



Reference number 4908

Member of the Fire Protection Association of Australia

Lot 4, DP 1052523, 38C Consul Road, Brookvale, NSW 2100.

Friday, 17 January 2025

Prepared and certified by:	Matthew Willis <i>BPAD – Level 3 Certified Practitioner</i> Certification No: BPD-PA 09337		17/01/2025
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	Yes		
What is the recommended AS 3959-2018 level of compliance?	BAL-12.5		
Is referral to the RFS required?	No		
Can this development comply with the requirements of PBP?	Yes		
Plans by "Rapid Plans" (Appendix 1) dated.	11/10/24		

© This document is copyright. It is a breach of copyright for this document to be used to support a development application or any other purpose for any persons/entities other than those for whom this document was prepared. Other than for the purpose for which this document has been prepared and subject to conditions prescribed under the Copyright Act no part of this document may in any form nor by any means be reproduced or stored in a retrieval system or transmitted without the prior written permission of the company (Bushfire Planning Services Pty Ltd ACN 115 714 826).



Bushfire Planning Services

15 Parkcrest Place

Kenthurst NSW 2156

02 96543228

0428408577

mattw@bushfireconsultants.com.au

Bushfire Risk Assessment

Friday, 17 January 2025

Contact

Damien Macaulay

38C Consoul Road

Brookvale NSW 2100

0402 437 343

Subject Property

Lot 4, DP 1052523

38C Consul Road

Brookvale NSW 2100

BUSHFIRE RISK ASSESSMENT CERTIFICATE

THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT.

Property Address	Lot 4, DP 1052523, number 38C Consul Road Brookvale
Description of the Proposal	Alterations and additions to an existing building
Plan Reference	11/10/24
BAL Rating	BAL-12.5
Does the Proposal Rely on Alternate Solutions?	No

I, **Matthew Willis of Bushfire Planning Services Pty Ltd** have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Planning for Bushfire Protection 2019 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby advise, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and

2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements*

*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2019.

REPORT REFERENCE	Friday, 17 January 2025
REPORT DATE	Friday, 17 January 2025
CERTIFICATION NO/ACCREDITED SCHEME	FPAА BPAD A BPD-PA 09337

Attachments:

- Bushfire Risk Assessment Report
- Recommendations

SIGNATURE: ---  ----- **DATE:** -----Friday, 17 January 2025

Contents.

1	Executive Summary.	5
2	General.	6
3	Block Description.	6
4	Vegetation.	8
5	Known constraints on subject block.	10
6	Slope.	10
7	Utilities.	11
7.1	Water.	11
7.2	Electricity	11
7.3	Gas	11
8	Access/Egress.	11
9	Compliance with Planning for Bushfire Protection setbacks.	12
10	Siting.	12
11	Construction and design.	12
12	Utilities.	13
12.1	Water.	13
12.2	Electricity and Gas.	13
13	Asset Protection Zone (APZ).	13
14	Landscaping.	13
15	Constraints on the subject block.	14
16	Access/Egress.	14
17	Compliance or non compliance with the specifications and requirements for bushfire protection measures.	14
18	Conclusions.	15
19	References.	17
20	Appendix 1 - Plans .	18

1 Executive Summary.

Bushfire Planning Services has been requested to supply a bushfire compliance report on lot 4, DP 1052523, 38C Consul Road, Brookvale.

The works proposed for the subject lot are for the alterations and additions to an existing building, see attached plans for details.

The subject lot is on the western side of Consul Road and at its closest point to the hazard the proposed new work has a separation distance to the west of greater than 61m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes up slope away from the property.

For the purposes of this assessment this vegetation is considered to be Forest.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-12.5 and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
Vegetation type	Managed land	Managed land	Managed land	Managed land/forest
Slope	N/A	N/A	N/A	All Upslope and Flat Land
Setback within lot 4	N/A	N/A	N/A	N/A
Setback outside lot 4	N/A	N/A	N/A	61m
Total setback	N/A	N/A	N/A	61m
Bal level	N/A	N/A	N/A	BAL-12.5

Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.

2 General.

This proposal relates to the alterations and additions to an existing building on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

3 Block Description.

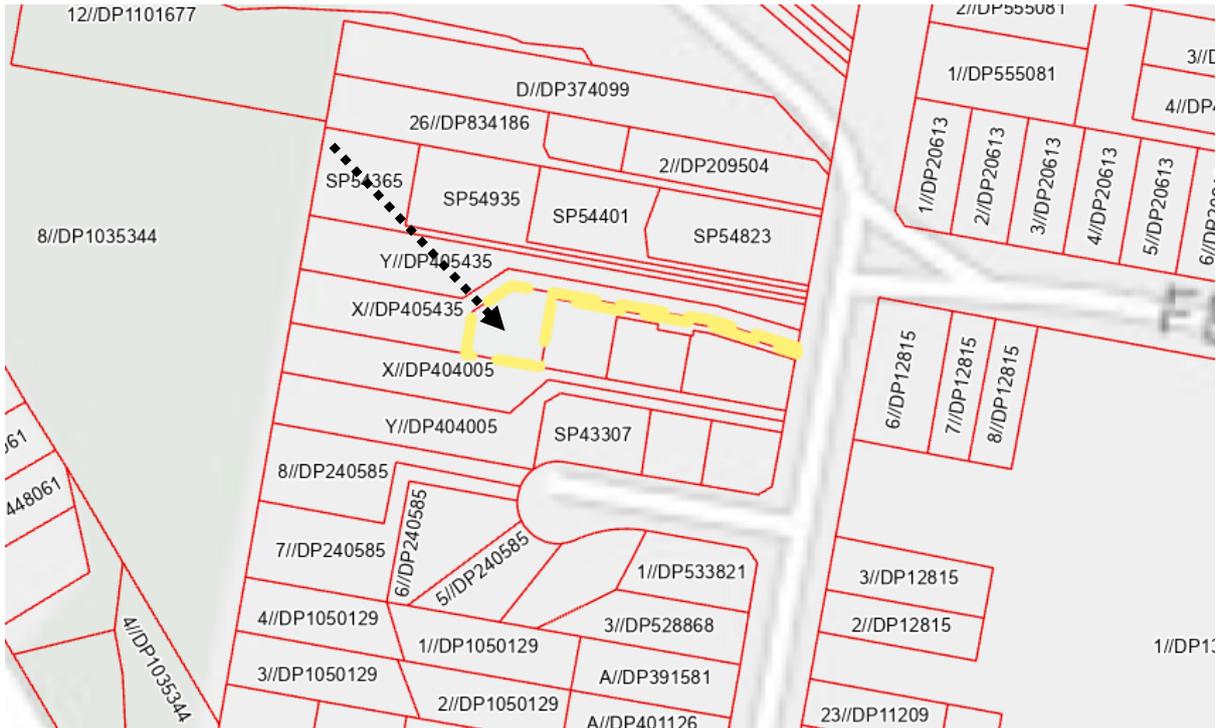
The subject block is situated on the western side of Consul Road in an established area of Brookvale.

The lot currently contains a multi-level class 1 dwelling.

The lands surrounding the proposed site on the subject lot to a distance of at least 61mm contain existing development or land that is otherwise not considered to be a significant bushfire hazard.

- Lot; 4
- DP; 1052523.
- LGA; Northern Beaches.
- Area; 527m².
- Address; 38C Consul Road, Brookvale.

This section has been left blank.



Map 1 shows the cadastral layout around the subject lot.



Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 4 to be within the buffer zone of category 1 bushfire vegetation.

4 Vegetation.

The study area for the vegetation is 140m surrounding the subject block.

The vegetation within the study area for this development is considered to be largely managed land.

The major potential hazard to this development is the vegetation within an area of undeveloped land to the west.

For the purpose of this assessment and compliance with Planning for Bushfire Protection this area of undeveloped land is considered to be Forest and is the hazard to this proposal.

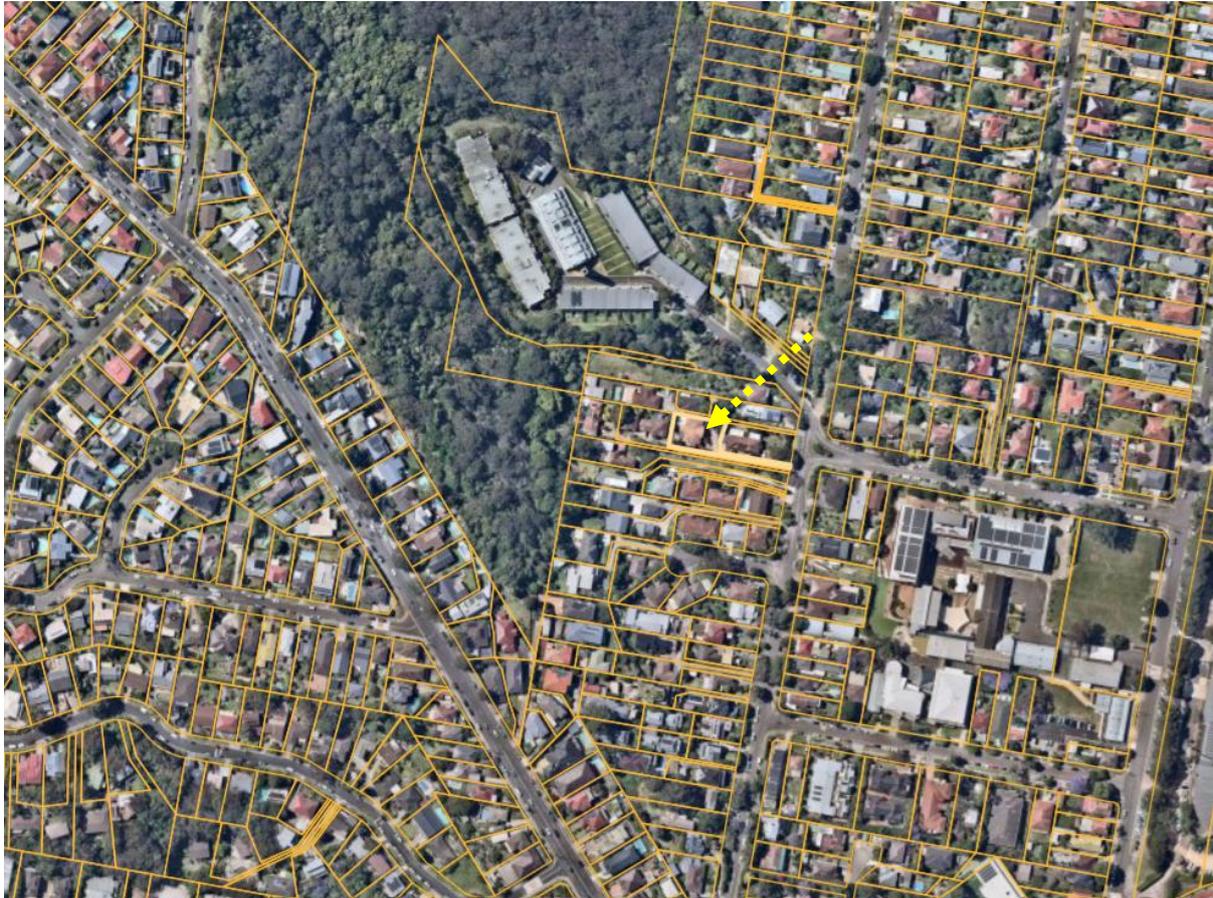


Photo 1 - An overview of the vegetation within the general area.

This area has been left intentionally blank.



Photo 2 is a closer view of the vegetation in the area.

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
Vegetation type	Managed land	Managed land	Managed land	Managed land/forest
Setback within lot 4	N/A	N/A	N/A	N/A
Off-site setback	N/A	N/A	N/A	61m
Total setback	N/A	N/A	N/A	61m

Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.

This area has been left intentionally blank.

5 Known constraints on subject block.

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block.

Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

6 Slope.

The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot.

An extract of the topographical map for the area is shown below and the relevant slope analysis is shown in Table 2.

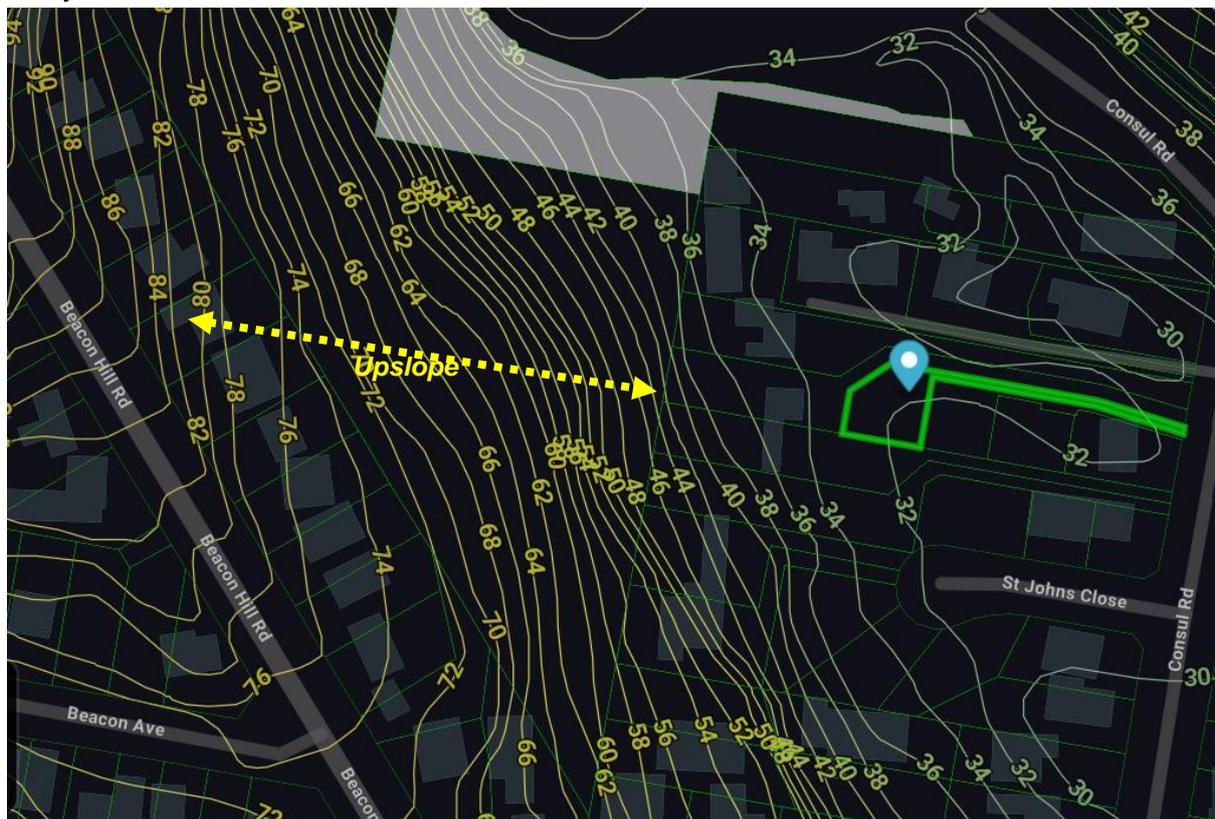


Table 2 shows the slope beneath the hazard.

Aspect	North	East	South	West
Slope	N/A	N/A	N/A	All Upslope and Flat Land

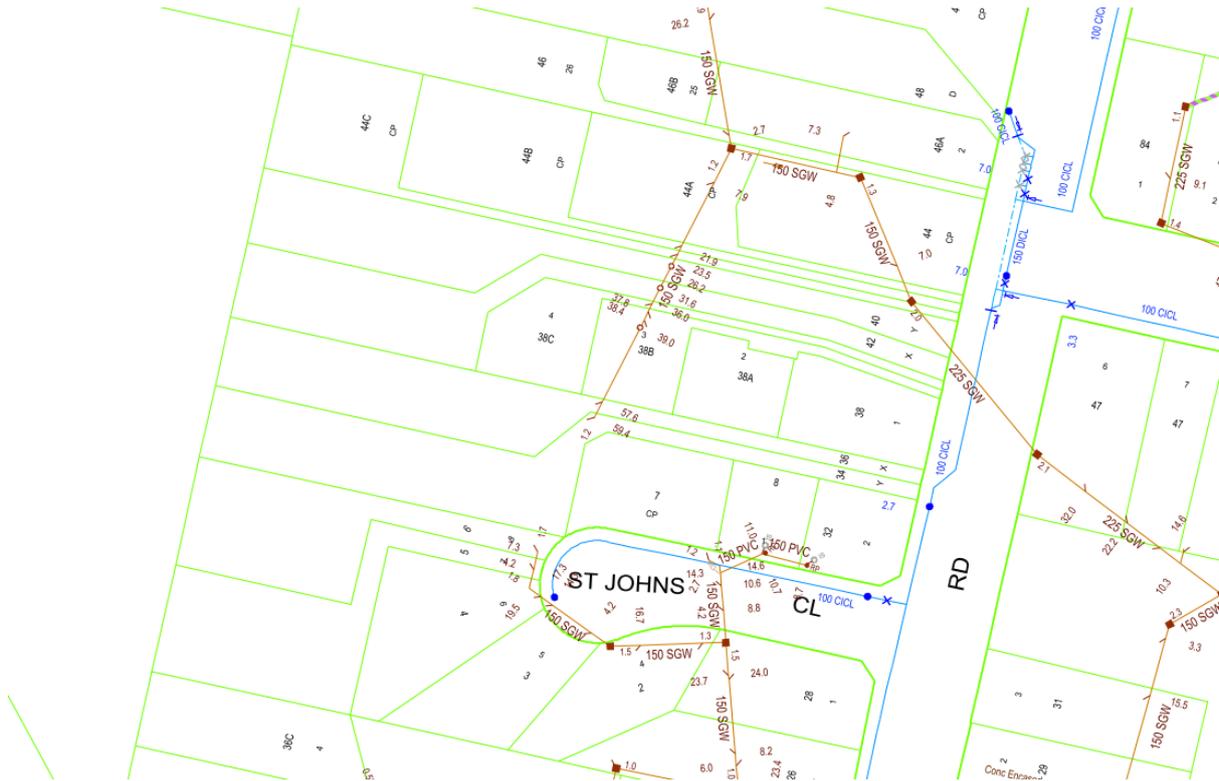
Table 2 - Any aspect marked with "N/A" in the table above indicates that it is considered there is no hazard in that direction.

7 Utilities.

7.1 Water.

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line.



7.2 Electricity

Main's electricity is available to the block.

7.3 Gas

It is unknown if gas is to be installed in this proposal.

8 Access/Egress.

Access to the development site will be via a shared driveway from Consul Road.

All roads in the vicinity are considered to be capable of carrying emergency services vehicles and pedestrian access onto the lot is also considered to be adequate.

Analysis of development and recommendation.

9 Compliance with Planning for Bushfire Protection setbacks.

Based on the development design, vegetation classification, effective slope estimates and setback distance already outlined in this report the subject development will be required to comply with the deemed to satisfy construction requirements of AS 3959-2018 BAL-12.5 and the RFS requirements on all fire prone aspects.

10 Siting.

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

Recommendation.

Nil.

11 Construction and design.

All new work is to be undertaken in accordance with the relevant requirements of the NCC and AS3959 2018. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

Recommendation; all new work.

1. New construction shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
2. New construction shall also comply with the requirements of BAL-12.5 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.
3. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

AS-3959 2018 is available as PDF from;

https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/

12 Utilities.

12.1 Water.

The proposed development will have access to a reticulated water supply.

Recommendation.

Nil.

12.2 Electricity and Gas.

Recommendation.

4. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

13 Asset Protection Zone (APZ).

The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

Recommendation.

5. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

14 Landscaping.

Recommendation.

6. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.
7. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following landscaping principles are, where applicable, to be incorporated into the development¹:
 - Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
 - Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;

¹Refer to referenced documents for a complete description.

- Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
- Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
- Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
- When considering landscape species consideration needs to be given to estimated size of the plant at maturity;
- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

15 Constraints on the subject block.

None known.

Recommendation.

Nil

16 Access/Egress.

All roads in the area are considered to be capable of handling emergency service vehicles. Access from the roadway onto the property is also considered to be adequate for firefighting purposes.

Recommendation

Nil

17 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<p>APZ</p> <p>A defensible space is provided onsite.</p> <p>An APZ is provided and maintained for the life of the development.</p>	<p>Achievable with the implementation of the recommendations in section 13</p>
<p>SITING AND DESIGN:</p> <p>Buildings are sited and designed to minimise the risk of bush fire attack.</p>	<p>Achievable with the implementation of the recommendations in section 10</p>
<p>CONSTRUCTION STANDARDS:</p> <p>It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.</p>	<p>Achievable with the implementation of the recommendations in section 11</p>
<p>ACCESS</p> <p>Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>	<p>Achievable with the implementation of the recommendations in section 16</p>
<p>WATER AND UTILITY SERVICES:</p> <ul style="list-style-type: none"> adequate water and electricity services are provided for firefighting operations Gas and electricity services are located so as not to contribute to the risk of fire to a building. 	<p>Achievable with the implementation of the recommendations in section 12</p>
<p>LANDSCAPING:</p> <ul style="list-style-type: none"> it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions. 	<p>Achievable with the implementation of the recommendations in section 14</p>

18 Conclusions.

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the

developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



Matthew Willis
Grad Dip Planning for Bushfire Prone Areas
Bushfire Planning Services Pty Limited

19 References.

- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

20 Appendix 1 - Plans .

Sheet Size: A3

Rapid Plans www.rapidplans.com.au
P.O. Box 6193 Frenchs Forest DC NSW 2086
Fax: (02) 9905-9866 Mobile: 0414-946-024
Email: greg@rapidplans.com.au

DEVELOPMENT APPLICATION
Alterations & Additions To Existing Residence
For Damien & Linda Macaulay
38C Consul Road Brookvale
Lot 4 D.P.1052523
Project Number: RP1123MAC

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

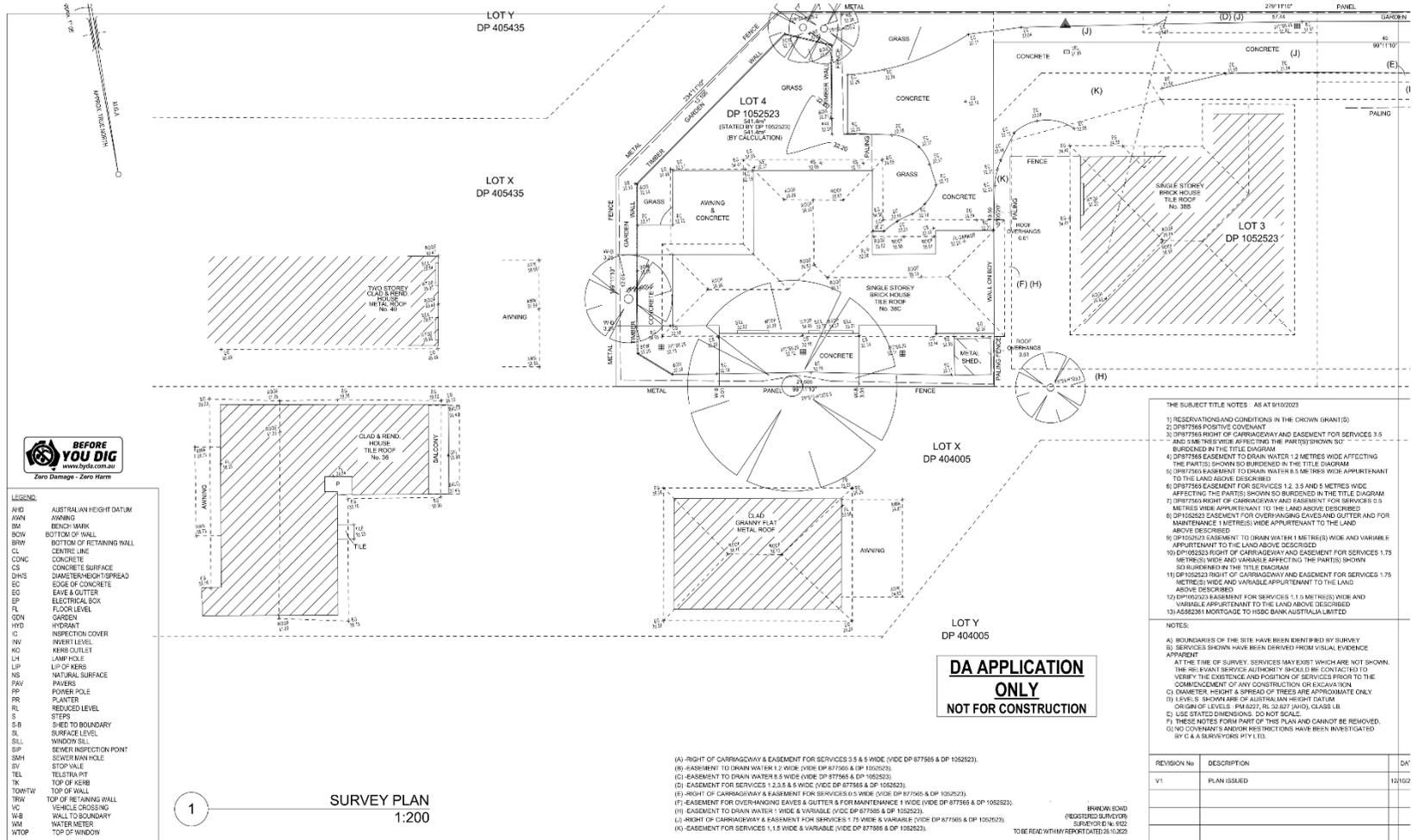
DRAWING No.	DESCRIPTION	REV	ISSUED DATE
DA1000	Cover Sheet	-	- 11-10-2024
DA1001	A4 NOTIFICATION PLAN	-	- 11-10-2024
DA1002	SITE SURVEY 1	-	- 11-10-2024
DA1003	SITE SURVEY 2	-	- 11-10-2024
DA1004	SITE PLAN	-	- 11-10-2024
DA1005	Existing Ground Floor Plan	-	- 11-10-2024
DA1006	Existing Roof Plan	-	- 11-10-2024
DA1007	Demolition Ground Floor Plan	-	- 11-10-2024
DA1008	Demolition Roof Plan	-	- 11-10-2024
DA1009	Landscape Open Space Plan Existing	-	- 11-10-2024
DA1010	Landscape Open Space Plan Proposed	-	- 11-10-2024
DA1011	Landscape Plan	-	- 11-10-2024
DA1012	Sediment & Erosion Plan	-	- 11-10-2024
DA1013	Waste Management Plan	-	- 11-10-2024
DA1014	Stormwater Plan	-	- 11-10-2024
DA2001	GROUND FLOOR	-	- 11-10-2024
DA2002	FIRST FLOOR	-	- 11-10-2024
DA2003	ROOF	-	- 11-10-2024
DA3000	SECTION 1	-	- 11-10-2024
DA3001	SECTION 2	-	- 11-10-2024
DA4000	ELEVATIONS 1	-	- 11-10-2024
DA4001	ELEVATIONS 2	-	- 11-10-2024
DA5000	PERSPECTIVE	-	- 11-10-2024
DA5001	SHADOW PLAN 21st June 9am	-	- 11-10-2024
DA5002	SHADOW PLAN 21st June 12pm	-	- 11-10-2024
DA5003	SHADOW PLAN 21st June 3pm	-	- 11-10-2024
DA5004	WALL ELEVATION SHADOWS	-	- 11-10-2024

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au
Alterations and Additions
Certificate number: A1751541_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: 1 day, 25 October 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	
Project name	DAMO Brookvale_02
Street address	38C CONSUL ROAD - BROOKVALE 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan DP 1052523
Lot number	4
Section number	-
Project type	
Dwelling type	Dwelling house (detached)
Type of alteration and addition	The estimated development cost for my renovation work is \$50,000 or more, and does not include a pool (and/or spa)
N/A	N/A
Certificate Prepared by	
Name / Company Name: Mr Mike Michael Macaulay	
ABN (if applicable):	



- LEGEND:**
- AHD AUSTRALIAN HEIGHT DATUM
 - AWN AWNING
 - BW BENCH MARK
 - BM BOTTOM OF RETAINING WALL
 - BRW BOTTOM OF RETAINING WALL
 - CL CENTRE LINE
 - CONC CONCRETE
 - CS CONCRETE SURFACE
 - DHS DIAMETER/HEIGHT/SPREAD
 - EC EDGE OF CONCRETE
 - EG EAVE & GUTTER
 - EP ELECTRICAL BOX
 - FL FLOOR LEVEL
 - GDN GARDEN
 - HYD HYDRANT
 - IC INSPECTION COVER
 - INW INVERT LEVEL
 - KO KERB OUTLET
 - LH LAMP HOLE
 - LIP LIP OF KERB
 - NS NATURAL SURFACE
 - PW PAVES
 - PP POWER POLE
 - PL PLANTER
 - RL REDUCED LEVEL
 - S STEPS
 - S-B SHEET TO BOUNDARY
 - SL SURFACE LEVEL
 - SLL WINDOW SILL
 - SPP SEWER INSPECTION POINT
 - SMH SEWER MAN HOLE
 - SW STOP WALL
 - TEL TELSTRA PIT
 - TK TOP OF KERB
 - TOWTW TOP OF WALL
 - TRW TOP OF RETAINING WALL
 - VC VEHICLE CROSSING
 - WB WALL TO BOUNDARY
 - WM WATER METER
 - WTP TOP OF WINDOW

1 SURVEY PLAN
1:200

- THE SUBJECT TITLE NOTES: AS AT 01/10/2023
- 1) RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
 - 2) DP97565 POSITIVE COVENANT
 - 3) DP97565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.9 AND 3.10 THE EASEMENT AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 4) DP97565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 5) DP97565 EASEMENT TO DRAIN WATER 4.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 6) DP97565 EASEMENT FOR SERVICES 1.2, 3.5 AND 5 METRES WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 7) DP97565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.9 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 8) DP97565 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 9) DP102523 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 10) DP102523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRES WIDE AND VARIABLE APPURTENANT TO THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
 - 11) DP102523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRES WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 12) DP102523 EASEMENT FOR SERVICES 1.1 TO 1.9 METRES WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
 - 13) DP102523 EASEMENT FOR SERVICES 1.1 TO 1.9 METRES WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- NOTES:
- A) BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
 - B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE AND VISUAL INSPECTION
 - C) AT THE TIME OF SURVEY SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RESPONDENT SERVICES AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
 - D) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
 - E) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM ORIGIN OF LEVELS: P.M.S. 82, 83, 87 (AHD), CLASS B.
 - F) USE STATED DIMENSIONS. DO NOT SCALE.
 - G) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
 - H) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & S SURVEYORS PTY LTD.

- (A) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 3.9 & 5 WIDE (VIDE DP 877865 & DP 1052523).
- (B) - EASEMENT TO DRAIN WATER 1.2 WIDE (VIDE DP 877865 & DP 1052523).
- (C) - EASEMENT TO DRAIN WATER 4.5 WIDE (VIDE DP 877865 & DP 1052523).
- (D) - EASEMENT FOR SERVICES 1.2, 3.5 & 5 WIDE (VIDE DP 877865 & DP 1052523).
- (E) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 1.75 WIDE (VIDE DP 877865 & DP 1052523).
- (F) - EASEMENT FOR OVERHANGING EAVES & GUTTERS FOR MAINTENANCE 1 WIDE (VIDE DP 877865 & DP 1052523).
- (G) - EASEMENT TO DRAIN WATER 1 WIDE & VARIABLE (VIDE DP 877865 & DP 1052523).
- (H) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 1.75 WIDE & VARIABLE (VIDE DP 877865 & DP 1052523).
- (I) - EASEMENT FOR SERVICES 1.1 TO 1.9 WIDE & VARIABLE (VIDE DP 877865 & DP 1052523).

C&S SURVEYORS
30 Grose Street, Parramatta, NSW 2150
Ph: 96309299 email: Operations@candsurveyors.com.au
www.candsurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION SURVEY OF
**LOT 4 IN DP 1052523, LOCATED AT
No. 38C, CONSUL ROAD, BROOKVALE.**

APPROPRIATE COLOUR COPIES OF THESE DRAWINGS MUST BE PROVIDED TO THE RELEVANT SERVICES AUTHORITY BY THE RESPONDENT PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. THESE DRAWINGS ARE NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH THEY HAVE BEEN PREPARED. WITHOUT THE WRITTEN CONSENT OF C & S SURVEYORS PTY LTD THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY.

LEGEND: TELSTRA PIT, STOP VALVE, WATER METER, HYDRANT, POWER POLE

REVISION No	DESCRIPTION	DATE
V1	PLAN ISSUED	12/10/23

BRUNNEN DEND (REGISTERED SURVEYOR)
SURVEYOR NO. 9122
TO BE READ WITH MY REPORT DATED 09/10/2023

INSTRUCTING PARTY:	CARLY TRACEY	SURVEYED BY:	BW	DATUM:	AHD
LGA:	NORTHERN BEACHES	AREA BY DP:	641.4 m ²	DRAWN BY:	SLU
SURVEY DATE:	10/10/2023	AREA BY CALC:	641.4 m ²	SCALE:	1:1000(A1)
DATE DRAWN:	12/10/2023	CONTOUR INTERVAL:	0.2 m	REF NO:	30632-23 DET
		REV No:	V1	SHEET:	1 OF 1

Rapid Plans
Building Design and Architectural Drafting

Copyright
Rapid Plans 2024

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNER

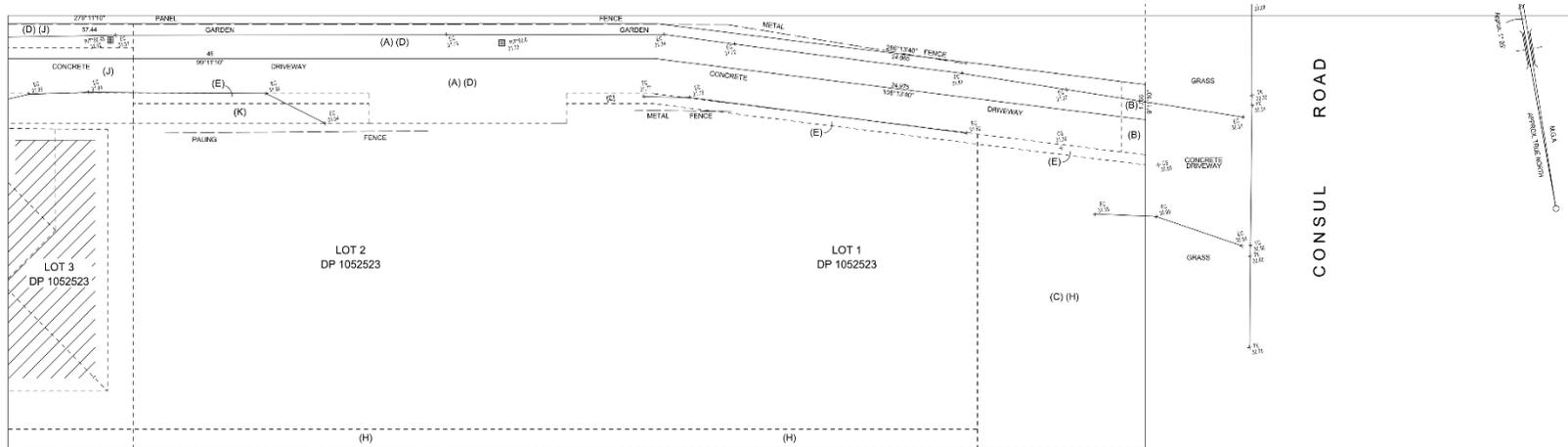
Project North
Checked: GBJ
Project Drawn: 4112024
Project Status: RP1122AAC
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale
Sheet Size: A3

DRAWING TITLE:
SITE SURVEY 1

PROJECT NAME:
Alterations & Additions

DATE:
11-10-2024

DRAWING NO:
DA1002



LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
BM	BENCH MARK
BSW	BOTTOM OF RETAINING WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
DMSV	DRAINAGE/STORM DRAIN
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
EP	ELECTRICAL BOX
FL	FLOOR LEVEL
GDN	GARDEN
IND	INDUMENT
IC	INSPECTION COVER
INV	INVERT LEVEL
KO	KERS OUTLET
LH	LAMP HOLE
LIP	LIP OF KERB
NS	NATURAL SURFACE
PWP	POWER POLE
PR	PLANTER
RL	REDUCED LEVEL
S	STEPS
S/B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SLL	WINDOW SILL
SP	SEWER INSPECTION POINT
SMH	SEWER MAN HOLE
SV	STOP VALVE
TEL	TELSTRA PIT
TRW	TOP OF KERB
TOWTW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
WB	WALL TO BOUNDARY
WH	WATER METER
WCP	TOP OF WINDOW

1 SURVEY PLAN
1:200

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

- (A) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 3.0 & 5.0 WIDE (VIDE DP 877565 & DP 1052523)
- (B) - EASEMENT TO DRAIN WATER 1.2 WIDE (VIDE DP 877565 & DP 1052523)
- (C) - EASEMENT TO DRAIN WATER 8.5 WIDE (VIDE DP 877565 & DP 1052523)
- (D) - EASEMENT FOR SERVICES 1.2, 3.0 & 5.0 WIDE (VIDE DP 877565 & DP 1052523)
- (E) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 6.5 WIDE (VIDE DP 877565 & DP 1052523)
- (F) - EASEMENT FOR OVERHANGING EAVES & GUTTER & FOR MAINTENANCE 1 WIDE (VIDE DP 877565 & DP 1052523)
- (G) - EASEMENT TO DRAIN WATER 1 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523)
- (H) - RIGHT OF CARRIAGEWAY & EASEMENT FOR SERVICES 1.5 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523)
- (K) - EASEMENT FOR SERVICES 1.5 WIDE & VARIABLE (VIDE DP 877565 & DP 1052523)

THE SUBJECT TITLE NOTES: AS AT 9/10/2023

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANTS
- DP877565 POSITIVE COVENANT
- DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 3.0 AND 5.0 METRES WIDE AFFECTING THE PARTS SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP877565 EASEMENT TO DRAIN WATER 1.2 METRES WIDE AFFECTING THE PARTS SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP877565 EASEMENT TO DRAIN WATER 8.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP877565 EASEMENT FOR SERVICES 1.2, 3.0 AND 5.0 METRES WIDE AFFECTING THE PARTS SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP877565 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 6.5 METRES WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP877565 EASEMENT FOR OVERHANGING EAVES AND GUTTER AND FOR MAINTENANCE 1 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP1052523 EASEMENT TO DRAIN WATER 1 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRES WIDE AND VARIABLE AFFECTING THE PARTS SHOWN SO BURDENED IN THE TITLE DIAGRAM
- DP1052523 RIGHT OF CARRIAGEWAY AND EASEMENT FOR SERVICES 1.75 METRES WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED
- DP1052523 EASEMENT FOR SERVICES 1.5 METRE(S) WIDE AND VARIABLE APPURTENANT TO THE LAND ABOVE DESCRIBED

NOTES:

- BOUNDARIES OF THE SITE HAVE BEEN IDENTIFIED BY SURVEY
- SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT
- AT THE TIME OF SURVEY, SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
- DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY
- LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM (ORIGIN OF LEVELS: FM 827, RL 32 827 ANSL, CLASS 1B)
- USE SI METRIC DIMENSIONS. DO NOT SCALE
- IF THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED, NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY. LTD.

REVISION NO	DESCRIPTION	DA
V1	PLAN ISSUED	12/10/23

THIS PLAN AND THE INFORMATION CONTAINED HEREIN REMAINS THE PROPERTY OF C & A SURVEYORS NEW PTY LTD. IT MUST NOT BE COPIED IN WHOLE OR PART, AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT HAS BEEN PREPARED, WITHOUT THE WRITTEN CONSENT OF C & A SURVEYORS NEW PTY LTD. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY.

C&A SURVEYORS
30 Grose Street, Parramatta, NSW 2150
Ph: 96309289 email: Operations@candasurveyors.com.au
www.candasurveyors.com.au

DETAIL & BOUNDARY IDENTIFICATION SURVEY OF
LOT 4 IN DP 1052523, LOCATED AT
No. 38C, CONSUL ROAD, BROOKVALE.

APPROXIMATE LOCATION OF BURIED SERVICES:
--- TELEPHONE
--- WATER
--- GAS
--- CABLE TV
--- OTHER

TELSTRA PIT STOP VALVE POWER POLE HYDRANT



INSTRUCTING PARTY:	CARLY TRACEY	SURVEYED BY:	SW	DATE:	11/10/2024
LGA:	NORTHERN BEACHES	AREA BY DP:	511.4 m ²	DRAWN BY:	SU
SURVEY DATE:	10/10/2023	AREA BY CALC:	511.4 m ²	CHECKED BY:	1
DATE DRAWN:	10/10/2023	SCALE:	1:100 @ A1	REF. NO.:	30632-23 DEL
		CONTOUR INTERVAL:	0.2 m	REV. NO.:	V1
				SHEET:	2 OF 2

Rapid Plans
Building Design and Architectural Drafting

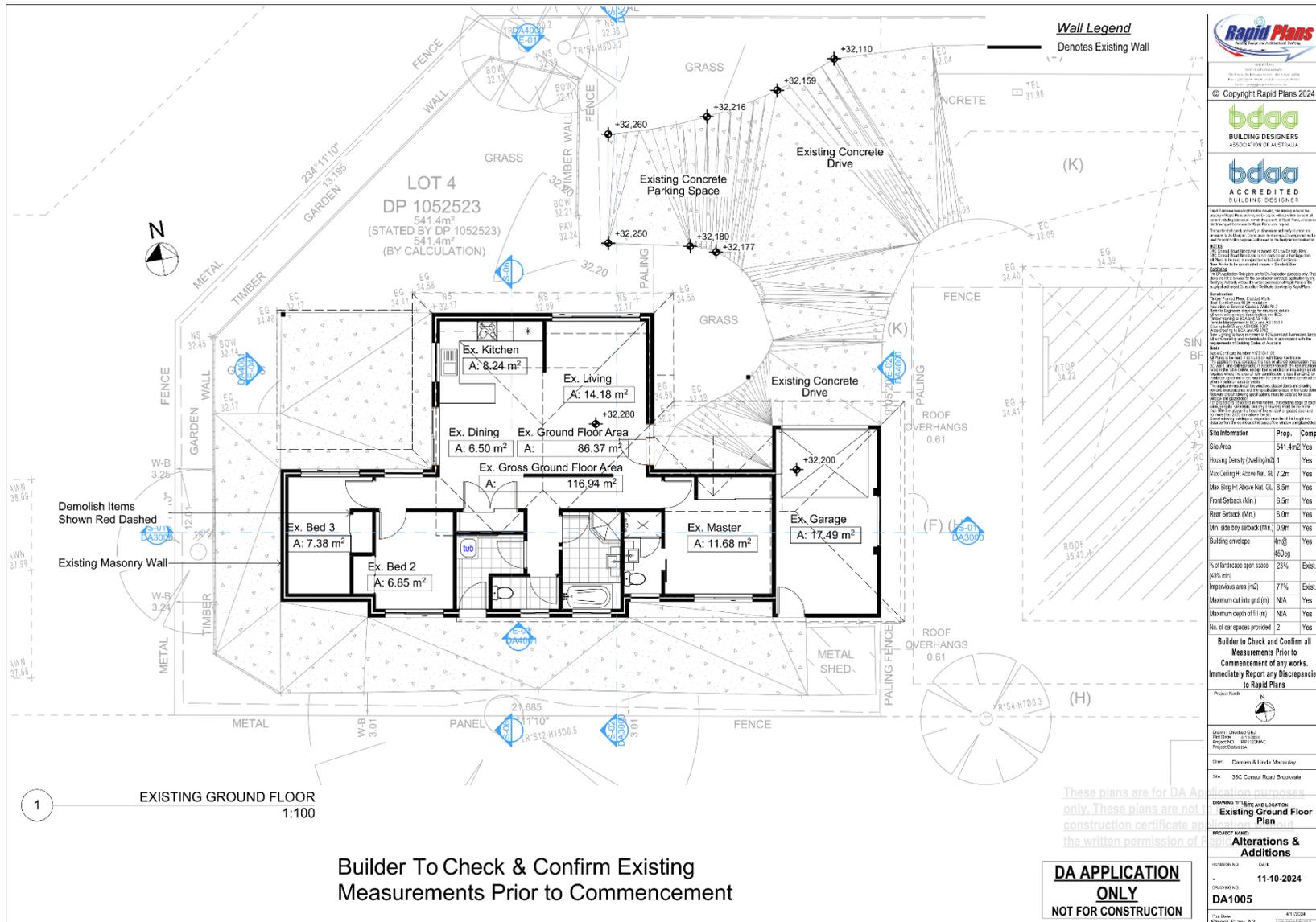
Copyright
Rapid Plans 2024

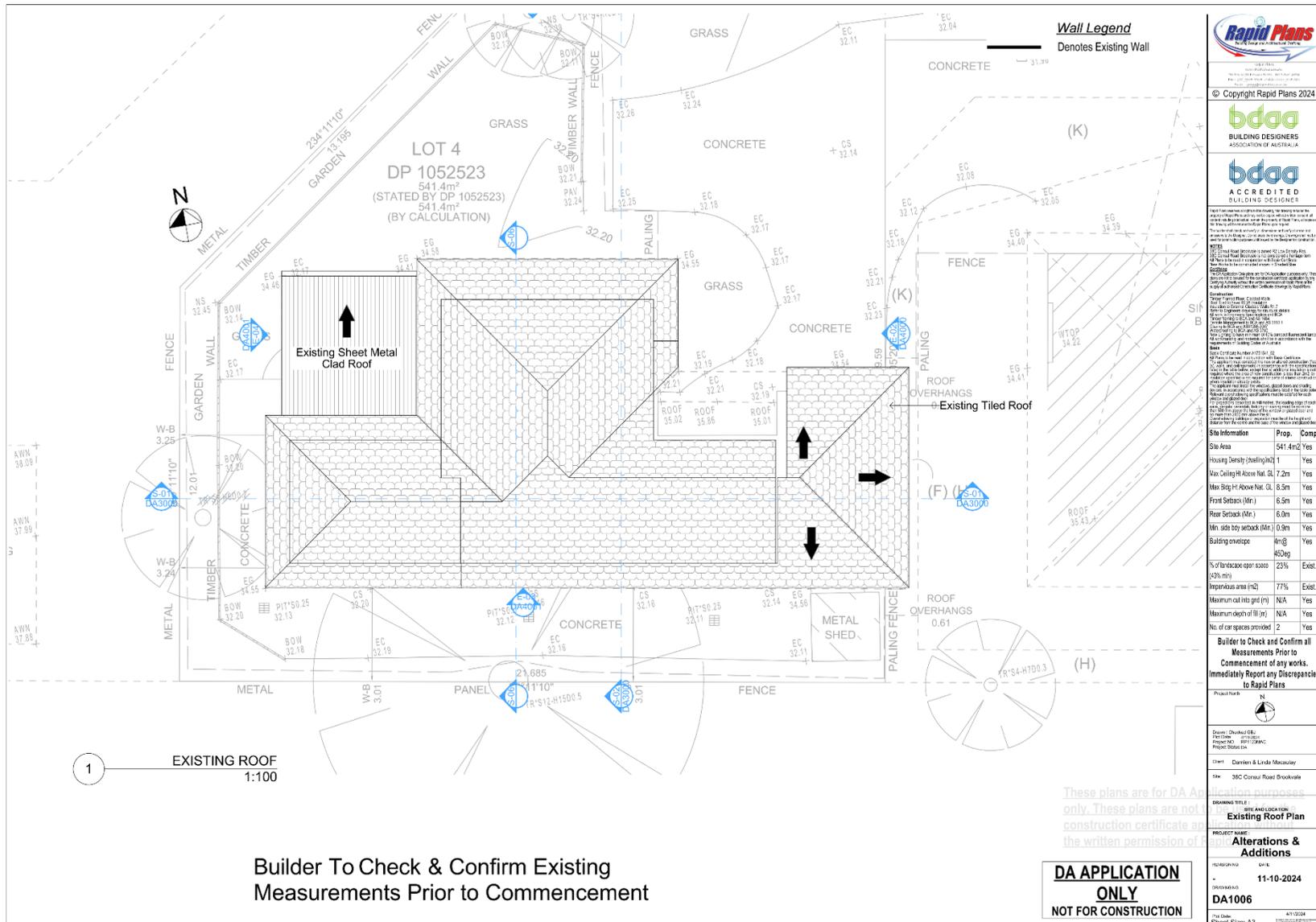
bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA
ACCREDITED BUILDING DESIGNER

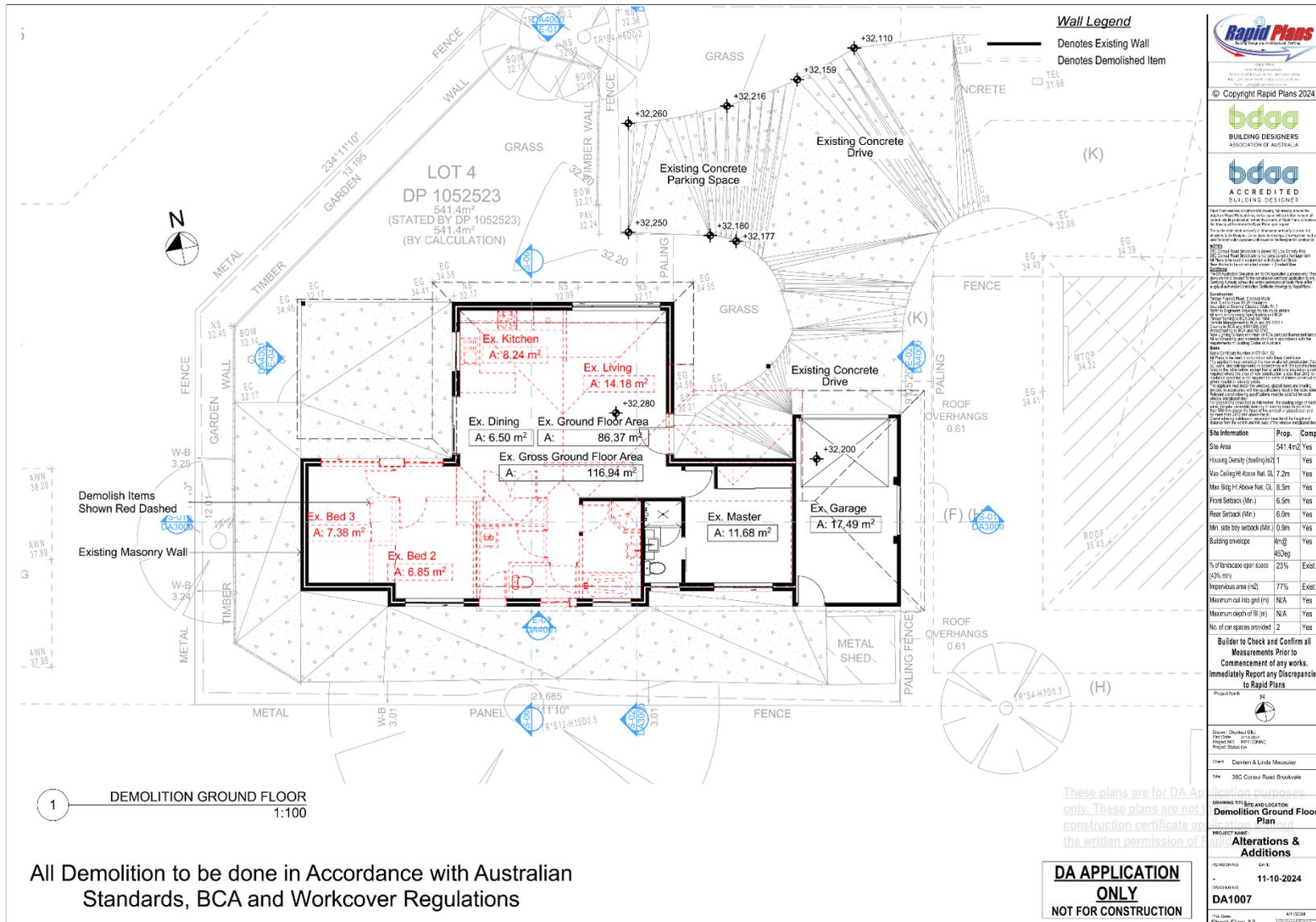
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Builder/Planner

Project North
Checked: GB
Project ID: 41102024
Project No: RP1122MAC
Project Status: DA
Client: Damien & Linda Macaulay
Site: 38C Consul Road Brookvale
Sheet Size: A3

DRAWING TITLE: SITE AND LOCATION
SITE SURVEY 2
PROJECT NAME: Alterations & Additions
DATE: 11-10-2024
DRAWING NO: DA1003







Rapid Plans
Building Designers Association of Australia

© Copyright Rapid Plans 2024

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNERS

Site Information

Prop.	Comp.
Site Area	541.4m ² Yes
Housing Density (dwelling/ha)	1 Yes
Max Ceiling Ht Above Nat. Gl.	7.2m Yes
Max Bldg Ht Above Nat. Gl.	8.5m Yes
Front Setback (Min.)	6.5m Yes
Rear Setback (Min.)	6.0m Yes
Min. side set back (Min.)	0.9m Yes
Building envelope	4m @ 45deg Yes
% of facade open @ 20deg (50% min)	23% Exist.
Preparatus area (m ²)	77% Exist.
Maximum cut into gnd (m)	N/A Yes
Maximum depth of fill (m)	N/A Yes
Nc. of car spaces provided	2 Yes

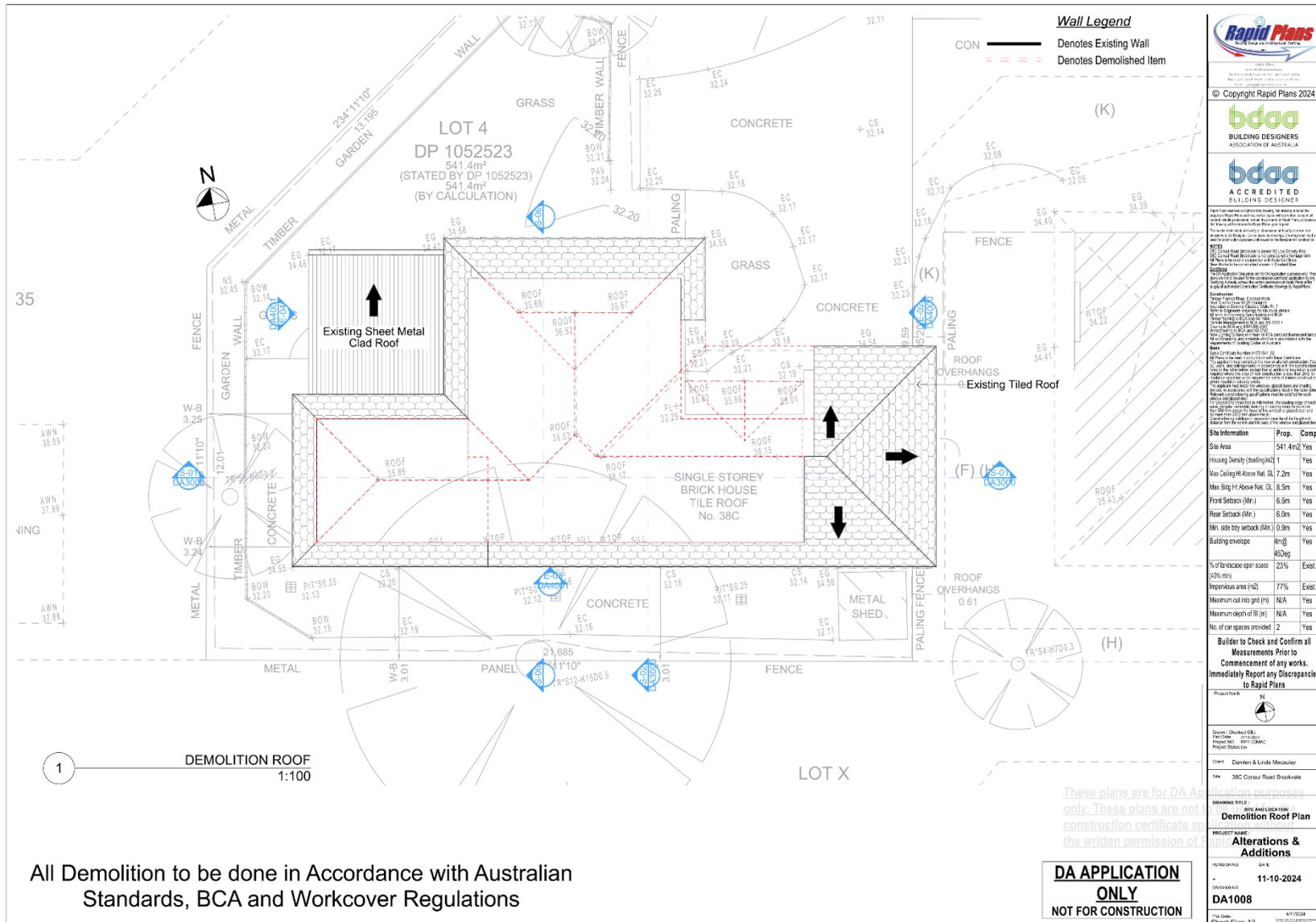
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Drawn: [Name]
Checked: [Name]
Project No: RPT/2024/01
Project Status: [Status]

Site: 38C Consul Road Brookvale

Project Name: **Alterations & Additions**

11-10-2024
DA1007





Rapid Plans
Building Designers
Copyright Rapid Plans 2024

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNERS

Site Information

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Footing Density (swelling%)	1	Yes
Max Ceiling Ht Above Nat. Gl.	7.2m	Yes
Max Bldg Ht Above Nat. Gl.	6.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.0m	Yes
Min. side by setback (Min.)	0.9m	Yes
Building envelope	4m@	Yes
	45kg	
% of landscape open @3000	23%	Exist.
(50% min)		
Impervious area (m ²)	77%	Exist.
Maximum cut into gnd (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
Nc. of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project Name: 38C Consul Road Brookvale

Client: Damien & Lynda Macaulay

Site: 38C Consul Road Brookvale

These plans are for DA Application purposes only. These plans are not for construction certificate application without the written permission of Rapid Plans

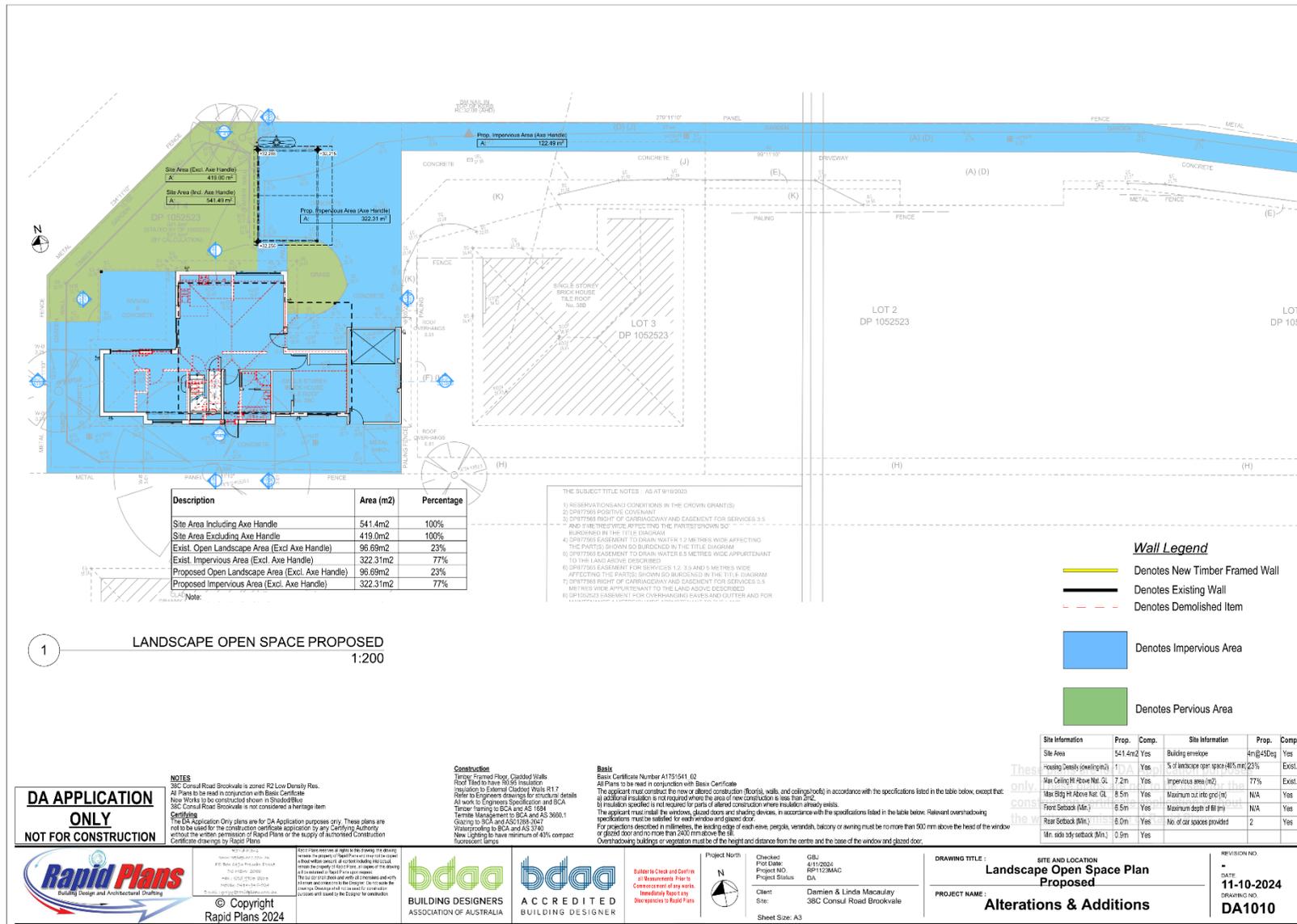
DA APPLICATION ONLY NOT FOR CONSTRUCTION

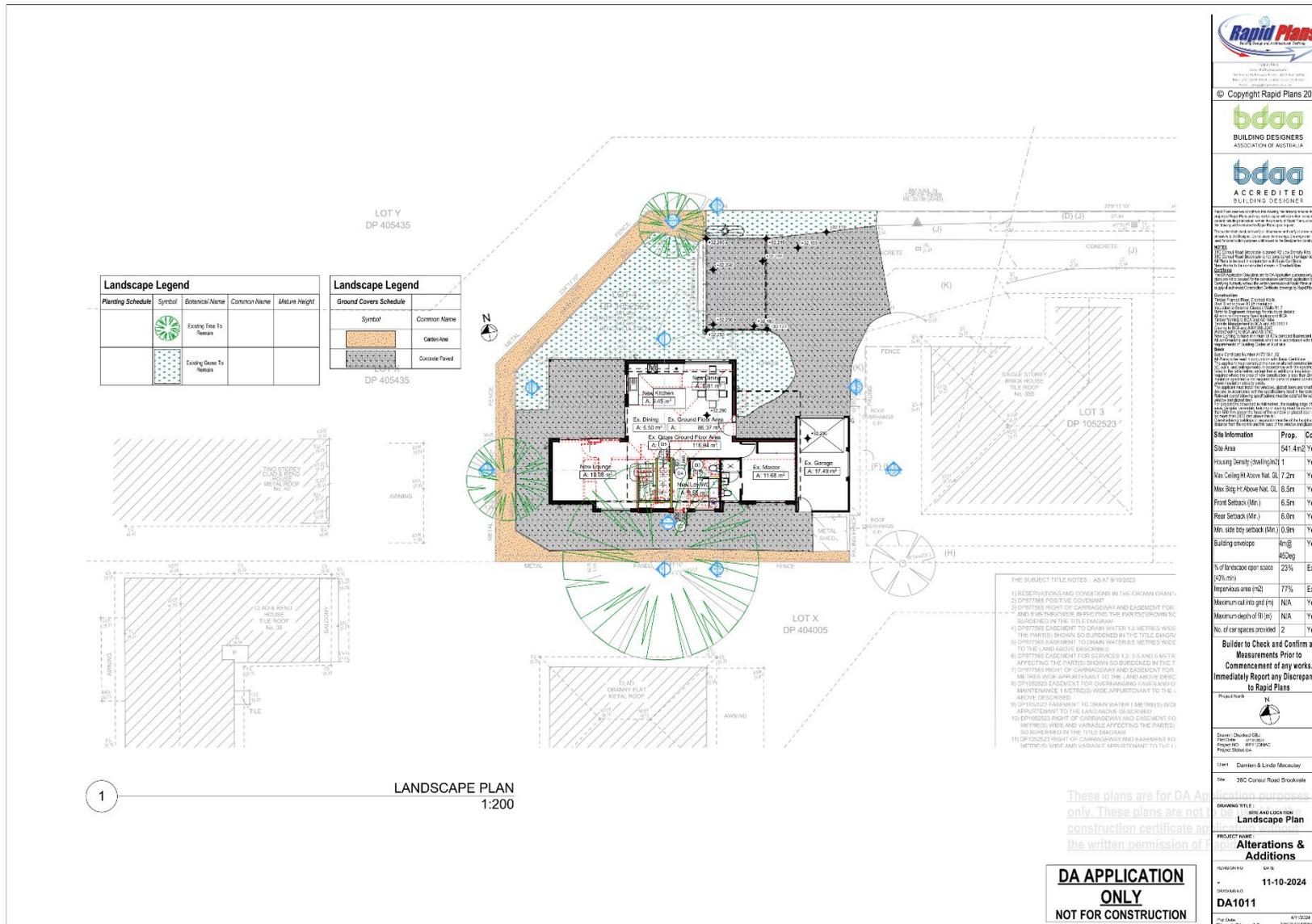
Project Name: **Alterations & Additions**

11-10-2024

DA1009

Sheet Size: A3





Landscape Legend

Planting Schedule	Symbol	Botanical Name	Common Name	Mature Height
		Exotic Tree To Retain		
		Existing Grass To Retain		

Landscape Legend

Ground Covers Schedule	Symbol	Common Name
		Gravel Area
		Concrete Paved

Rapid Plans
Building Designers Association of Australia

© Copyright Rapid Plans 2024

bdaa
BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED
BUILDING DESIGNERS

Site Information

Prop.	Comp.
Site Area	541.4m ² Yes
Housing Density (dwelling/ha)	1 Yes
Max Ceiling Ht Above Nat. GL	7.2m Yes
Max Bldg Ht Above Nat. GL	8.5m Yes
Front Setback (Min.)	6.5m Yes
Rear Setback (Min.)	6.0m Yes
Min. side bay setback (Min.)	0.9m Yes
Building envelope	4m @ 45° Yes
% of landscape open space (5% min)	23% Exist.
Permeable area (m ²)	77% Exist.
Maximum cut into gnd (m)	N/A Yes
Maximum depth of fill (m)	N/A Yes
No. of car spaces provided	2 Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

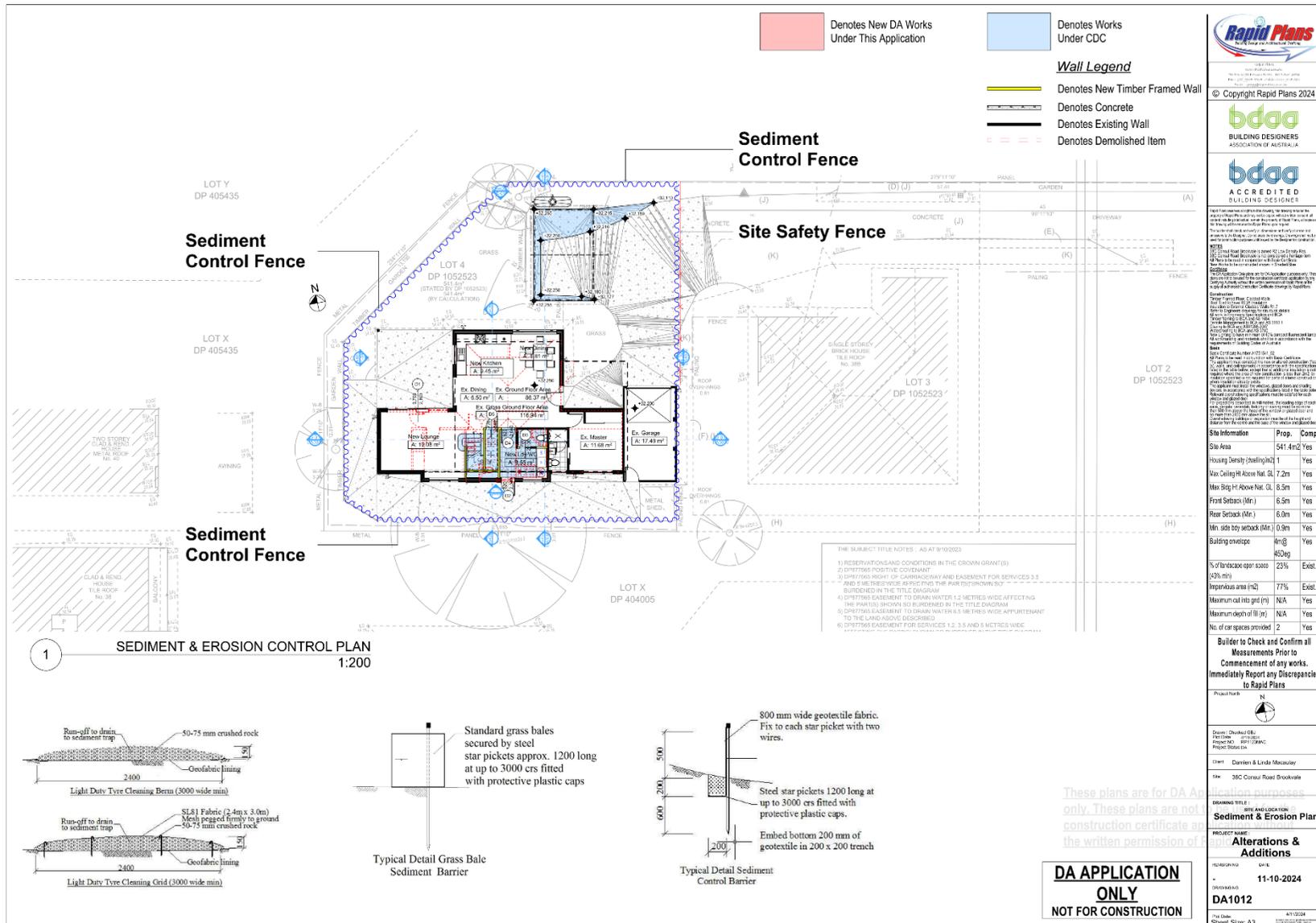
Drawn: Charliel GBE
Checked: Charliel GBE
Project No: RPT/2024/C
Project Status:

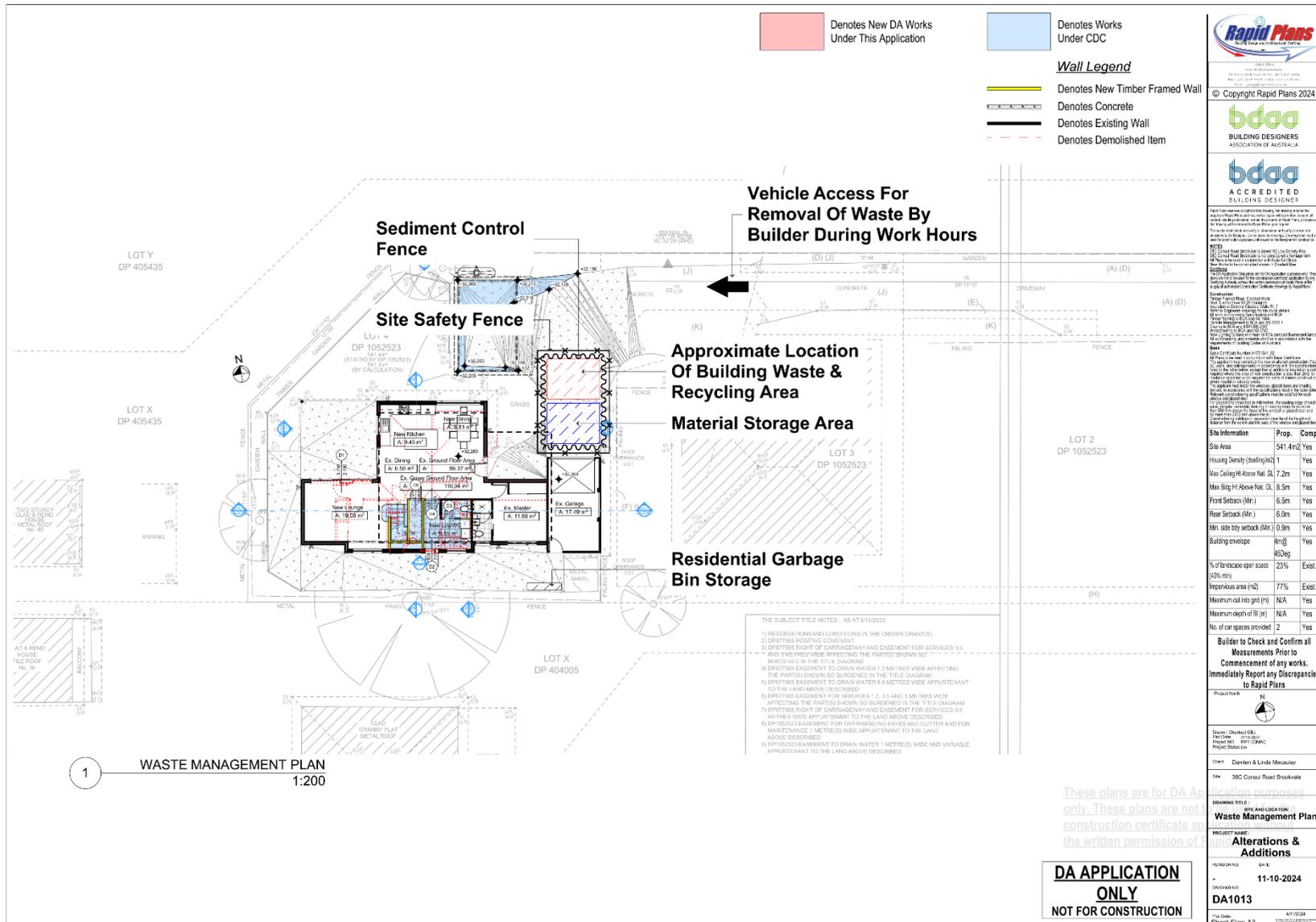
Drawn by: Damien & Lynda Macaulay
Site: 38C Consul Road Brookvale

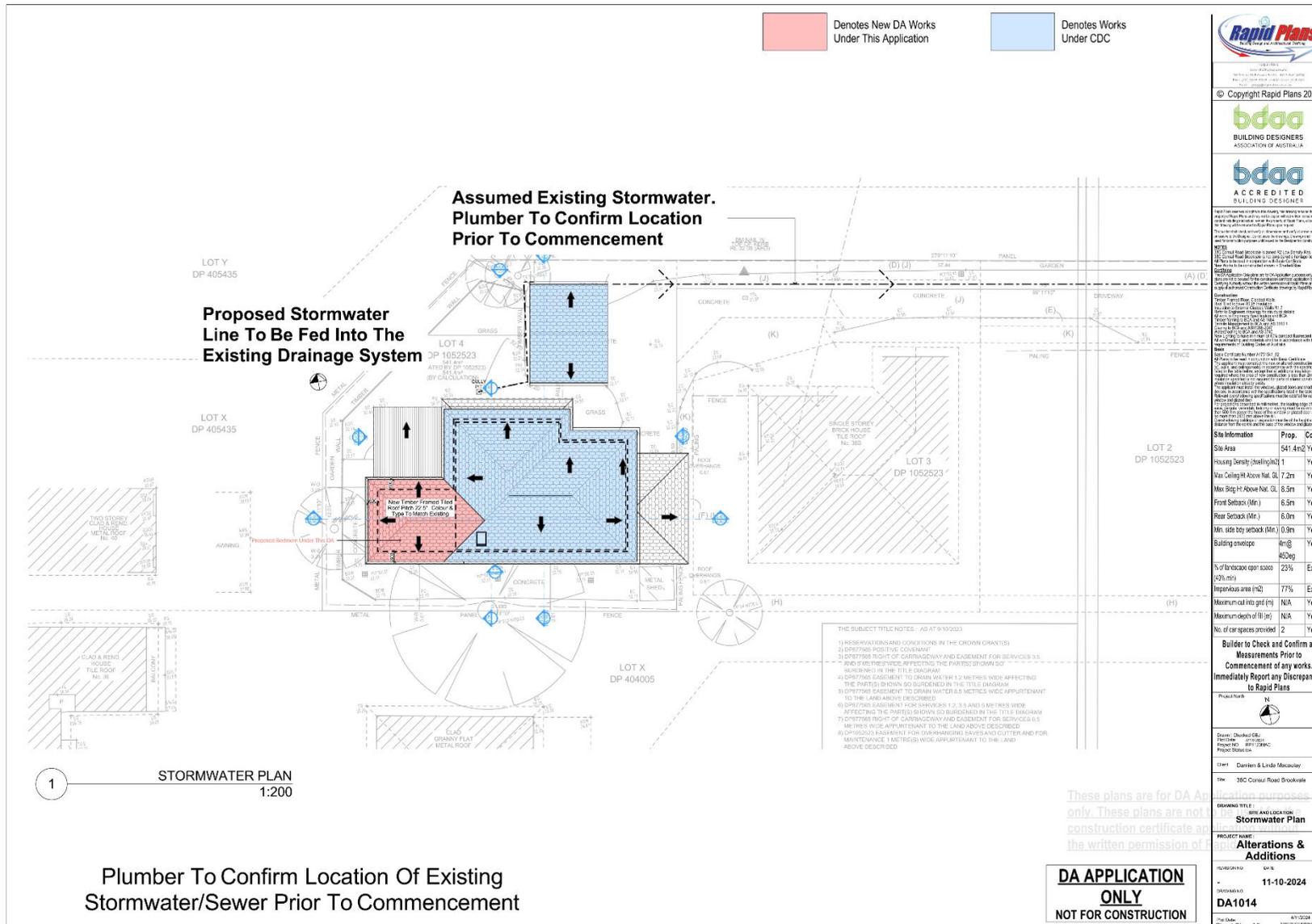
DRAWING PURPOSE:
USE AND LOCATION:
Landscape Plan

PROJECT NAME:
Alterations & Additions

REGIONAL ID: DA-E
DATE: 11-10-2024
PROJECT NO: DA1011
DATE: 4/10/2024
Sheet Size: A3







Denotes New DA Works Under This Application

Denotes Works Under CDC

Rapid Plans
Building Designers Association of Australia

© Copyright Rapid Plans 2024

bdaa
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa
ACCREDITED BUILDING DESIGNERS

Site Information

Prop.	Comp.
Site Area	541.4m ² Yes
Housing Density (dwelling/ha)	1 Yes
Max Ceiling Ht Above Nat. GL	7.2m Yes
Max Bldg Ht Above Nat. GL	8.5m Yes
Front Setback (Min.)	6.5m Yes
Rear Setback (Min.)	6.0m Yes
Min. side bay setback (Min.)	0.9m Yes
Building envelope	4m @ 45Deg Yes
% of landscape open @3000 (5% min)	23% Exist.
Impervious area (m ²)	77% Exist.
Maximum cut into gnd (m)	N/A Yes
Maximum depth of fill (m)	N/A Yes
No. of car spaces provided	2 Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Drawn: Daniel GBE
Checked: Lyle GBE
Project No: RPT/2024/C
Project Status: DA

Client: Damien & Lynda Macaulay

Site: 38C Consul Road Brookvale

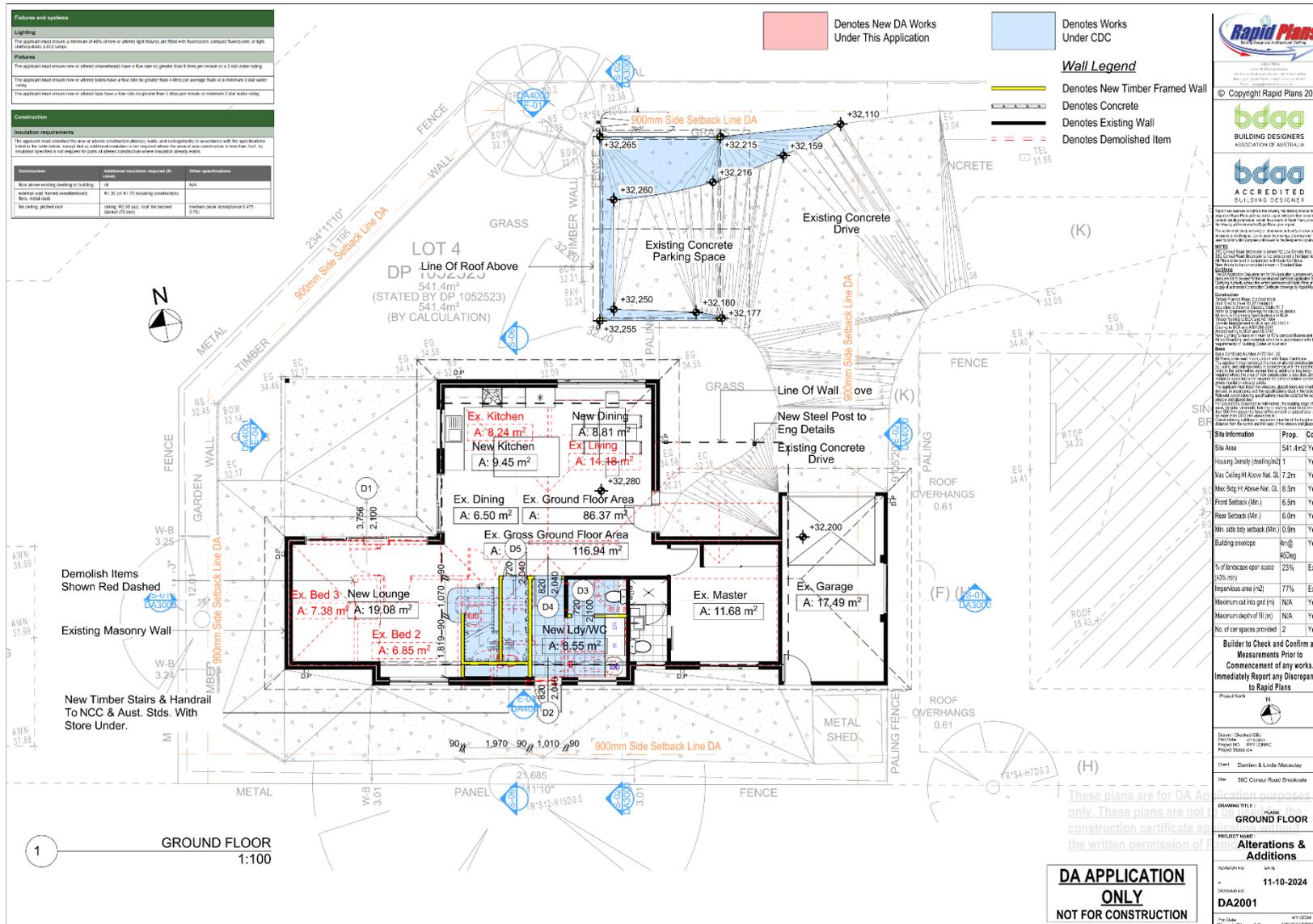
DRAWING TITLE: SITE AND LOCATION
Stormwater Plan

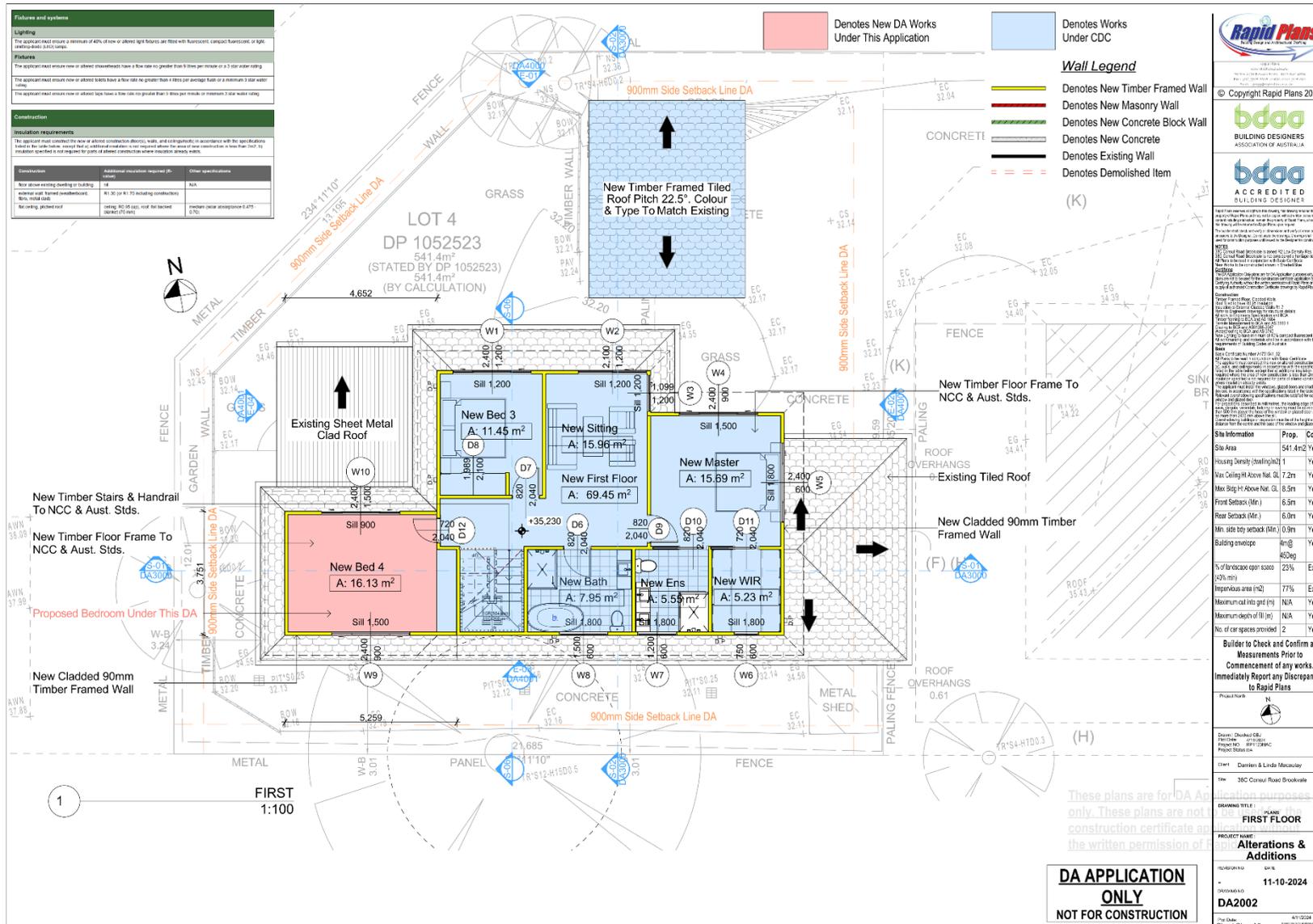
PROJECT NAME: Alterations & Additions

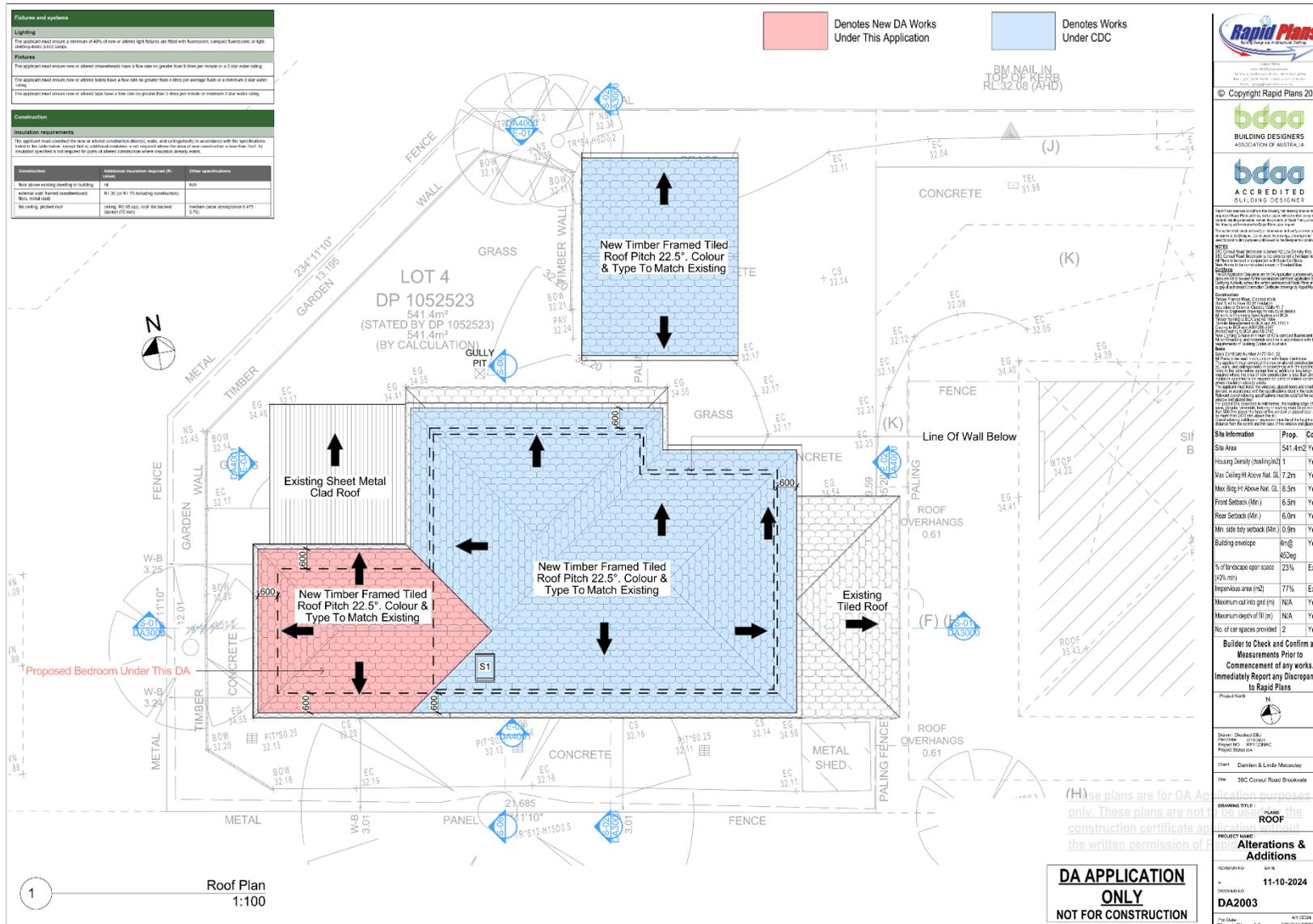
RELATION NO: DA-E
DATE: 11-10-2024

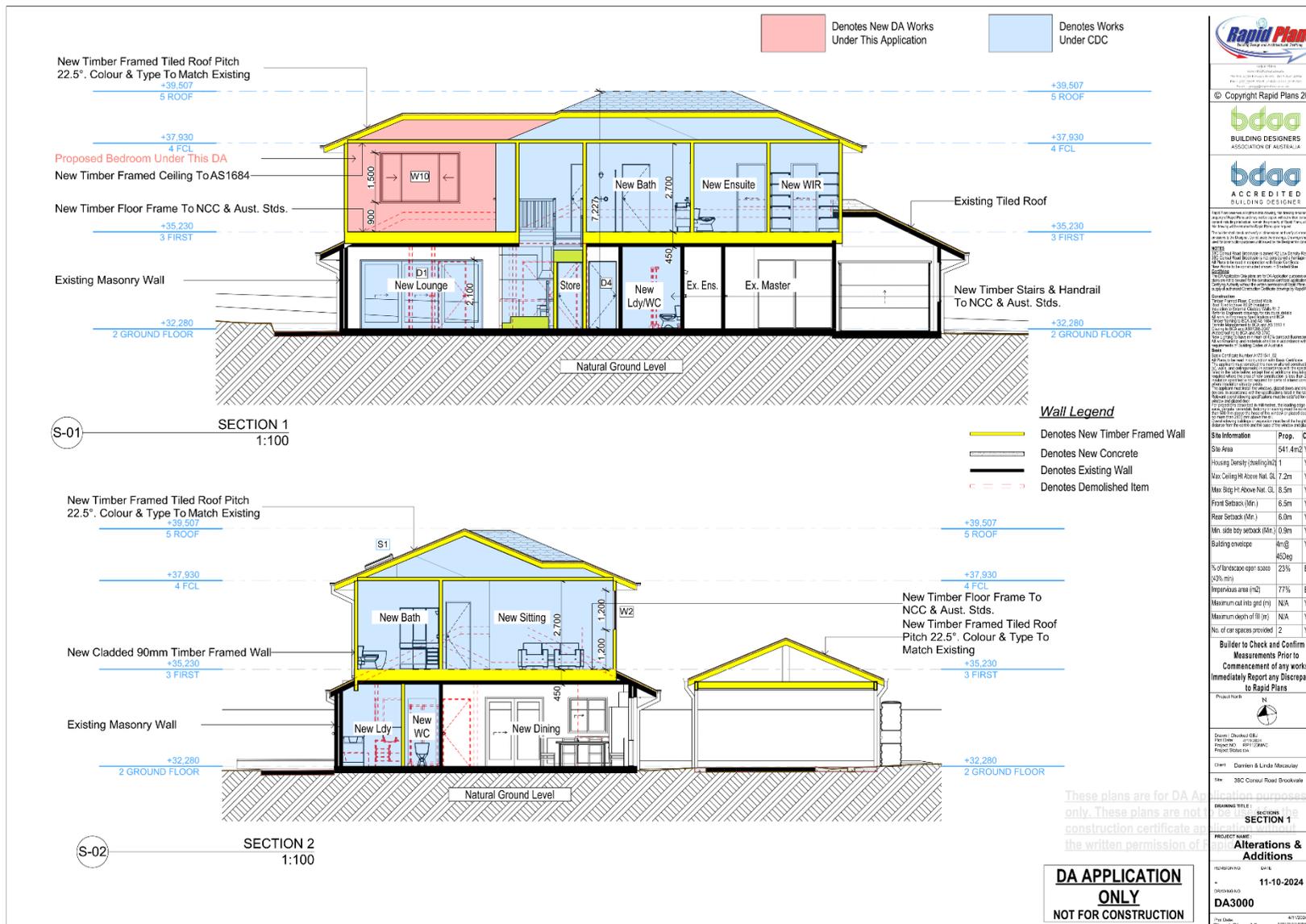
PROJNO: DA1014

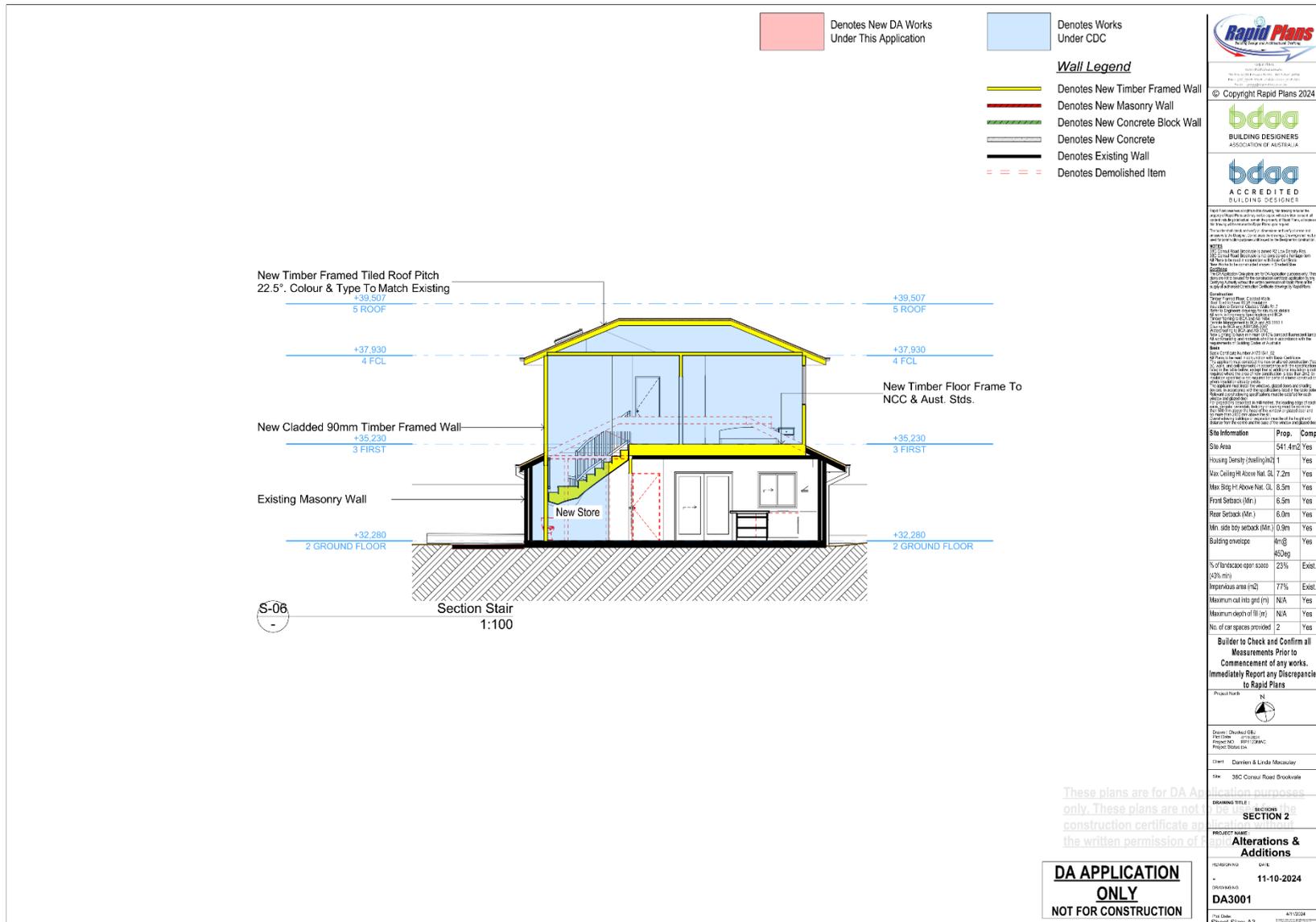
DATE: 4/10/2024
Sheet Size: A3

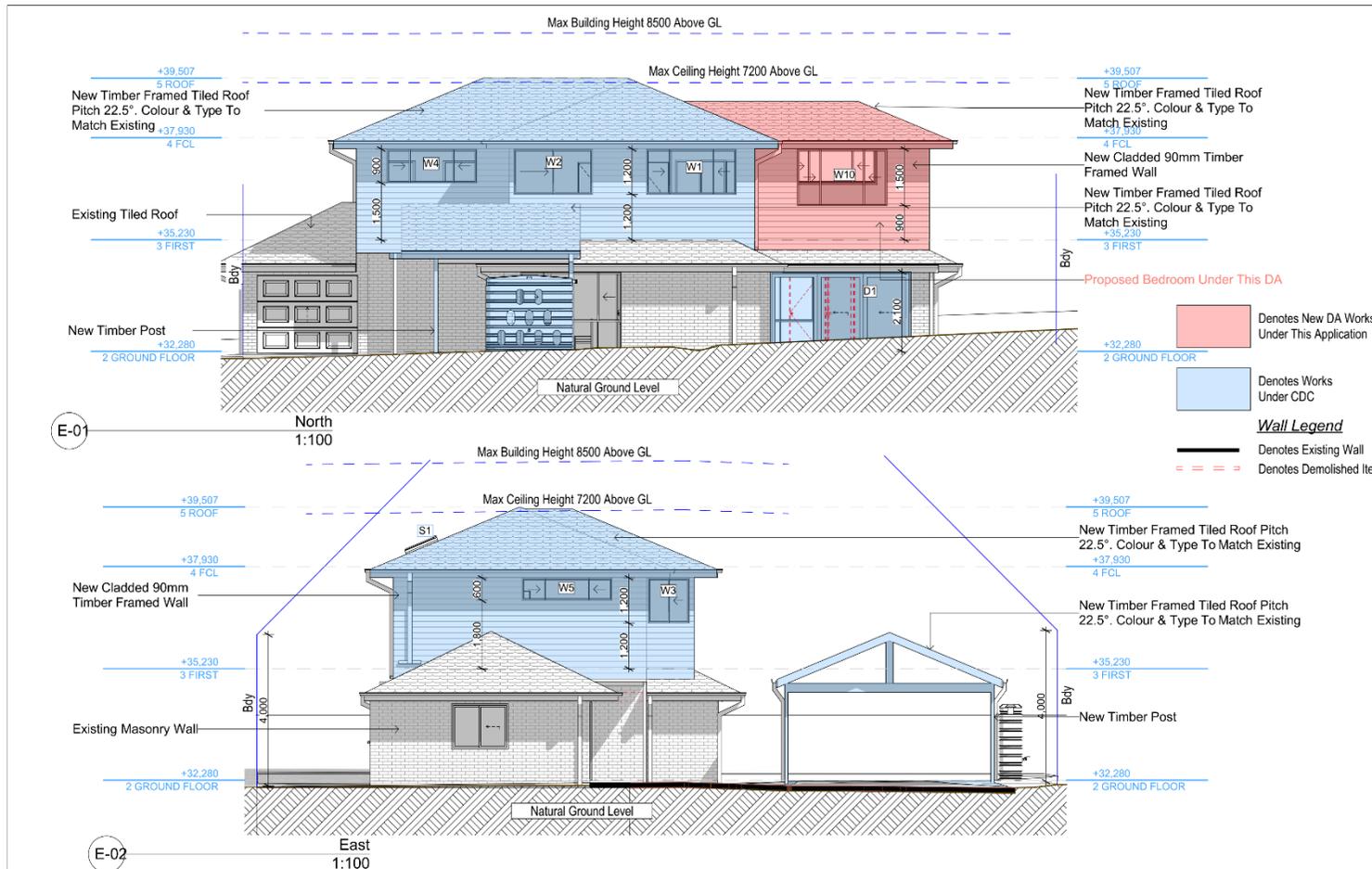












© Copyright Rapid Plans 2024



Wall Legend

- Denotes New DA Works Under This Application
- Denotes Works Under CDC
- Denotes Existing Wall
- Denotes Demolished Item

Site Information	Prop.	Comp.
Site Area	541.4m ²	Yes
Housing Density (dwelling/ha)	1	Yes
Max Ceiling Ht Above Nat. Gl.	7.2m	Yes
Max Bldg Ht Above Nat. Gl.	8.5m	Yes
Front Setback (Min)	6.5m	Yes
Rear Setback (Min)	6.0m	Yes
Min side setback (Min)	0.9m	Yes
Building envelope	4m @ 45°	Yes
% of landscape open space (5% min)	23%	Exist.
Permeable area (m ²)	77%	Exist.
Maximum cut into soil (m)	N/A	Yes
Maximum depth of fill (m)	N/A	Yes
No. of car spaces provided	2	Yes

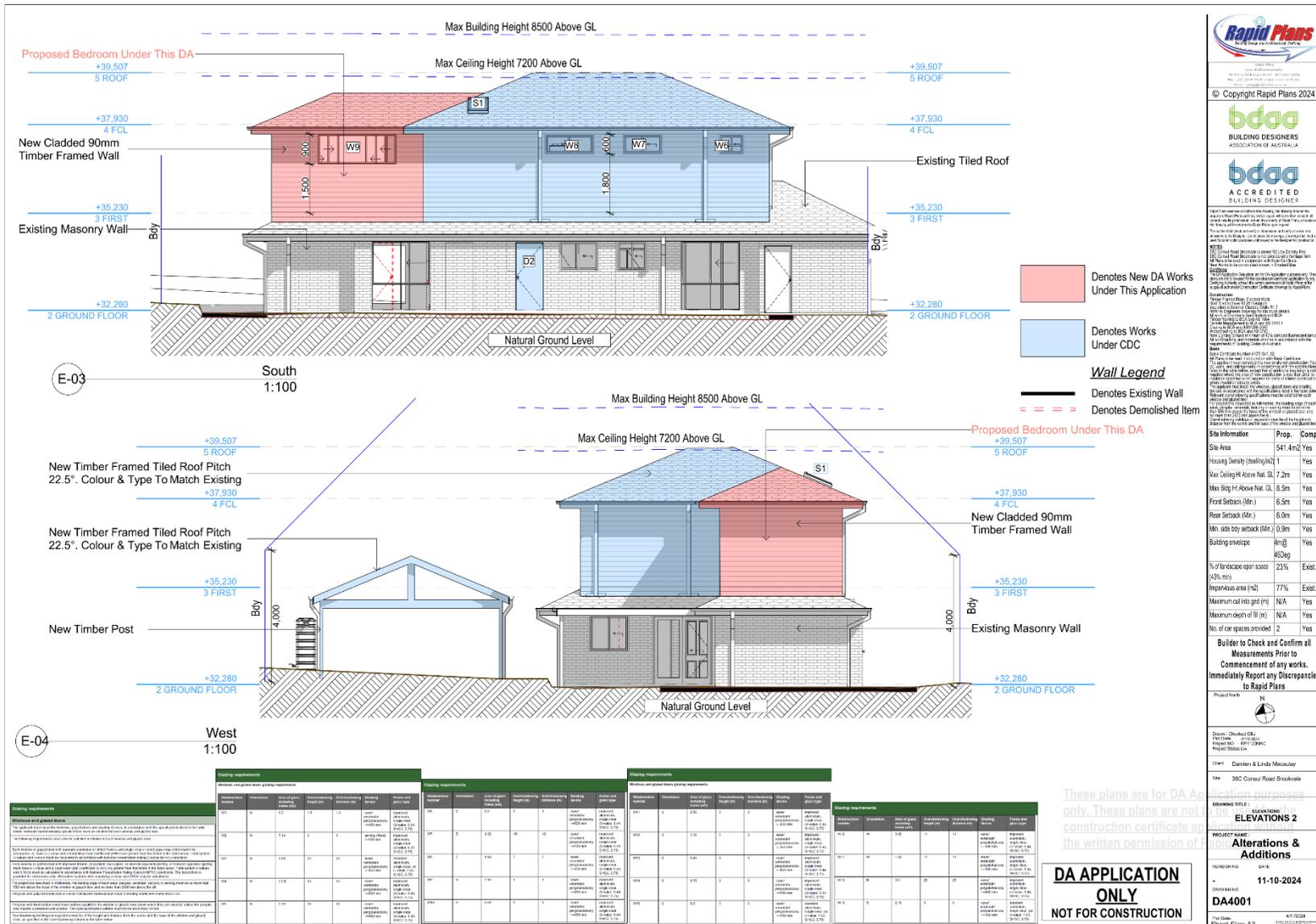
Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project Name: 38C Consul Road Brookvale
 Drawn: Damien & Linda Macaulay
 Project No: RPT/2024/04
 Project Status: DA

Elevation 1										Elevation 2									
Component	Material	Height (m)	Width (m)	Depth (m)	Volume (m ³)	Weight (kg)	Area (m ²)	Perimeter (m)	Notes	Component	Material	Height (m)	Width (m)	Depth (m)	Volume (m ³)	Weight (kg)	Area (m ²)	Perimeter (m)	Notes
Roof	Timber Framed Tiled	7.2	12.0	12.0	1036.8	1036800	144.0	24.0	Roof structure and tiles	Roof	Timber Framed Tiled	7.2	12.0	12.0	1036.8	1036800	144.0	24.0	Roof structure and tiles
Walls	New Cladded 90mm Timber Framed	6.5	12.0	12.0	936.0	936000	144.0	24.0	New cladded walls	Walls	Existing Masonry	6.5	12.0	12.0	936.0	936000	144.0	24.0	Existing masonry walls
Floors	New Timber Post	0.1	12.0	12.0	144.0	144000	144.0	24.0	New timber posts	Floors	Existing Masonry	0.1	12.0	12.0	144.0	144000	144.0	24.0	Existing masonry posts

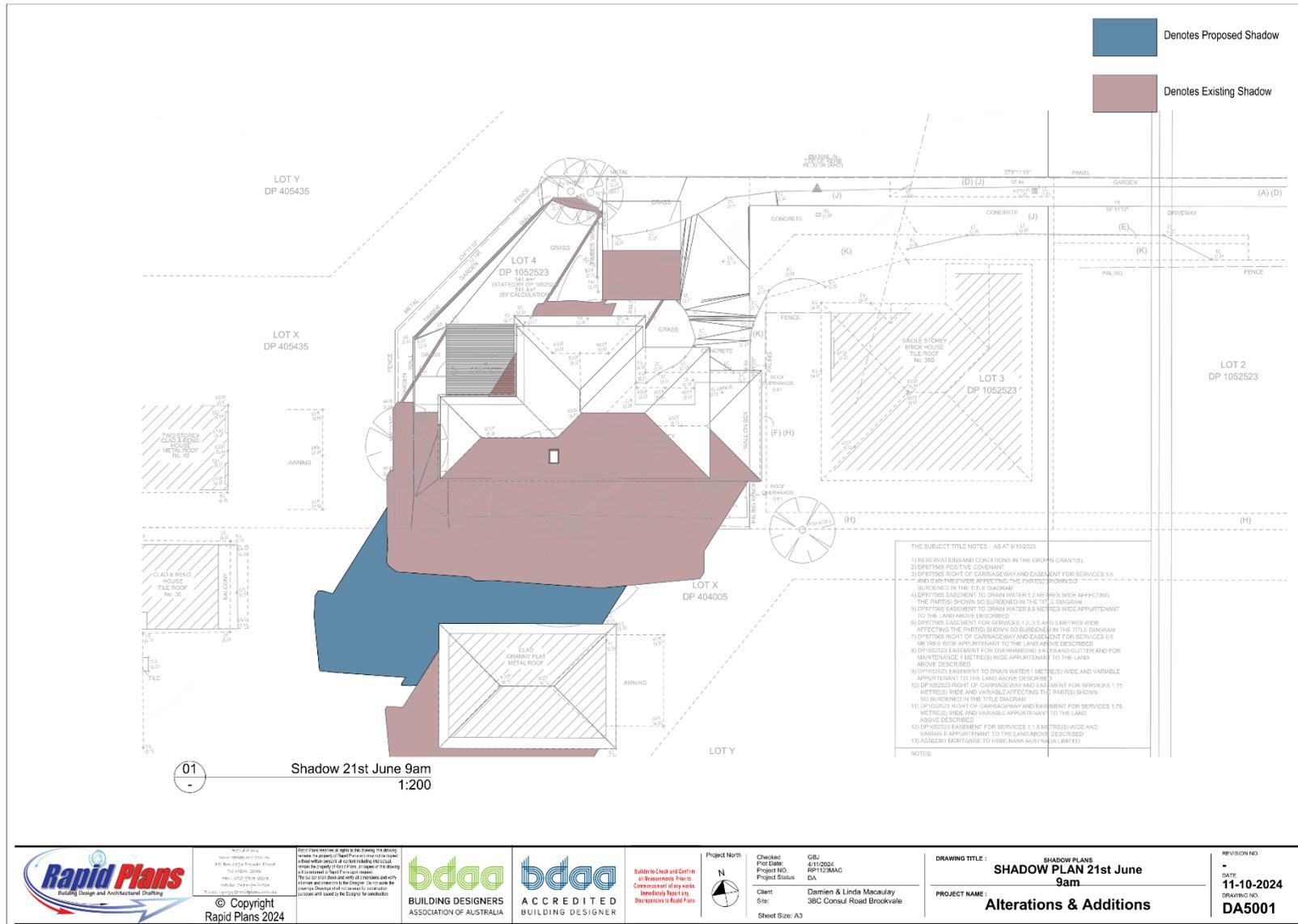
These plans are for DA Application purposes only. These plans are not for construction certificate application without the written permission of BPAD.

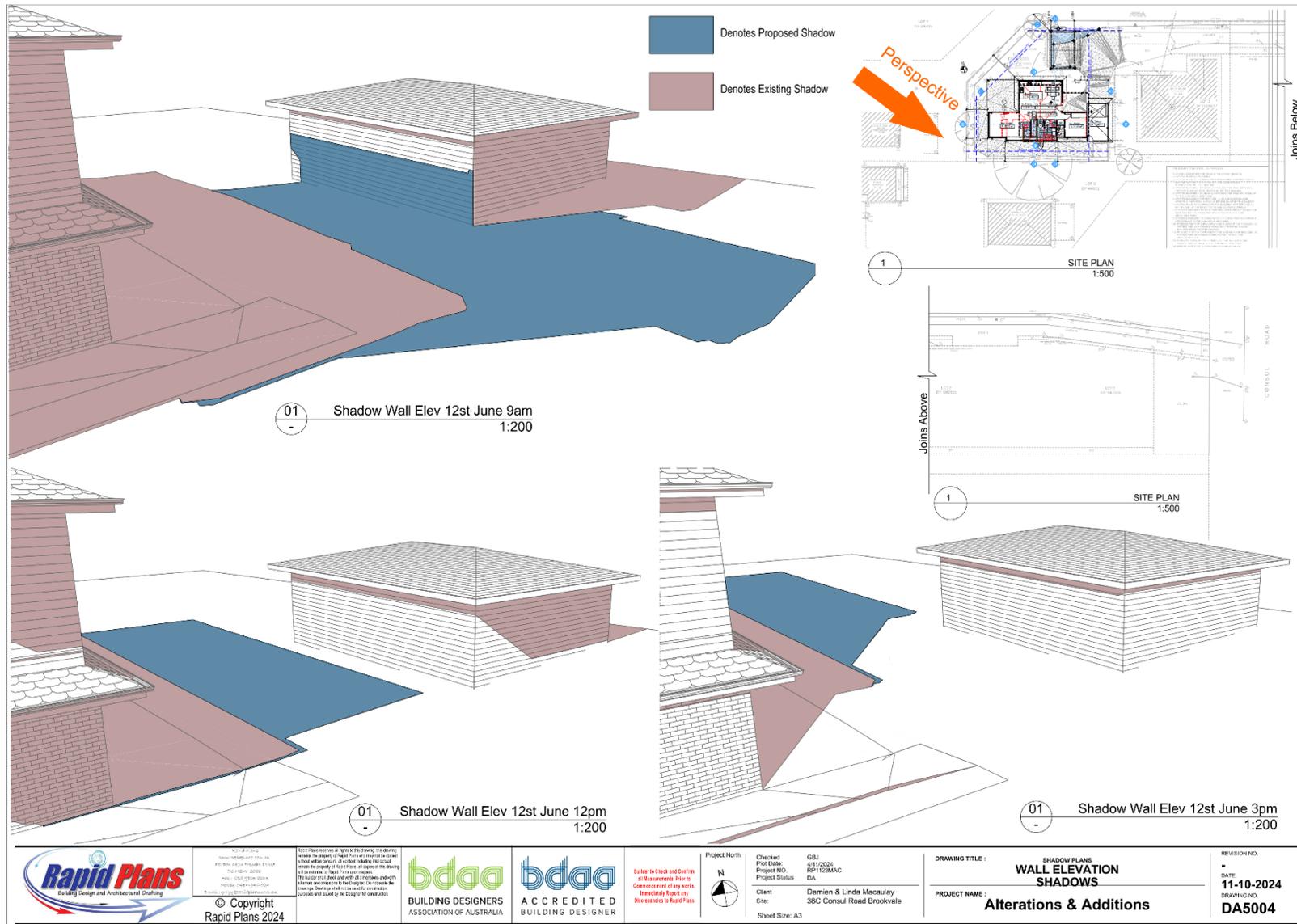
DA APPLICATION ONLY NOT FOR CONSTRUCTION



These plans are for DA Application purposes only. These plans are not for construction certificate application without the written permission of BPAD.

DA APPLICATION ONLY NOT FOR CONSTRUCTION





© Copyright
Rapid Plans 2024

01-11-2024
Rapid Plans Pty Ltd
107 Macquarie Street, Sydney
NSW 2000
Tel: 02 9238 2000
Fax: 02 9238 2000
Mobile: 04 34 34 3434
www.rapidplans.com.au



**Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Project North
Checked:
Plot Date:
Project No:
Project Status:
Client:
Site:
Sheet Size: A3

GBJ
4/11/2024
RP1123MAC
DA
Darriann & Linda Macaulay
38C Consul Road Brookvale

DRAWING TITLE :
**SHADOW PLANS
WALL ELEVATION
SHADOWS**
PROJECT NAME :
Alterations & Additions

REVISION NO:
DATE:
11-10-2024
DRAWING NO:
DA5004