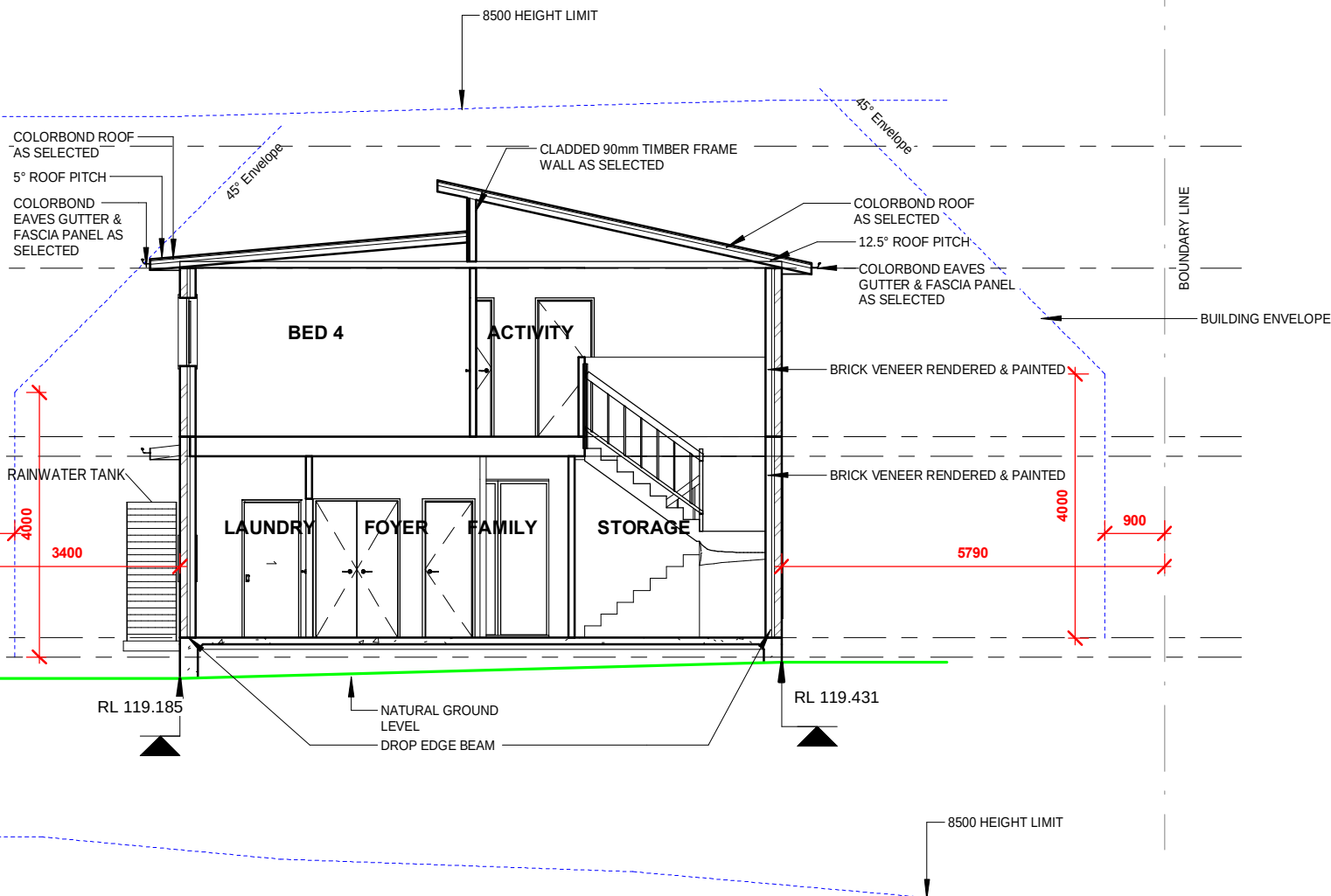
RL 119.800

GF

RL 119.500

GARAGE

A SECTION A-A
1 : 100

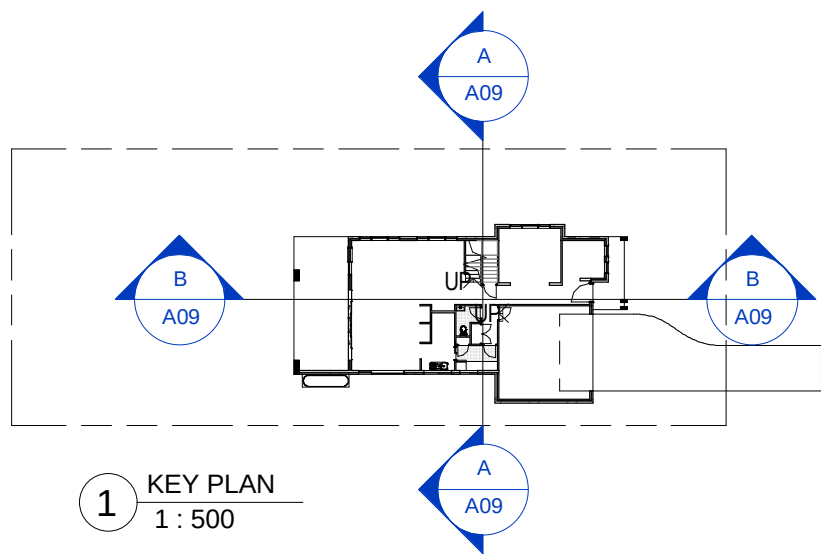


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F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020



RL 127.237

ROOF PEAK

RL 125.390

UF CEILING

RL 122.840

UF

RL 122.540

GF CEILING

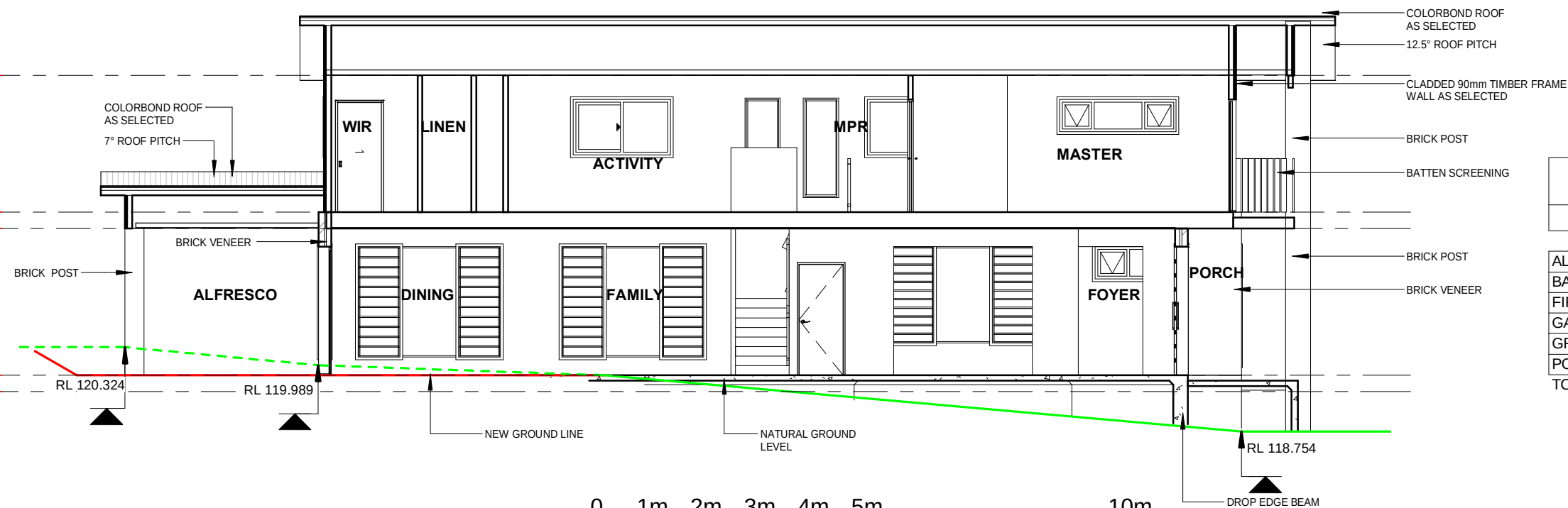
RL 119.800

GF

RL 119.500

GARAGE

B SECTION B-B
1 : 100



PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS:



SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

SECTIONS

SCALE: As
indicated

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3

SHEET No:

A09

REVISION:

G

DATE: 22/01/2020

JOB NO: 230256

DRAWN: NF

STAGE: DA

GJGN093

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

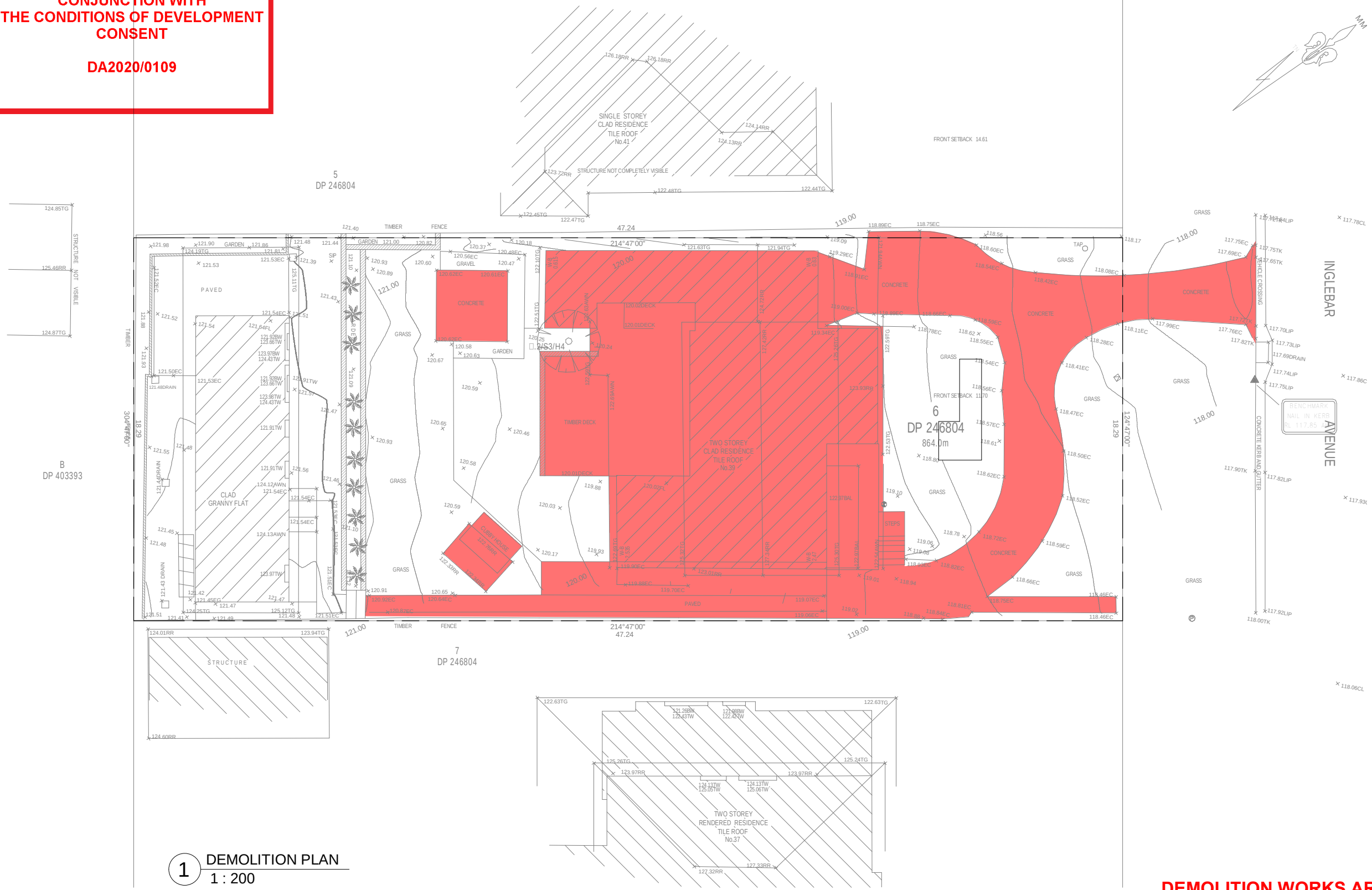
BUILDER SIGNED: DATE:



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THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0109



1 DEMOLITION PLAN
1 : 200

0 1m 3m 5m 10m
SCALE BAR 1:200

DEMOLITION WORKS ARE
SHOWN IN RED

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
D	UPDATED SURVEY AND RL'S	01/11/2019
E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020

G.J. Gardner.
Builders Details

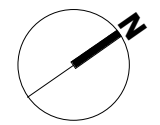
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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
DEMOLITION PLAN
SCALE: 1 : 200

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: A3
SHEET No: A10
REVISION: G
DATE: 22/01/2020
JOB NO: 230256
STAGE: DA
DRAWN: NF
GJGN093



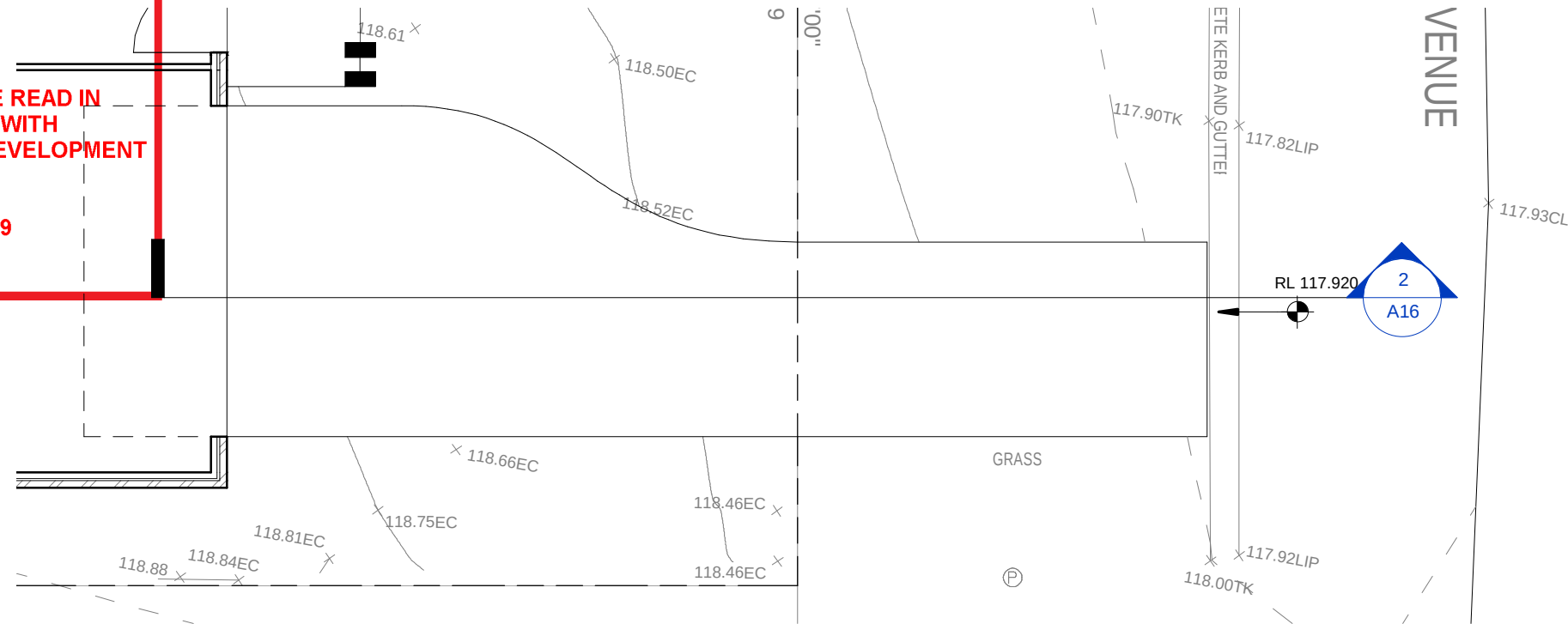
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OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



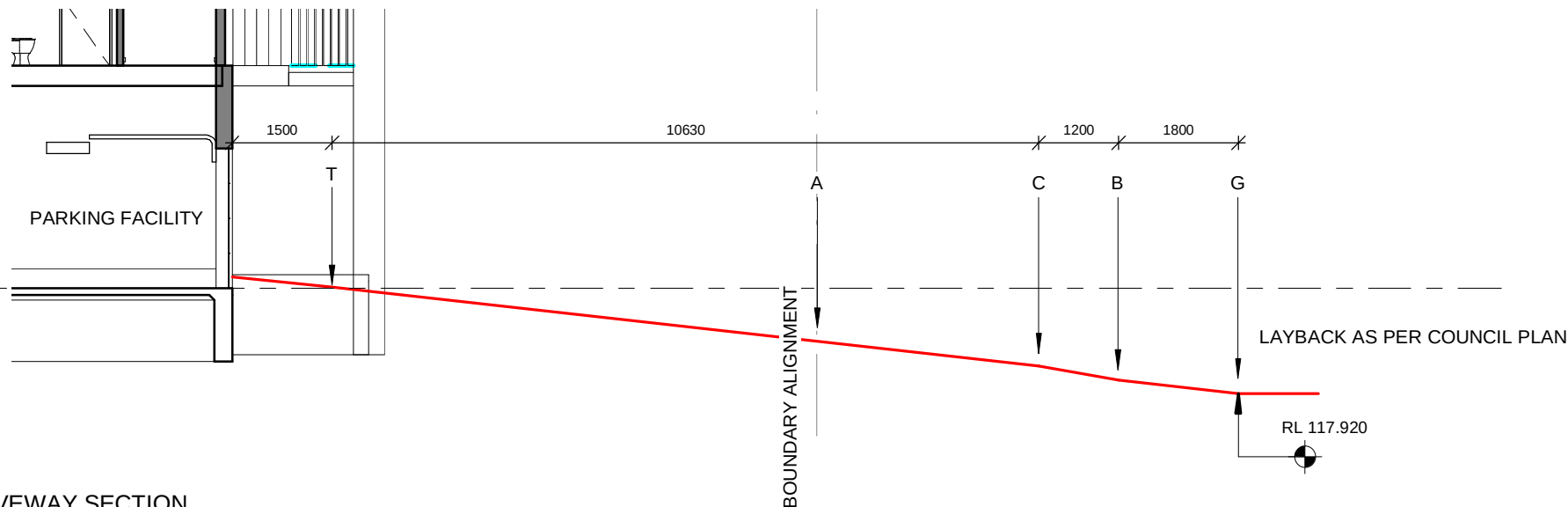
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CONSENT

DA2020/0109



1 DRIVEWAY PLAN
1 : 100



2 DRIVEWAY SECTION
1 : 100

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
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G.J. Gardner. **HOMES**
Builders Details

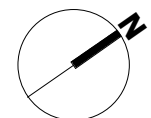
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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
DRIVEWAY DETAIL
SCALE: 1 : 100

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: **A3** SHEET No: **A16** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



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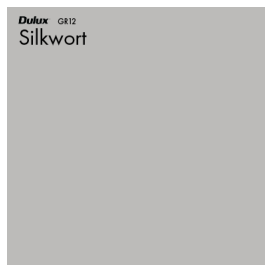
39 Inglebar Ave, Allambie Heights

External Finishes Schedule

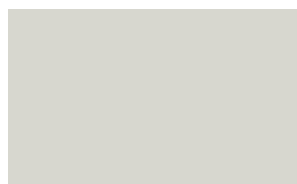


Roof, fascia and gutter – Colorbond Shale Grey

Windows – Pearl White



Cladding and Render – James Hardie Stria painted Dulux
Silkworth



Cladding – James Hardie Axon painted Colorbond Sufmist



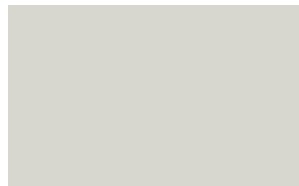
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Dulux GR11
Malay Grey

Garage Surround Feature – Dulux Malay Grey



Garage Door – Colorbond Surfmist



Front Door – Timber Look

PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true colours