

MOD4.55

for New Senior's Living at:  
701-703/LOT 1 & 2 Barrenjoey Road, Avalon  
Beach, NSW, 2107

Client: B.ALAMEIN  
Address: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107

DP No. LOT 1/-/DP1252335  
SITE AREA: 1069m²

PROJECT DESCRIPTION:

New Senior's Living located at 701-703 Barenjoey Road, Avalon Beach, NSW 2107. The subject site is identified as being located within the Northern Beaches Council Area.

- The extent of the proposed modifications include:
- Remove previously approved 'popped roof' and align with lower roof.
  - Install two new skylights.
  - Install external cowlring for basement exhaust on main roof (eastern)
  - Replace the previously approved central concrete roof to a Trimdek Colorbond roof with eaves gutters and downpipes on the northern & southern sides.
  - Extend metal roof over lift shaft.
  - Replace Sliding doors (W20 & W41) to windows with concrete upturn and sill to match with sill W40b & W19b (Apartment 02 & 04)
  - Replace Window (W05) with a sliding door (Apartment 01)
  - Remove retaining wall and lower the associated garden bed to Apartment 01 courtyard.
  - Material changes including: Replace external weatherboard cladding to a rendered and painted finish (north wall); replace entry stone cladding with Aluminium 'Timber grain' cladding

The extent of the proposed works are illustrated on the Architectural Plans prepared by Hot House Architects



location plan  
701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107

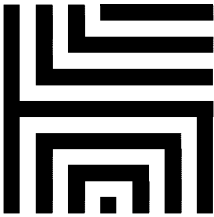
source: Google Maps

00. SHEET LIST

COVER SHEET	MOD 000
SITE PLAN	MOD 001
LEVEL 2 PLAN	MOD 100
LEVEL 3 PLAN	MOD 101
ROOF PLAN	MOD 102
ELEVATIONS	MOD 200
ELEVATION	MOD 201
ELEVATION & EXTERNAL FINISHES	MOD 202
SECTIONS A - A	MOD 300
SECTION B - B	MOD 301
SECTION C - C	MOD 302
SECTION D - D	MOD 303

THERMAL COMFORT		
Pass – 6.0 Star Average		
GLAZING		
Units	All Windows, ex Louvres	Louvres
All	Max U-value 3.60 SHGC 0.54 (± 10%) Double Glazed, Clear Low-e or Thermally Broken Frames	Max U-value 5.40 SHGC 0.58 (± 10%) Single Glazed, Clear Low-e
WALLS		
External Walls	RITEK Concrete Wall – Additional R0.80 Insulation	
Inter-tenancy Walls	RITEK Concrete Wall – No insulation modelled	
Walls to Common Lobby and Lift	RITEK Concrete Wall – Additional R0.80 Insulation	
Walls to Roof Space	Steel Stud - Additional 75mm R2.00 Insulation	
Other Internal Walls	No Additional Insulation modelled	
FLOORS		
Suspended Floor to Carpark Below (Basement Soffit)	Concrete - Additional 40mm min R1.50 Rigid Board Insulation	
ROOF		
Units with Exposed Roof	Ceiling Level - Additional 165mm R3.00 insulation Dark Metal – 55mm R1.30 reflective blanket	





HOT HOUSE

ARCHITECTS

Nominated Architect: Wade Stewart Cogle

NSW ARB Registration #: 10971

m: 0433 775 490

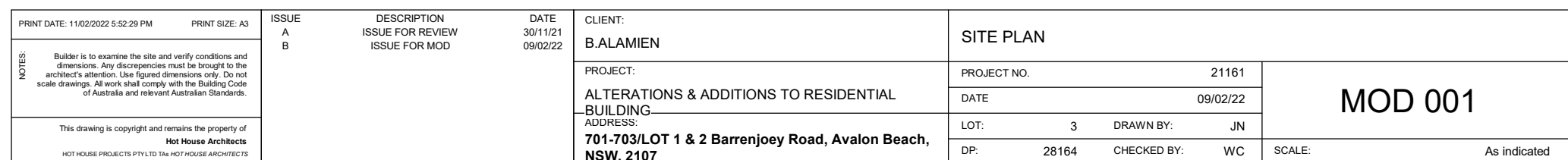
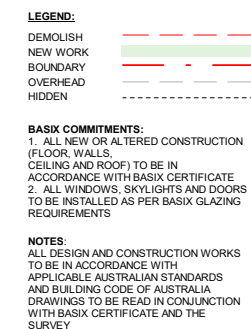
info@hthousestudio.com

p.o. box 26 newport nsw 2106

abn: 355 0579 1074

PRINT DATE: 14/02/2022 11:30:25 AM		PRINT SIZE: A3		ISSUE A B	DESCRIPTION ISSUE FOR REVIEW ISSUE FOR MOD4.55	DATE 30/11/21 09/02/22	CLIENT: B.ALAMIEN		COVER SHEET			
NOTES:  Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107						PROJECT NO.		21161		MOD 000	
							DATE		09/02/22			
							LOT: 3		DRAWN BY: JN			
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REPLACE PREVIOUSLY APPROVED SLIDING DOOR TO A GLAZED WINDOW (W20) WITH CONCRETE UP TURN AND SILL TO MATCH WITH SILL 'W19b'

LEGEND:  
DEMOLISH  
NEW WORK  
BOUNDARY  
OVERHEAD  
HIDDEN

BASIX COMMITMENTS:  
1. ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE  
2. ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS

NOTES:  
ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA  
DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY



1 Level 2 plan  
1 : 100  
1500H FENCE

CRITICAL SET BACK

**HOT HOUSE ARCHITECTS**

Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106  
NSW ARB Registration #: 10971 info@hthousestudio.com abn: 355 0579 1074

PRINT DATE: 11/02/2022 5:52:33 PM	PRINT SIZE: A3	ISSUE A B	DESCRIPTION ISSUE FOR REVIEW ISSUE FOR MOD	DATE 30/11/21 09/02/22	CLIENT: B.ALAMIEN	LEVEL 2 PLAN		
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PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107						LOT:	3	
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						DRAWN BY:	JN	SCALE: As indicated
						CHECKED BY:	WC	

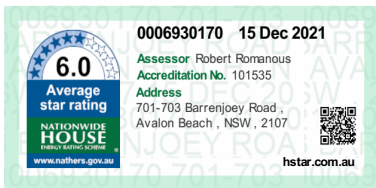


REPLACE PREVIOUSLY APPROVED SLIDING DOOR TO A GLAZED WINDOW (W41) WITH CONCRETE UP TURN AND SILL TO MATCH WITH SILL 'W40b'

REPLACE PREVIOUSLY APPROVED STONE CLADDING WITH ALUMINIUM CLADDING

REPLACE EXTERNAL WEATHERBOARD CLADDING TO RENDERED & PAINTED FINISH

- LEGEND:**
- DEMOLISH
  - NEW WORK
  - BOUNDARY
  - OVERHEAD
  - HIDDEN
- BASIX COMMITMENTS:**
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  - ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS
- NOTES:**
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1 Level 3 Plan  
1:100

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				DATE		09/02/22					
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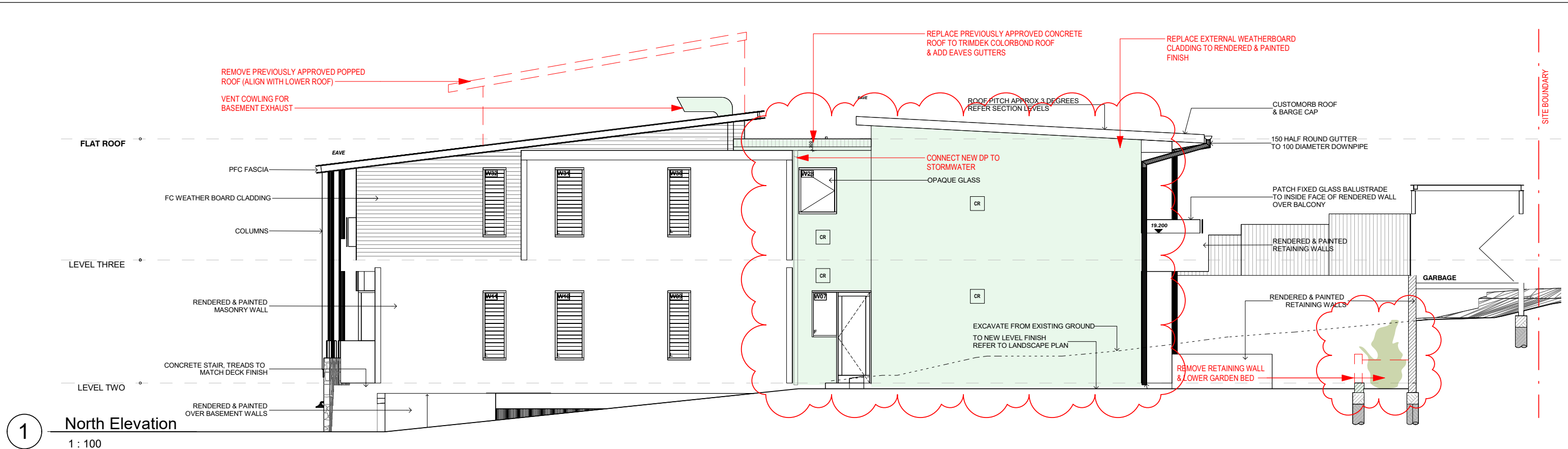


1 ROOF PLAN  
1 : 100

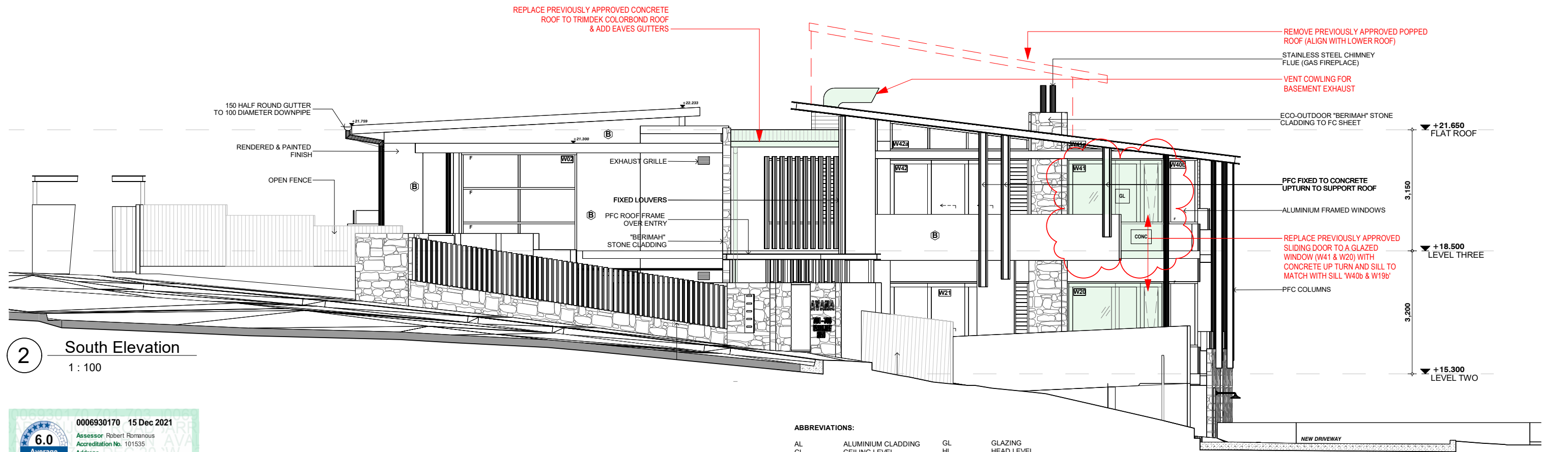
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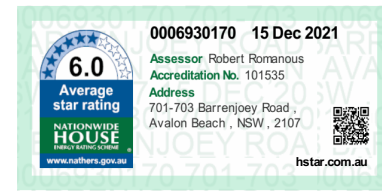
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								LOT:		3	DRAWN BY:		JN		
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1 North Elevation  
1 : 100



2 South Elevation  
1 : 100



ABBREVIATIONS:

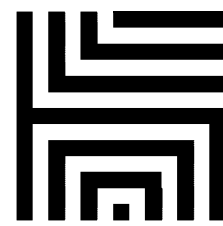
AL	ALUMINIUM CLADDING	GL	GLAZING
CL	CEILING LEVEL	HL	HEAD LEVEL
CONC	CONCRETE	MR	METAL ROOF
COS	CHECK ON SITE	MC	METAL SEAM CLADDING
CR	CEMENT RENDER	PB	PLASTERBOARD
CTS	CENTRES	RL	REDUCED LEVE
DM	DEMOLISH	SC	STEEL COLUMN
FFL	FINISHED FLOOR LEVEL	SSC	SANDSTONE CLADDING
FG	FIXED GLAZING	SL	SILL LEVEL
G	GUTTER	TBA	TO BE ADVISED

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

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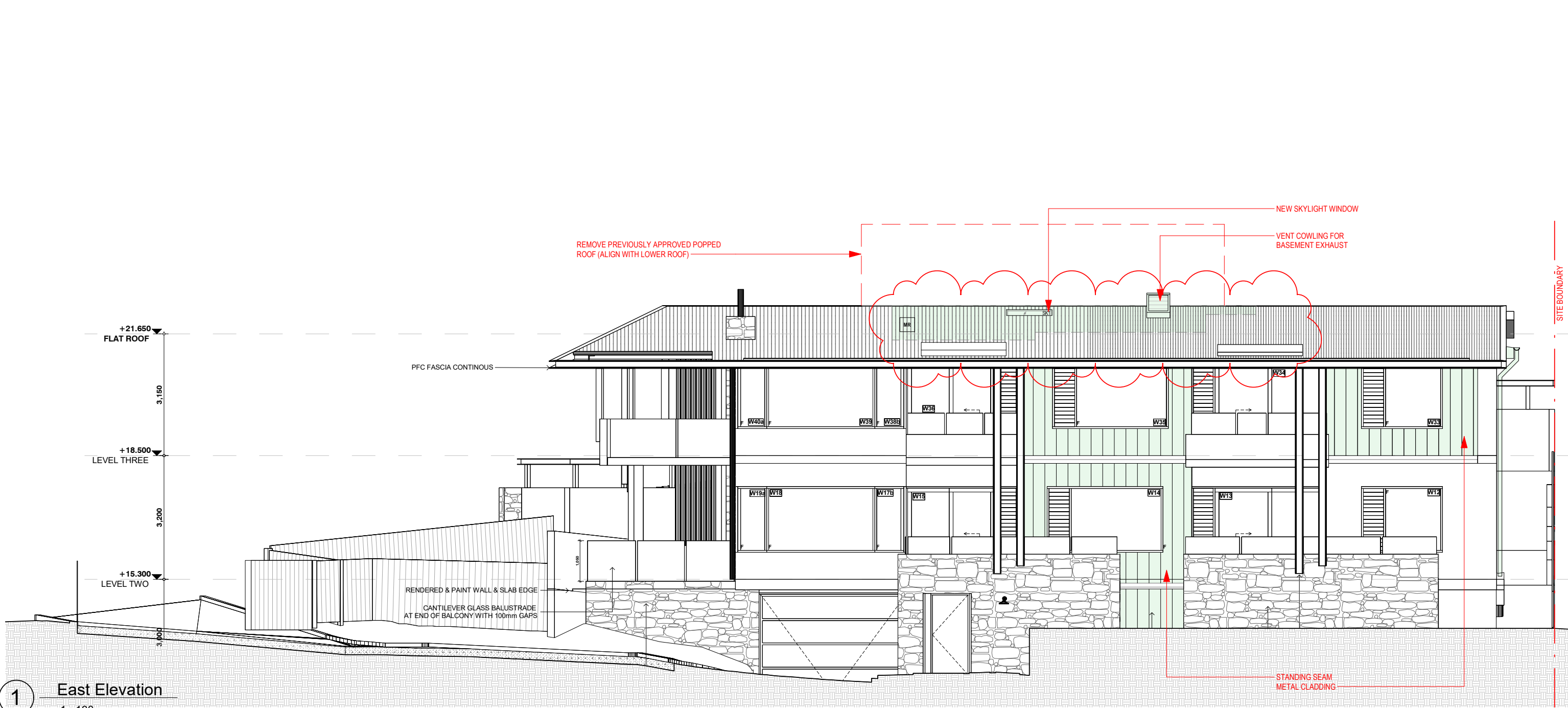


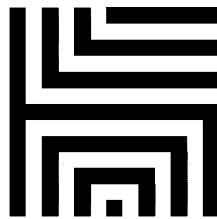
# HOT HOUSE ARCHITECTS

Nominated Architect: **Wade Stewart Cogle** m: 0433 775 490 p.o. box 26 newport nsw 2106  
NSW ARB Registration #: 10971 info@hthousestudio.com abn: 355 0579 1074

PRINT DATE: 11/02/2022 5:52:39 PM PRINT SIZE: A3		ISSUE A B	DESCRIPTION ISSUE FOR REVIEW ISSUE FOR MOD	DATE 30/11/21 09/02/22	CLIENT: B.ALAMIEN	ELEVATIONS				
NOTES:  Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.	PROJECT: ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING					PROJECT NO. 21161		MOD 200		
	ADDRESS: 701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107					DATE 09/02/22				
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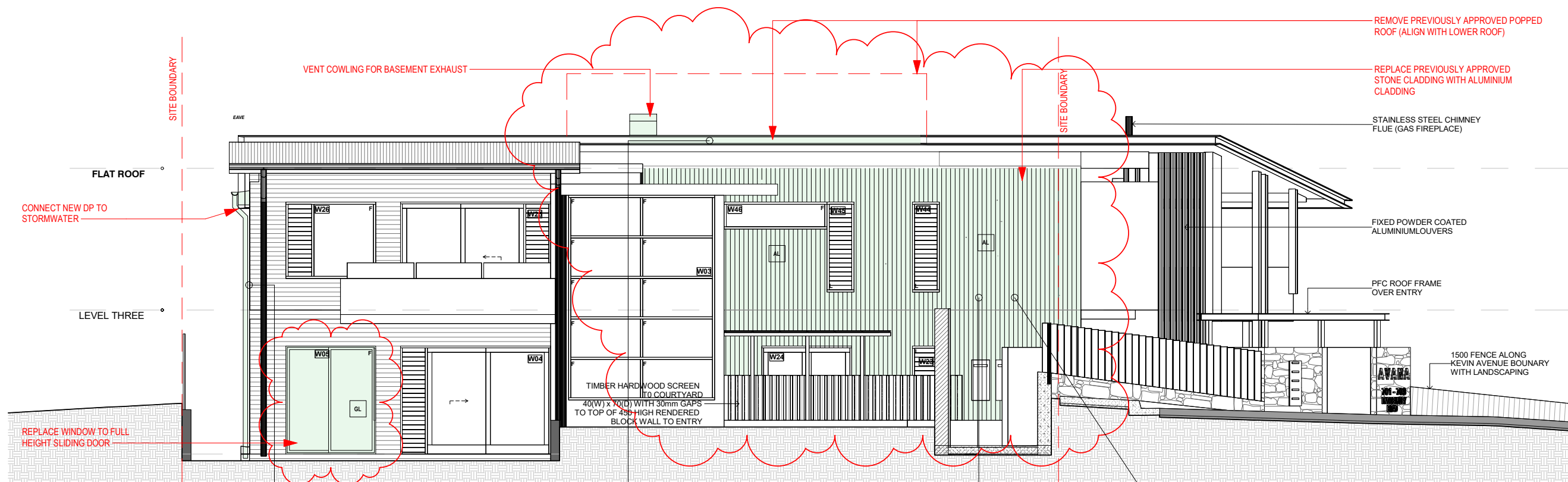


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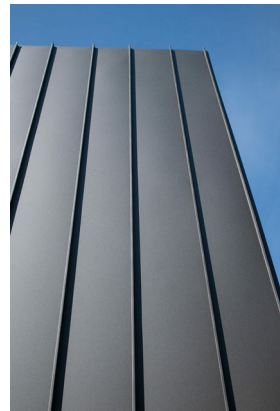
ABBREVIATIONS:		LEGEND:		BASIX COMMITMENTS:		NOTES:	
AL	ALUMINIUM CLADDING	GL	GLAZING	1.	ALL NEW OR ALTERED CONSTRUCTION (FLOOR, WALLS, CEILING AND ROOF) TO BE IN ACCORDANCE WITH BASIX CERTIFICATE	ALL DESIGN AND CONSTRUCTION WORKS TO BE IN ACCORDANCE WITH APPLICABLE AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA. DRAWINGS TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE AND THE SURVEY.	
CL	CEILING LEVEL	HL	HEAD LEVEL	2.	ALL WINDOWS, SKYLIGHTS AND DOORS TO BE INSTALLED AS PER BASIX GLAZING REQUIREMENTS		
CONC	CONCRETE	MR	METAL ROOF				
COS	CHECK ON SITE	MC	METAL SEAM CLADDING				
CR	CEMENT RENDER	PB	PLASTERBOARD				
CTS	CENTRES	RL	REDUCED LEVE				
DM	DEMOLISH	SC	STEEL COLUMN				
FFL	FINISHED FLOOR LEVEL	SSC	SANDSTONE CLADDING				
FG	FIXED GLAZING	SL	SILL LEVEL				
G	GUTTER	TBA	TO BE ADVISED				

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1 West Elevation  
1 : 100

STANDING SEAM METAL CLADDING - 'MONUMENT' (EAST ELEVATION)



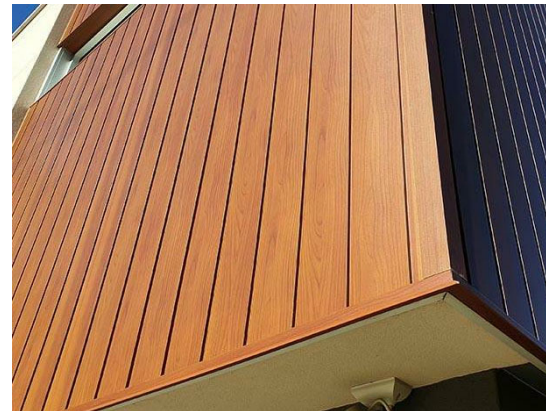
EXTERNAL RENDER - RESENE DOUBLE GRAVEL



METAL ROOF - TRIMDEK - 'MONUMENT' MATTE

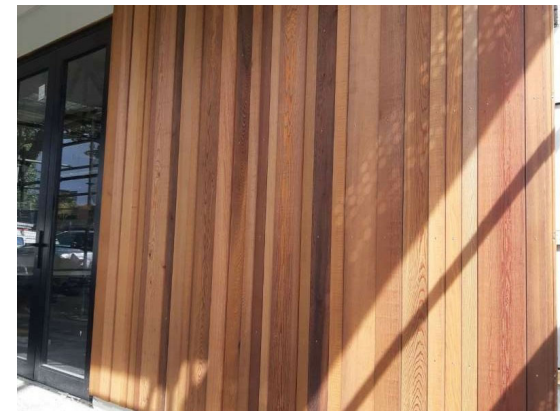


DECOCLAD - ALUMINIUM , TIMBER LOOK FINISH



OR

TIMBER CLADDING - SHIPLAP - CEDAR



ABBREVIATIONS:

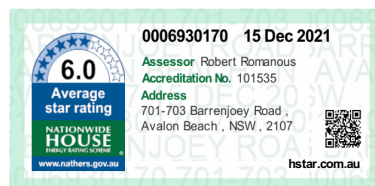
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CL	CEILING LEVEL	HL	HEAD LEVEL
CL	CEILING LEVEL	MR	METAL ROOF
CONC	CONCRETE	MC	METAL SEAM CLADDING
COS	CHECK ON SITE	PB	PLASTERBOARD
CR	CEMENT RENDER	RL	REDUCED LEVE
CTS	CENTRES	SC	STEEL COLUMN
DM	DEMOLISH	SSC	SANDSTONE CLADDING
FFL	FINISHED FLOOR LEVEL	SL	SILL LEVEL
FG	FIXED GLAZING	TBA	TO BE ADVISED
G	GUTTER		

LEGEND:

DEMOLISH	---
NEW WORK	---
BOUNDARY	---
OVERHEAD	---
HIDDEN	---

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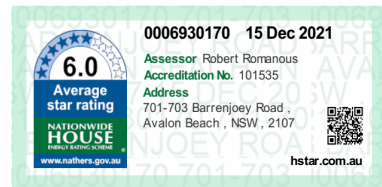
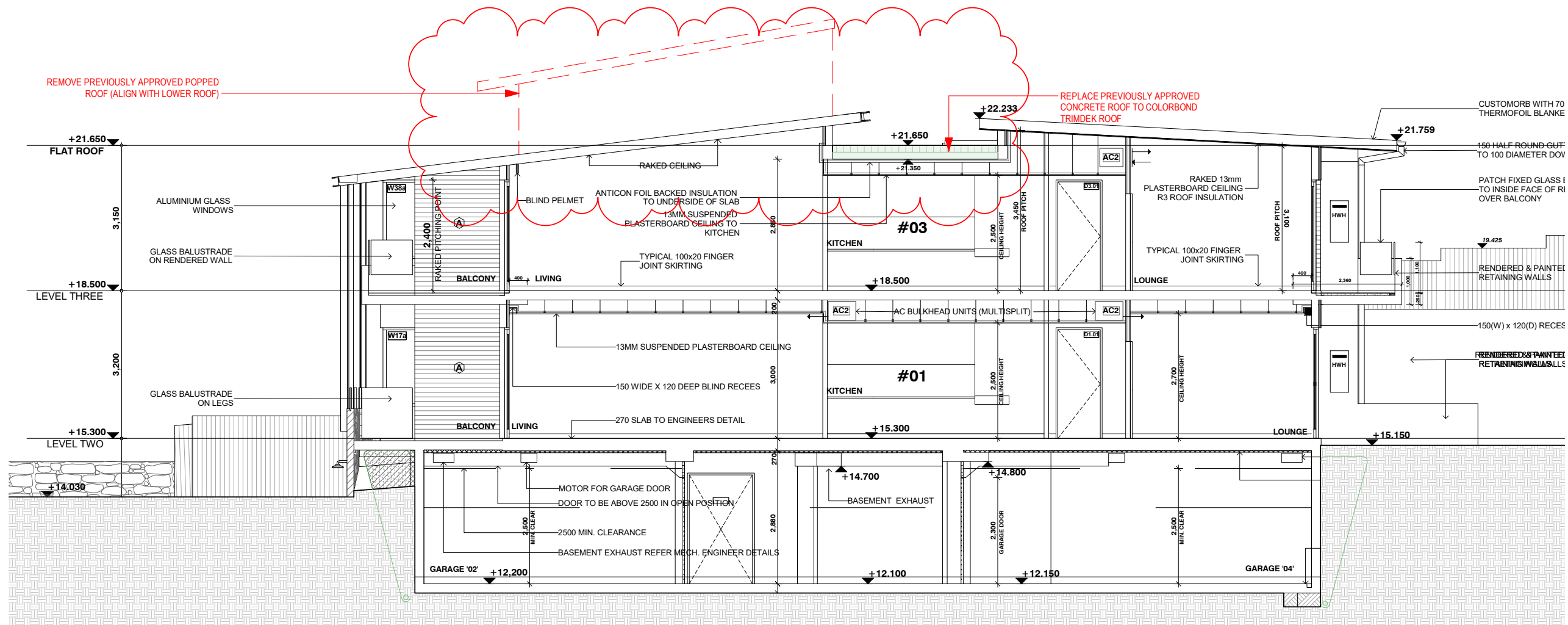
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		B	ISSUE FOR REVIEW	30/11/21	B.ALAMIE	PROJECT NO.	21161	MOD 202	
			ISSUE FOR MOD4.55	09/02/22		DATE	09/02/22		
NOTES:					PROJECT:	LOT:	3		
					ALTERATIONS & ADDITIONS TO RESIDENTIAL	DP:	28164		
					BUILDING ADDRESS:	DRAWN BY:	JN		
					701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107	CHECKED BY:	WC	SCALE:	
								As indicated	



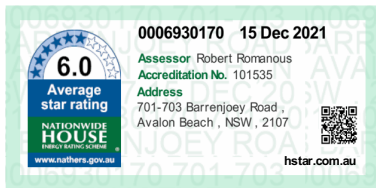
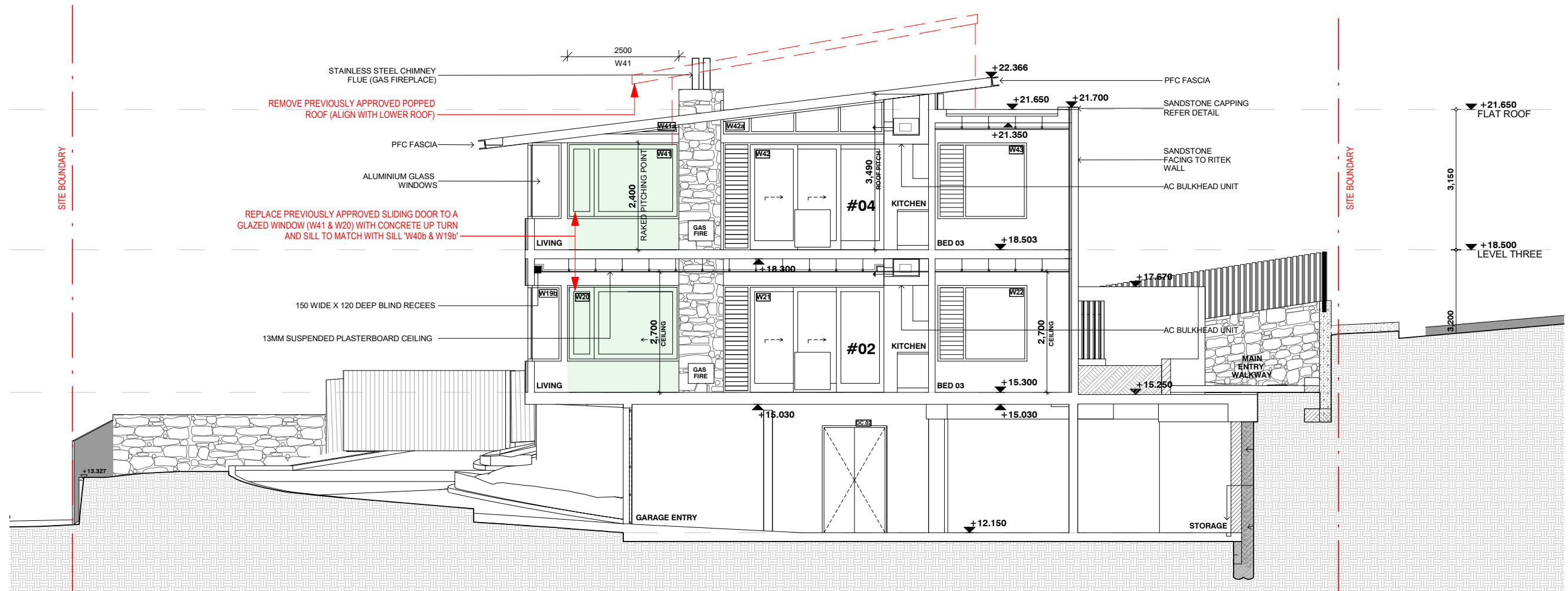




1 Section B - B  
1 : 100

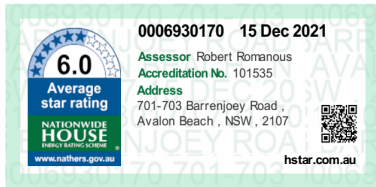
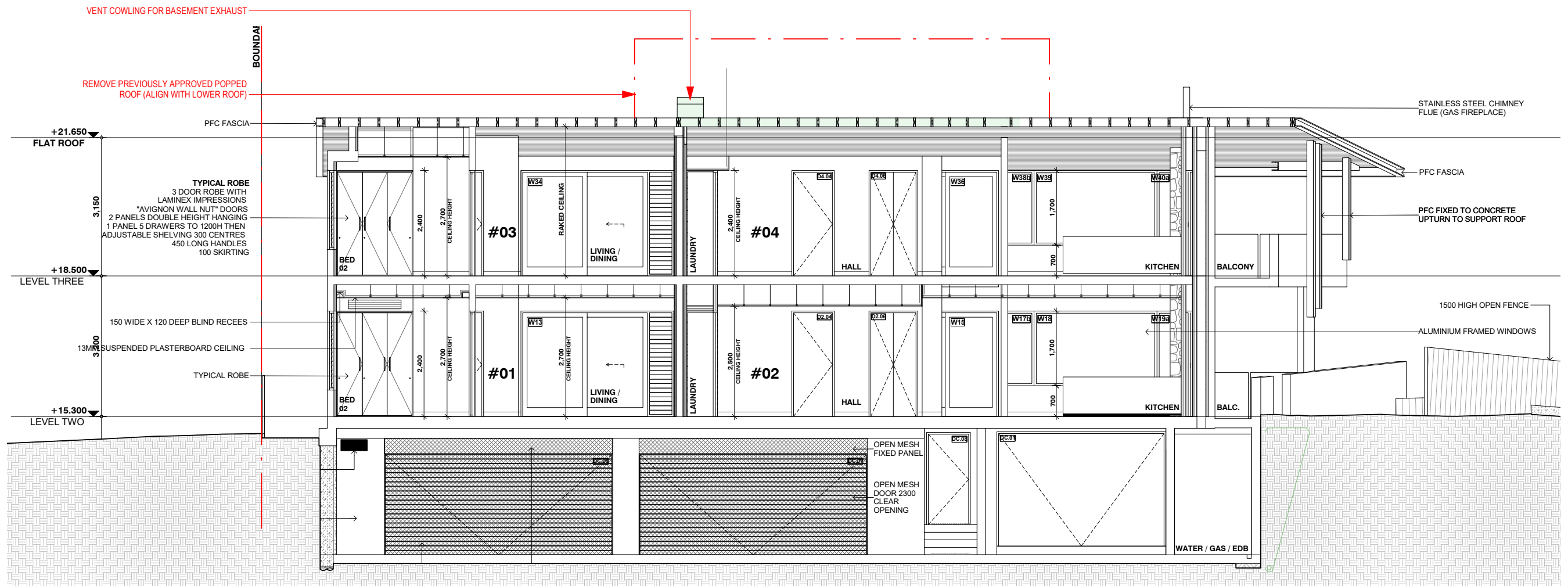
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							DATE 09/02/22						
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1 Section C - C  
1 : 100

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							DATE		09/02/22							
							LOT:		3			DRAWN BY:		JN		
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1 Section D - D  
1 : 100

**HOT HOUSE**  
ARCHITECTS

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NOTES:  Builder is to examine the site and verify conditions and dimensions. Any discrepancies must be brought to the architect's attention. Use figured dimensions only. Do not scale drawings. All work shall comply with the Building Code of Australia and relevant Australian Standards.							PROJECT:  ALTERATIONS & ADDITIONS TO RESIDENTIAL BUILDING		PROJECT NO.		21161		MOD 303				
							ADDRESS:  701-703/LOT 1 & 2 Barrenjoey Road, Avalon Beach, NSW, 2107		DATE		09/02/22						
									LOT:		3			DRAWN BY:		JN	
									DP:		28164			CHECKED BY:		WC	
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