



CDArchitects

1+3
CAREEL HEAD ROAD,
AVALON BEACH
NSW, AUSTRALIA

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DESIGN INTENT STATEMENT

Situated in the picturesque locale of Avalon Beach, our mixed-use development endeavors to redefine coastal living by seamlessly integrating community-centric amenities with modern design sensibilities. At its heart, the project features a dynamic blend of outdoor and indoor childcare facilities, alongside retail spaces and Dan Murphy's occupying the ground floor.

To address parking needs efficiently, the development encompasses both basement and ground-level parking facilities, ensuring convenience for residents and visitors alike.

Architecturally, the project embraces a distinctive aesthetic characterized by a harmonious blend of curved facades, sweeping arches, and angular features. Contemporary tones and carefully curated color palettes imbue the structure with a sense of sophistication, while materials such as white brick and concrete contribute to its timeless appeal.

The design ethos of the development extends beyond mere aesthetics to prioritize functionality and sustainability. Each aspect of the design is meticulously crafted to optimize natural light, ventilation, and spatial efficiency, enhancing the overall living experience for residents.

Landscaping elements play a pivotal role in softening the built environment and fostering a connection with nature. Green spaces are strategically integrated throughout the development, providing residents with serene outdoor retreats and contributing to the overall ecological sensitivity of the project.

Our vision for the Avalon Beach Mixed-Use Development is to create a vibrant and inclusive community hub that not only meets the needs of its residents but also enriches the fabric of the surrounding neighborhood. By blending innovative design with a commitment to sustainability, we aim to set a new benchmark for contemporary coastal living in this idyllic setting.



References

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Nominated Architect: Lijana Emilova 7887, ABN 24 243 205 327

A 15-07-2024 DA Submission



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**Australian
Institute of
Architects**

Project
**PROPOSED RESIDENTIAL
DEVELOPMENT**
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
PROJECT DESCRIPTION

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1001 A

Drawn by Checked by Approved by Date
CS RJ LE JULY, 2024

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LEGEND

-  TREES TO BE RETAINED
-  TREES TO BE REMOVED
-  TREES TPZ

A 15/07/2024 DA SUBMISSION



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Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
SITE PLAN

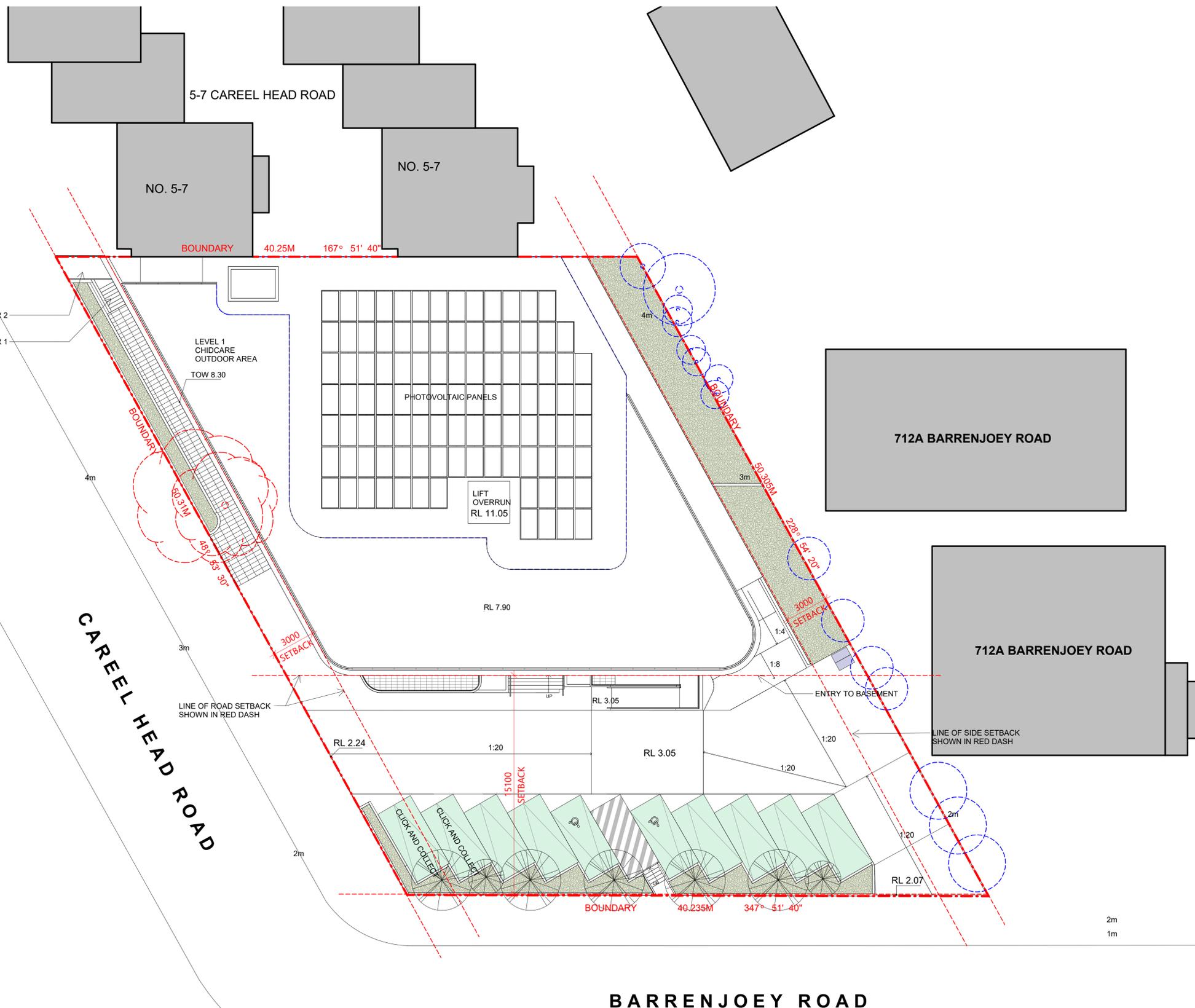
Project Stage
DA Submission

Job no. Drawing no. Rev.

J23587D DA1005 A

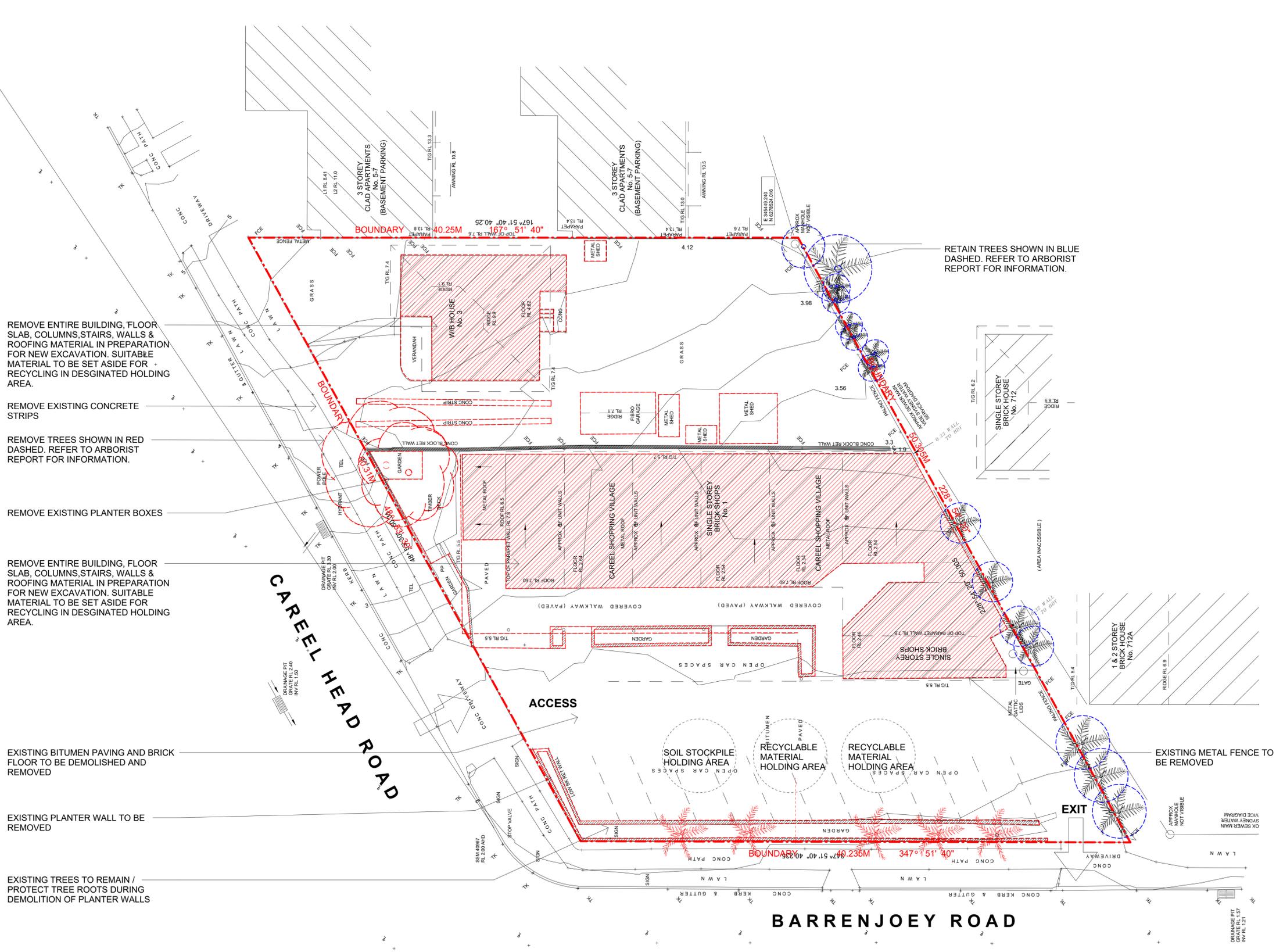
Drawn by Checked by Approved by Date

GH RJ ZC JULY 2024



BARRENJOEY ROAD

1 DEMOLITION PLAN
1 : 150 at A1 1 : 300 at A3



REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, STAIRS, WALLS & ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HOLDING AREA.

REMOVE EXISTING CONCRETE STRIPS

REMOVE TREES SHOWN IN RED DASHED. REFER TO ARBORIST REPORT FOR INFORMATION.

REMOVE EXISTING PLANTER BOXES

REMOVE ENTIRE BUILDING, FLOOR SLAB, COLUMNS, STAIRS, WALLS & ROOFING MATERIAL IN PREPARATION FOR NEW EXCAVATION. SUITABLE MATERIAL TO BE SET ASIDE FOR RECYCLING IN DESIGNATED HOLDING AREA.

EXISTING BITUMEN PAVING AND BRICK FLOOR TO BE DEMOLISHED AND REMOVED

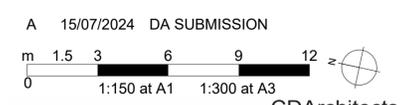
EXISTING PLANTER WALL TO BE REMOVED

EXISTING TREES TO REMAIN / PROTECT TREE ROOTS DURING DEMOLITION OF PLANTER WALLS

RETAIN TREES SHOWN IN BLUE DASHED. REFER TO ARBORIST REPORT FOR INFORMATION.

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- LEGEND**
- ⊖ TREES TO BE RETAINED
 - ⊖ TREES TO BE REMOVED
 - ⊖ TREES TPZ



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Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
Drawing Title
DEMOLITION PLAN

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA1006	A

Drawn by: GH
Checked by: RJ
Approved by: ZC
Date: JULY, 2024

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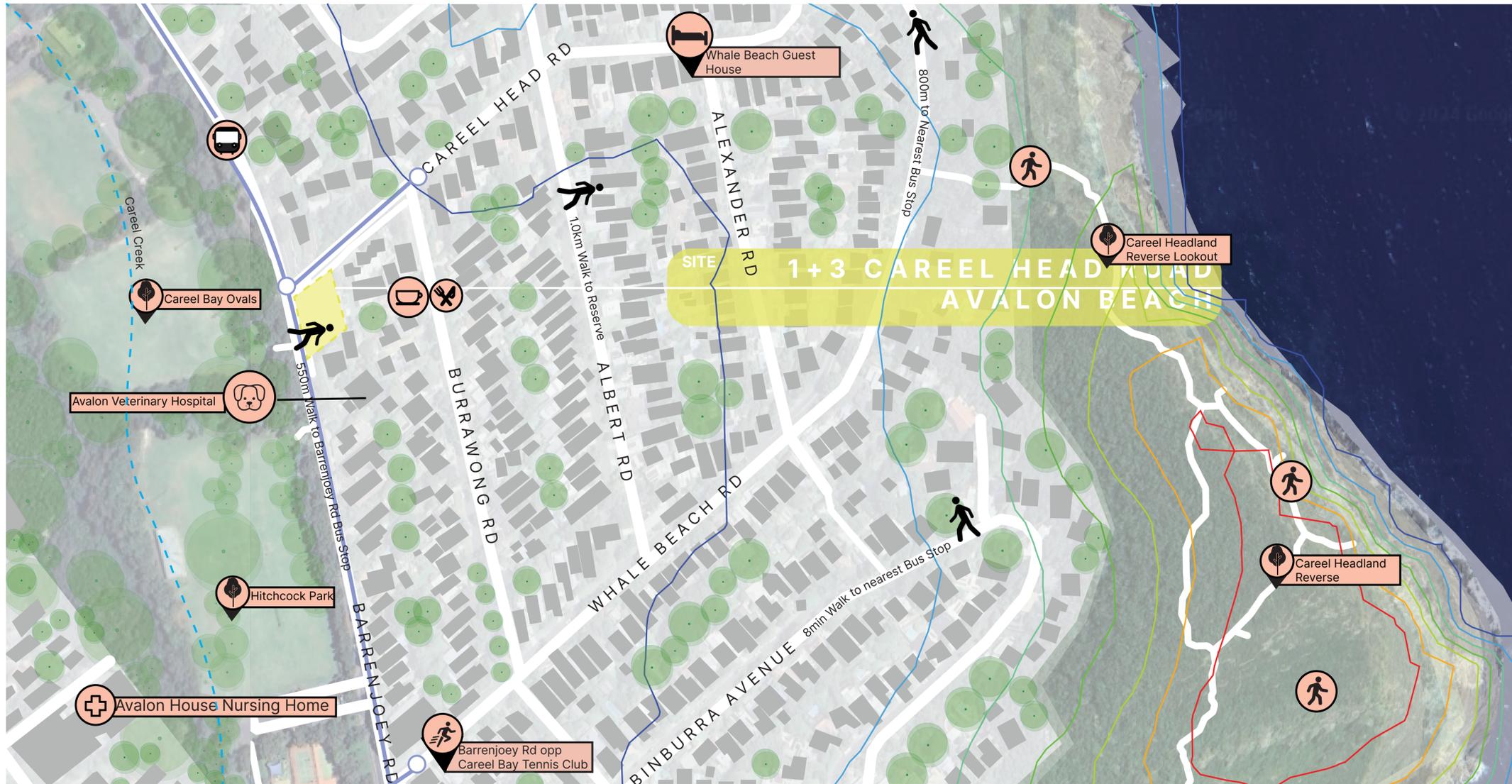
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1011 A

Drawn by Checked by Approved by Date
 CS RJ LE JULY, 2024

SITE ANALYSIS - TRANSPORT, AMENITY & NETWORK ANALYSIS

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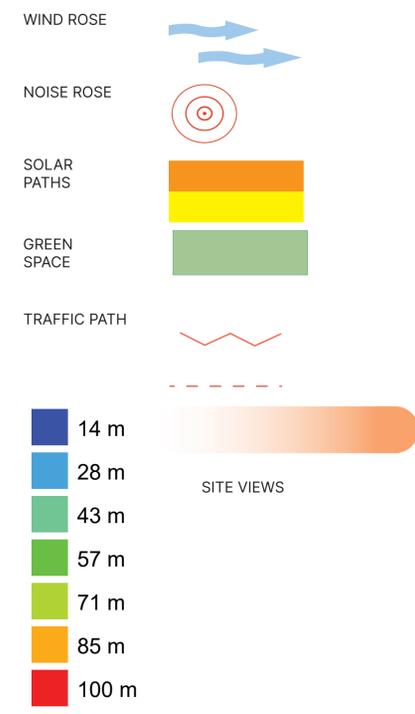
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SITE ANALYSIS PLAN

Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
SITE ANALYSIS PLAN

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA1012	A

Drawn by	Checked by	Approved by	Date
CS	RJ	LE	JULY, 2024

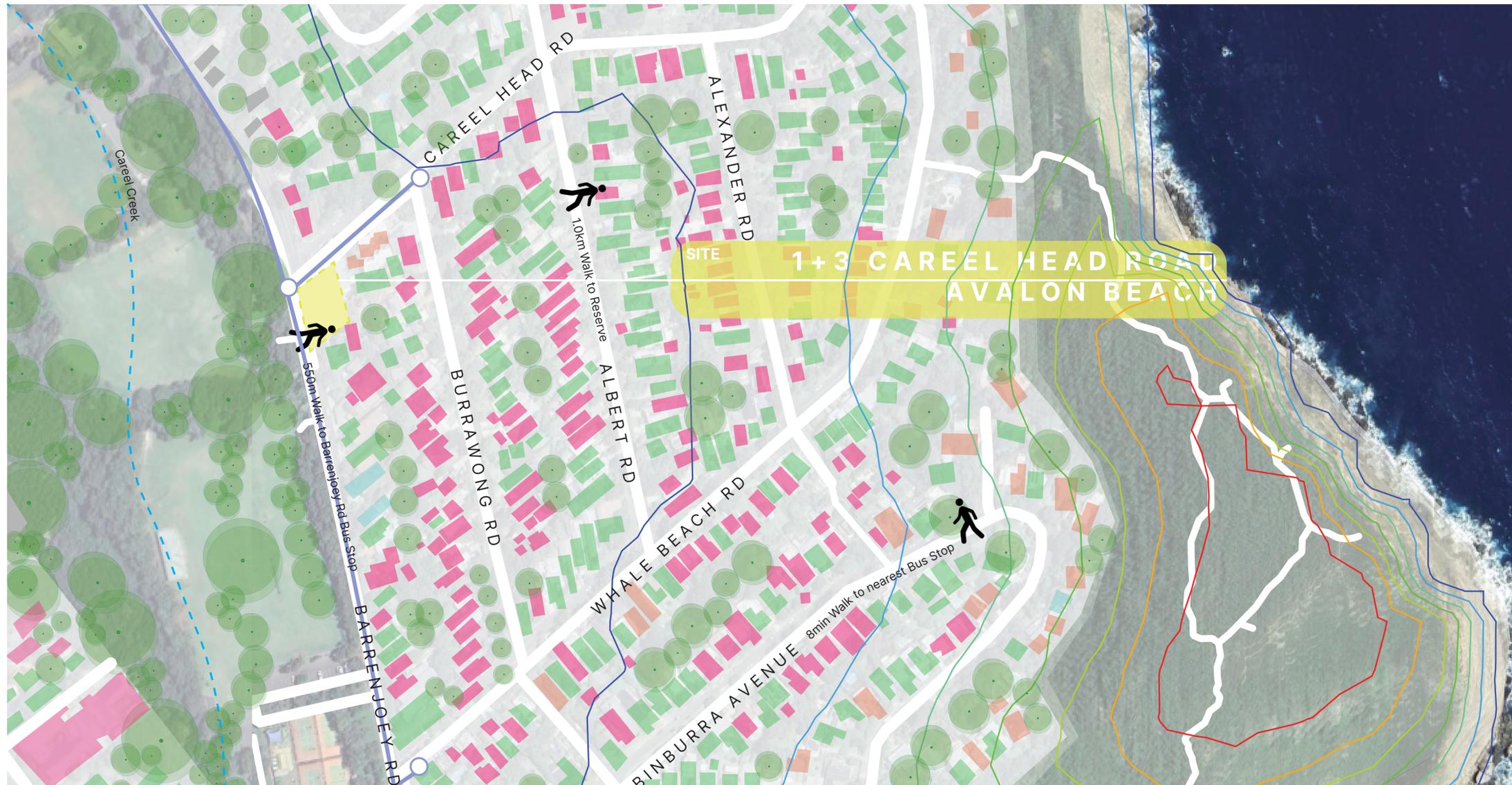
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SITE ANALYSIS - BUILT FORM

Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
SITE ANALYSIS - BUILT FORM

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1013 A

Drawn by Checked by Approved by Date
 CS RJ LE JULY, 2024

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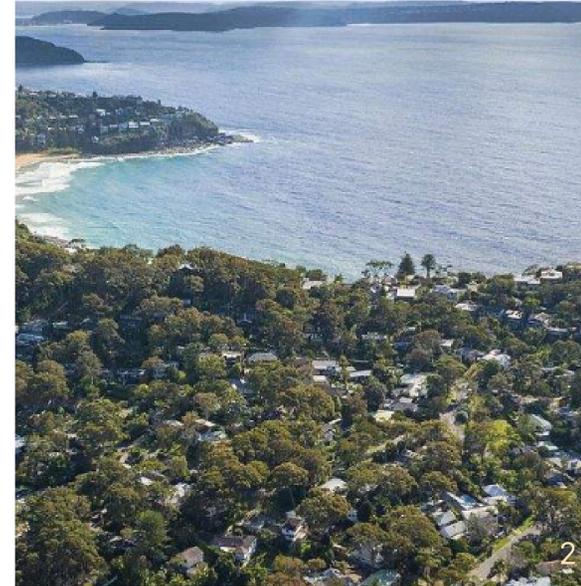
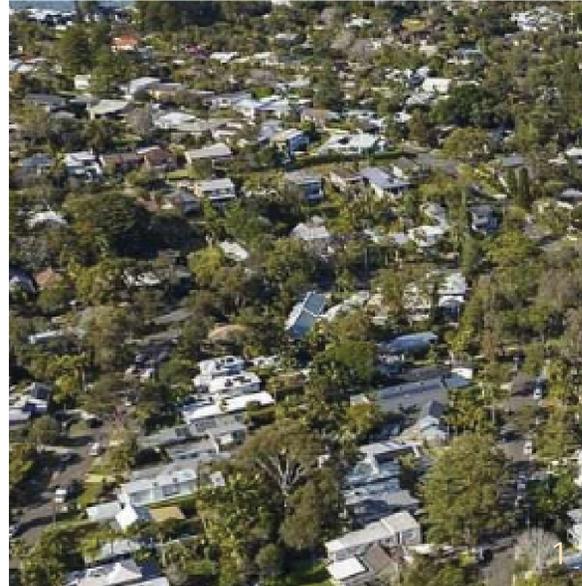
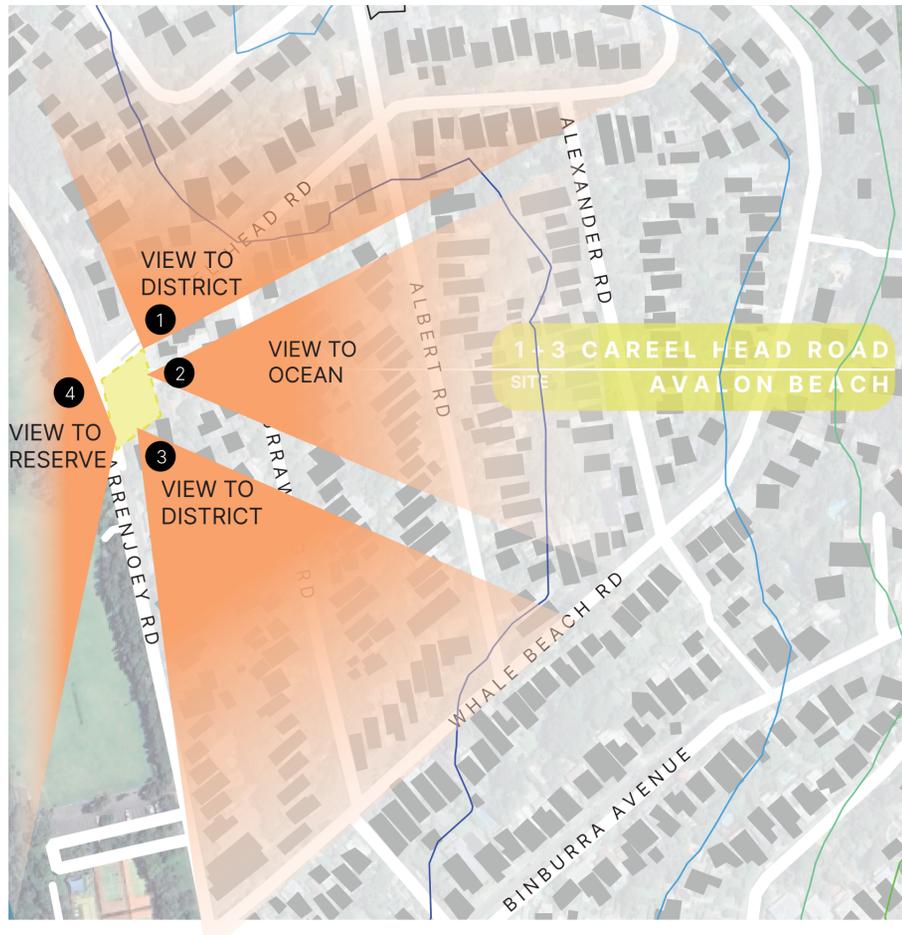
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PROPOSED SITE VIEWS

Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
SITE ANALYSIS- ISOMETRIC VIEWS

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA1014	A

Drawn by	Checked by	Approved by	Date
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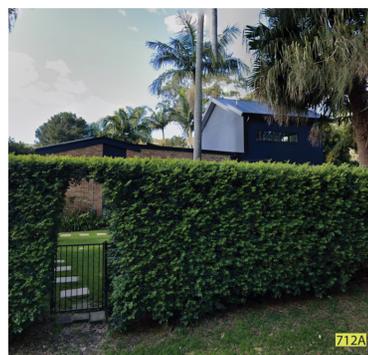
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BARRENJOEY RD



CAREEL HEAD RD



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CAREEL HEAD RD



BURAWONG RD

SITE ANALYSIS- STREETScape

Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107
 Drawing Title
SITE ANALYSIS- EXISTING STREETScape
 Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA1015 A
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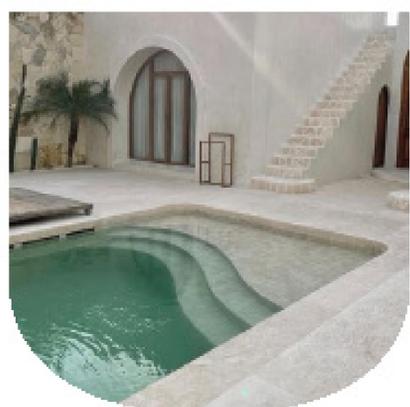
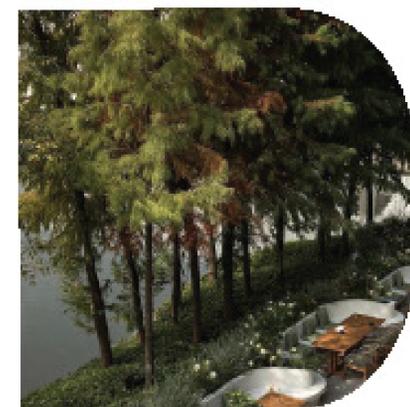
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Project
PROPOSED RESIDENTIAL DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107
 Drawing Title
SITE ANALYSIS- DESIGN SCHEME/ VISION
 Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA 1016 A
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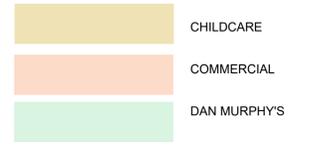
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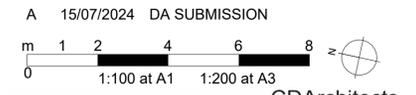


PARKING LEGEND



CAR PARKING SCHEDULE PITTWATER DCP 2021

	REQ	GR	B1	-
GROUND FLOOR - DAN MURPHY'S (500.04m²)				
RETAIL PREMISES 1 SPACE / 30m²	16.66	8	9	
BASEMENT - RETAIL SHOPS (182m²)				
RETAIL PREMISES 1 SPACE / 30m²	6.1	-	7	
CHILDCARE (60 KIDS) 1 SPACE / 4 KIDS (TOTAL 60 KIDS)	15	-	15	
TOTAL ON GROUND AND BASEMENT 1	-	8	31	
GRAND TOTAL	37.76		39	-
MOTORBIKE	1	1	-	
BYCYCLE	1	1	-	



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Australian Institute of Architects

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title
BASEMENT 1 FLOOR PLAN

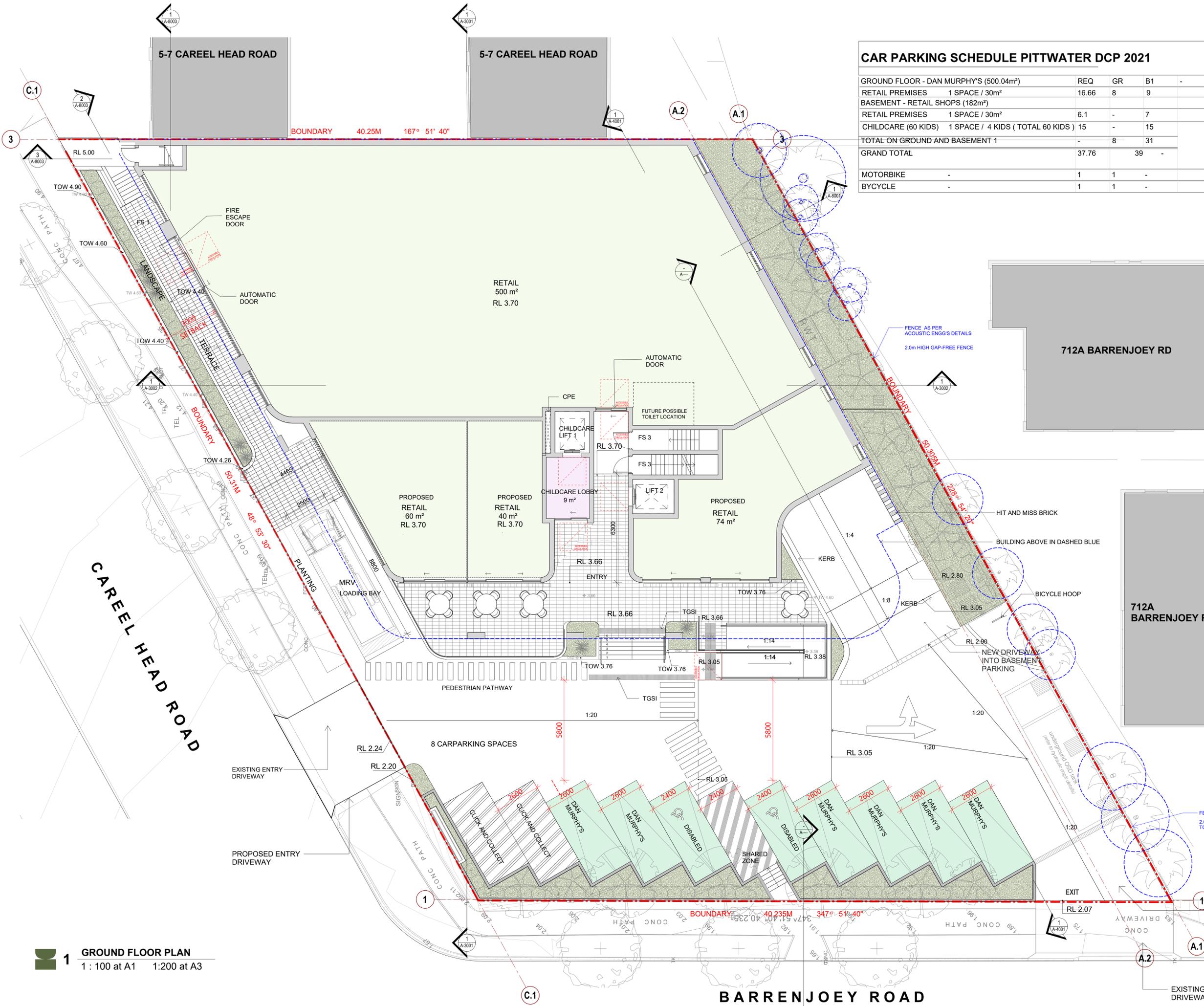
Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1100 A

Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024

1 BASEMENT 1
 1: 100 at A1 1:200 at A3

BARRENJOEY ROAD



CAR PARKING SCHEDULE PITTWATER DCP 2021

GROUND FLOOR - DAN MURPHY'S (500.04m ²)	REQ	GR	B1	-
RETAIL PREMISES 1 SPACE / 30m ²	16.66	8	9	
BASEMENT - RETAIL SHOPS (182m ²)				
RETAIL PREMISES 1 SPACE / 30m ²	6.1	-	7	
CHILDCARE (60 KIDS) 1 SPACE / 4 KIDS (TOTAL 60 KIDS)	15	-	15	
TOTAL ON GROUND AND BASEMENT 1	-	8	31	
GRAND TOTAL	37.76		39	-

MOTORBIKE	-	1	1	-
BYCYCLE	-	1	1	-

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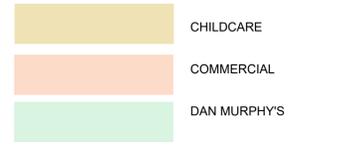
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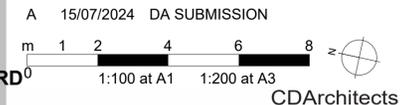
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Nominated Architect: Lijana Emilova 7887, ABN 24 243 205 327

PARKING LEGEND



LEGEND



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Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

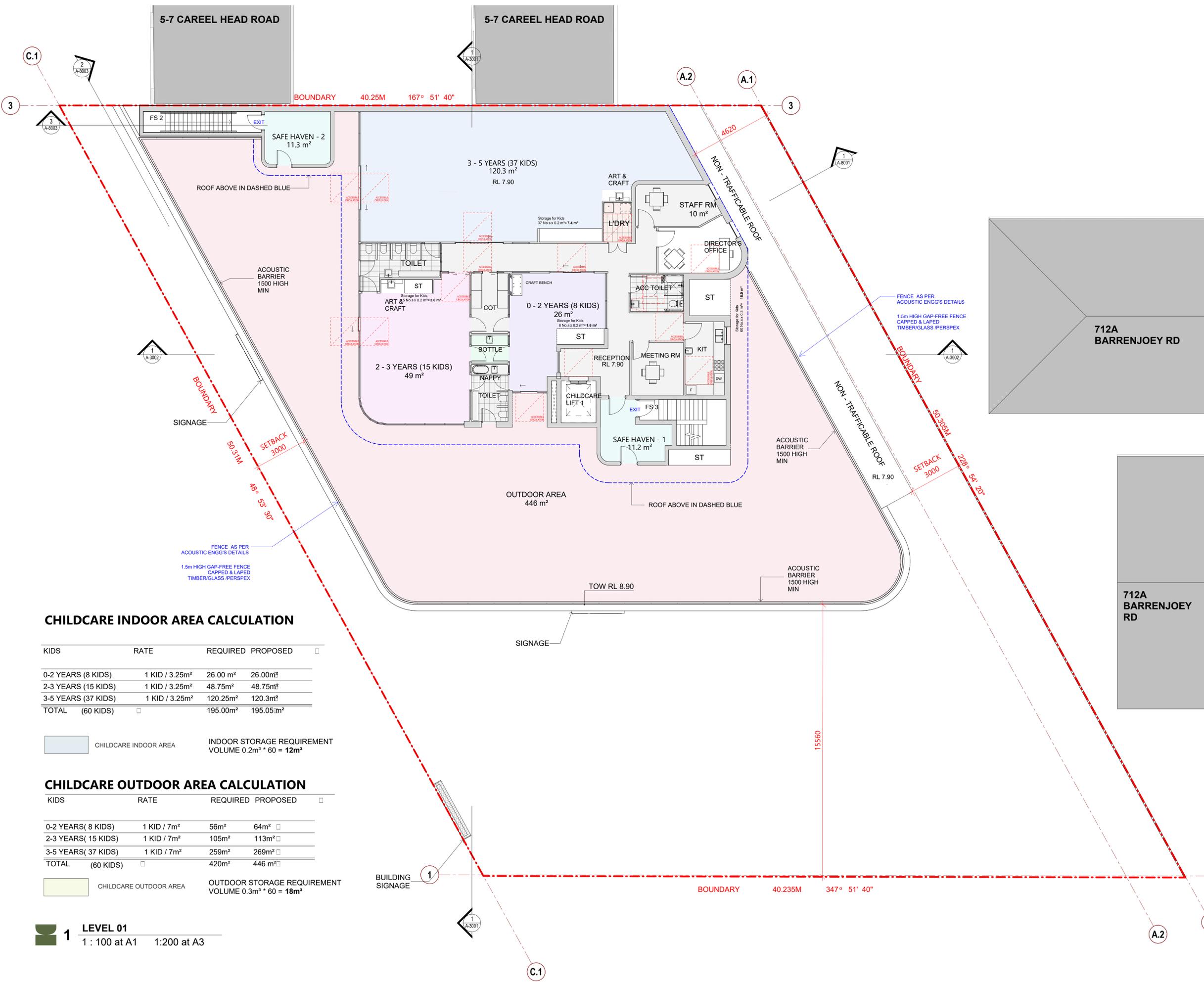
Drawing Title
GROUND FLOOR PLAN

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1101 A

Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024

1 GROUND FLOOR PLAN
 1: 100 at A1 1:200 at A3



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CHILDCARE INDOOR AREA CALCULATION

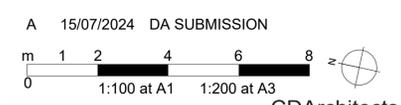
KIDS	RATE	REQUIRED	PROPOSED
0-2 YEARS (8 KIDS)	1 KID / 3.25m²	26.00 m²	26.00m²
2-3 YEARS (15 KIDS)	1 KID / 3.25m²	48.75m²	48.75m²
3-5 YEARS (37 KIDS)	1 KID / 3.25m²	120.25m²	120.3m²
TOTAL (60 KIDS)		195.00m²	195.05m²

CHILDCARE INDOOR AREA INDOOR STORAGE REQUIREMENT VOLUME 0.2m³ * 60 = 12m³

CHILDCARE OUTDOOR AREA CALCULATION

KIDS	RATE	REQUIRED	PROPOSED
0-2 YEARS(8 KIDS)	1 KID / 7m²	56m²	64m²
2-3 YEARS(15 KIDS)	1 KID / 7m²	105m²	113m²
3-5 YEARS(37 KIDS)	1 KID / 7m²	259m²	269m²
TOTAL (60 KIDS)		420m²	446 m²

CHILDCARE OUTDOOR AREA OUTDOOR STORAGE REQUIREMENT VOLUME 0.3m³ * 60 = 18m³



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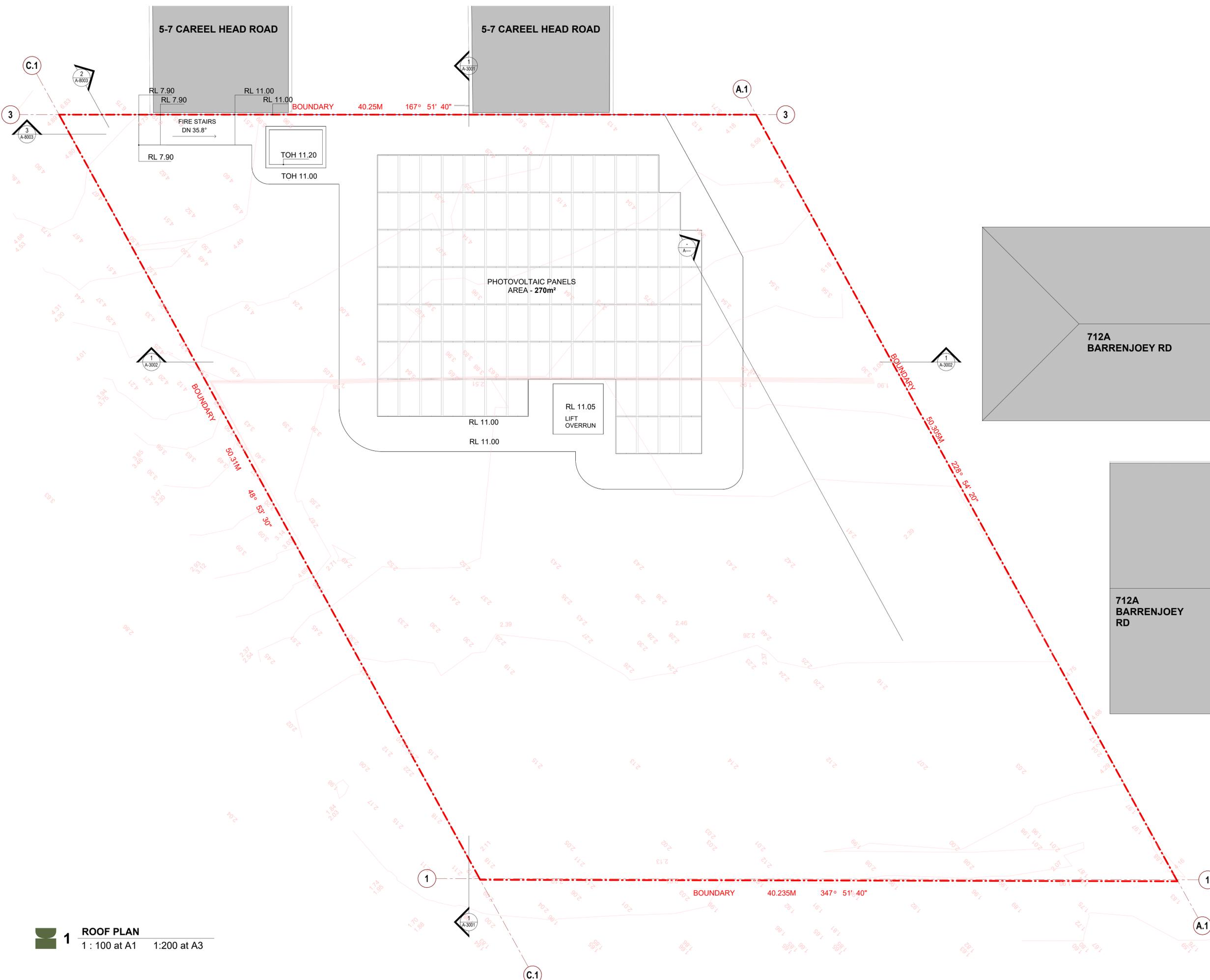
Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title
LEVEL 01 FLOOR PLAN

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1102 A

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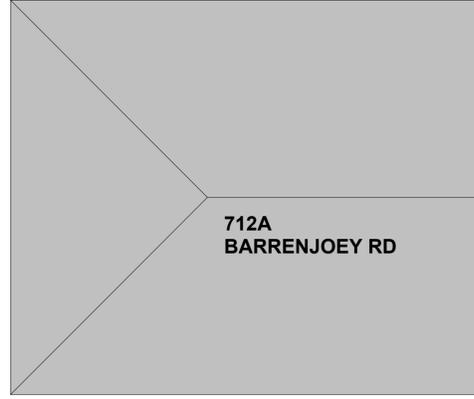
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m 1 2 4 6 8

0 1:100 at A1 1:200 at A3



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1 ROOF PLAN
 1: 100 at A1 1:200 at A3

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
ROOF PLAN

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA1103 A

Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024



1 NORTH ELEVATION 1 - CAREEL HEAD ROAD
 1 : 100 at A1 1:200 at A3



2 NORTH ELEVATION 2 - CAREEL HEAD ROAD
 1 : 100 at A1 1:200 at A3

References

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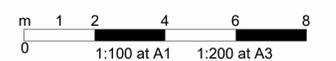
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MATERIAL LEGEND

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
CF3	CONCRETE FINISH - SMOOTH
CG	CLEAR GLASS
CL1	COLORBOND VERTICAL CLADDING - SMOOTH -COLOUR BASALT
PS	PERSPEX
RP1	RENDERED PAINT - DULUX NAPKIN WHITE
RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
ST1	STONE CLADDING

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Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
BUILDING ELEVATION NORTH, EAST

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA2001 A
 Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024



1 WEST ELEVATION - BARRENJOEY ROAD
1 : 100 at A1 1:200 at A3

References

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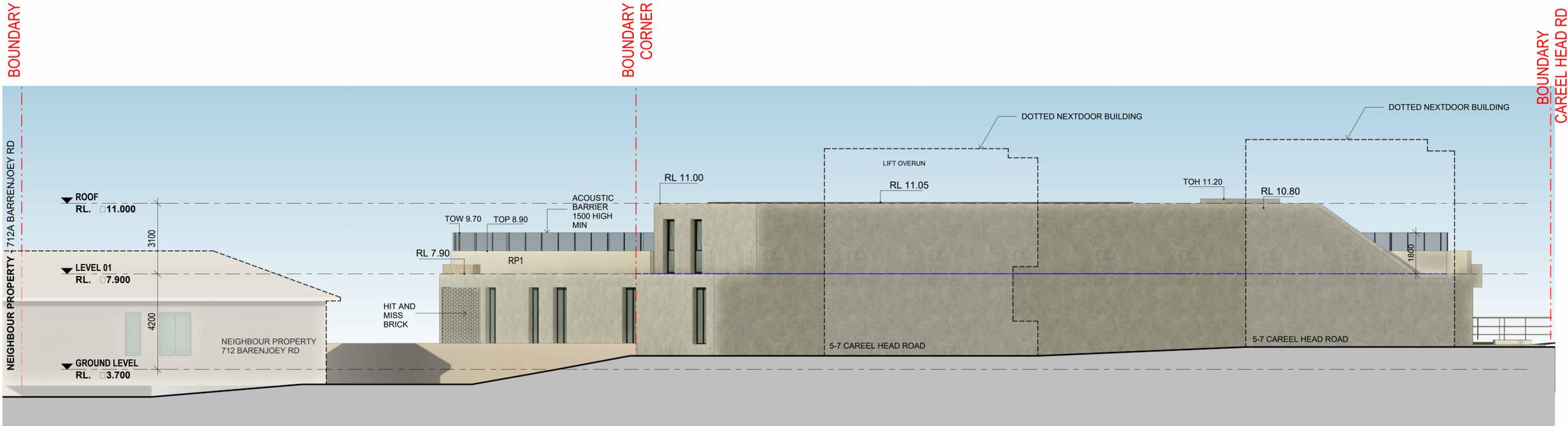
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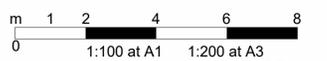
MATERIAL LEGEND

AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
CF3	CONCRETE FINISH - SMOOTH
CG	CLEAR GLASS
CL1	COLORBOND VERTICAL CLADDING - SMOOTH - COLOUR BASALT
PS	PERSPEX
RP1	RENDERED PAINT - DULUX NAPKIN WHITE
RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
ST1	STONE CLADDING



2 EAST ELEVATION
1 : 100 at A1 1:200 at A3

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Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
BUILDING ELEVATION - SOUTH, WEST

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA2002 A

Drawn by Checked by Approved by Date
GH RJ ZC JULY, 2024



1 SOUTH ELEVATION A
1 : 100 at A1 1:200 at A3



2 SOUTH ELEVATION B
1 : 100 at A1 1:200 at A3

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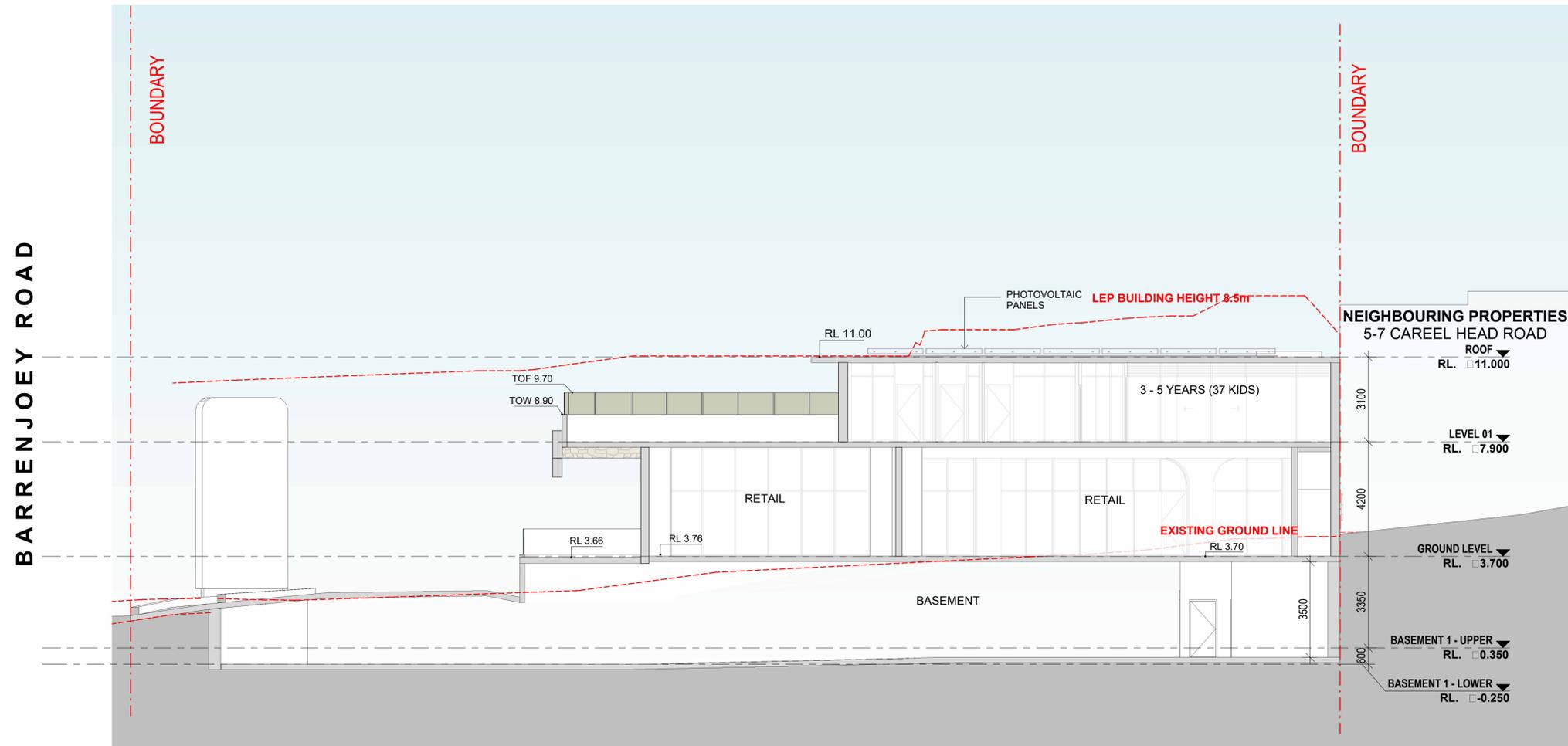
Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
BUILDING ELEVATION SOUTH, EAST

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA2003	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024



1 SECTION A
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Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
SECTION A

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA3001	A

Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024

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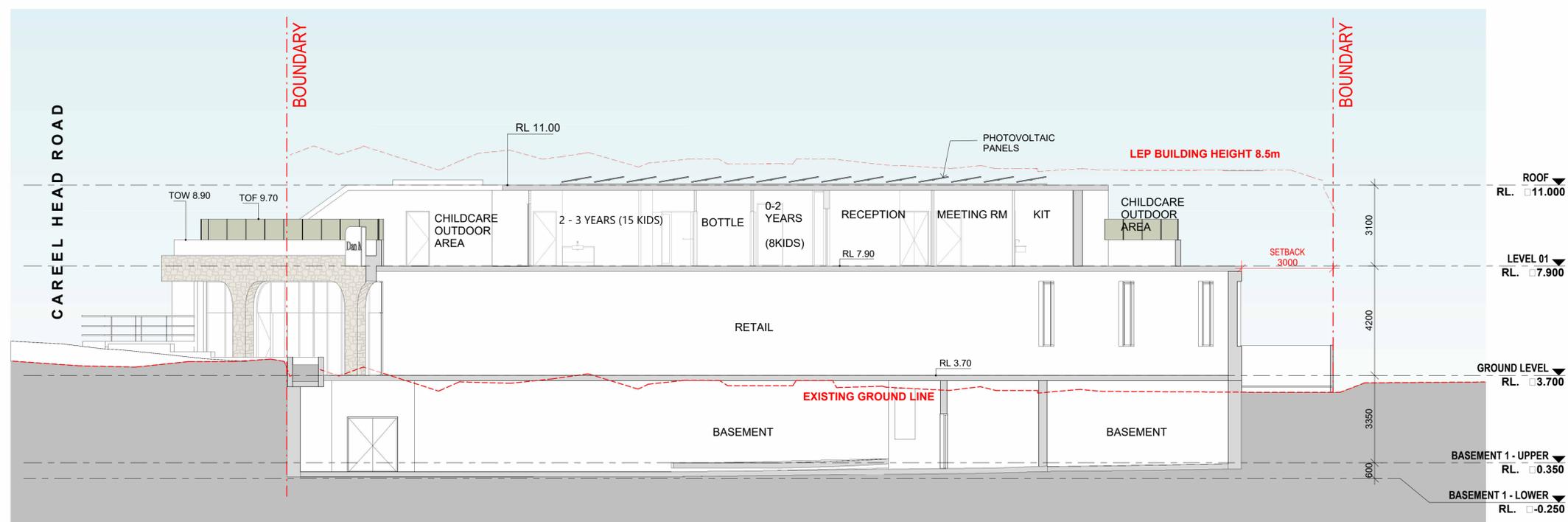
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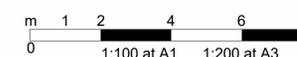
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1 SECTION B
1 : 100 at A1 1:200 at A3

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DEVELOPMENT**
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
SECTION B

Project Stage
DA Submission

Job no. Drawing no. Rev.

J23587D DA3002 A

Drawn by Checked by Approved by Date

GH RJ ZC JULY 2024

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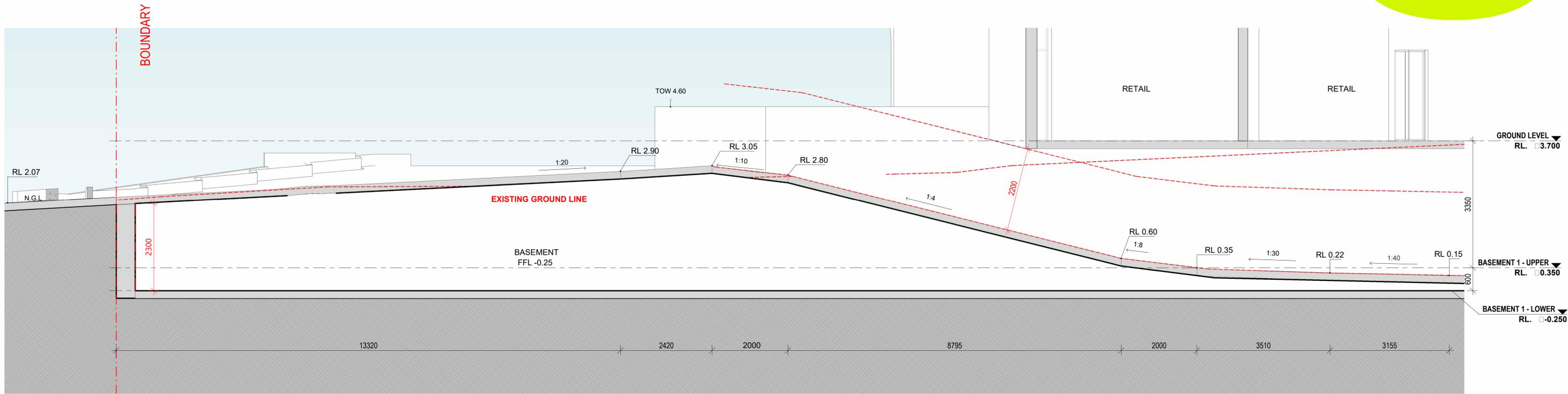
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1 RAMP SECTION
 1:50 at A1 1:200 at A3

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0 1 2 4 6 8 m
 1:100 at A1 1:200 at A3

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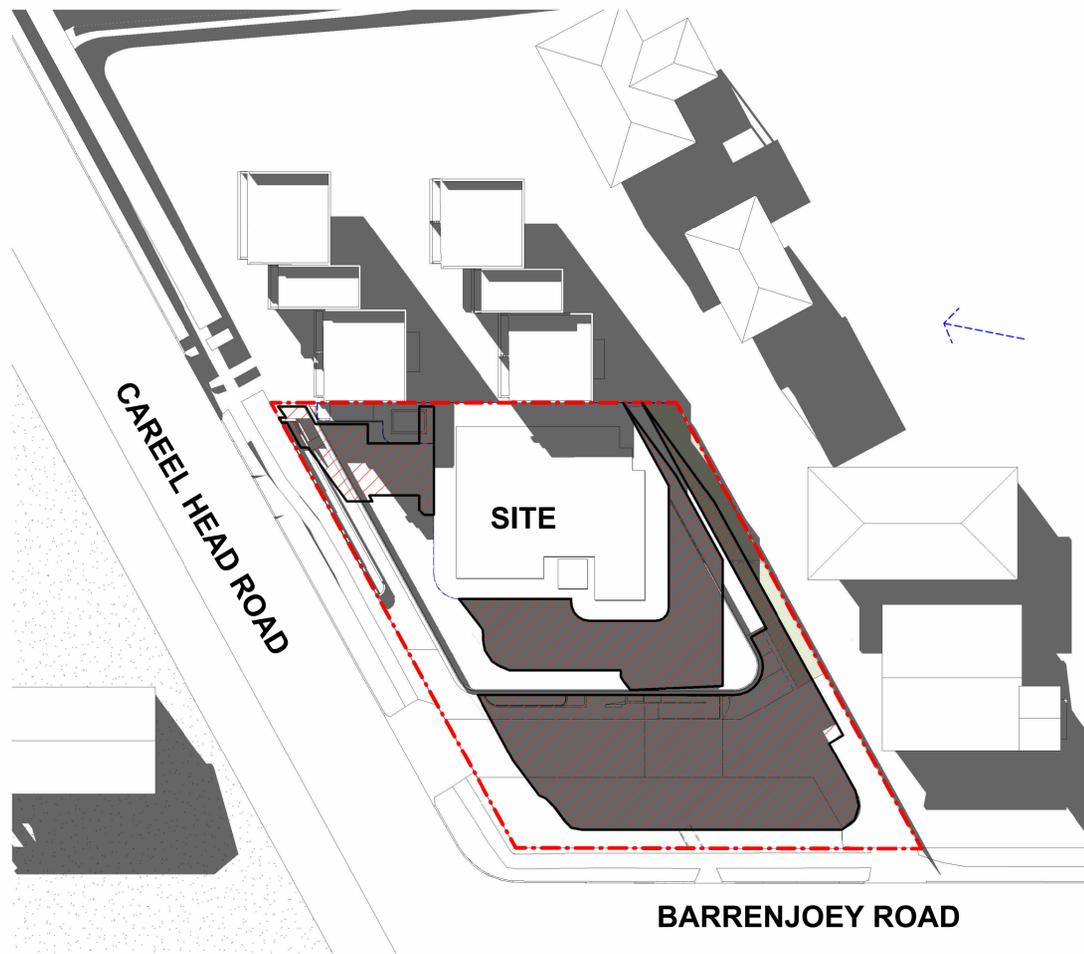
Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
RAMP SECTION

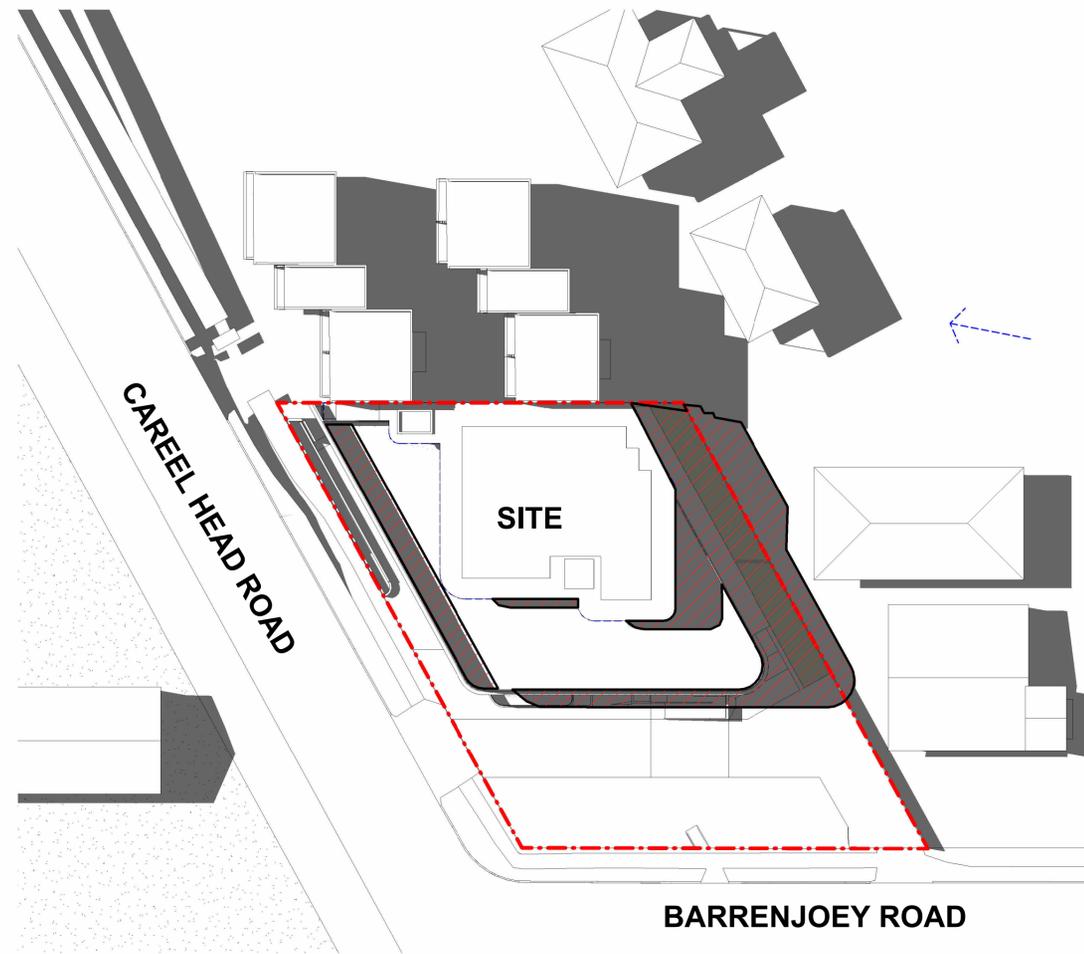
Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA4001	A

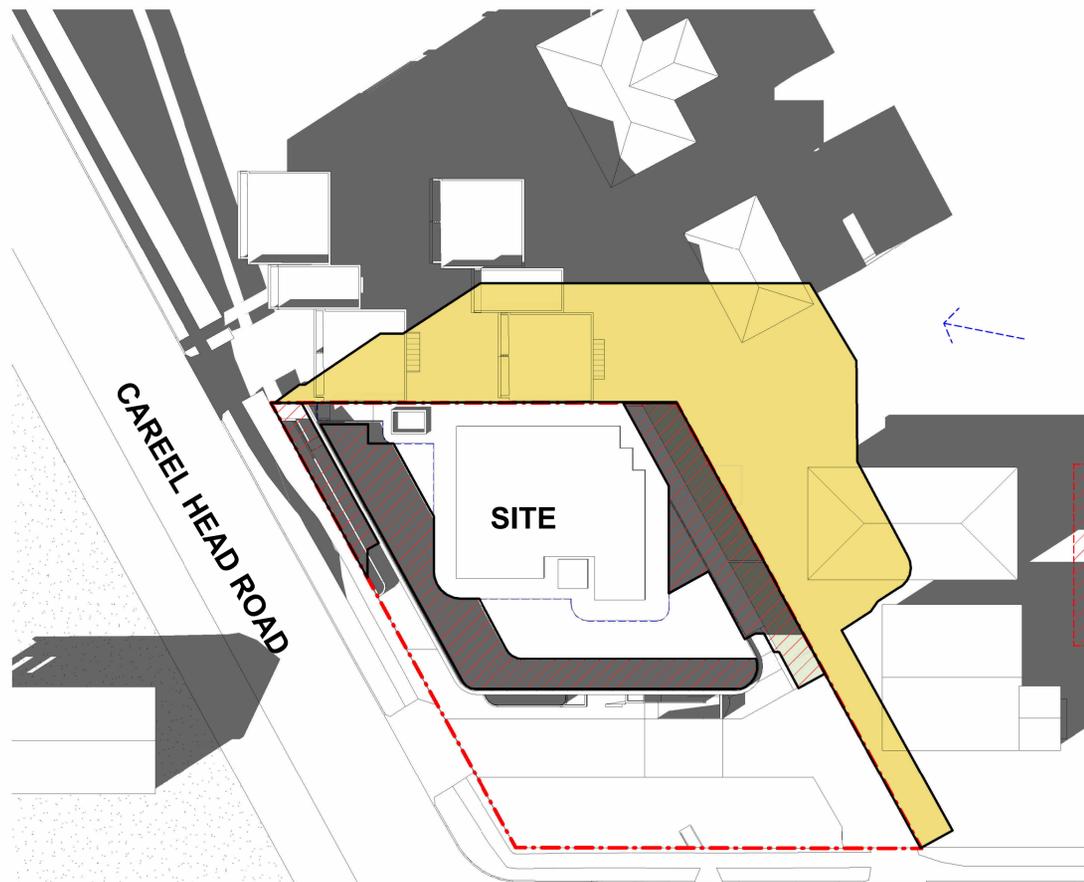
Drawn by	Checked by	Approved by	Date
GH	RJ	ZC	JULY, 2024



1 SHADOW DIAGRAM - 09am, 21 JUNE
1 : 350



2 SHADOW DIAGRAM - 12PM, 21 JUNE
1 : 350



3 SHADOW DIAGRAM - 15pm, 21 JUNE
1 : 350

References

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Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

SHADOW DIAGRAM LEGEND

	SHADOWS CAST BY EXISTING SURROUNDING BUILDING ONLY
	SHADOWS CAST BY PROPOSED BUILDING
	SHADOWS CAST BY PROPOSED BUILDING ONLY

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Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title
SHADOW DIAGRAMS

Project Stage
DA Submission

Job no. Drawing no. Rev.

J23587D DA6001 A

Drawn by Checked by Approved by Date

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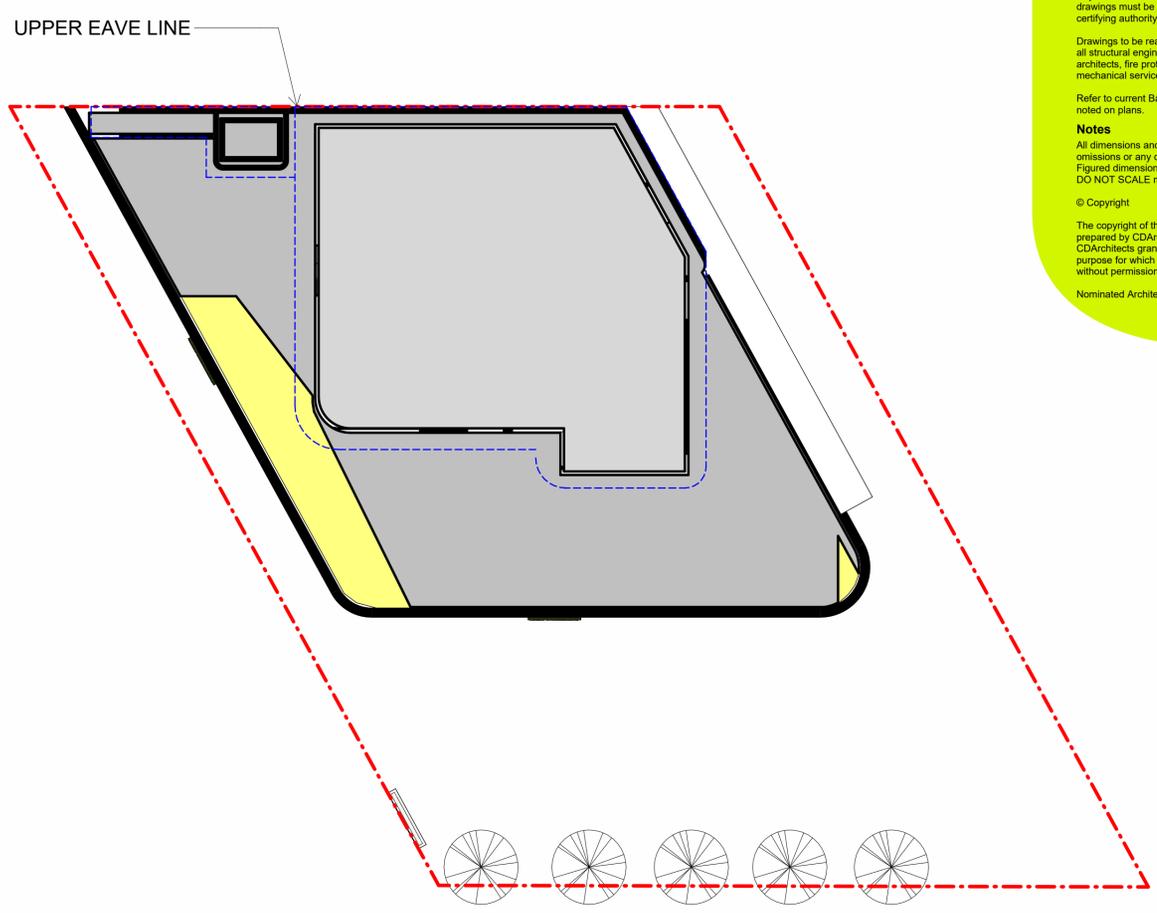
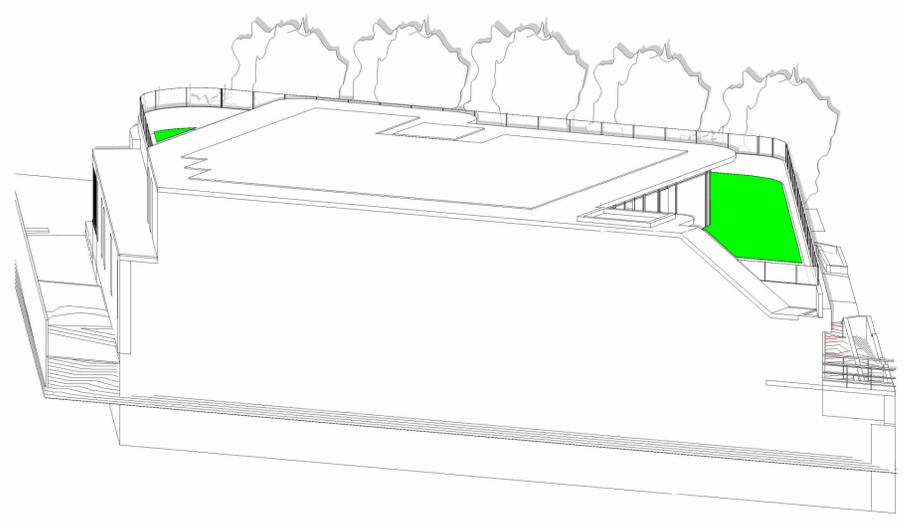
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1 SOLAR STUDY -8AM JUNE 21

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

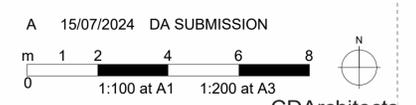
Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 8AM SOLAR CHILD CARE ACCESS PLAN 1 : 200

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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Australian Institute of Architects

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

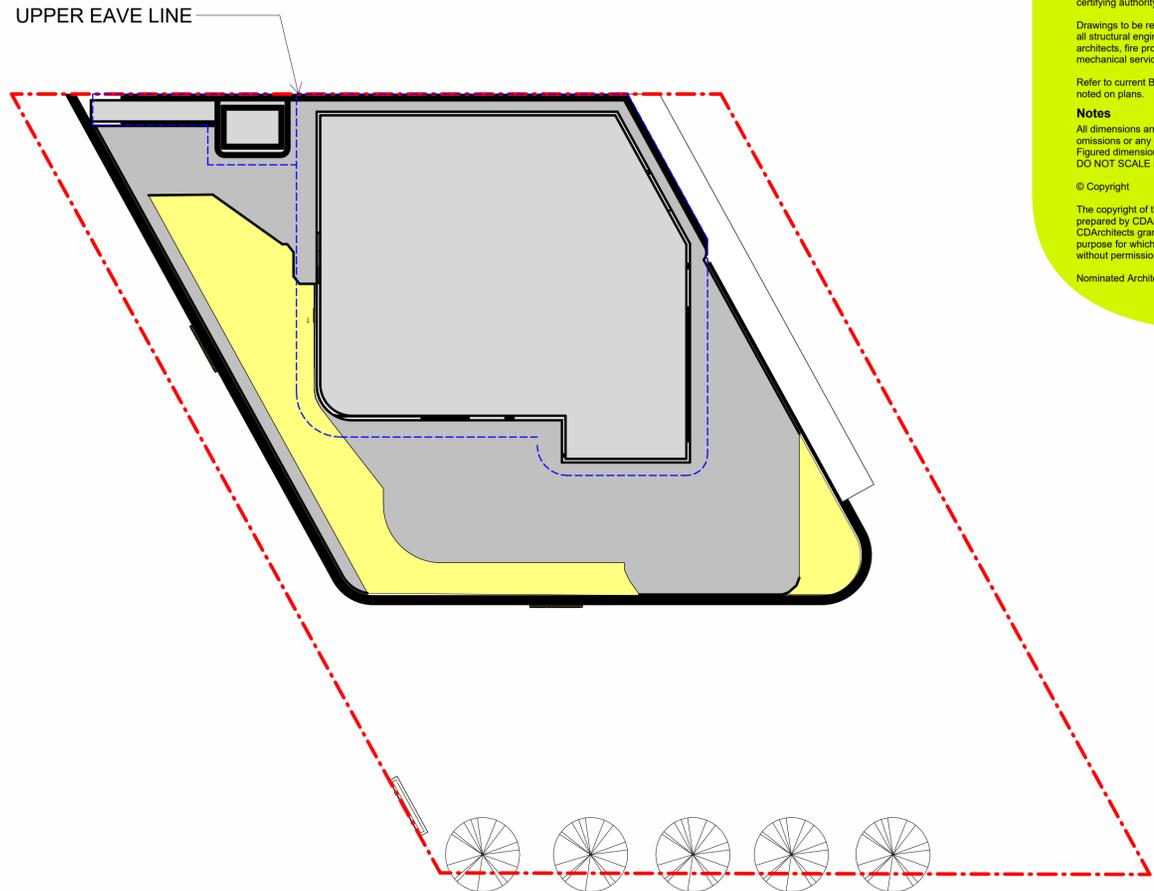
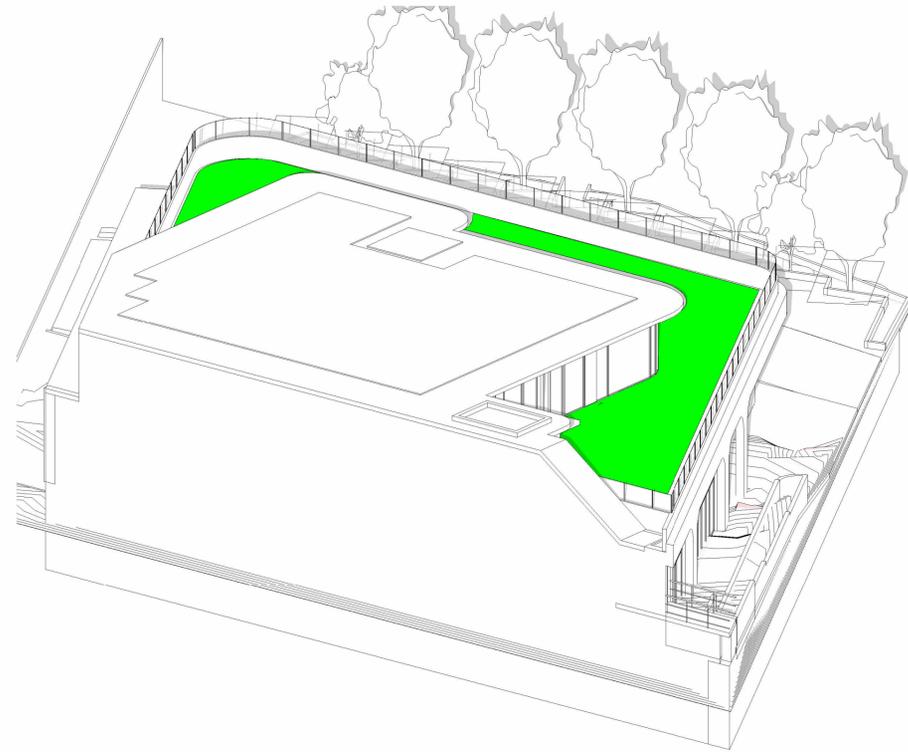
Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title
SUN ANGLE VIEWS 21 JUNE 8am

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA6021 A

Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024



References
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 Nominated Architect: Lijana Ermilova 7887, ABN 24 243 205 327

1 SOLAR STUDY -9AM JUNE 21

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

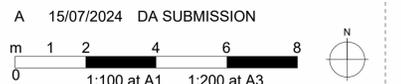
Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 9AM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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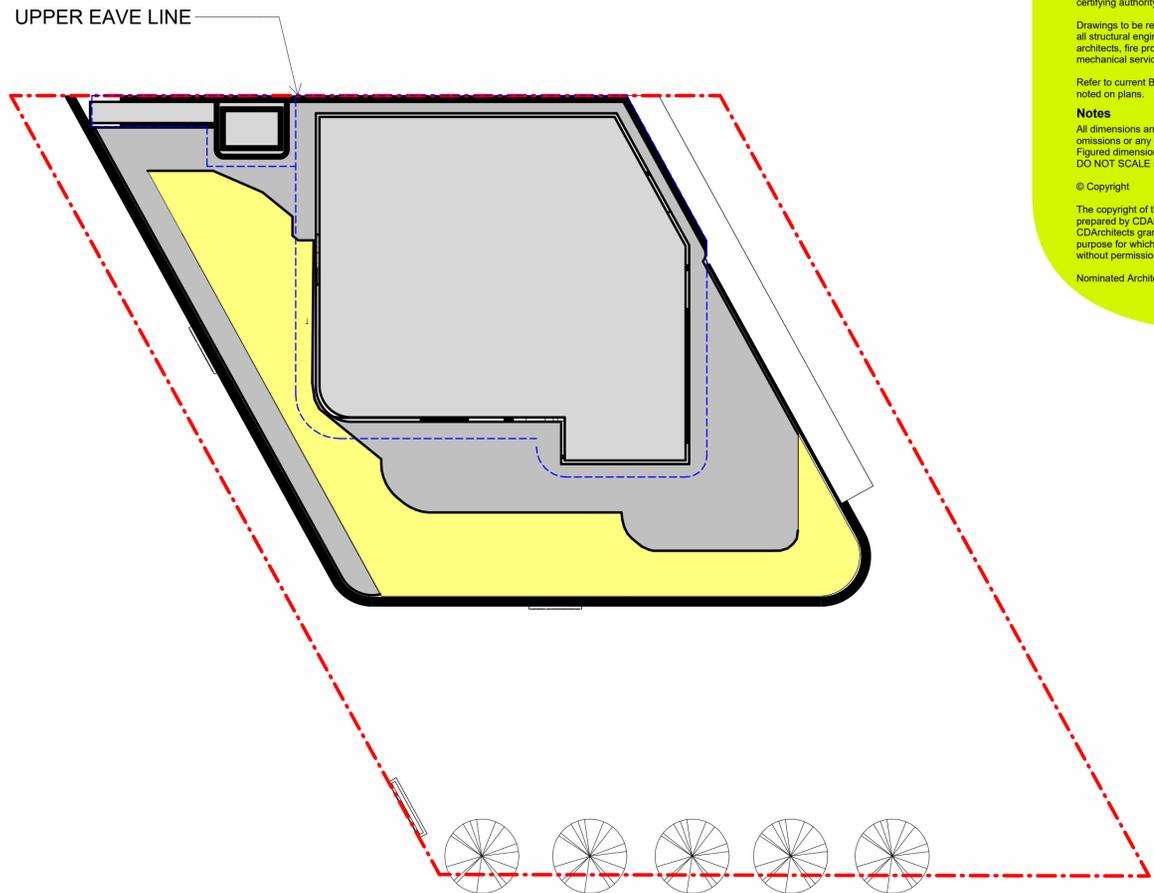
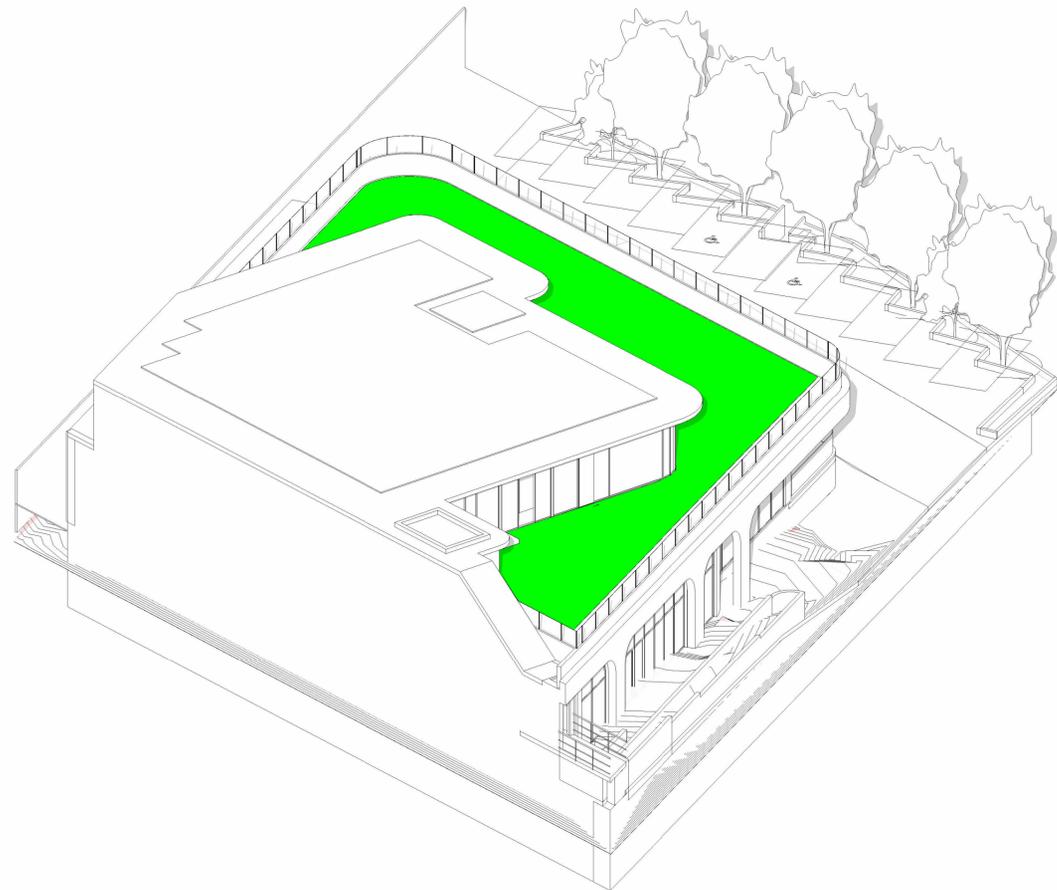
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 9am

Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6022 A
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1 SOLAR STUDY -10AM JUNE 21

2 10AM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

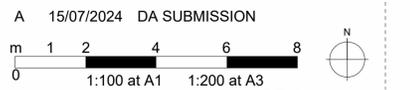
CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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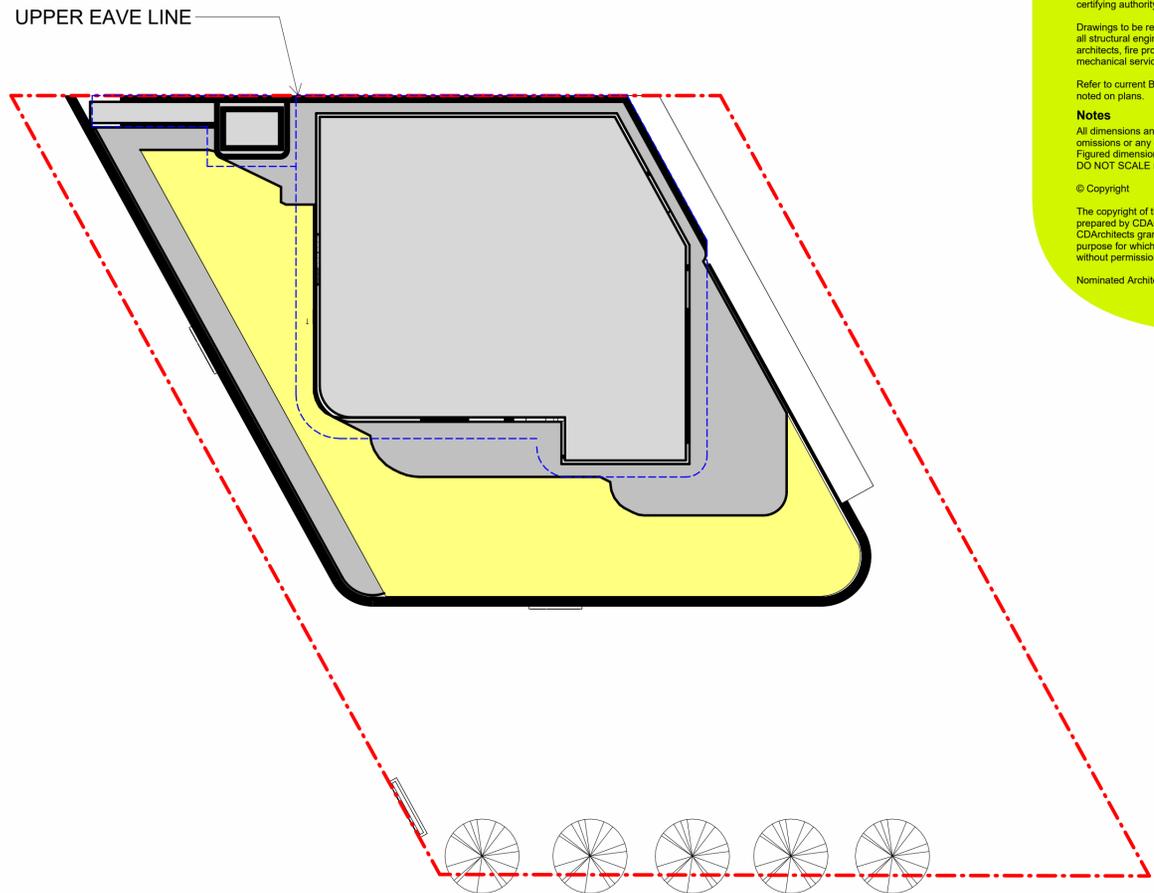
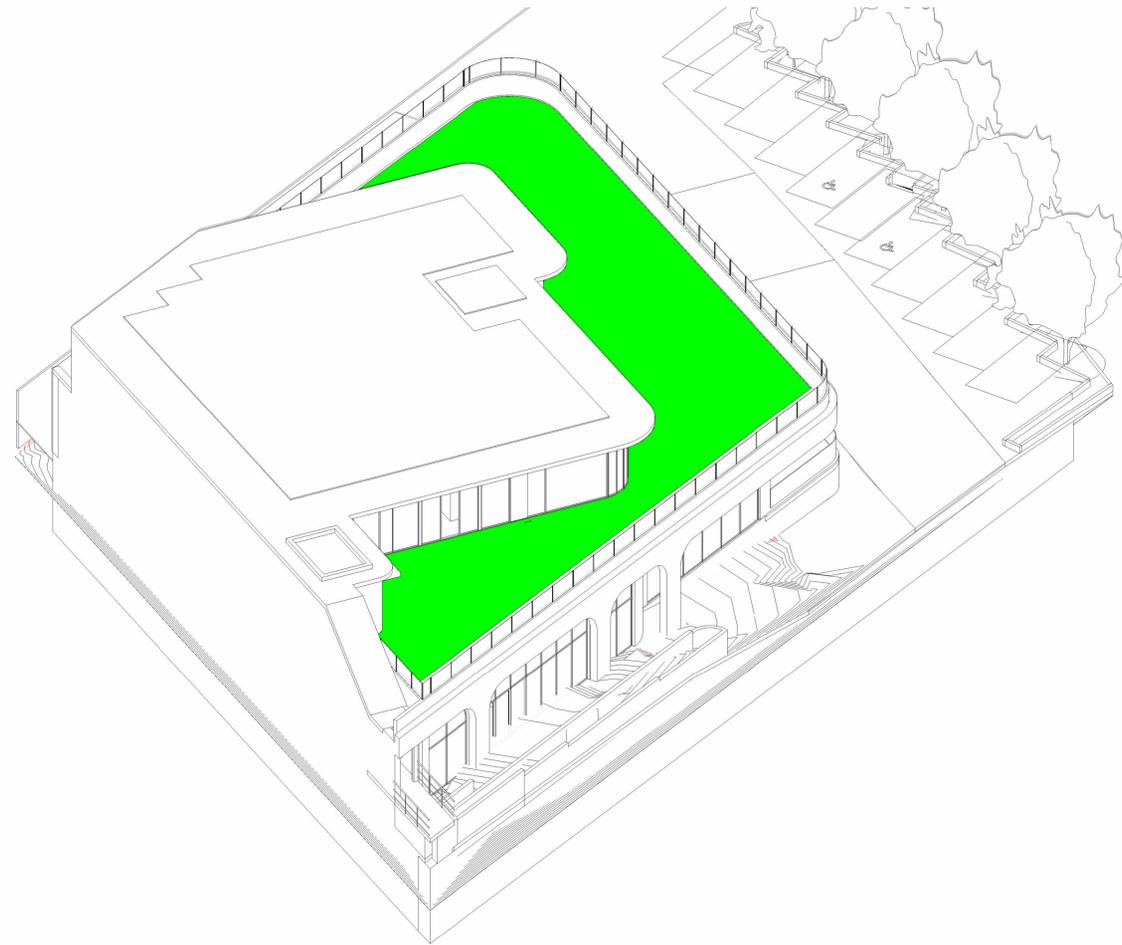
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 10am
 Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6023 A
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 GH RJ ZC JULY, 2024



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1 SOLAR STUDY -11AM JUNE 21

2 11AM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
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3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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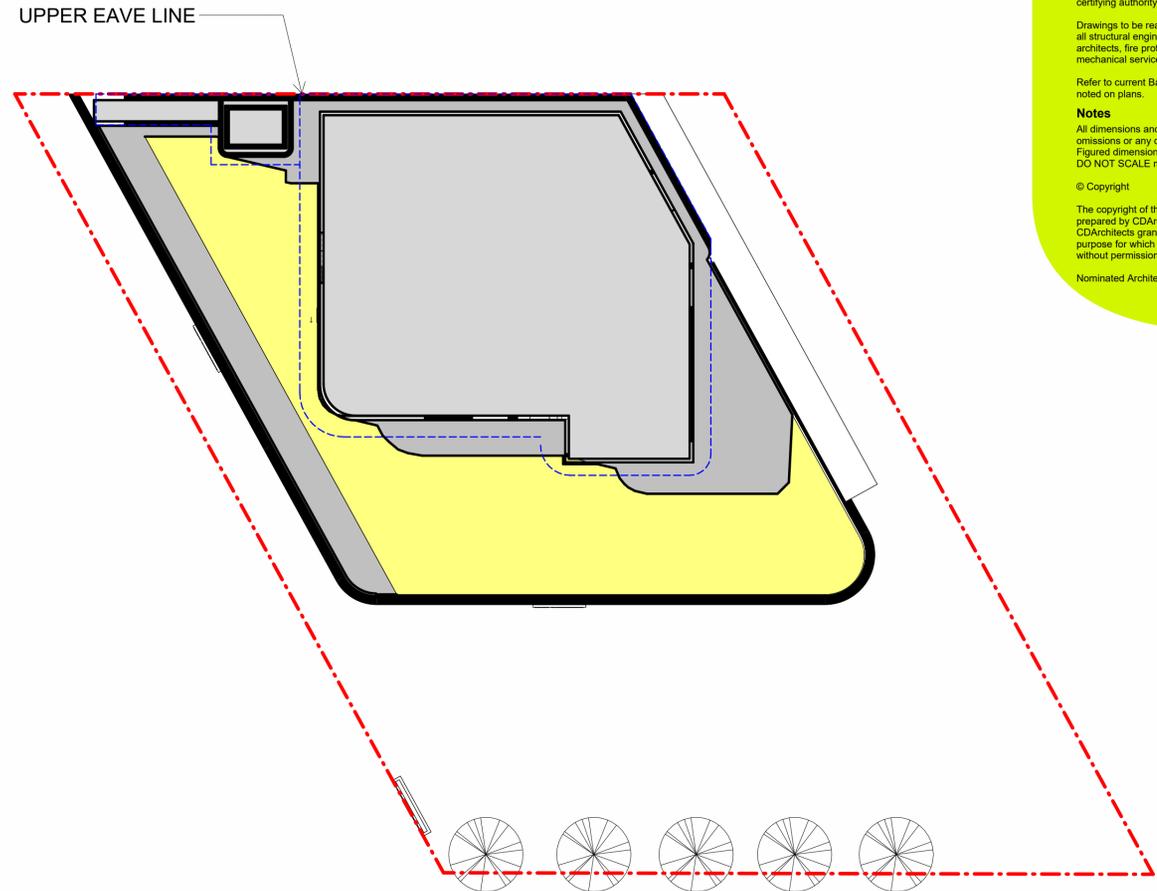
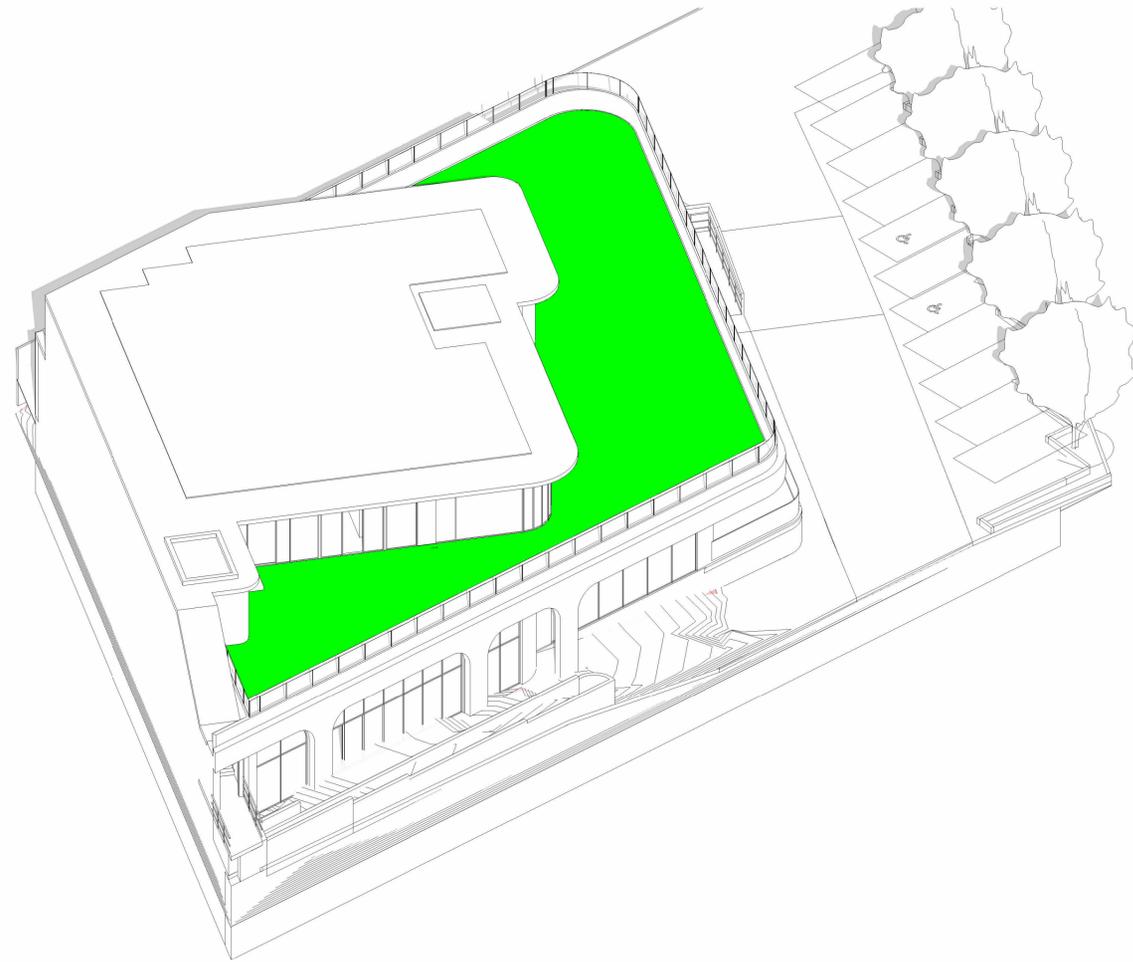
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 11am
 Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6024 A
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1 SOLAR STUDY -12PM JUNE 21

2 12PM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

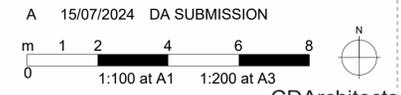
CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
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2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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Australian Institute of Architects

SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

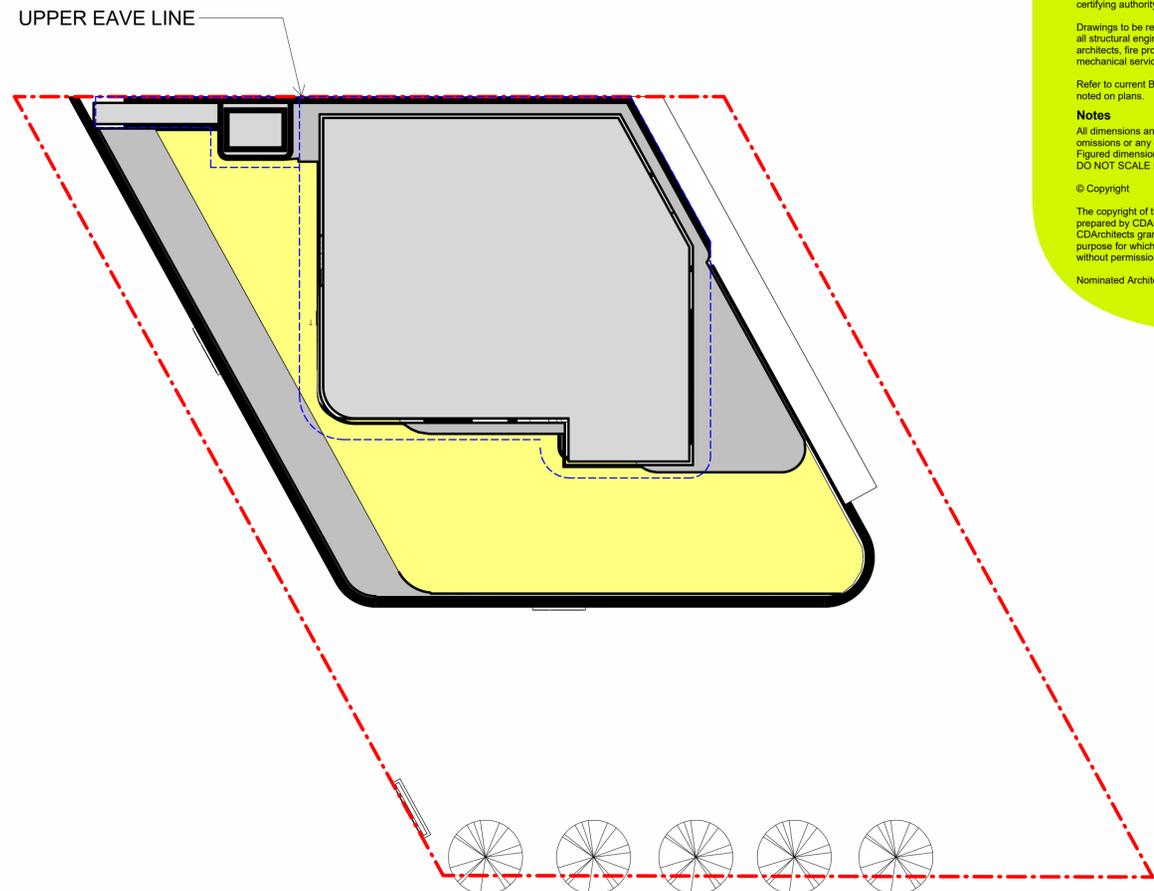
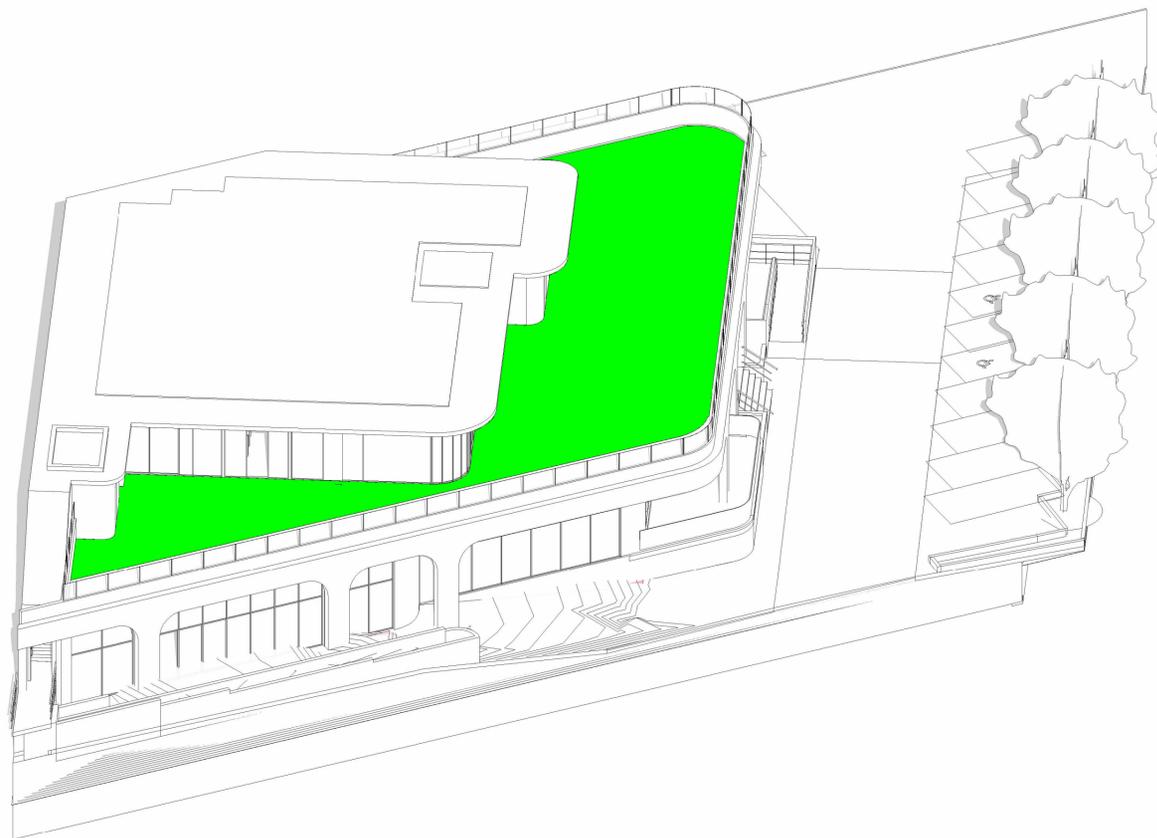
Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title
SUN ANGLE VIEWS 21 JUNE 12PM

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA6025 A

Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024



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2 SOLAR STUDY - 1PM JUNE 21

1 1PM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

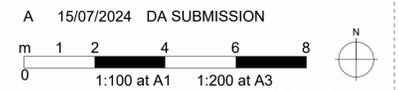
CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

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TOTAL (60 KIDS)

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4pm	134.4 m ²	27 m ²	6.03 %



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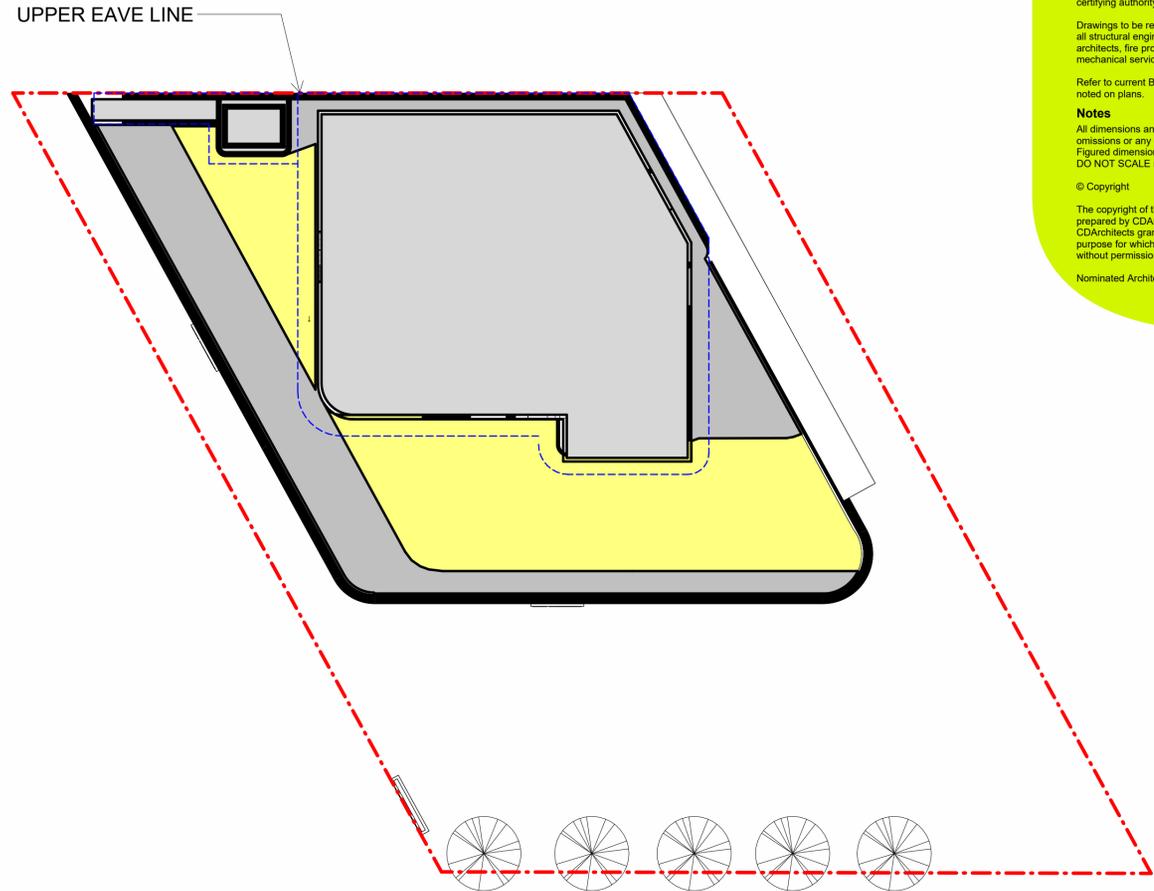
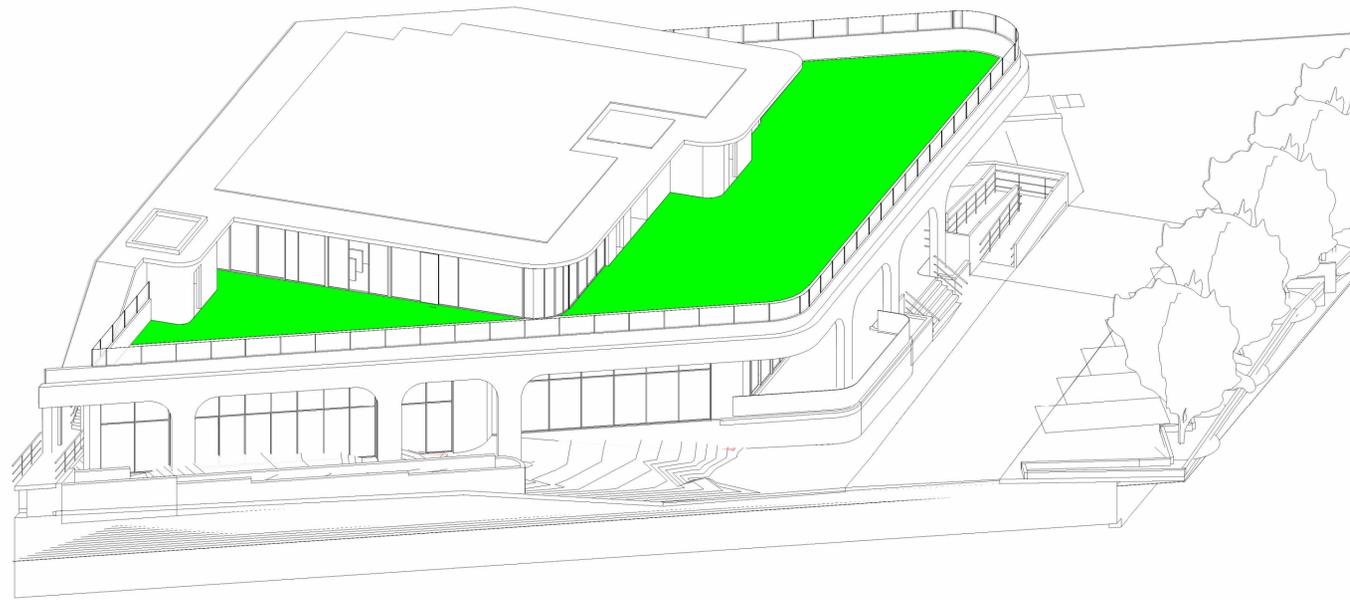
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 1PM

Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6026 A
 Drawn by Checked by Approved by Date
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1 SOLAR STUDY - 2PM JUNE 21

2 2PM SOLAR CHILD CARE ACCESS PLAN
1 : 200

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
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1pm	126 m ²	287 m ²	68.33 %
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3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %

A 15/07/2024 DA SUBMISSION



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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA

420m²

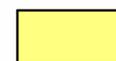
TARGET COMPLIANCE AREA REQUIRED

MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)

MINIMUM OUTDOOR AREA TO RECEIVE SOLAR

126m²

OUTDOOR CHILDCARE AREA RECEIVING SOLAR



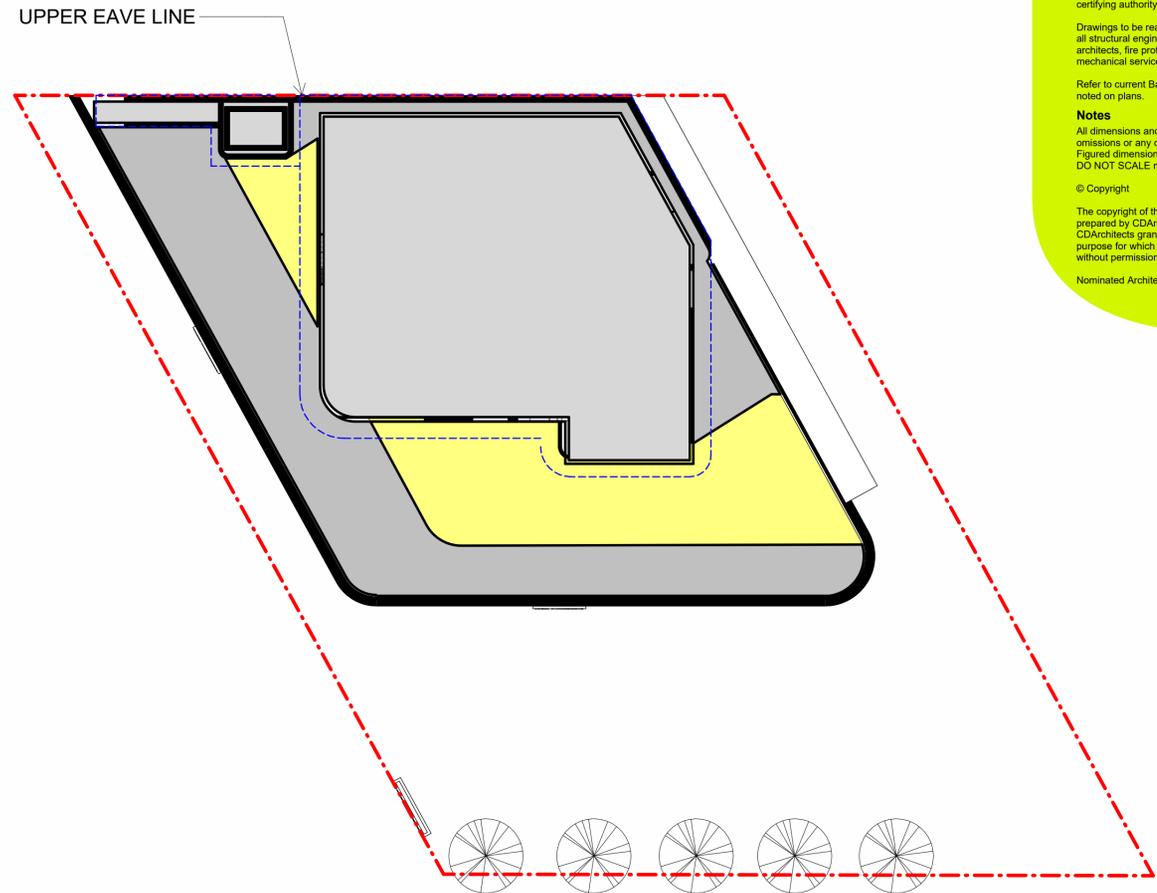
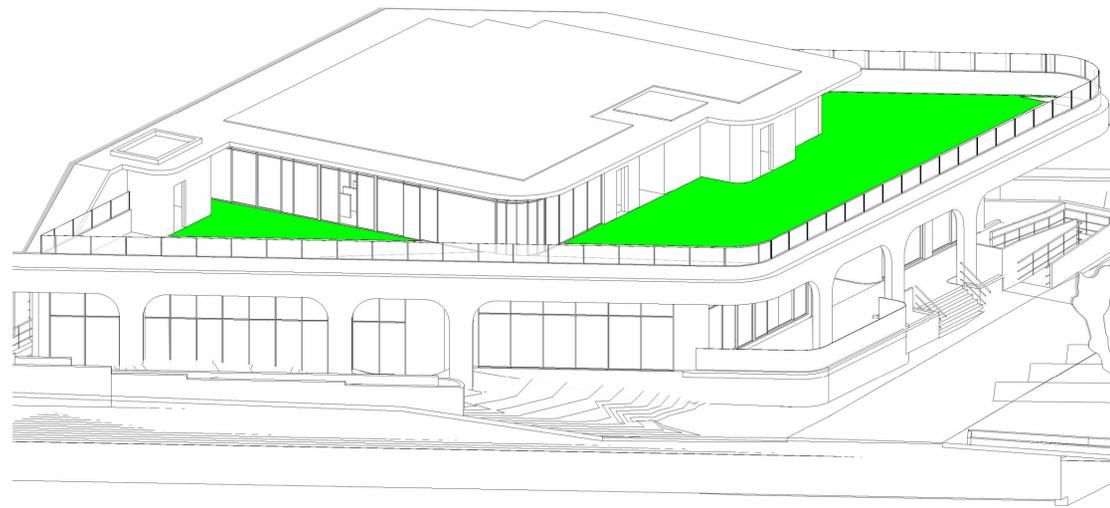
Project
PROPOSED MIXED USE DEVELOPMENT
1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title
SUN ANGLE VIEWS 21 JUNE 2PM

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA6027 A

Drawn by Checked by Approved by Date
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1 SOLAR STUDY - 3PM JUNE 21

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

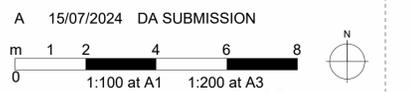
Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

2 3PM SOLAR CHILD CARE ACCESS PLAN 1 : 200

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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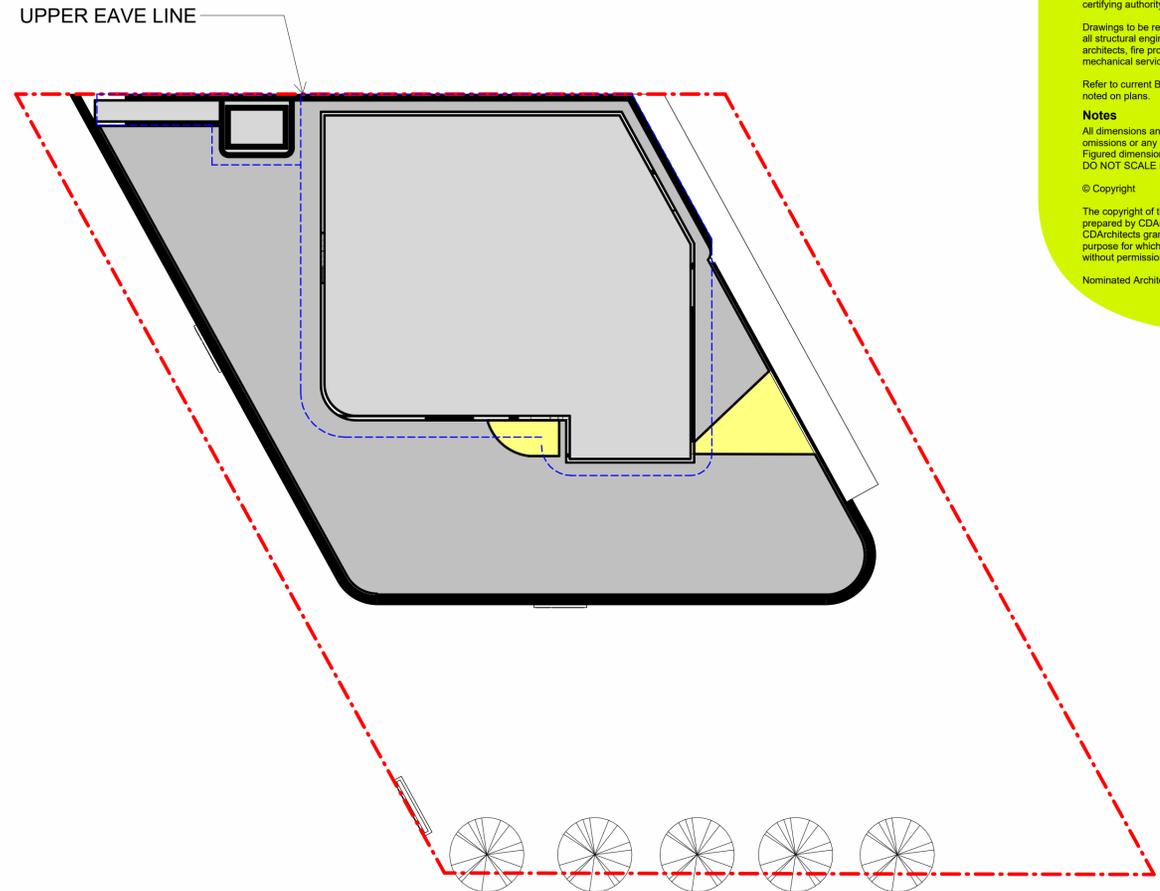
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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 3PM

Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6028 A
 Drawn by Checked by Approved by Date
 GH RJ ZC JULY, 2024



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1 SOLAR STUDY - 4PM JUNE 21

2 4PM SOLAR CHILD CARE ACCESS PLAN
 1 : 200

CHILDCARE PLANNING GUIDLINE - DELIVERING QUALITY CHILDCARE FOR NSW - SEPTEMBER 2021

Outdoor play areas should:

- Have a minimum of 2 hours of solar access between 8:00am and 4:00 pm during winter months, for at least 30%(134.4m²) of the 448m² of outdoor space per child required.

TOTAL (60 KIDS)

TIME	MINIMUM AREA REQUIRED	PROPOSED AREA	% OF THE MINIMUM AREA
8am	126 m ²	68 m ²	16.19 %
9am	126 m ²	139 m ²	33.10 %
10am	126 m ²	206 m ²	49.05 %
11am	126 m ²	260 m ²	61.90 %
12pm	126 m ²	282 m ²	67.14 %
1pm	126 m ²	287 m ²	68.33 %
2pm	126 m ²	256 m ²	60.95 %
3pm	126 m ²	183 m ²	43.57 %
4pm	134.4 m ²	27 m ²	6.03 %



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SOLAR ACCESS TO THE CHILDCARE OUTDOOR AREA - 21st JUNE

MINIMUM REQUIRED OUTDOOR AREA	420m ²
TARGET COMPLIANCE AREA REQUIRED	MINIMUM 2hrs OF SOLAR ACCESS TO 30% OF MINIMUM OUTDOOR AREA (BETWEEN 8am - 4pm WINTER MONTHS)
MINIMUM OUTDOOR AREA TO RECEIVE SOLAR	126m ²
OUTDOOR CHILDCARE AREA RECEIVING SOLAR	

Project
PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
 Drawing Title
SUN ANGLE VIEWS 21 JUNE 4PM

Project Stage
DA Submission
 Job no. Drawing no. Rev.
J23587D DA6029 A
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OUTDOOR SPACE

Area	Solar 0800	CD_Solar 09:00	CD_Solar 10:00	CD_Solar 11:00	CD_Solar 12:00	CD_Solar 13:00	CD_Solar 14:00	CD_Solar 15:00	Solar 01600
68 m ²	■ ■								
139 m ²		■ ■							
206 m ²			■ ■						
260 m ²				■ ■					
282 m ²					■ ■				
287 m ²						■ ■			
256 m ²							■ ■		
183 m ²								■ ■	
27 m ²									■ ■

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Notes

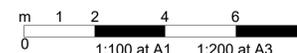
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DIRECT SUN VIEW LEGEND

- ■ DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME
- ■ NO DIRECT SOLAR ACCESS ON JUNE 21st AT SPECIFIC TIME

Project

PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107

Drawing Title

SOLAR SCHEDULE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA6030 A

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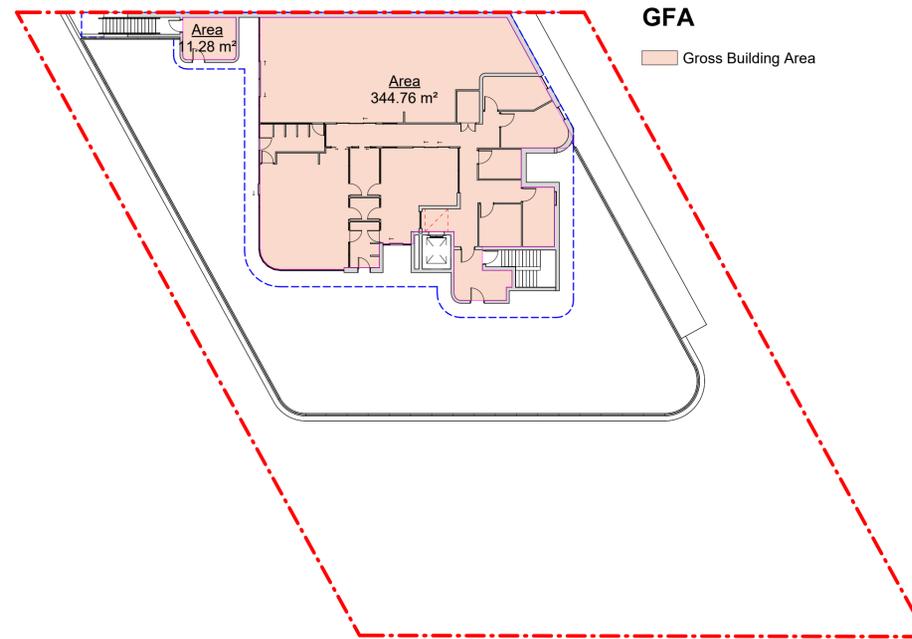
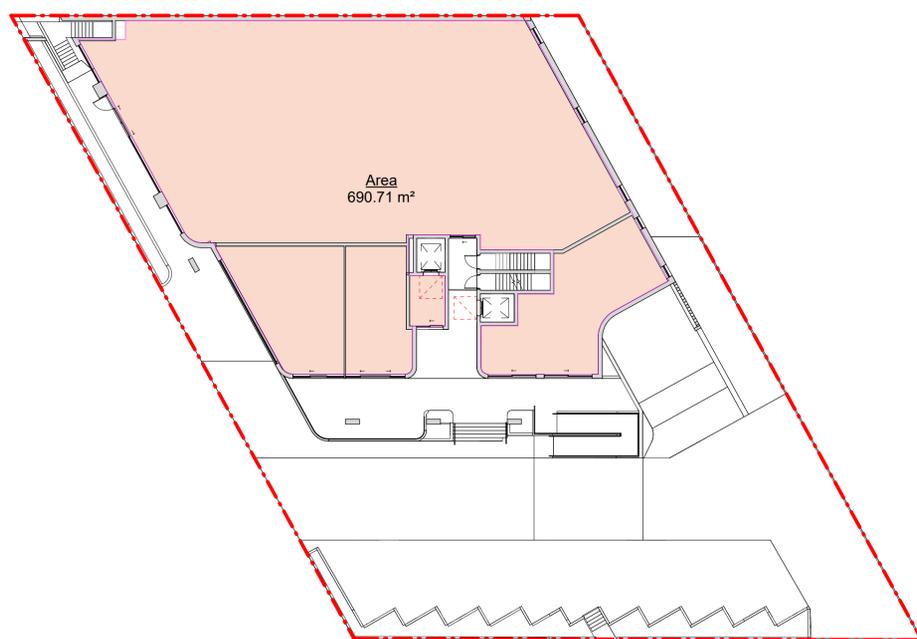
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GFA AREA SCHEDULE	
GROUND LEVEL	690.71 m ²
LEVEL 01	356.04 m ²
TOTAL	1046.75 m ²

AREA CALCULATIONS - FLOOR SPACE RATIO

ZONE R2 - Low Density Residential:

SITE AREA 1771.2 m²

PERMISSIBLE FLOOR SPACE RATIO NA
PERMISSIBLE GFA NA

PROPOSED FLOOR SPACE RATIO NA
PROPOSED RESIDENTIAL GFA NA
PROPOSED GROUND FLOOR GFA 691.51 m²
TOTAL GFA 1044.87 m²

PITTWATER LOCAL ENVIRONMENTAL PLAN 2014

SITE AREA 1771.2m²
ZONING E1 - LOCAL CENTRE
RELEVANT CONTROLS NA
COUNCIL PIT WATER COUNCIL
LOT / DP No. SP 32656 & LOT B IN DP 385973
FSR N.A
HEIGHT OF BUILDING 8.5 m
HERITAGE NOT AFFECTED
ACID SULPHATE SOILS Class 5
KEY SITE NOT AFFECTED
FLOOD PLANNING AREA AFFECTED
LAND RESERVATION ACQUISITION NOT AFFECTED
NATURAL RESOURCE - BIODIVERSITY NOT AFFECTED
FORESHORE BUILDING LINE NOT AFFECTED

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PROPOSED MIXED USE DEVELOPMENT

1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title

GFA CALCULATION

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7001 A

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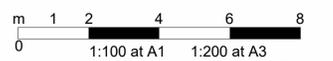
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MATERIAL LEGEND

	AWD1	ALUMINIUM FRAME WINDOWS & DOORS - COLOUR 1
	CF3	CONCRETE FINISH - SMOOTH
	CG	CLEAR GLASS
	CL1	COLORBOND VERTICAL CLADDING - SMOOTH - COLOUR BASALT
	PS	PERSPEX
	RP1	RENDERED PAINT - DULUX NAPKIN WHITE
	RP2	RENDERED PAINT - DULUX BLACK CHARCOAL COLOUR: DULUX BLACK CAVIAR
	ST1	STONE CLADDING

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1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
NEW SOUTH WALES 2107

Drawing Title

FINISHES SCHEDULE

Project Stage

DA Submission

Job no. Drawing no. Rev.

J23587D DA7041 A

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DEEP SOIL ZONE CALCULATION	AREA
DEEP SOIL ZONE - 50%	150 m ²
DEEP SOIL ZONE - 50%	150 m ²
DEEP SOIL ZONE - FRONT SETBACK	74 m ²
DEEP SOIL ZONE - BUILDING AREA	805 m ²
DEEP SOIL ZONE - SITE AREA OUTSIDE BUILDABLE AREA	744 m ²



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LEGEND

	BUILDING AREA
	SITE AREA OUTSIDE BUILDABLE AREA
	50% OF DEEP SOIL ZONE AREA

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m 1.5 3 6 9 12

0 1:150 at A1 1:300 at A3



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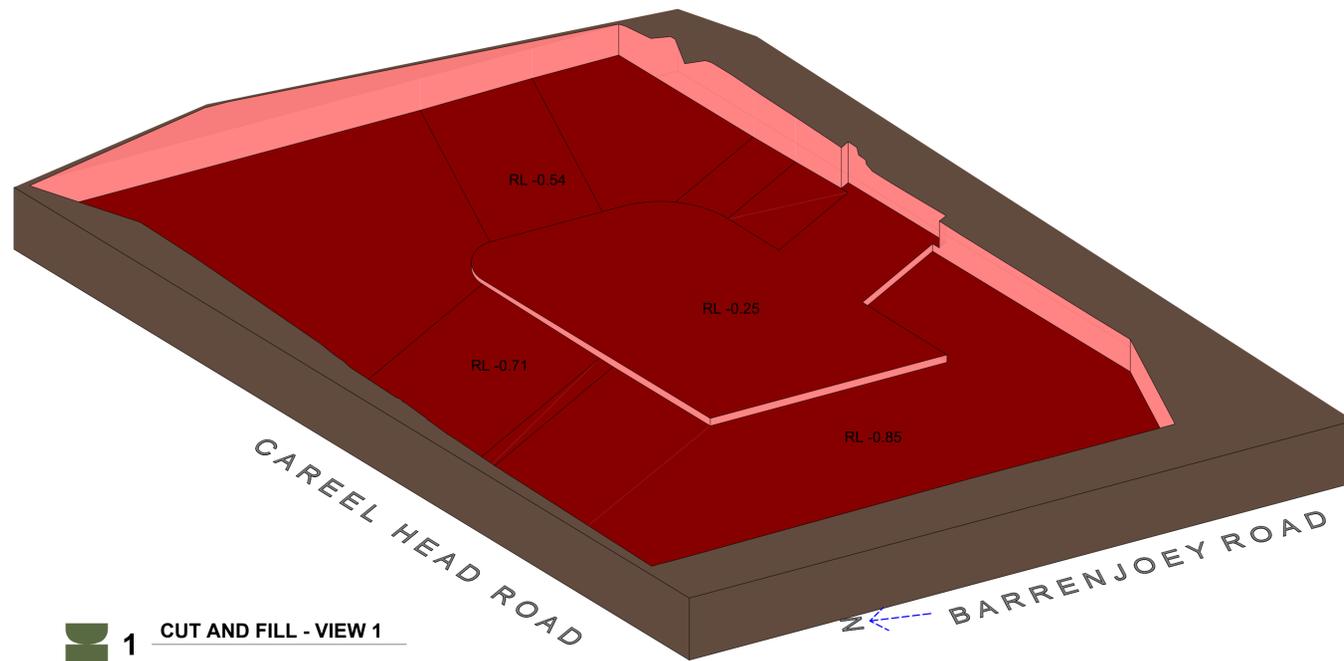
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Drawing Title
DEEP SOIL ZONE

Project Stage
DA Submission

Job no.	Drawing no.	Rev.
J23587D	DA7051	A

Drawn by	Checked by	Approved by	Date
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1 CUT AND FILL - VIEW 1

CUT AND FILL				
SITE	Volume	Total Excavation Volume	Fill	Comments
Toposolid	10771.52 m ³			1. EXISTING
Toposolid	6051.65 m ³	4719.87 m ³		2. AFTER CUT

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m 2 4 8 12 16
 0 1:200 at A1 1:400 at A3

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Drawing Title
CUT & FILL DIAGRAM

Project Stage
DA Submission

Job no. Drawing no. Rev.
J23587D DA7081 A

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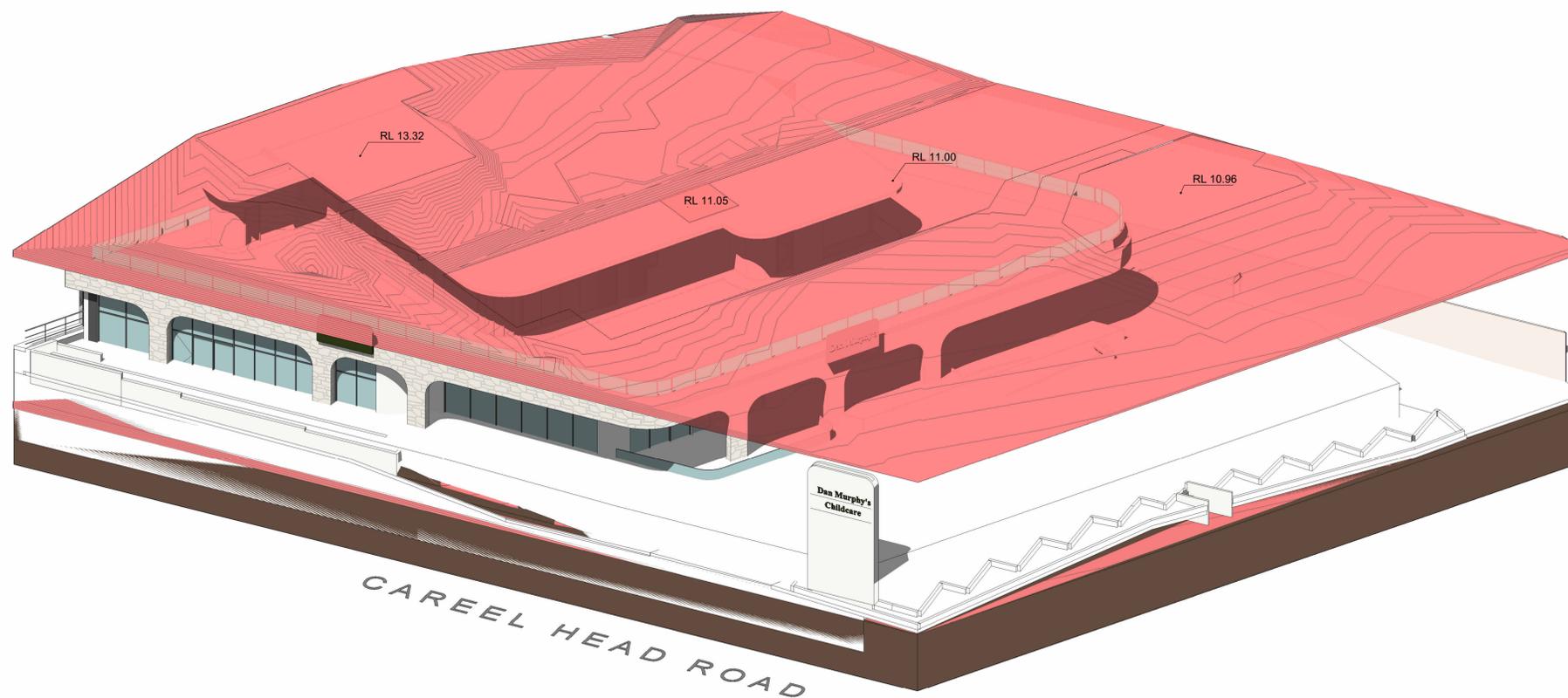
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 m 1.5 3 6 9 12
 0 1:150 at A1 1:300 at A3



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 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
LEP HEIGHT BLANKET

Project Stage
DA Submission

Job no. Drawing no. Rev.
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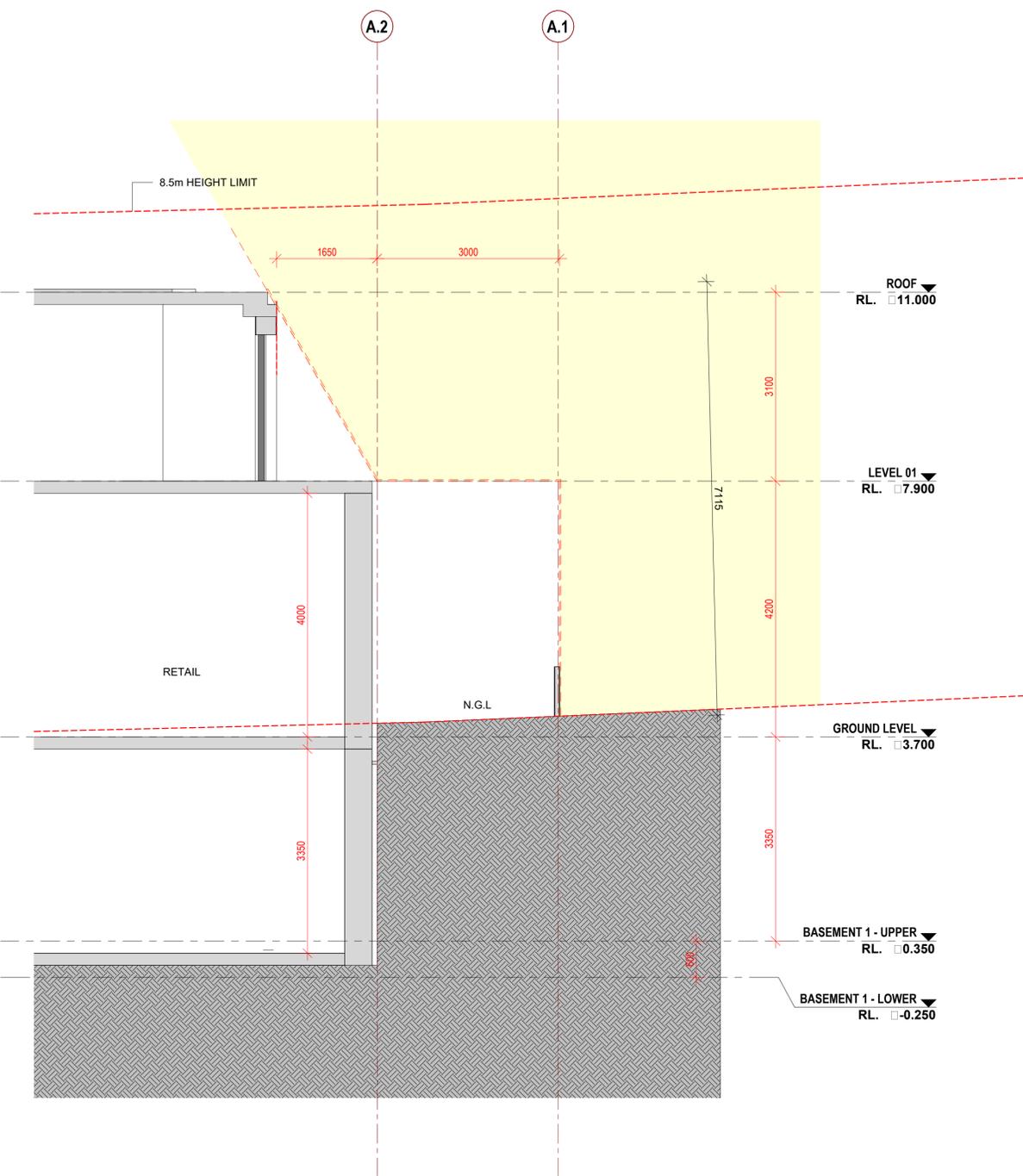
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Pittwater 21 Development Control Plan
 Section D Locality Specific Development Controls
 D1 Avalon Beach Locality
 D1.9 Side and rear building line

Where the wall height is 3 metres or less, the minimum side and rear boundary setback shall be 3 metres.

Where the wall height is more than 3 metres above ground level (existing), the minimum distance from any point on the external wall of the building and a side or rear boundary shall not be less than the distance calculated in accordance with the following:

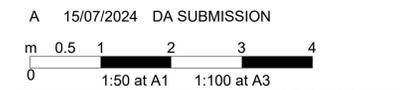
where

S = the distance in metres

H = the height of the wall at that point measured in metres above existing ground level

$$S = 3 + (H-2)/4$$

1 SIDE - SETBACK
 1 : 50 at A1 1 : 200 at A3



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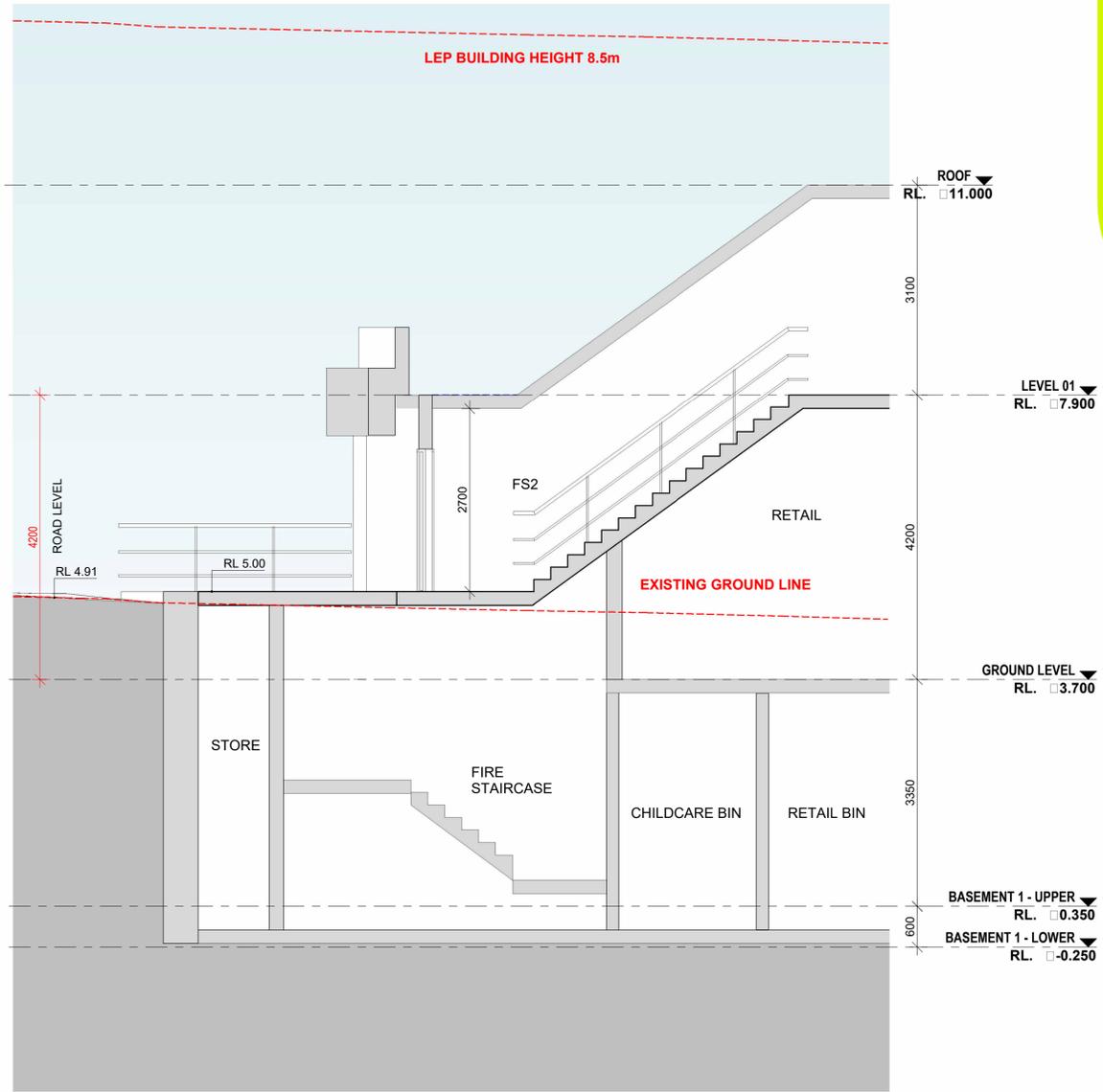
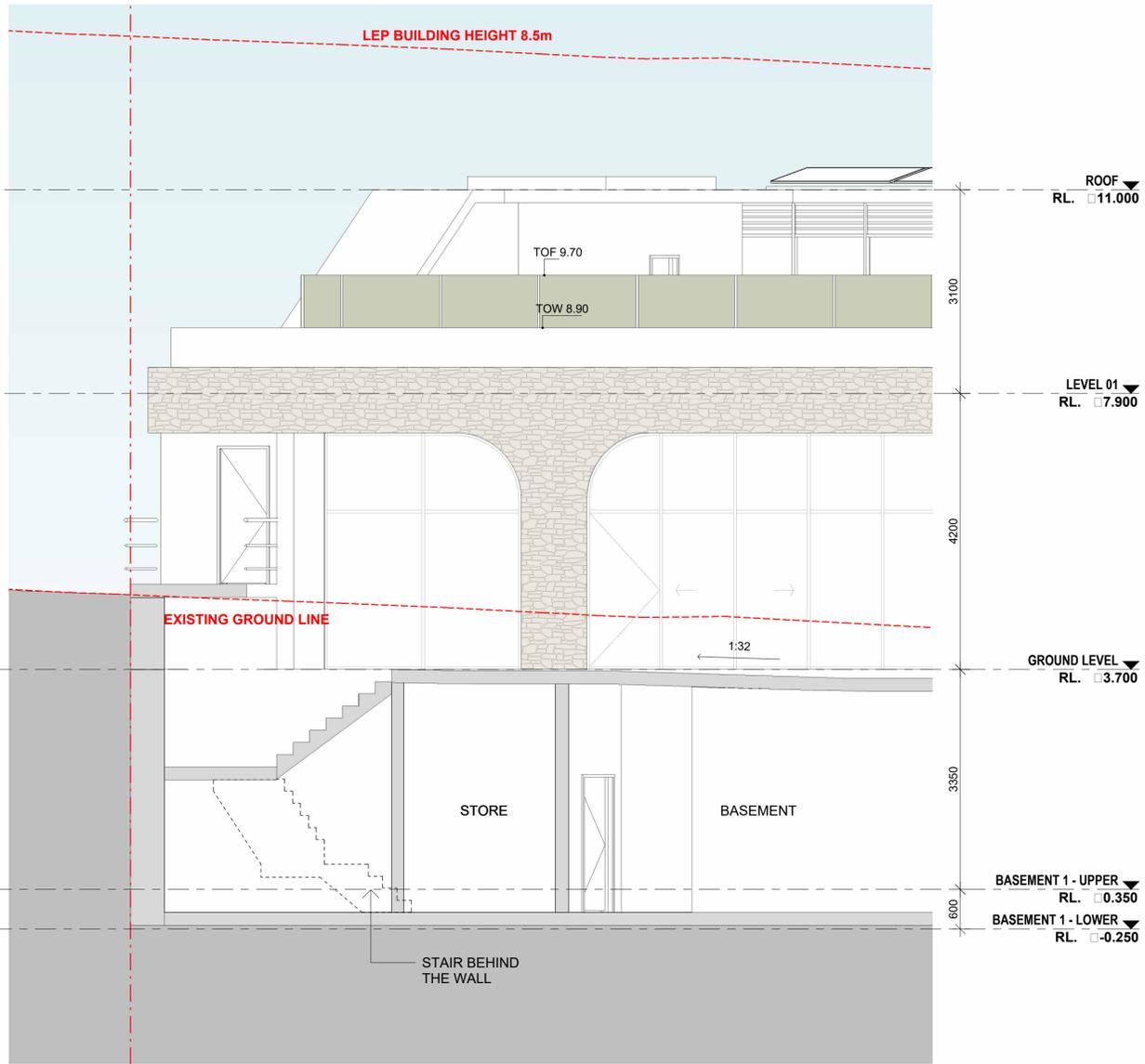
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PROPOSED MIXED USE DEVELOPMENT
 1 & 3 CAREEL HEAD ROAD, AVALON BEACH,
 NEW SOUTH WALES 2107

Drawing Title
DETAIL SECTION - SETBACK

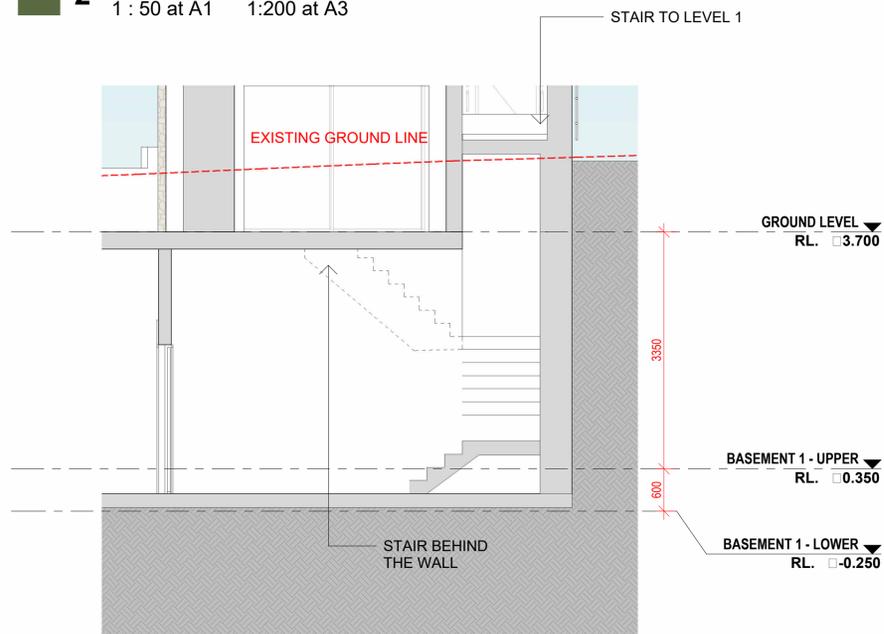
Project Stage
Preliminary Issue

Job no.	Drawing no.	Rev.
J23587D	DA8001	A

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Author	Checker	ZC	JULY, 2024



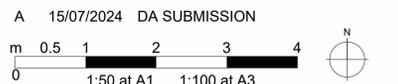
2 FIRE STAIR - 1
1: 50 at A1 1:200 at A3



1 FIRE STAIR - 1A
1: 50 at A1 1:200 at A3

3 FIRE STAIR - 2
1: 50 at A1 1:200 at A3

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Project
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1 & 3 CAREEL HEAD ROAD, AVALON BEACH, NEW SOUTH WALES 2107
Drawing Title
DETAIL SECTION - FIRE STAIRS

Project Stage
Preliminary Issue

Job no.	Drawing no.	Rev.
J23587D	DA8003	A

Drawn by: Author
Checked by: Checker
Approved by: ZC
Date: JULY, 2024