

SITE CALCULATIONS

Site area = 706m²

Landscape Open Space = 325m²
AS PER EXISTING

Impervious & Excluded Area = 381m²
AS PER EXISTING

Landscape Open Space = 46%
AS PER EXISTING

PROPOSED FIRST FLOOR ADDITION
ABOVE EXISTING HOME

OFF STREET PARKING
(2 SPACES PROVIDED)

STORMWATER MANAGEMENT

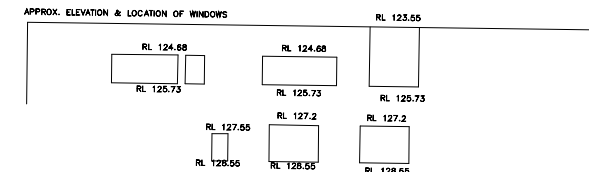
PROPOSED FIRST FLOOR ADDITION IS WITHIN THE EXISTING FOOTPRINT. NO INCREASE IN STORMWATER RUN-OFF WILL BE CREATED. FIRST FLOOR ADDITION TO HAVE SPREADERS ONTO LOWER ROOFS AND FLOW INTO STREET GUTTER VIA EXISTING STORMWATER CONNECTION.

- = Proposed Alterations
- = Existing / Impervious
- = To owners (proposed alterations)
- = Boundary Setbacks
- = Landscape Open Space

NOTES: 1. ONLY VISIBLE UTILITY SERVICES HAVE BEEN LOCATED. RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO EXCAVATION ON OR NEAR THE SITE.
2. BOUNDARIES HAVE BEEN DEFINED BY SURVEY TO IDENTIFICATION STANDARD. HOWEVER, IF ANY CONSTRUCTION IS PROPOSED IN PROXIMITY OF BOUNDARIES, IT IS RECOMMENDED THAT A FURTHER SURVEY BE REQUESTED FOR MARKING OF RELEVANT BOUNDARIES.
3. COVENANTS, RESTRICTIONS ON LAND USE (IF ANY) NOT INVESTIGATED.
4. ROOF LINES SHOWN ARE APPROXIMATE. SIGNIFICANT TREES (WHERE ACCESSIBLE) GREATER THAN 0.4 DIAM. SHOWN.
5. APPROX. CENTER LINE (OF SHOWN) MUST BE VERIFIED BY SUDNEY WATER.

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30 SPRINGVALE AVENUE FRENCHS FOREST



DETAILED SURVEYS
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CONSULTING SURVEYORS
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PHONE: 9913-9525
Email: jsurveyor@live.com.au

SURVEYOR REGISTERED UNDER
THE SURVEYING AND SPATIAL
INFORMATION ACT, 2002
Registration No.3861
J. McCreary

LOT 53 DP 225371
LEVELS TO AHD

G & J SZUDRICH

A1 REDUCTION RATIO: 1:100
SURVEY J.McC
DRAWN A1 J.McC
REFERENCE 025/22

DRAWING No.
1

18 APR 2022

Client Name :	GREG & JACKIE SZUDRICH	Drawing Title :	NOTIFICATION PLANS
Client Address :	30 SPRINGVALE AVENUE, FRENCHS FOREST 2008	Drawing No. :	25
Client No. :	SZU 0322 01 DA	Plot Date :	Friday, 20 May 2022
Project Name :	First Floor Addition	Drawings	NOT TO SCALE
PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au		A.B.N 92 003 918 116 • A.C.N 003 918 116 BUILDER LICENCE • 60007C A DIVISION OF TAG TEAM CONSTRUCTIONS PTY LTD	
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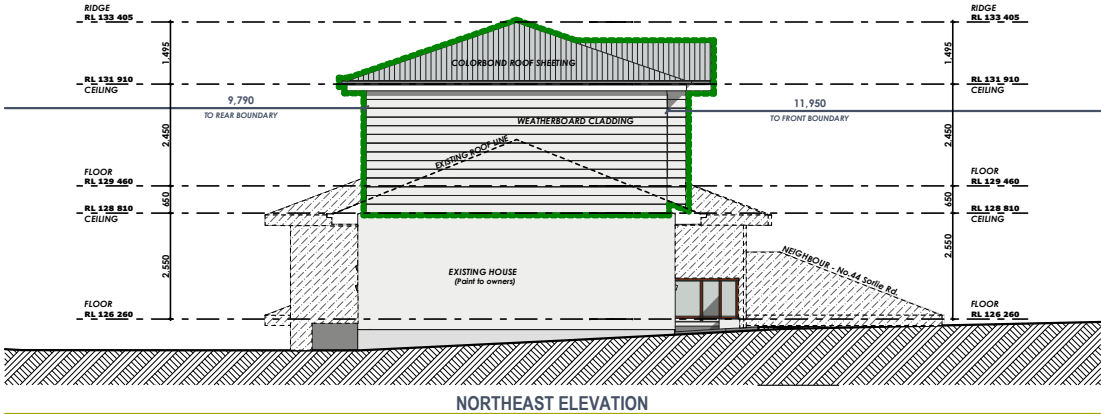
Client Name :	GREG & JACKIE SZUDRICH	Drawing Title :	NOTIFICATION PLANS	
Client Address :	30 SPRINGVALE AVENUE, FRENCHS FOREST	Drawing No. :	26	DRAWINGS
Client No. :	SZU 0322 01 DA	Plot Date :	Friday, 20 May 2022	NOT TO SCALE
Project Name :	First Floor Addition	PO BOX 1183 • DEE WHY 2099 TEL : 9938 5611 FAX : 9938 5911 EMAIL : sales@yourstyle.com.au WEB : www.yourstyle.com.au		
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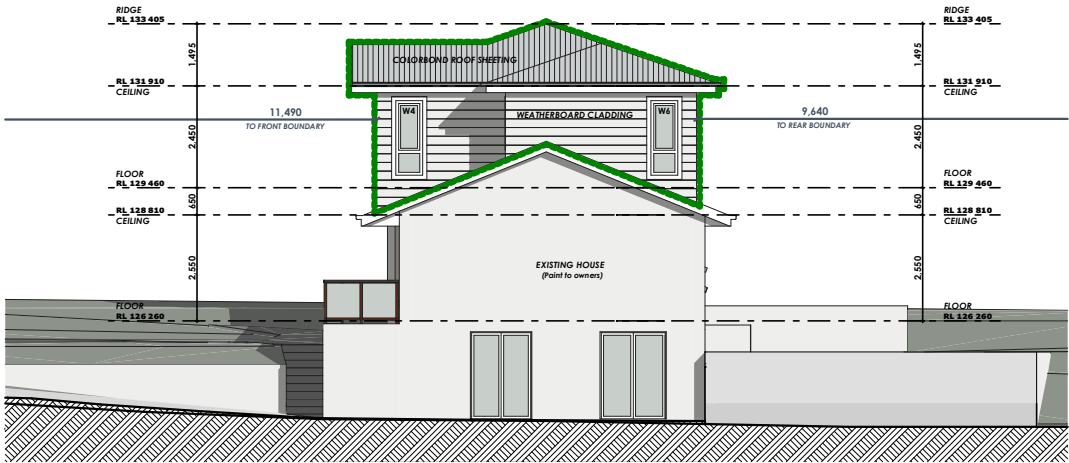
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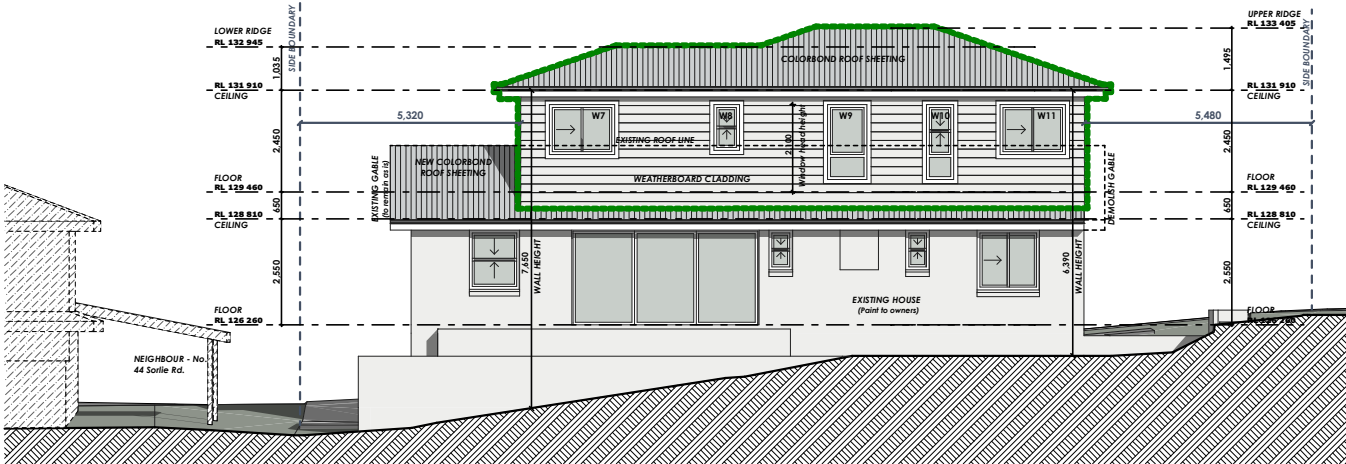
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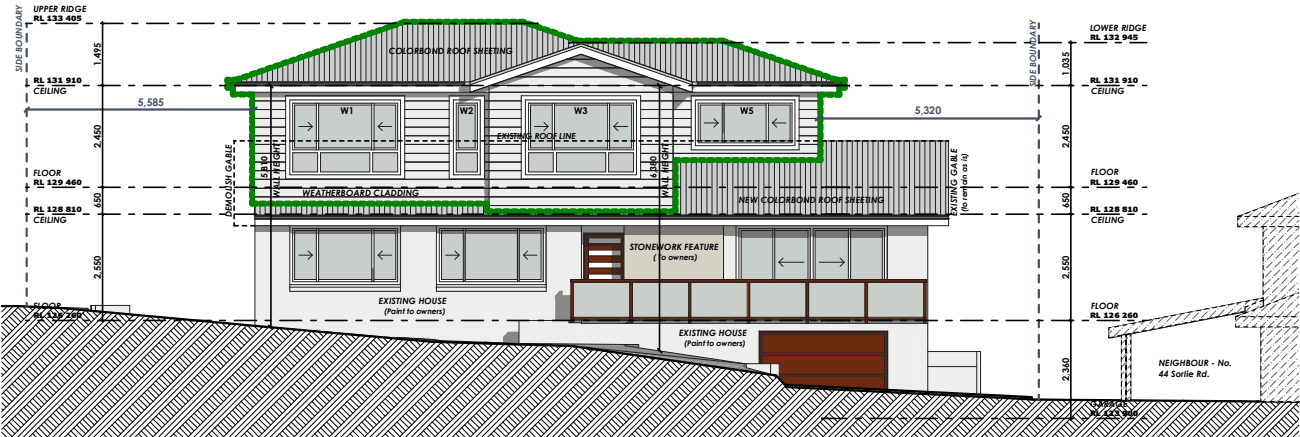
NORTHEAST ELEVATION



SOUTHWEST ELEVATION



SOUTHEAST ELEVATION (REAR ELEVATION)



NORTHWEST ELEVATION (FRONT ELEVATION)