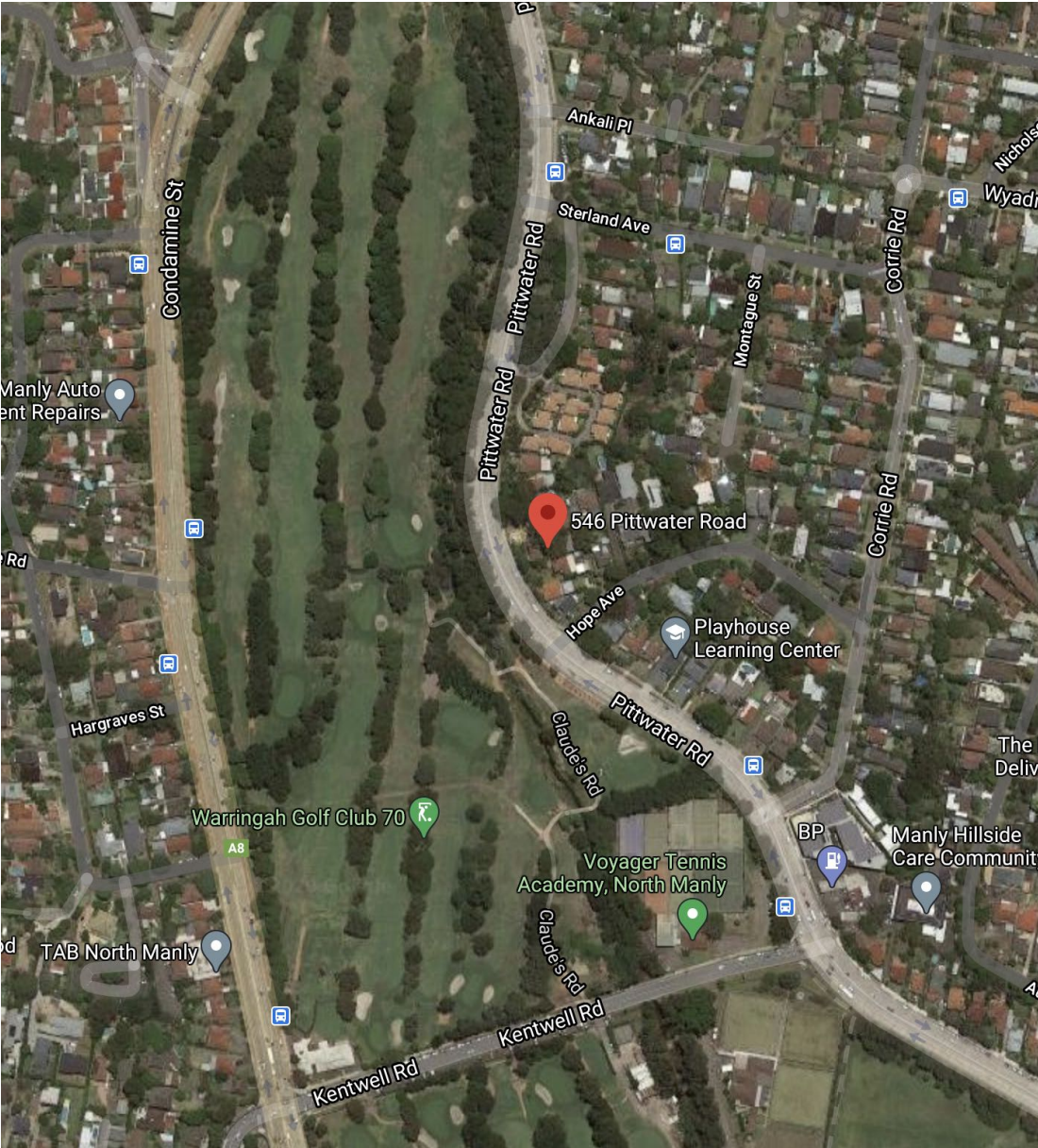


TIDAL HOUSE

546 Pittwater Road, North Manly NSW, Lot 3 DP391122

ARCHITECTURAL DRAWING LIST

No.	Title
DA - 00	Cover Page and Location Plan
DA - 01	Site Analysis Plan
DA - 10	Ground Plan - Existing / Demolition
DA - 11	Excavation Plan
DA - 12	Ground Plan - Proposed
DA - 20	First Floor Plan - Exisiting / Demolition
DA - 21	First Floor Plan - Proposed
DA - 30	Roof Plan - Proposed
DA - 40	Proposed Elevations
DA - 50	Proposed Sections
DA - 60	Erosion & Sediment Control Plan
DA - 61	Stormwater Management Plan
DA - 62	BASIX Requirements
DA - 63	Proposed Finishes



LOCATION PLAN - NTS
Image sourced from Google Maps

PLOT DATE : 7/11/21

DRAWING ISSUE

B

DA SUBMISSION

16/9/21

NOTES

Project

Tidal House - Alts and Ads

Client

Ava Shirley and Michael Hilton

Address

546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

Architect

Ava Shirley NSW No. 10339
546 Pittwater Road
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p. 0438 109 803
e. ava@avashirley.com

Drawn By:AS

Scale:NTS at A3

Drawing

Drawing Register
and Location Plan

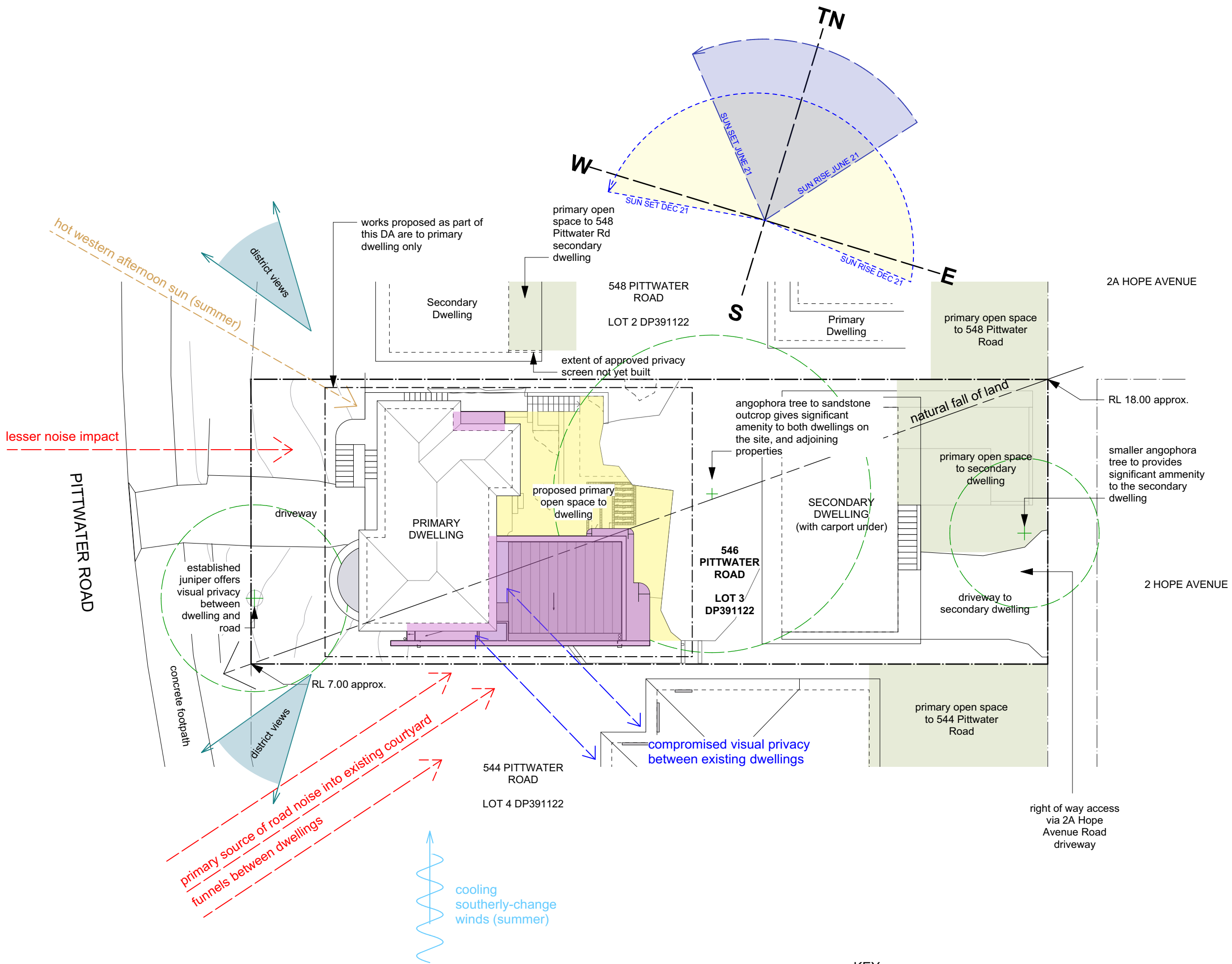
Dwg No.

DA-00

Rev.

B

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KEY

- | | |
|--|---|
| PROPOSED EXTENSION | PRIMARY OPEN SPACE (to surrounding dwellings) |
| PRIMARY OPEN SPACE (to subject dwelling) | |

PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

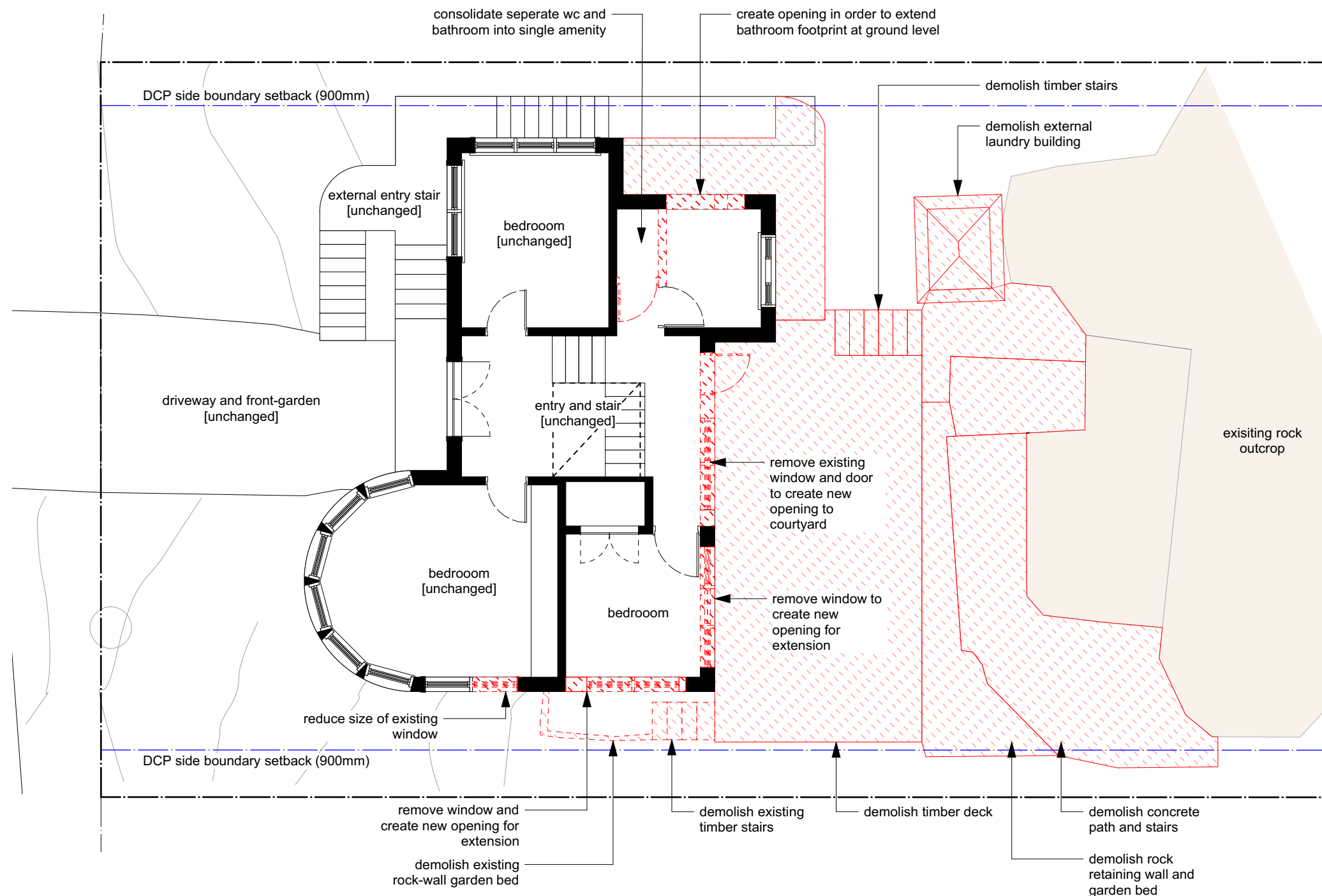
Architect
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Drawn By:AS
Scale:1:200 at A3

Drawing
Site Analysis Plan

Rev.
B
Dwg No.
DA-01

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PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION 16/9/21

NOTES

existing wall

demolition

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

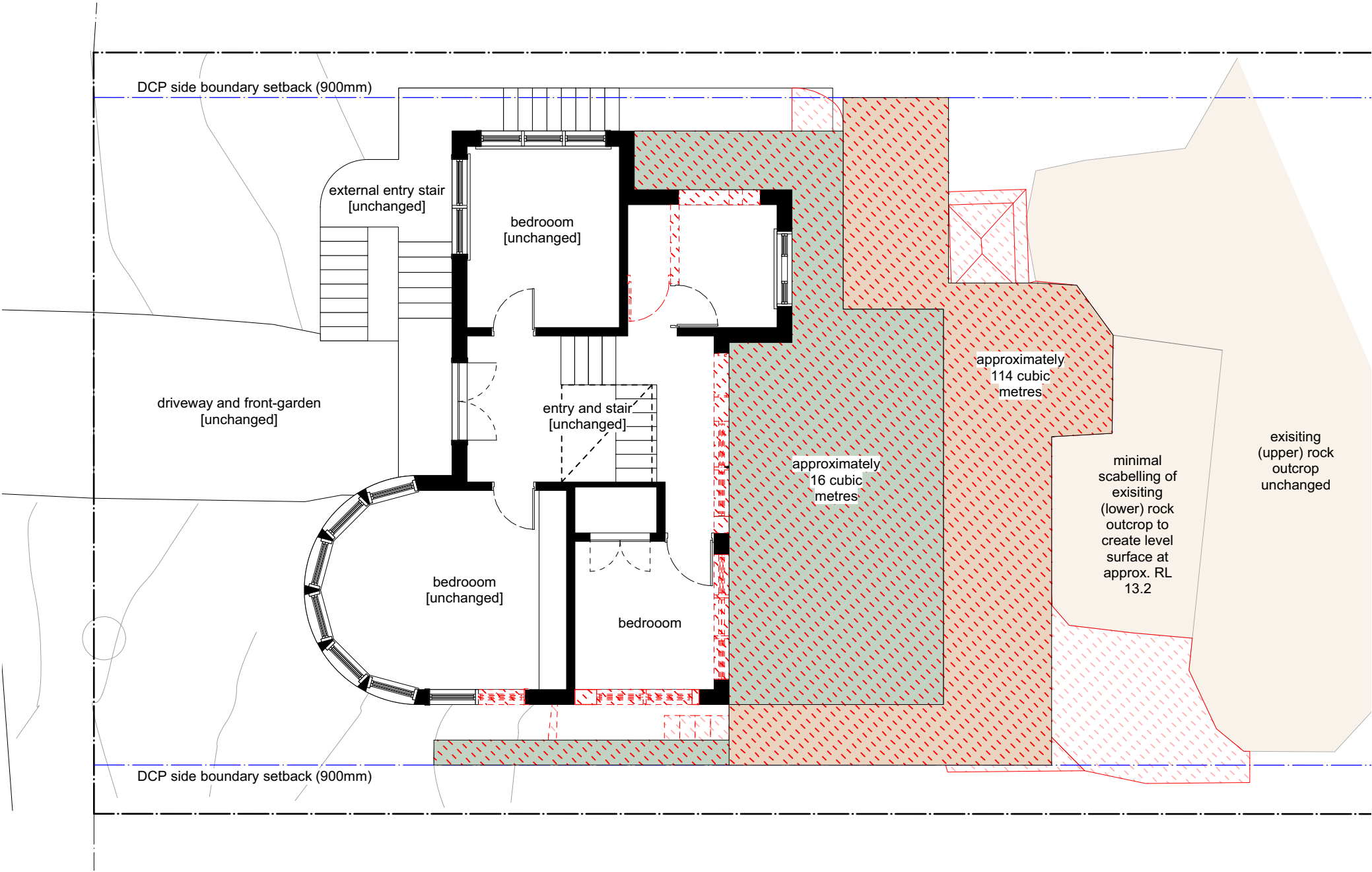
Architect
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Drawn By:AS
Scale:1:100 at A3

Drawing
Ground Floor Plan
Existing/Demolition
Rev. B
Dwg No. DA-10

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REFER TO GEOTECHNICAL REPORT PREPARED BY
WHITE GEOTECHNIAL GROUP FOR FURTHER INFORMATION



PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

- < 500mm excavation for footings / increase in soil depth
- 500mm to ~ 3000mm excavation
- demolition works (refer DA-10 for further detail)

Project
Tidal House - Alts and Ads

Client
Ava Shirley and Michael Hilton

Address
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North Manly, NSW
Lot 3, DP 391122

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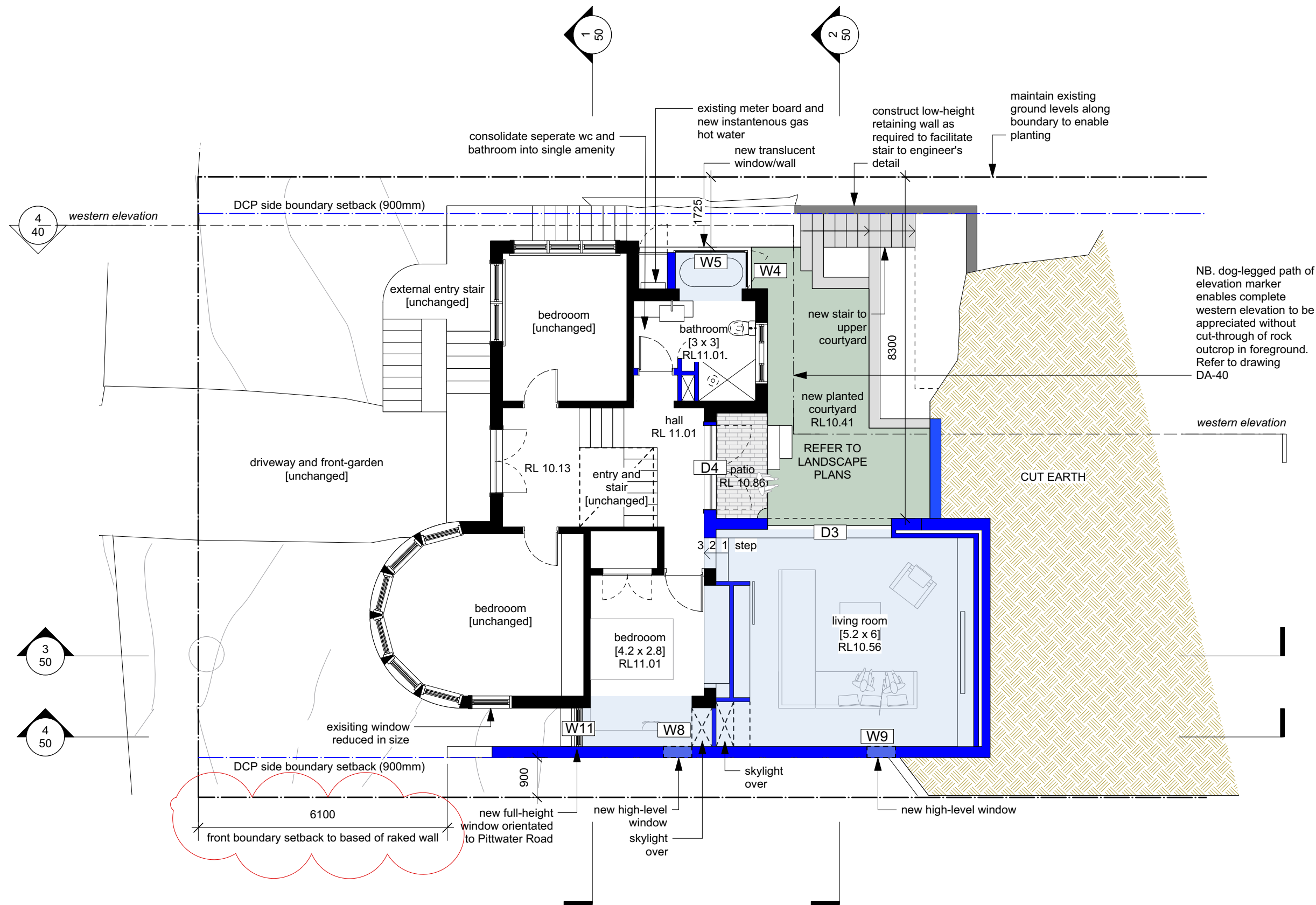
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Scale:1:100 at A3

Drawing
Excavation Plan

Rev.
B

Dwg No.
DA-11

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PLOT DATE : 23/12/21

DRAWING ISSUE

C DA SUBMISSION
front boundary setback shown 23/12/21

NOTES

W1 new window - labelled in accordance with BASIX report

D1 new door - labelled in accordance with BASIX report

existing wall

new wall

new floor space

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

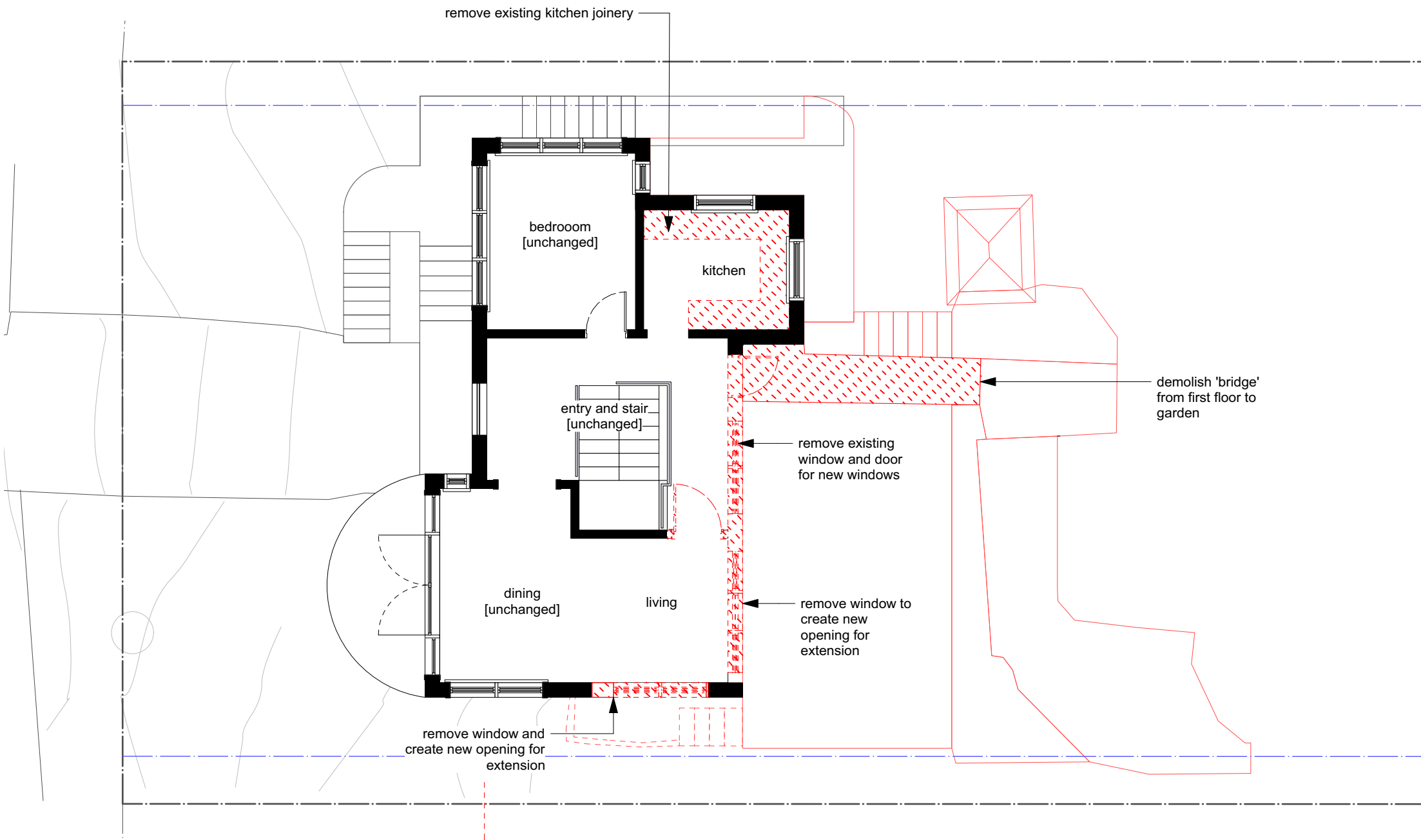
Architect
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Drawn By:AS
Scale:1:100 at A3

Drawing
Ground Floor Plan
Proposed
Dwg No.
DA-12

Rev.
C

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PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION 16/9/21

NOTES

-  existing wall
-  demolition

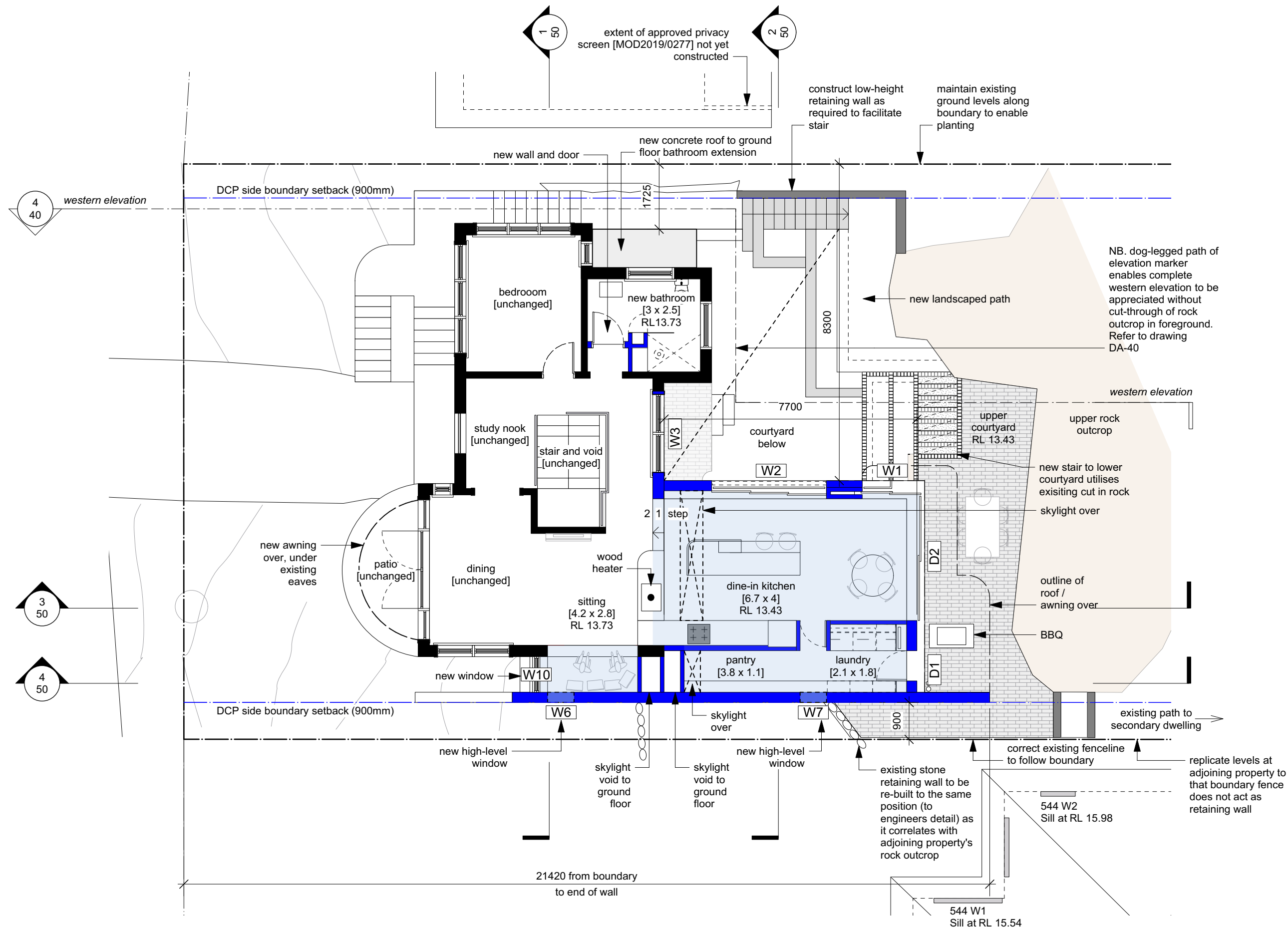
Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
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Lot 3, DP 391122

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Drawn By:AS
Scale:1:100 at A3

Drawing
First Floor Plan
Existing/Demolition
Rev. B
Dwg No. DA-20

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PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

W1 new window - labelled in accordance with BASIX report

D1 new door - labelled in accordance with BASIX report

existing wall

new wall

new floor space

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
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Drawn By:AS

Scale:1:100 at A3

Drawing
First Floor Plan
Proposed
Dwg No.
DA-21

Rev.
B

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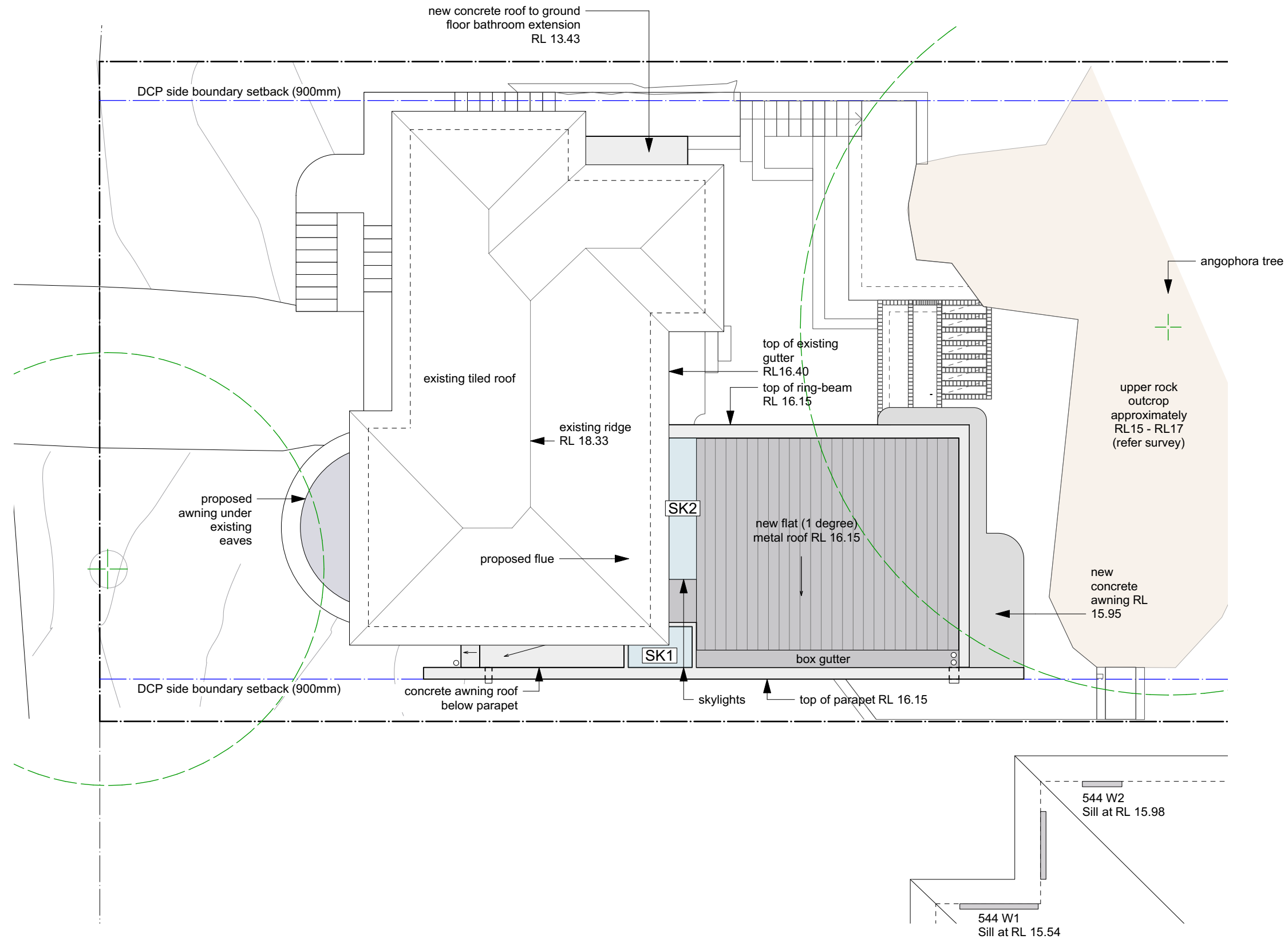
PLOT DATE : 7/11/21

DRAWING ISSUE

B	DA SUBMISSION
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16/9/21

NOTES



Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
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Drawn By:AS
Scale:1:100 at A3

Drawing

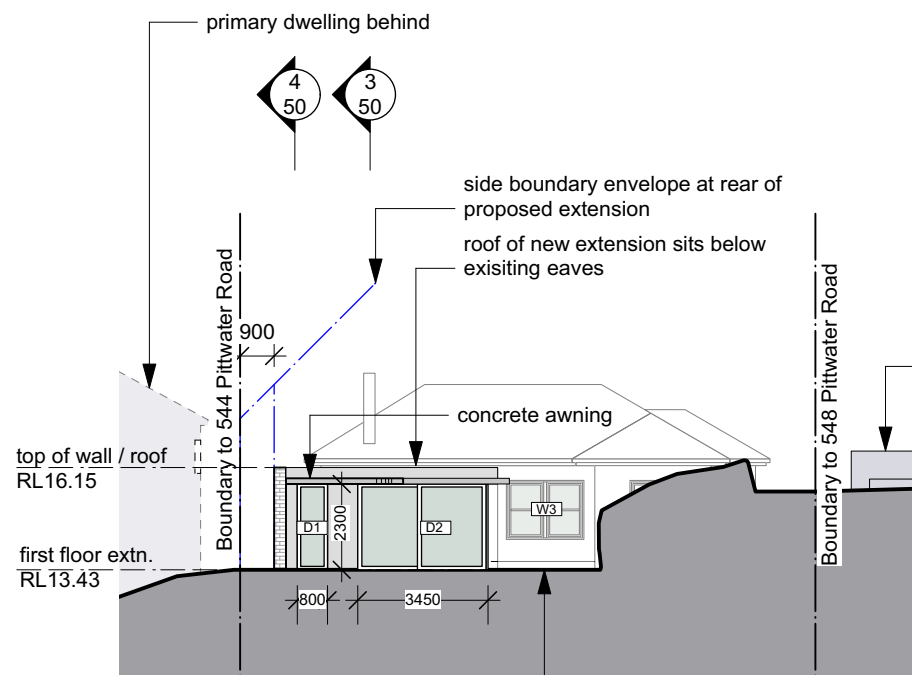
Roof Plan Proposed

Rev.
B

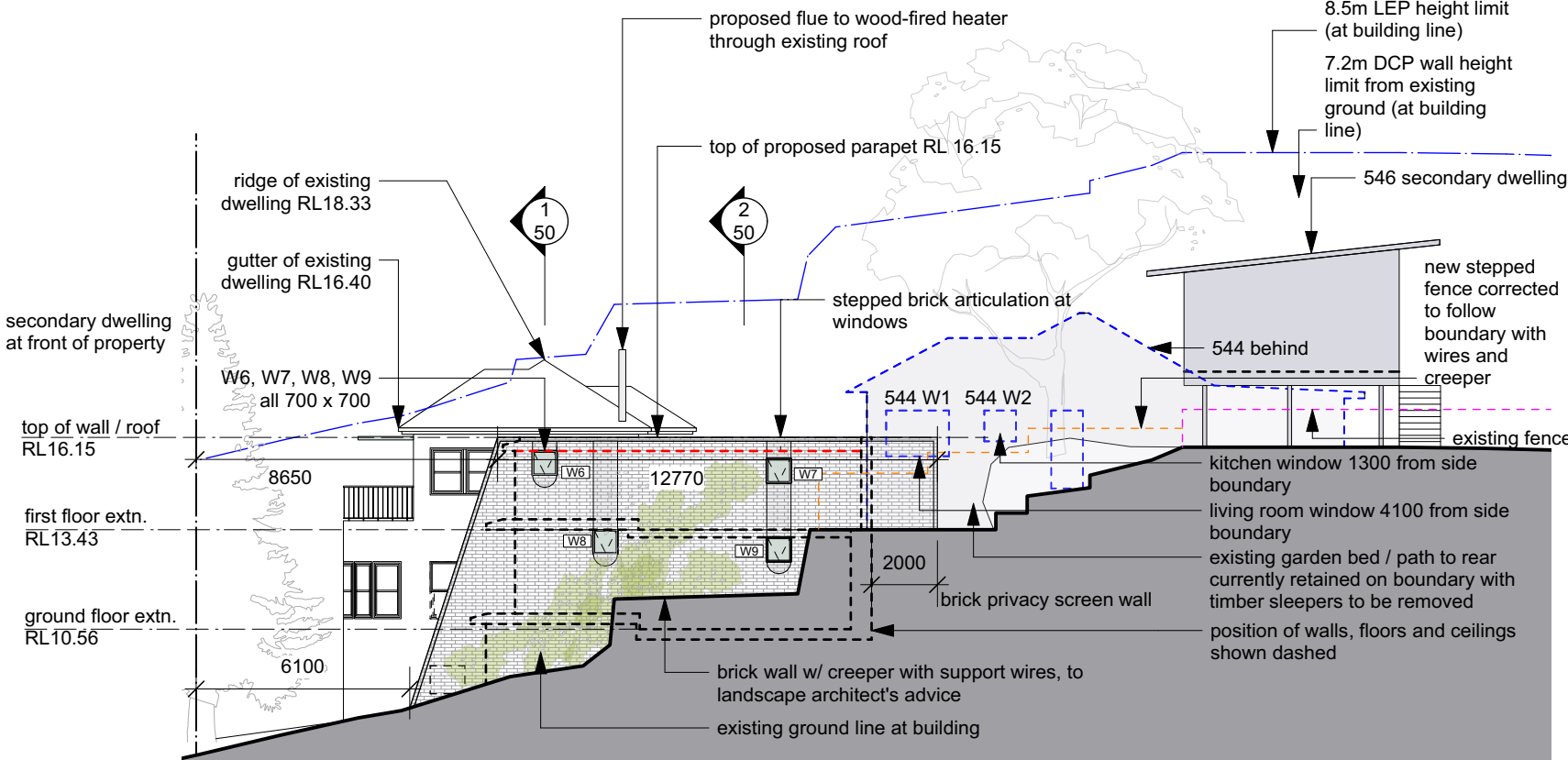
Dwg No.

DA-30

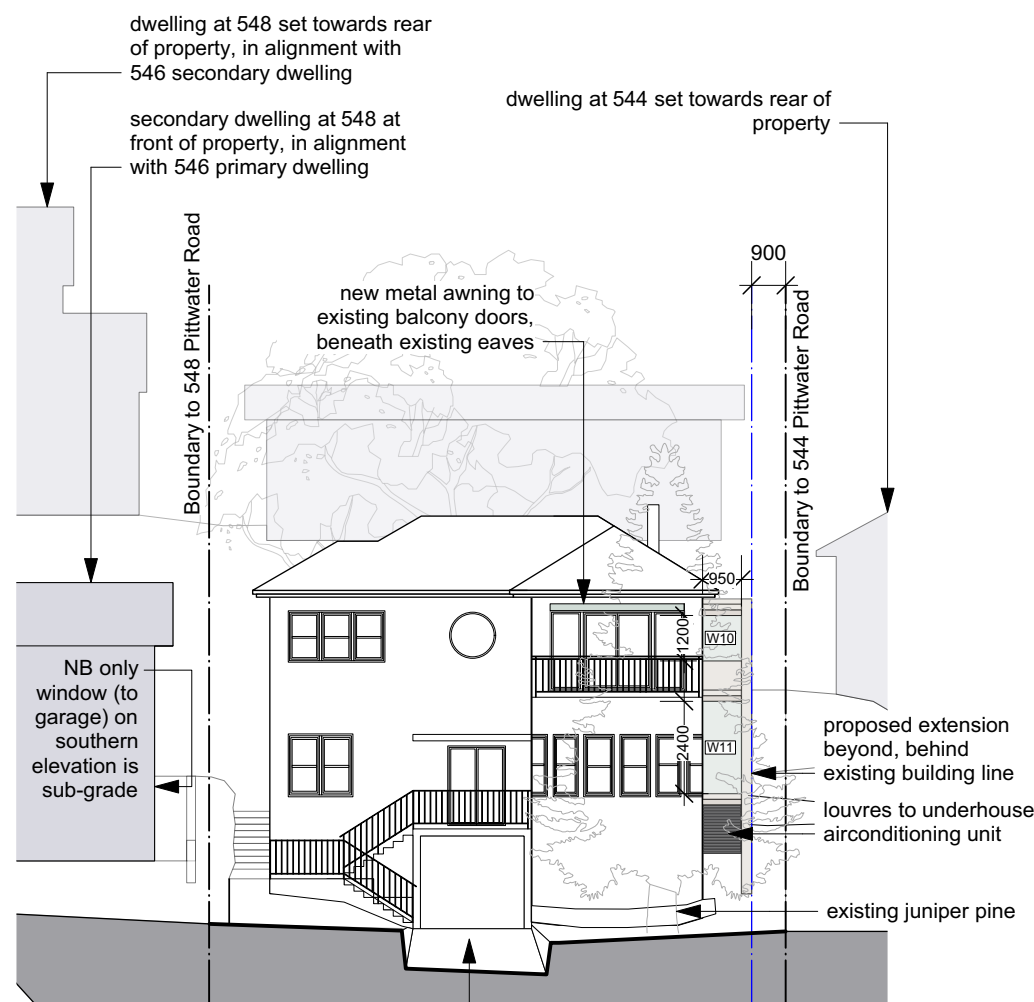
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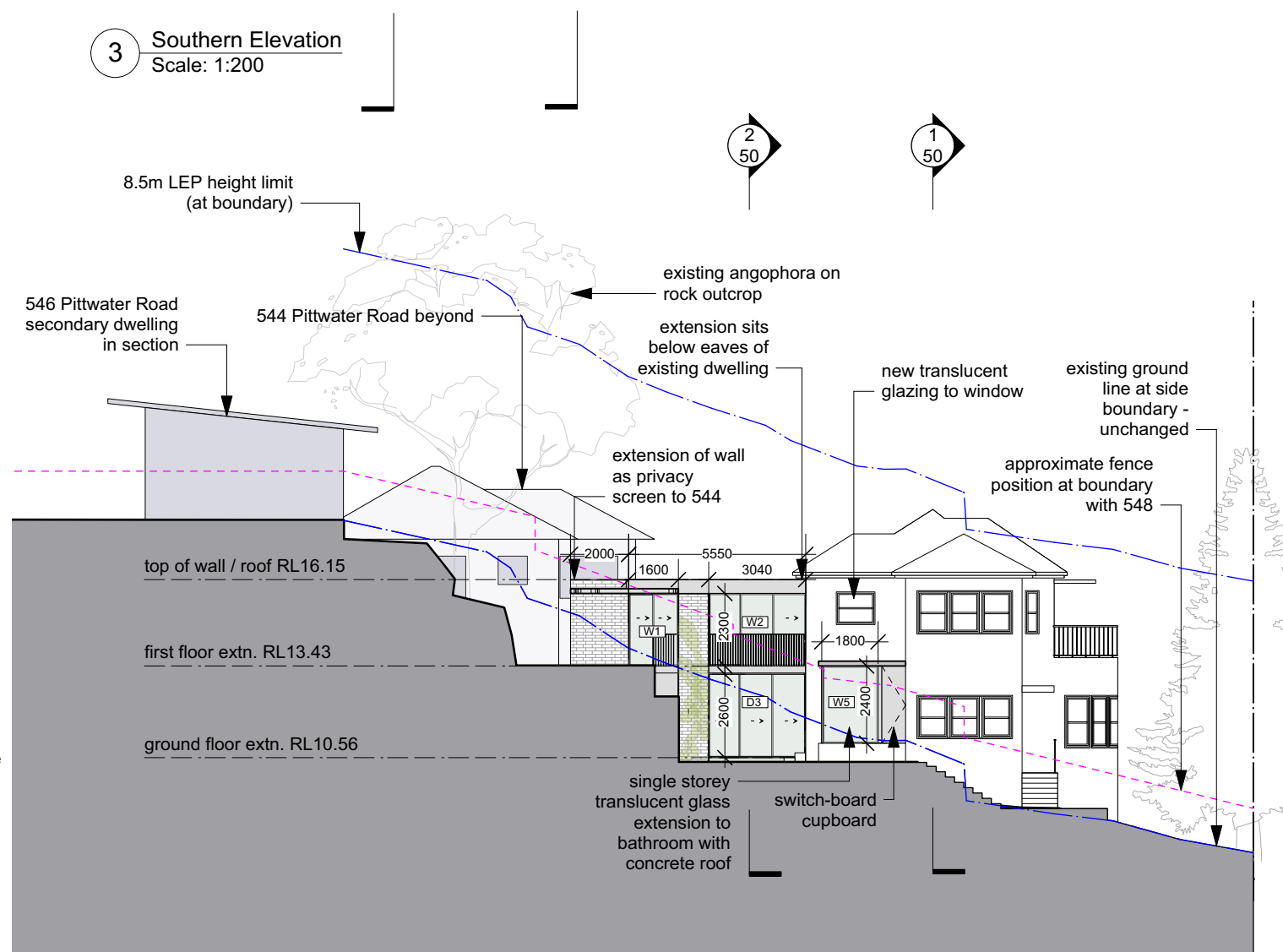
1 Eastern Elevation
Scale: 1:200



3 Southern Elevation
Scale: 1:200



2 Western Elevation
Scale: 1:200



4 Northern Elevation
Scale: 1:200

NB Refer to A04 for elevation marker on plan (dog-legged to show elevation of existing house and extension)

PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
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Drawn By:AS
Scale:1:200 at A3

Rev.
B

Drawing
Proposed
Elevations
Dwg No.
DA-40

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PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
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Lot 3, DP 391122

Architect
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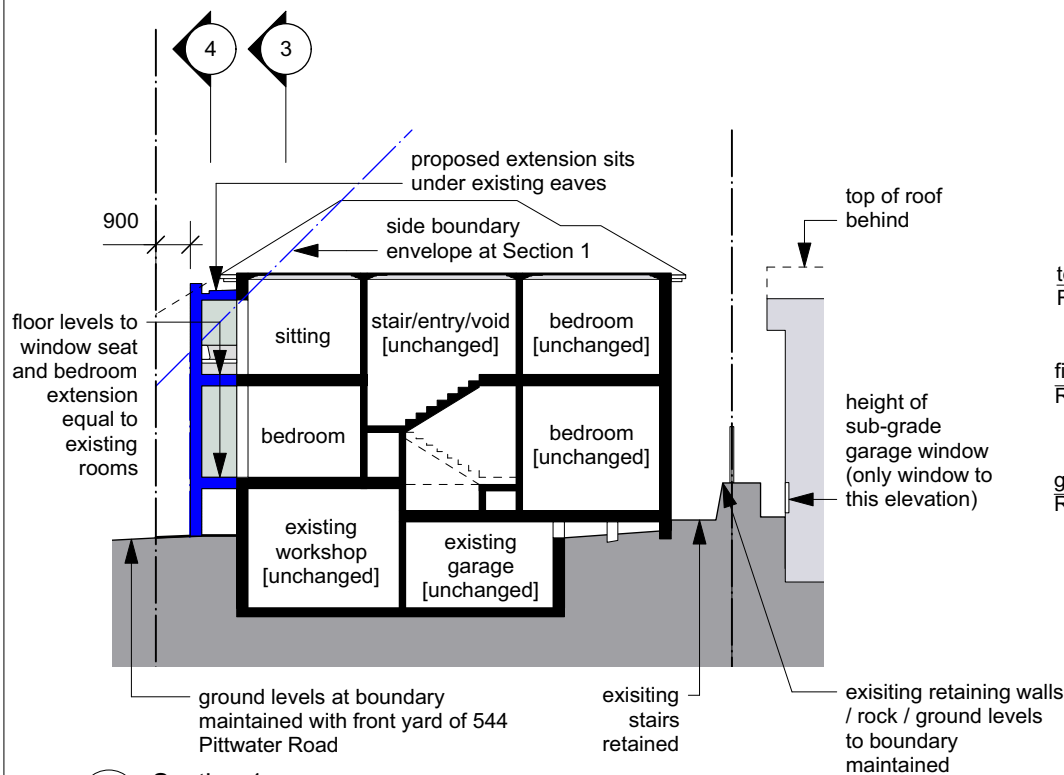
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Scale:1:200 at A3

Drawing

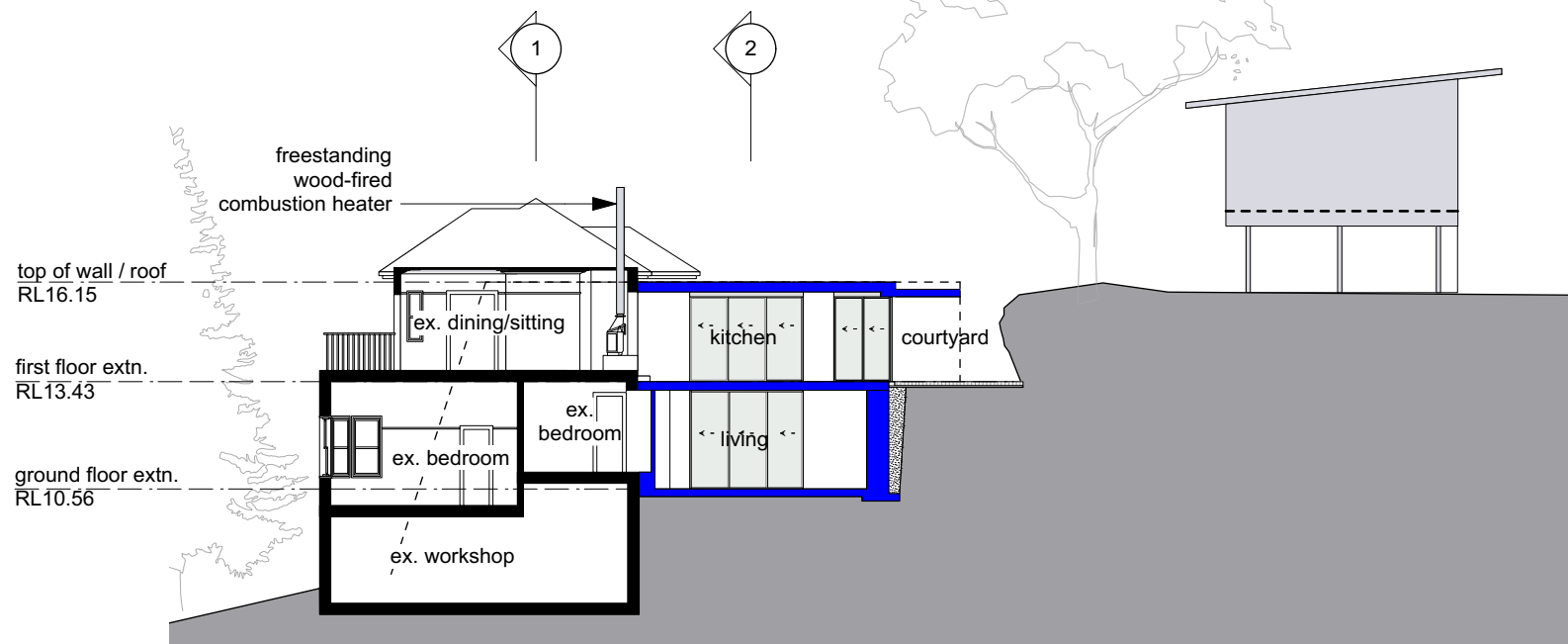
Proposed Sections

Rev.
B
Dwg No.
DA-50

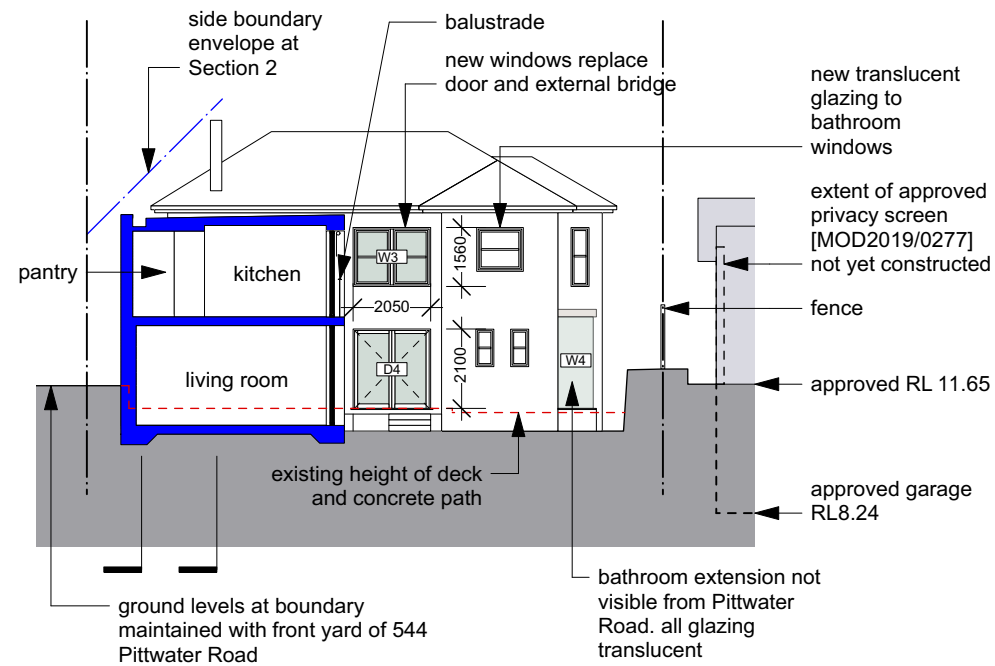
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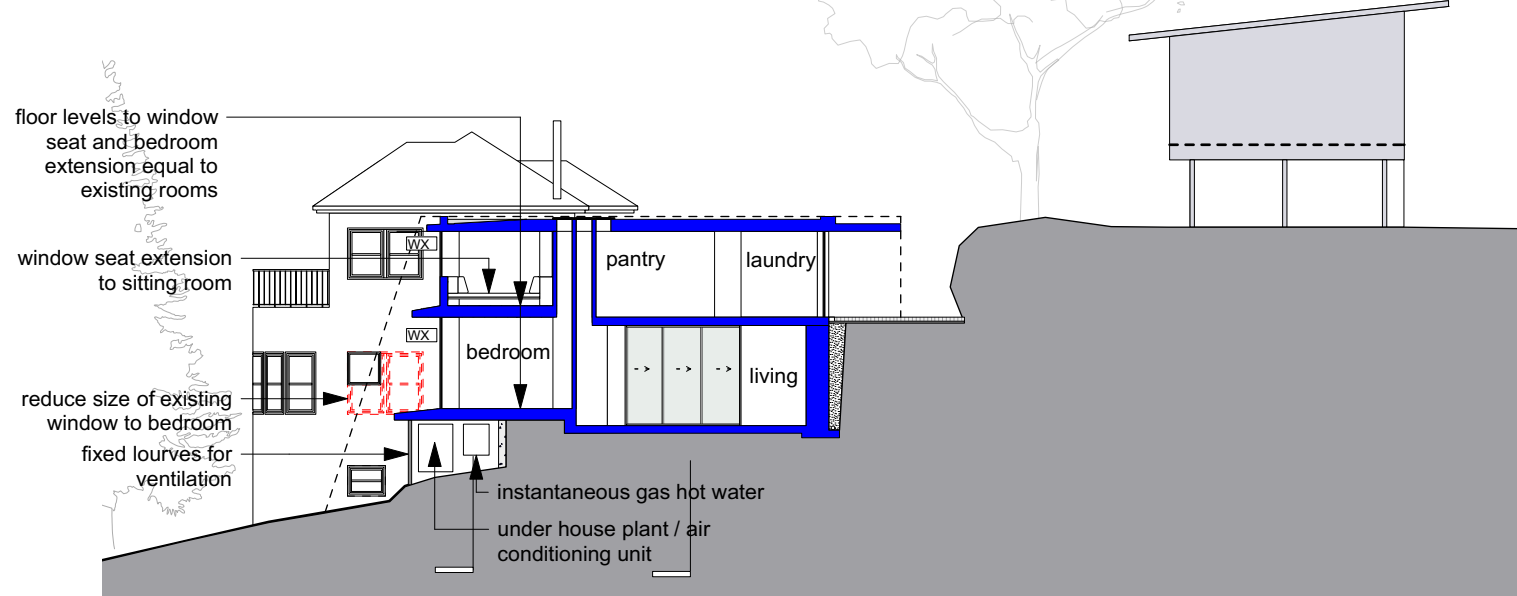
1 Section 1
Scale: 1:200



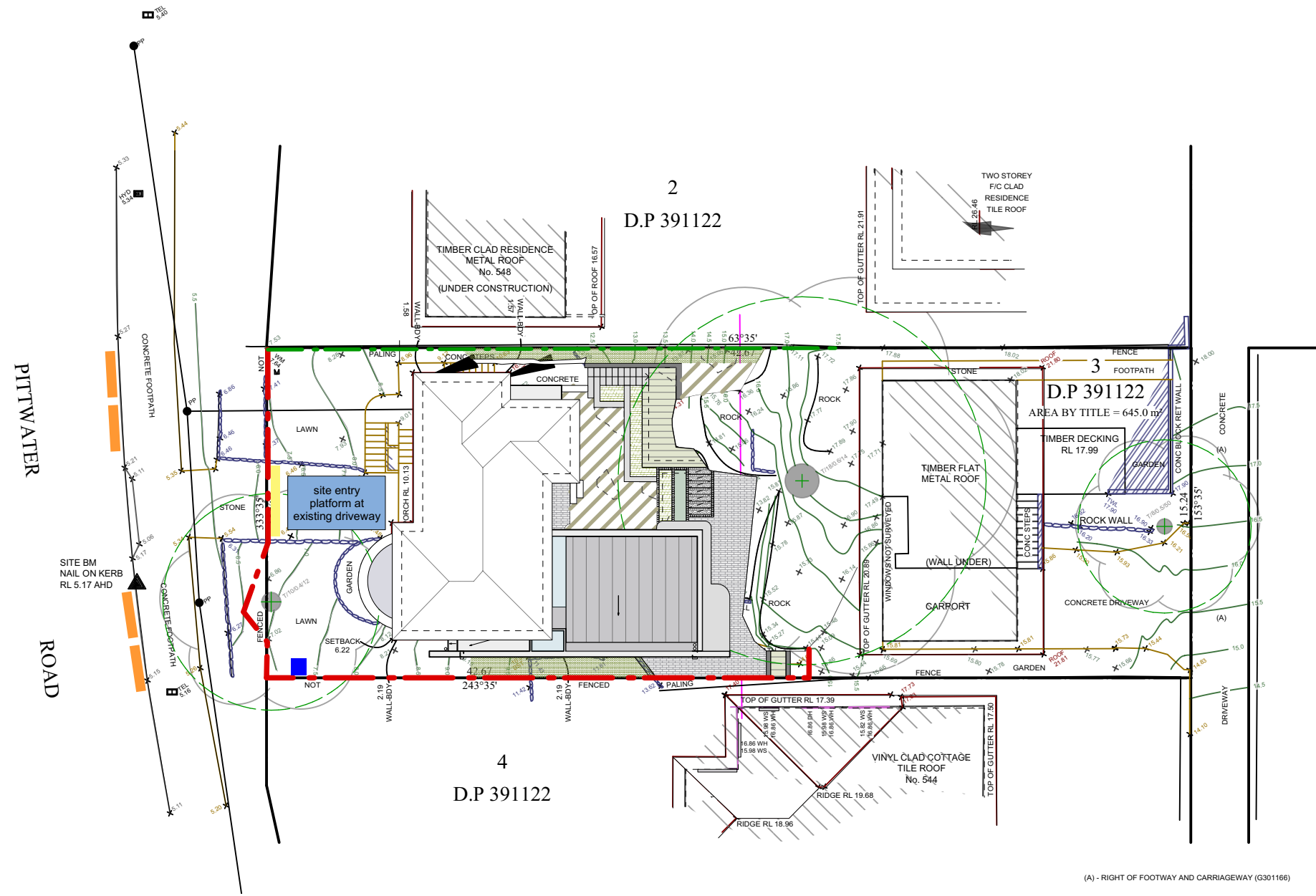
3 Long Section A
Scale: 1:200



2 Section 2
Scale: 1:200



4 Long Section B
Scale: 1:200



1.8m HIGH CONSTRUCTION FENCE (with silt controls)	WATER POINT (for washing down plant and equipment leaving site)
EXISTING BOUNDARY FENCES (up-slope of works, silt controls not required)	KERB SEDIMENT TRAP
HAIL BALES AT ENTRY GATE	

Erosion & Sediment Control Plan

All Erosion and Sediment Control measures detailed herein are to be confirmed by the Contractor to be fully functional after any rainfall exceeding 6mm (in a 24 hour Period) and on a weekly basis.

All services trenches must be backfilled immediately after services are laid and approval is granted to carry out backfilling operations.

The public road in the vicinity of the site is to be swept at regular intervals to prevent sediment buildup at the Site Entry.

1. Site works are not to be commenced until all erosion and sedimentation works as outlined on these documents has been completed.

2. Entry and exit to the site is to be via a single means of access/egress - the Site Entry Platform - use site fencing to ensure that all site access and egress is by way of this Platform. The existing driveway shall be used as the sole site access point.

3. Sediment Control fences are to be installed as indicated on these drawings and are to include provision for site water ingress by means of mounded banks at the outboard edge of the Site Entry Platform or other overland flow paths which may be evident on site.

4. Geotextile 'sausages' filled with aggregate are to be provided to protect Council's Street Stormwater system from sediment pollution from the site.

5. All existing topsoil that is disturbed to facilitate excavation is to be stockpiled on site for landscaping purposes. Where any material (topsoil or excavated) is stockpiled on the site, stockpiles are to be covered with a water repellant covering and located outside any area of concentrated Stormwater flow, away from the street and at a distance greater than 2.4m clear of any boundary of the site. Where possible, stockpiles are to be located on a local high point or are to be protected with diversion channels and swales around the stockpile.

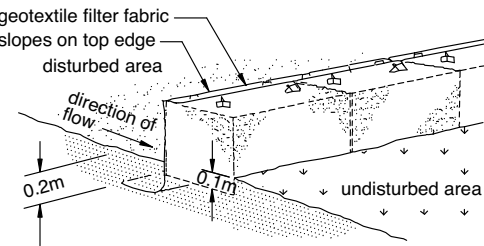
7. The Contractor shall provide approved bins for all site waste to be accumulated and stored for collection and disposal.

Site waste includes:-

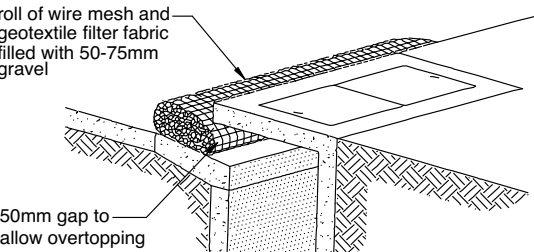
- Litter
- All packaging
- mortar, cement and concrete slurries, acid wash down water, paint and any contaminated water

8. Site Stormwater drainage is to be connected and commissioned as soon as practicable.

drainage area 0.5ha max.
slope gradient 1:2 max.
slope length 50m max.



STRAW BALE AND GEOTEXTILE
SEDIMENT FILTER



PORTABLE GRAVEL KERB
SEDIMENT TRAP

PLOT DATE : 7/11/21

DRAWING ISSUE

B DA Submission

16/9/21

NOTES

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

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Drawn By:AS
Scale:1:200 at A3

Drawing
Erosion, Sediment
Control Plan
Dwg No.
DA-60

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PLOT DATE : 10/11/21

DRAWING ISSUE

B DA SUBMISSION 16/9/21

NOTES

Stormwater Plan Prepared by:
Simon Vey
Gubler and Associates Pty Ltd
Building and Drainage License
#22765C I #208894C
P O Box 271, Avalon NSW 2107
P: (02) 9918 2896
M: 0414 068 278
W: gublerandassociates.com.au

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

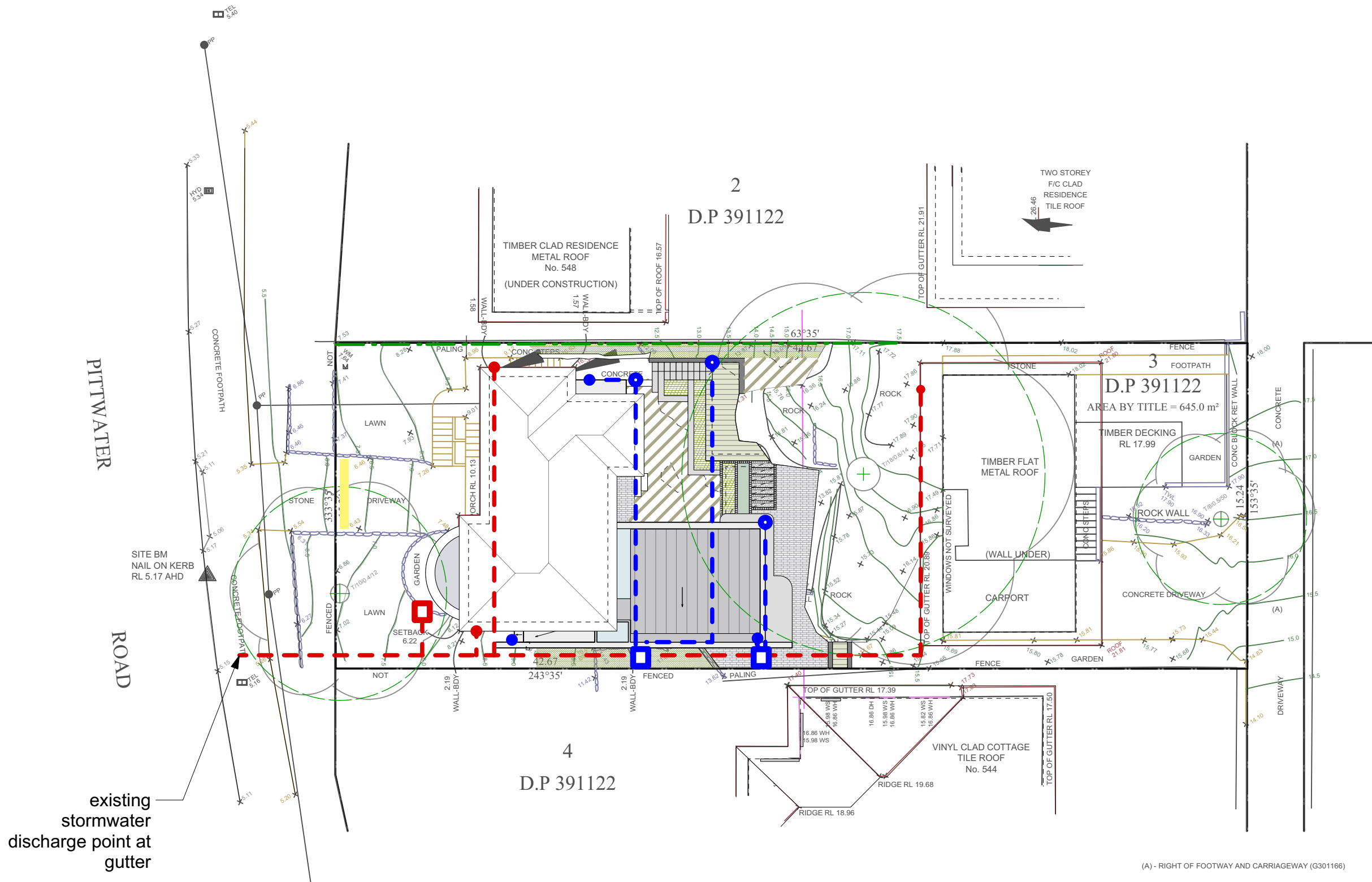
Architect
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e. ava@avashirley.com

Drawn By:Gubler & Associates
Scale:1:200 at A3

Drawing
Stormwater Plan

Rev.
B Dwg No.
DA-61

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KEY

- | | |
|--|-------------------------|
| --- Existing 100mm stormwater line | Existing stormwater pit |
| --- New 100mm stormwater line | New stormwater pit |
| ● Existing downpipe | |
| ● New downpipe | |
| ● New sub-soil drainage connection point | |

STORMWATER DESIGN NOTES

- All charged lines to be solvent welded sewer-grade uPVC
- All drainage lines to be laid to a minimum 1:100 grade UNO
- Minimum Effective gutter grade 1:500 UNO

TIDAL HOUSE

546 Pittwater Road, North Manly NSW, Lot 3 DP391122

THE FOLLOWING SUSTAINABILITY COMMITMENTS ARE REQUIRED AS PER BASIX CERTIFICATE No. 426977

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Hot water			
The applicant must install the following hot water system in the development: gas instantaneous.	✓	✓	✓
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements			
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications	
concrete slab on ground floor with in-slab heating system.	R1.00 (slab edge)	in-slab heating system	
suspended floor with open subfloor: concrete (R0.6).	R0.9 (down) (or R1.50 including construction)		
floor above existing dwelling or building.	nil		
external wall: cavity brick	nil		
external wall: structural panel system	R1.25 (including construction)		
flat ceiling, flat roof: framed	ceiling: R3.00 (up), roof: none	light (solar absorptance < 0.475)	

Glazing requirements		Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.		✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:			✓	✓		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.			✓	✓		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.			✓	✓		
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.		✓	✓	✓		
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.		✓	✓	✓		
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.			✓	✓		
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.			✓	✓		
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.			✓	✓		
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.		✓	✓	✓		
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)	Shading device	Frame and glass type	
W1	N	4	0	0	projection/height above sill ratio >=0.23	timber or uPVC, single Lo-Tsol low-e, (U-value: 3.7, SHGC: 0.36)
W2	N	7	0	0	external louvre/blind (adjustable)	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W3	E	3	14	8	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W4	E	1.8	3	1	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W5	N	5.9	6	2.5	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W6	S	0.5	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W7	S	0.5	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W8	S	0.5	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W9	S	0.5	0	0	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W10	W	1.1	2.5	0.5	projection/height above sill ratio >=0.29	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W11	W	2.3	5.5	0.5	projection/height above sill ratio >=0.36	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D1	E	1.8	3	2.5	eave/verandah/pergola/balcony >=900 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D2	E	8	3	2.5	eave/verandah/pergola/balcony >=600 mm	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D3	N	8	6.2	2.7	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
D4	E	4	16.5	11	none	timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
Skylights						
The applicant must install the skylights in accordance with the specifications listed in the table below.		✓	✓	✓		
The following requirements must also be satisfied in relation to each skylight:			✓	✓		
Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below.			✓	✓		
External awnings and louvres must fully shade the skylight above which they are situated when fully drawn or closed.			✓	✓		
Skylights glazing requirements						
Skylight number	Area of glazing inc. frame (m2)	Shading device		Frame and glass type		
S1	1.2	external fixed awning or blind		timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)		
S2	1.9	external fixed awning or blind		timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5)		

PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

Project
Tidal House - Alts and Ads

Client
Ava Shirley and Michael Hilton

Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

Architect
Ava Shirley NSW No. 10339
546 Pittwater Road
North Manly NSW 2100
p. 0438 109 803
e. ava@avashirley.com

Drawn By:AS
Scale:NTS at A3

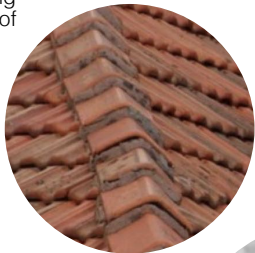
Drawing
Basix Requirements

Rev.
B

Dwg No.
DA-62

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existing
terracotta-tiled roof



paint existing
windows white



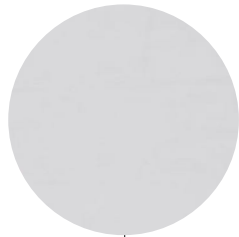
aluminium
louvres to plant



corbelled articulation at
windows in 'simmental
silver' face-brick



existing rendered
walls painted
white



bagged brick wall,
painted white



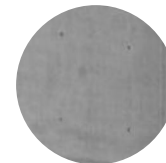
outdoor brick paving
in 'simmental silver'



colourbond metal
roofing in 'Dune'
SA: 4.7, BCA: 'M'



concrete awnings,
slab edge, ring beam



boston ivy creepers



PLOT DATE : 7/11/21

DRAWING ISSUE

B DA SUBMISSION

16/9/21

NOTES

Project
Tidal House - Alts and Ads
Client
Ava Shirley and Michael Hilton
Address
546 Pittwater Road
North Manly, NSW
Lot 3, DP 391122

Architect
Ava Shirley NSW No. 10339
546 Pittwater Road
North Manly NSW 2100
p. 0438 109 803
e. ava@avashirley.com

Drawn By:AS
Scale:1:200 at A3

Drawing
Proposed Finishes

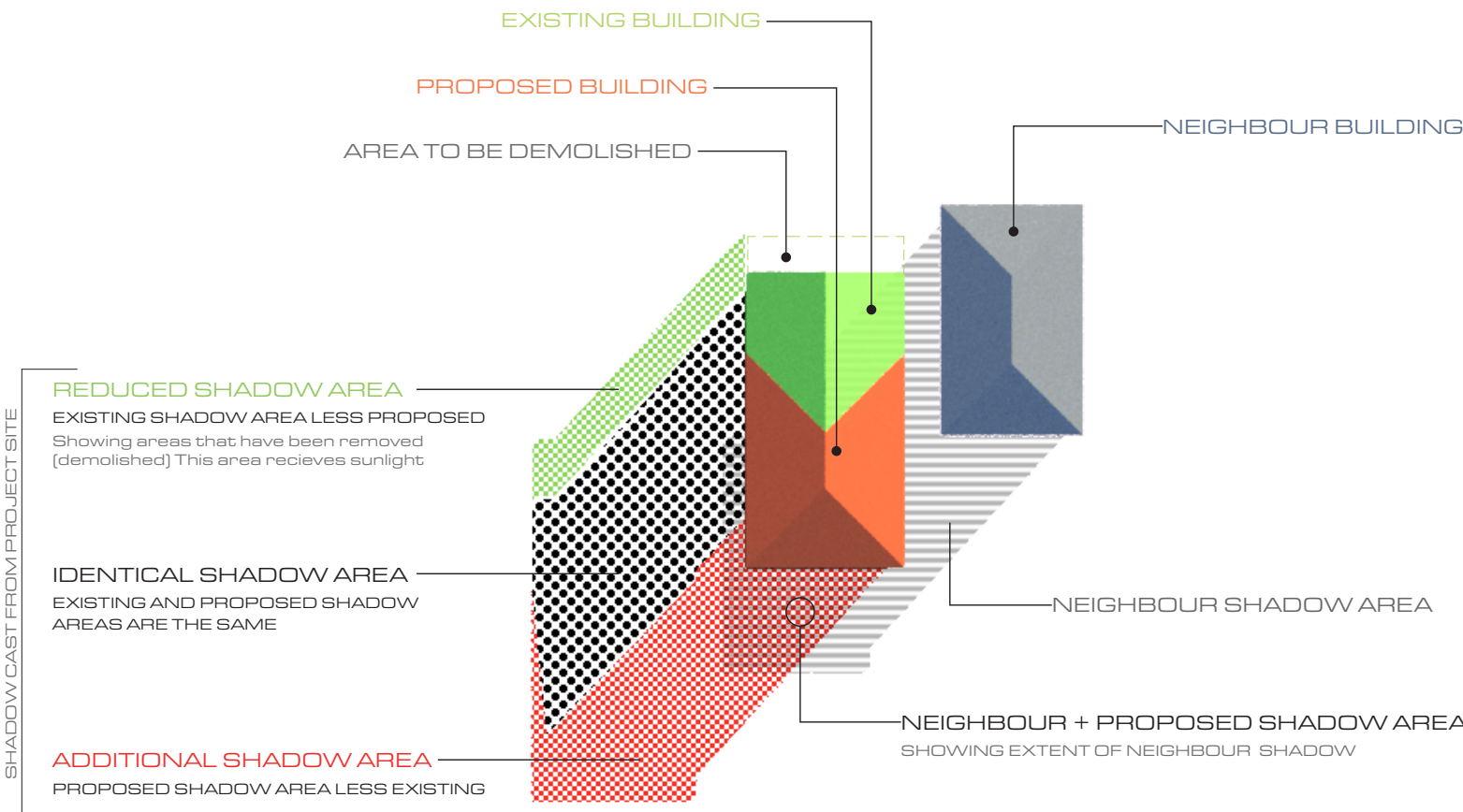
Rev.
B
Dwg No.
DA-63

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CERTIFIED SHADOW DIAGRAM

CERTIFIED SHADOW DIAGRAM
No : SDC184601
Refer to attached Certificate.

Certifier:
C McFadzean
B Arch BA (Arch) IES ABSA AAAI
Member of IES
(The Illuminating Engineers Society of Australia)



REFERENCE DESIGN - HOW TO READ GUIDE

SHADOW AREA KEY



HOW TO READ GUIDE

TITLE
SHADOW DIAGRAMS
PLAN

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

DESIGNER
Ava Shirley

CLIENT
Ava Shirley & Michael Hilton

DENEb DESIGN
3D SHADOW DIAGRAMS
VISUALISATION + ANALYSIS
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info@denebdesign.com.au | denebdesign.com.au

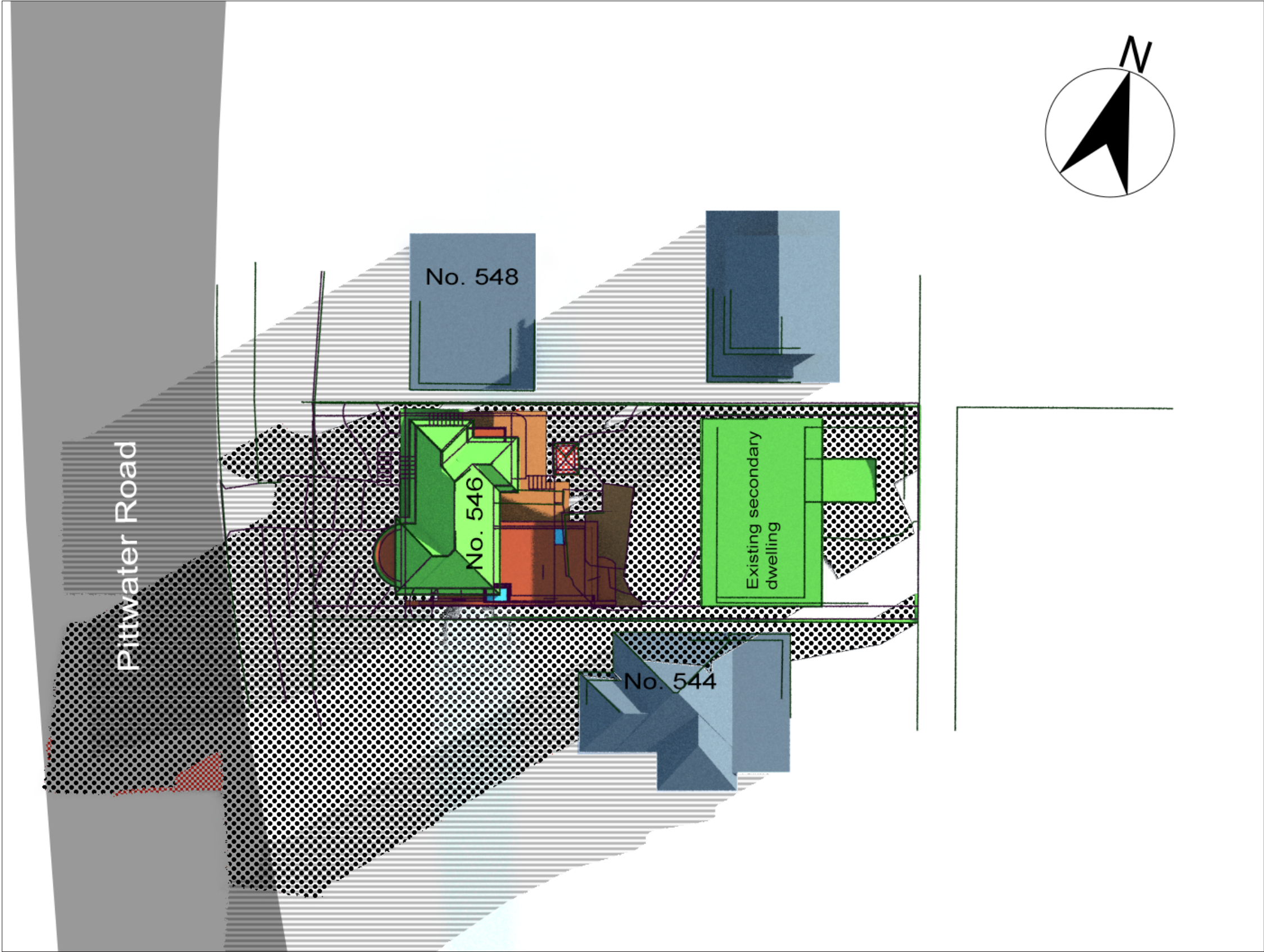
PAGE : SD 01
SCALE : 1:300 (A3)
DATE : 20.09.21
VERSION : 01
REF : 1846

NOTES

1. Trees, landscape omitted from calculations
2. Side Fence / Existing retaining walls shown as Existing Shadow.
3. True north used as solar north.
4. Terrain is approximate outside of the site
5. Limited survey information available on adjoining sites.
6. Winter solstice - 21 June
7. Time Zone - AEST unless noted (Aust. Eastern Standard Time - AEST)

DATA SOURCE [in order of precedence]

- Registered Survey - H & S Surveyors Pty. Ltd. , Ref 20002 , 22/01/20, Rev C dated 01/09/21
- Architectural Plans - Ava Shirley - Rev. B dated 16/09/21
- Note: Neighbour details outside of scope of survey are indicative only, no height or detail data available.



SHADOW AREA KEY

- ADDITIONAL
- REDUCED
- IDENTICAL
- NEIGHBOUR



0900
WINTER SOLSTICE
21 JUNE

TITLE
SHADOW DIAGRAMS
PLAN

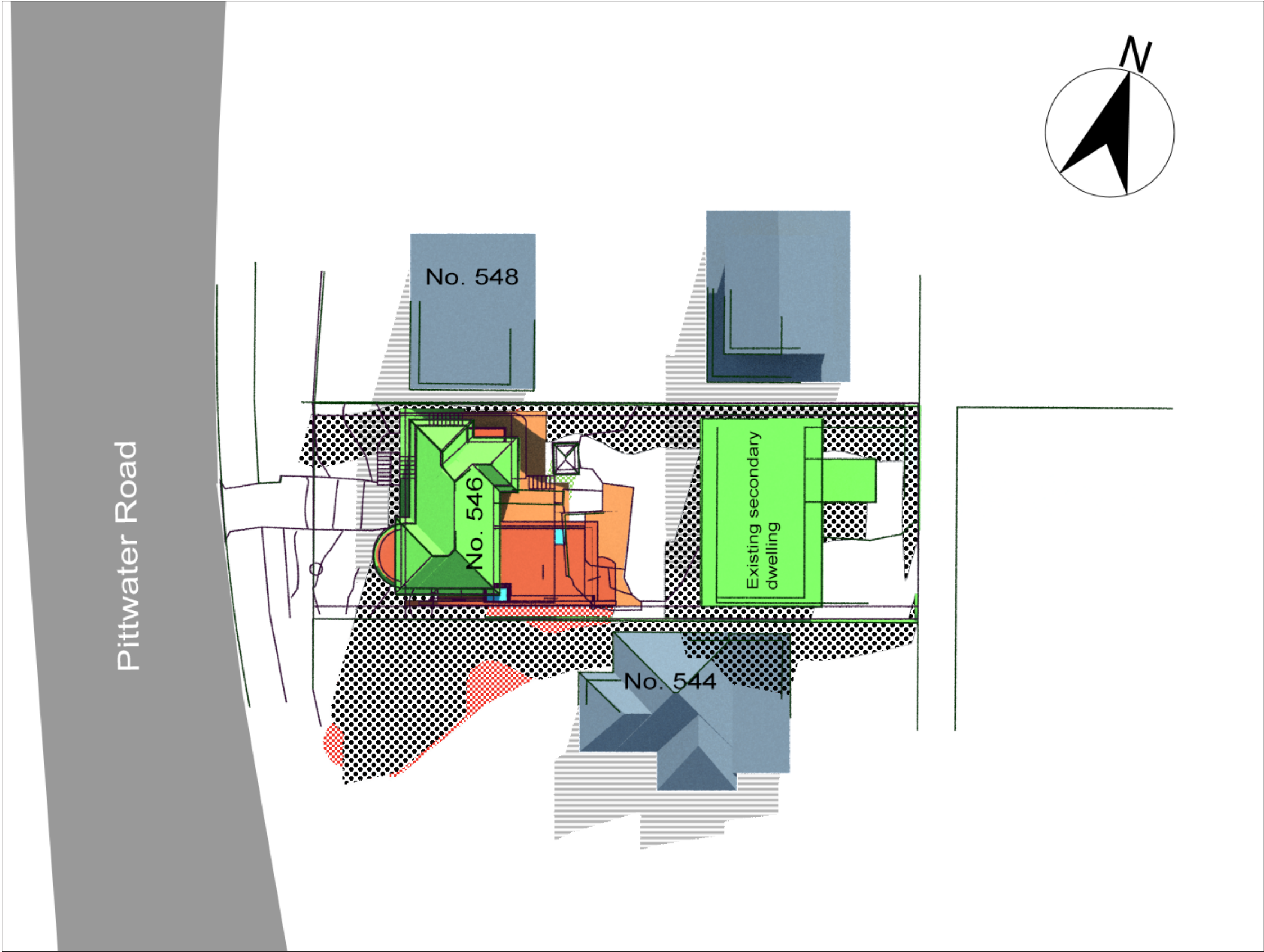
PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

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VERSION : 01
REF : 1846



SHADOW AREA KEY

- ADDITIONAL
- REDUCED
- IDENTICAL
- NEIGHBOUR



1200
WINTER SOLSTICE
21 JUNE

TITLE
SHADOW DIAGRAMS
PLAN

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

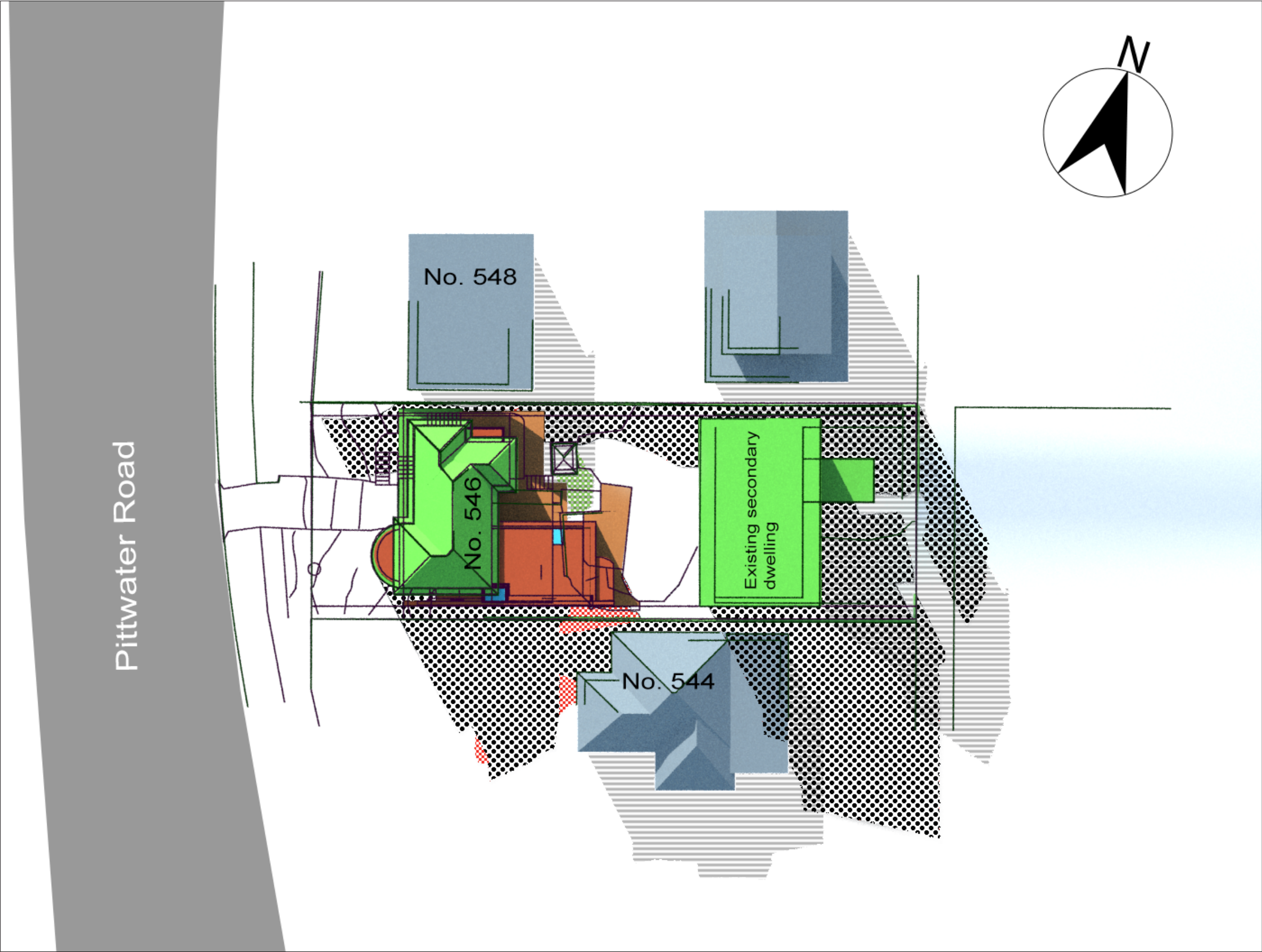
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SHADOW AREA KEY

- ADDITIONAL
- REDUCED
- IDENTICAL
- NEIGHBOUR



1500
WINTER SOLSTICE
21 JUNE

TITLE
SHADOW DIAGRAMS
PLAN

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

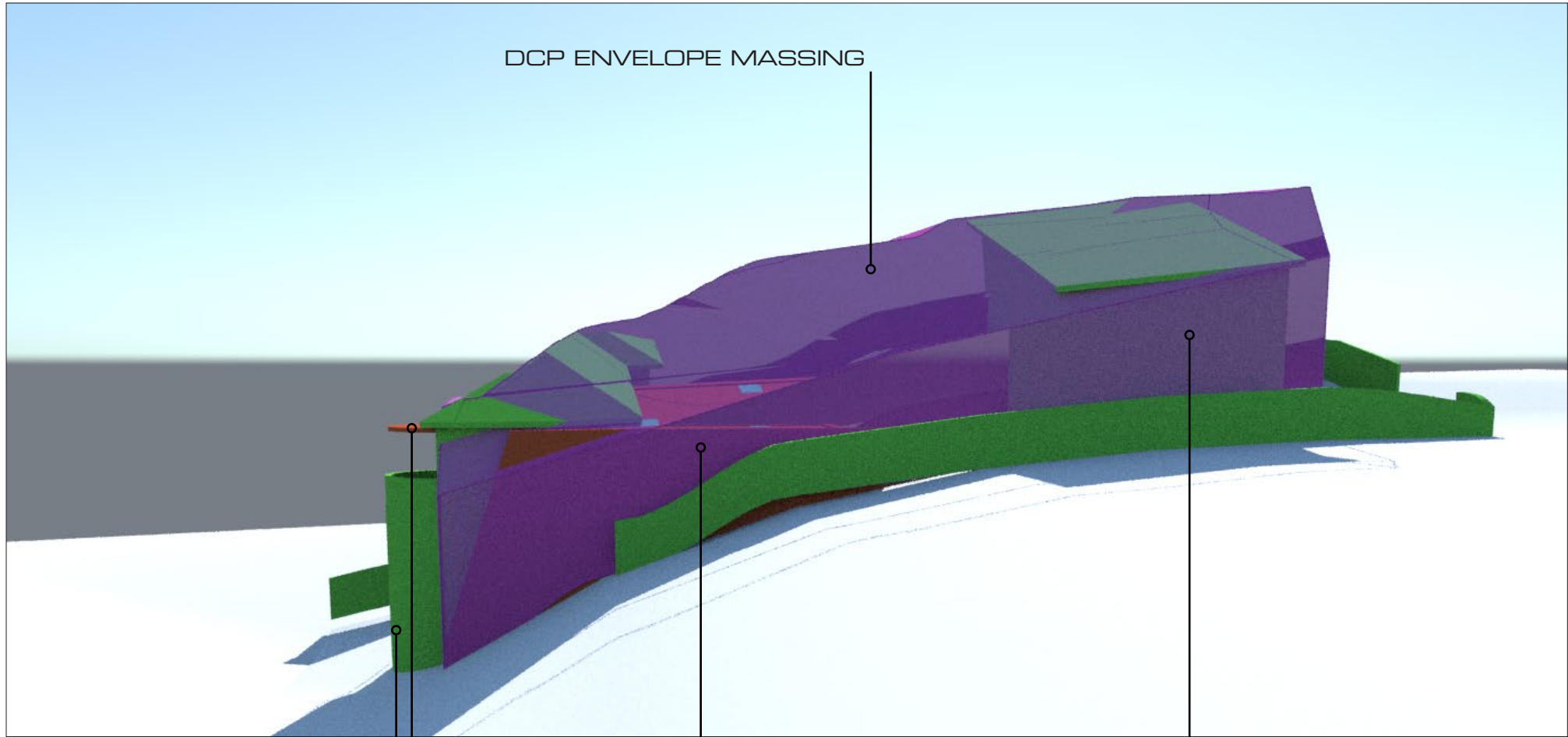
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DCP ENVELOPE MASSING



COLOUR KEY

- EXISTING DWELLING
- PROPOSED ADDITIONS
- DCP ENVELOPE MASSING

HOW TO READ GUIDE

TITLE
DCP Envelope Masing

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

DESIGNER
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VERSION : 01
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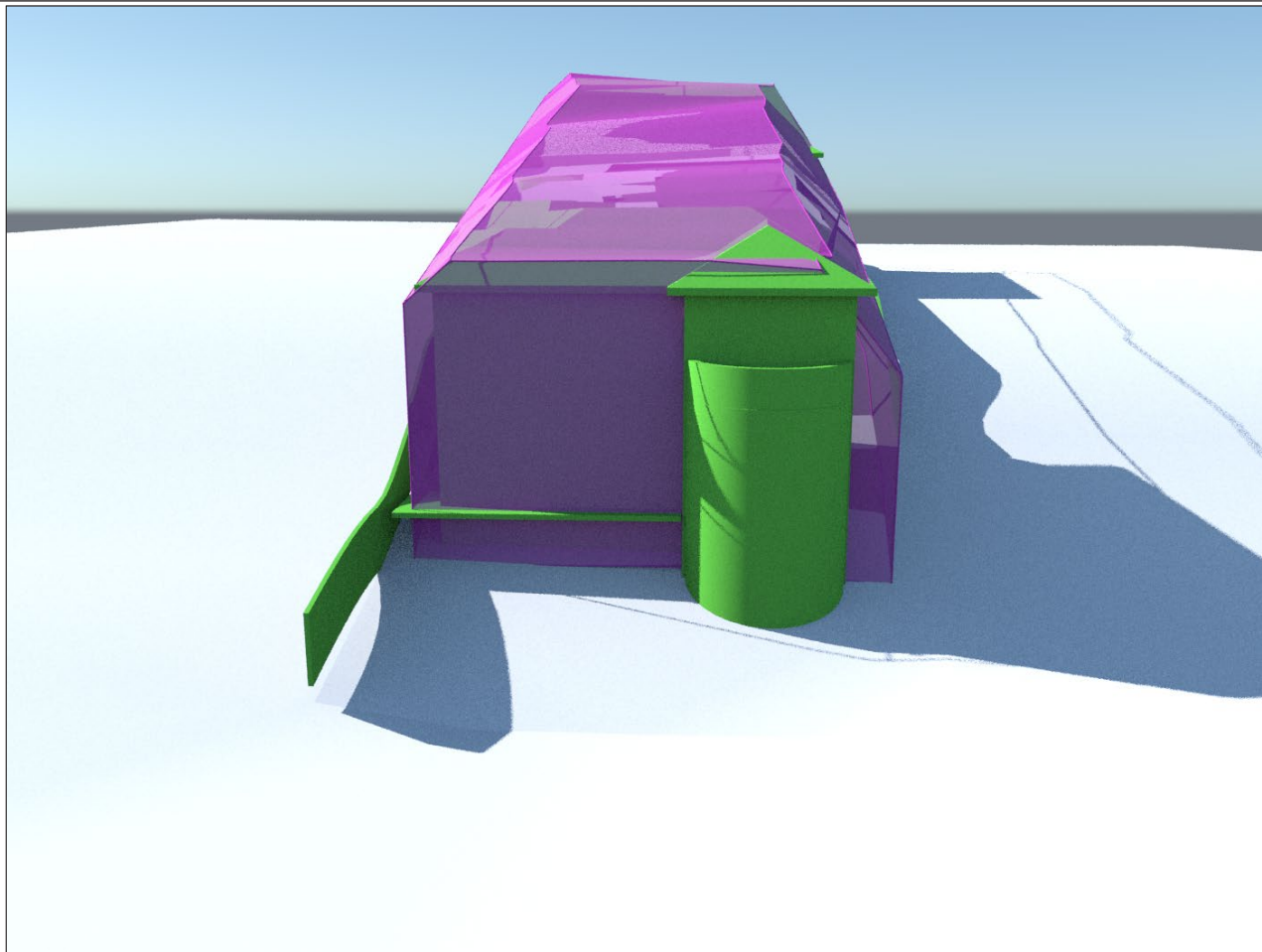
AREA OF EXISTING OUTSIDE
OF MASSING

AREA OF PROPOSED
BUILDING WITHIN MASSING

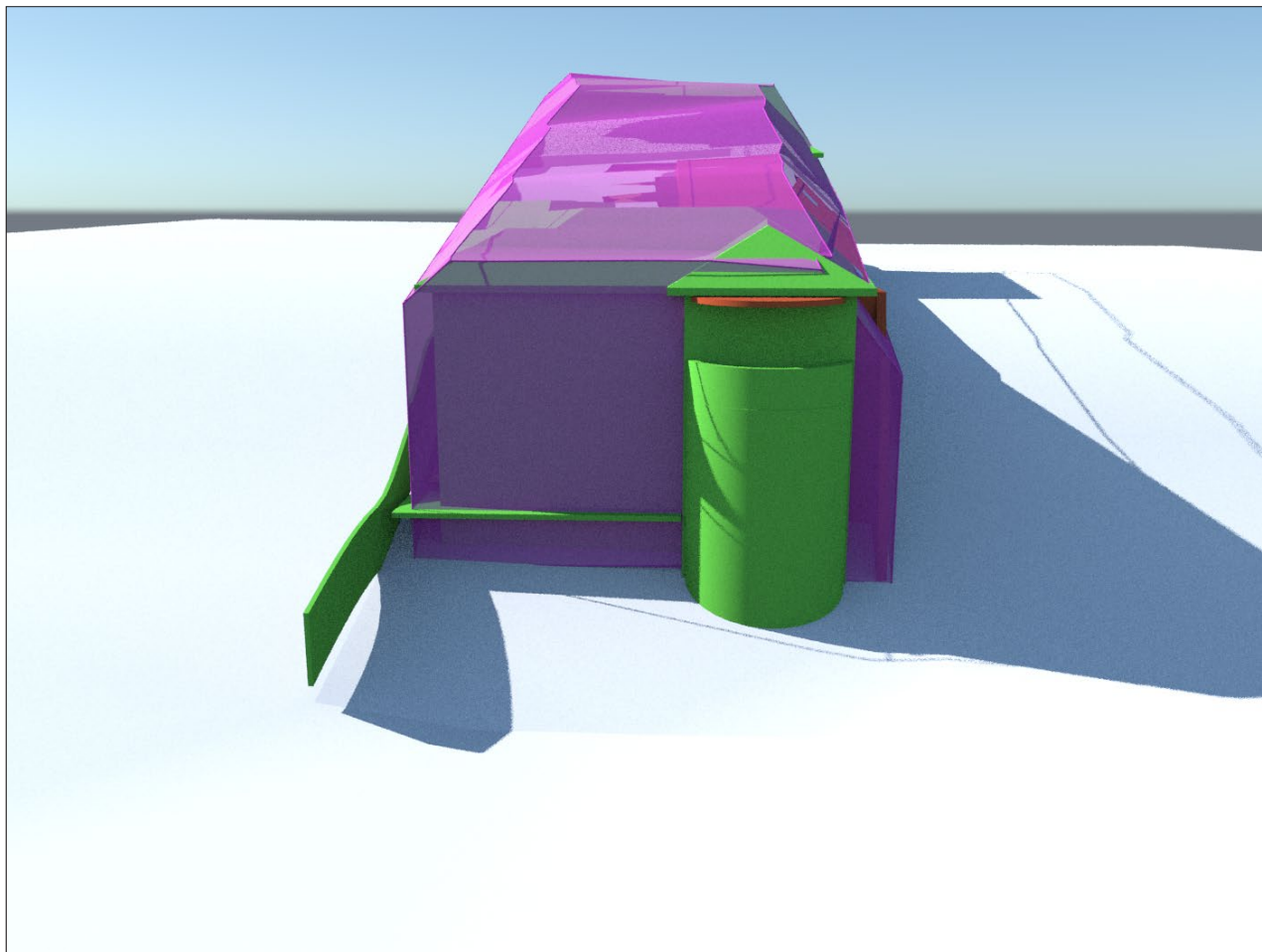
AREA OF EXISTING BUILDING
WITHIN MASSING

AREA OF PROPOSED BUILDING
OUTSIDE OF MASSING

NOTE; DCP Massing is modelled in accordance with Warringah 2011 DCP.
Warringah DCP summary;
Side BDY setback 900mm
Rear BDY setback 6m
Front BDY setback 6.5m
Maximum wall height 7.2m
Maximum height plane 8.5m
Side BDY envelope 4m above ground at side boundary with
projecting plane at 45 degrees.



Existing



Proposed

- COLOUR KEY
- EXISTING DWELLING
 - PROPOSED ADDITIONS
 - DCP ENVELOPE MASSING

DCP Envelope
Street front


TITLE
DCP Envelope Masing

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

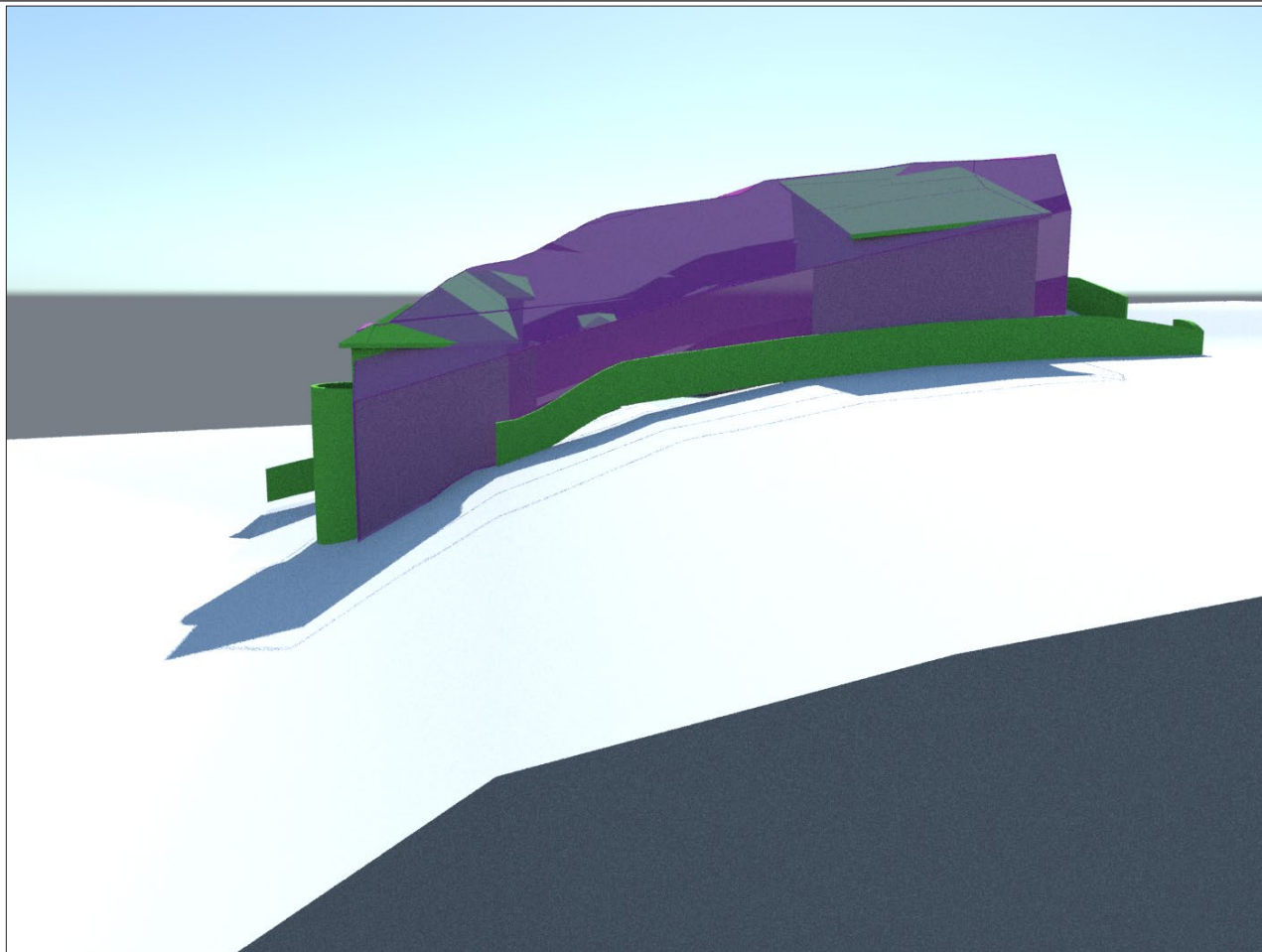
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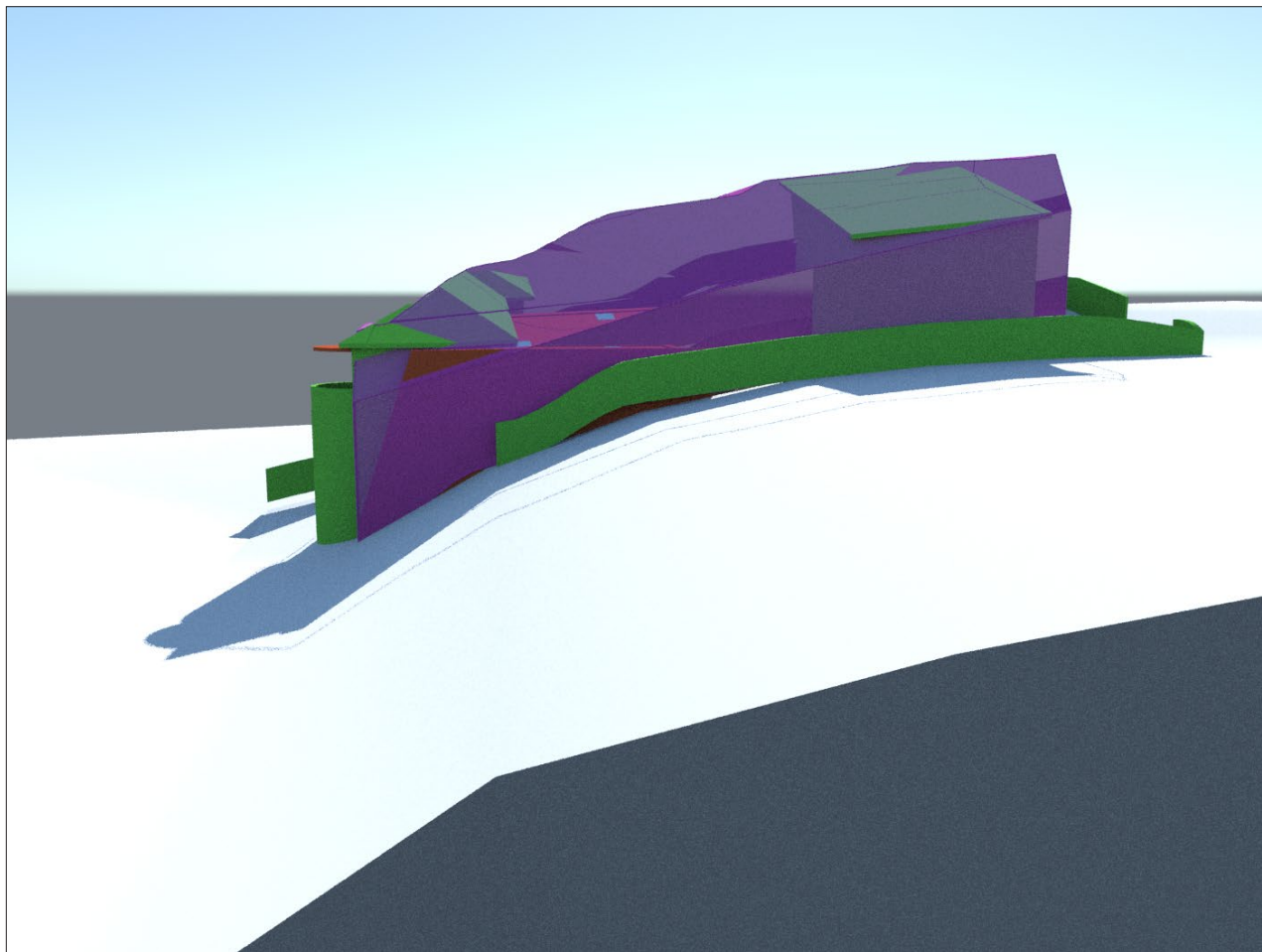
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Existing



Proposed

- COLOUR KEY
- EXISTING DWELLING
 - PROPOSED ADDITIONS
 - DCP ENVELOPE MASSING

DCP Envelope
South Elevation


TITLE
DCP Envelope Masing

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

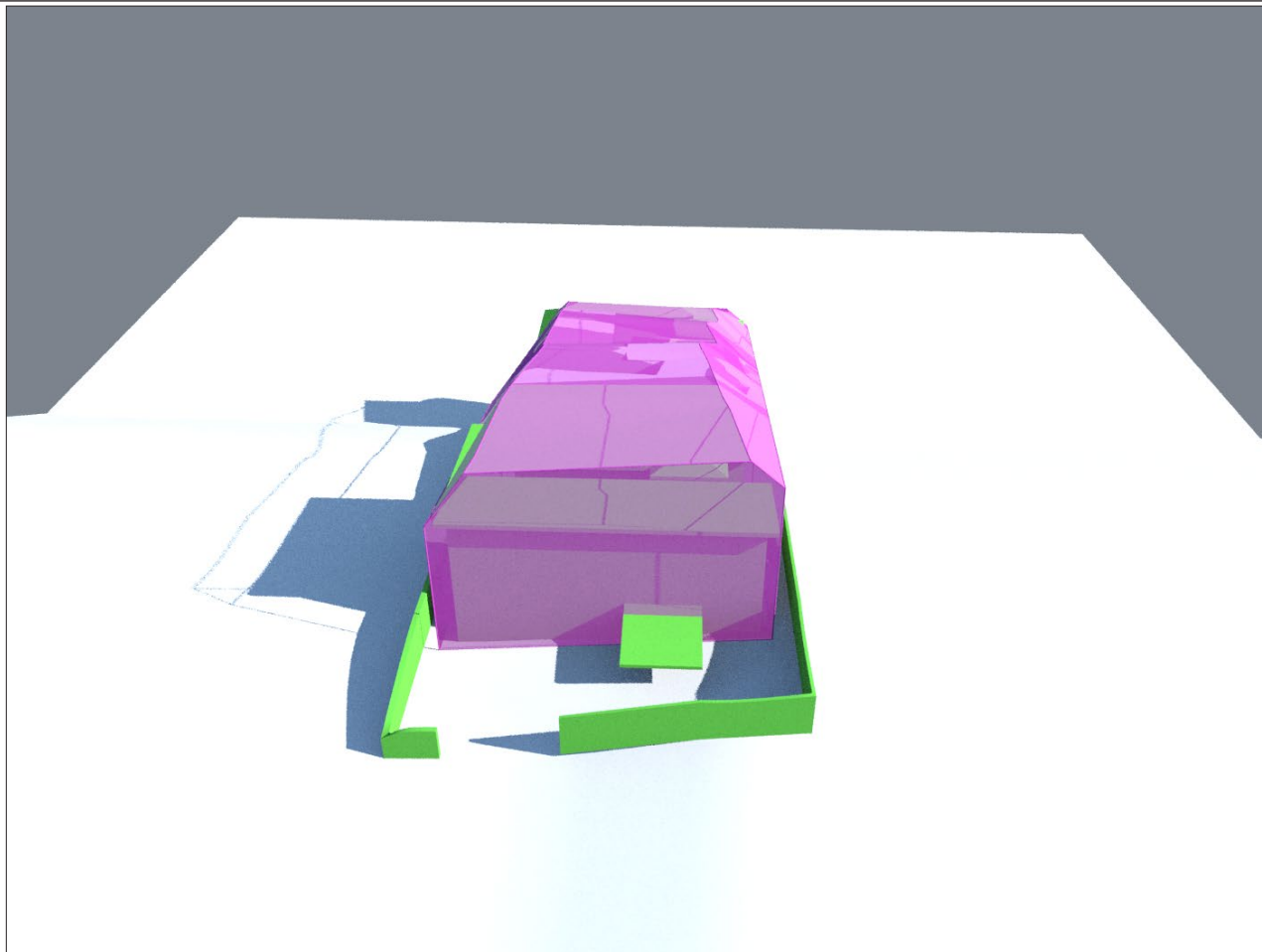
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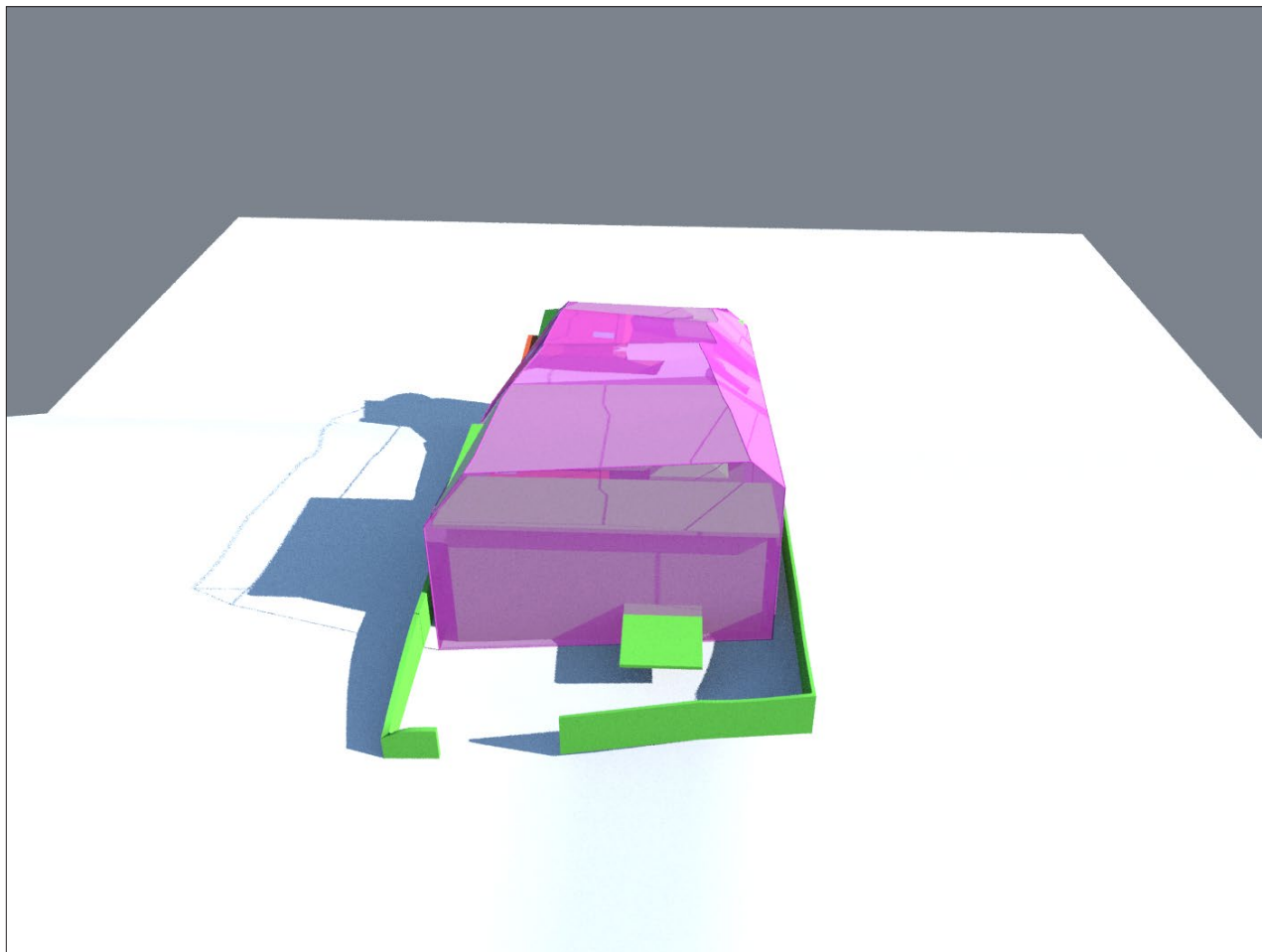
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SCALE	:	1:300 (A3)
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Existing



Proposed

- COLOUR KEY
- EXISTING DWELLING
 - PROPOSED ADDITIONS
 - DCP ENVELOPE MASSING

DCP Envelope
Rear Aerial View


TITLE
DCP Envelope Masing

PROJECT
PROPOSED ALTERATIONS
AND ADDITIONS
546 Pittwater Road, Manly

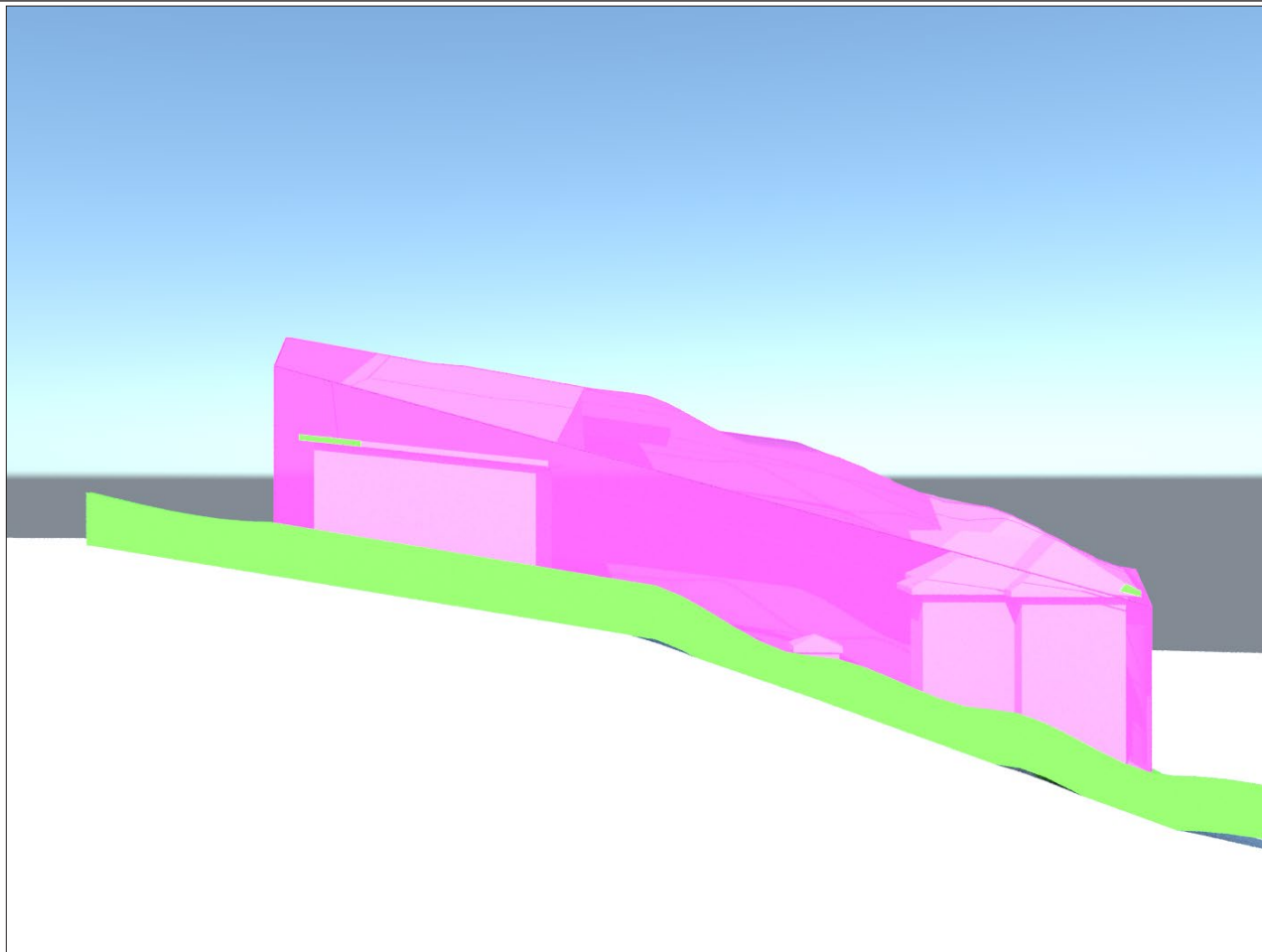
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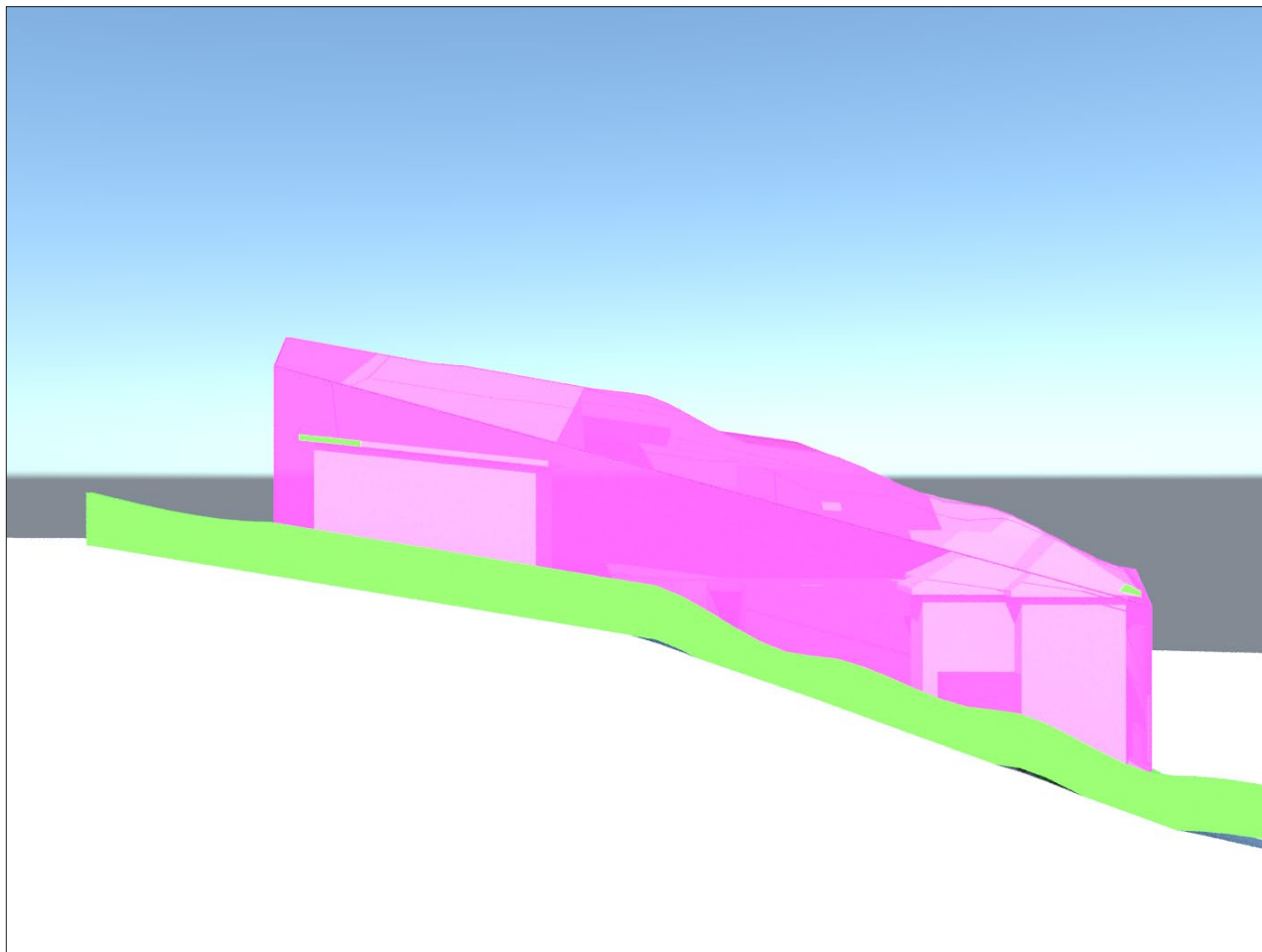
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Existing



Proposed

- COLOUR KEY
- EXISTING DWELLING
 - PROPOSED ADDITIONS
 - DCP ENVELOPE MASSING

DCP Envelope
North Elevation


TITLE
DCP Envelope Masing

PROJECT
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546 Pittwater Road, Manly

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