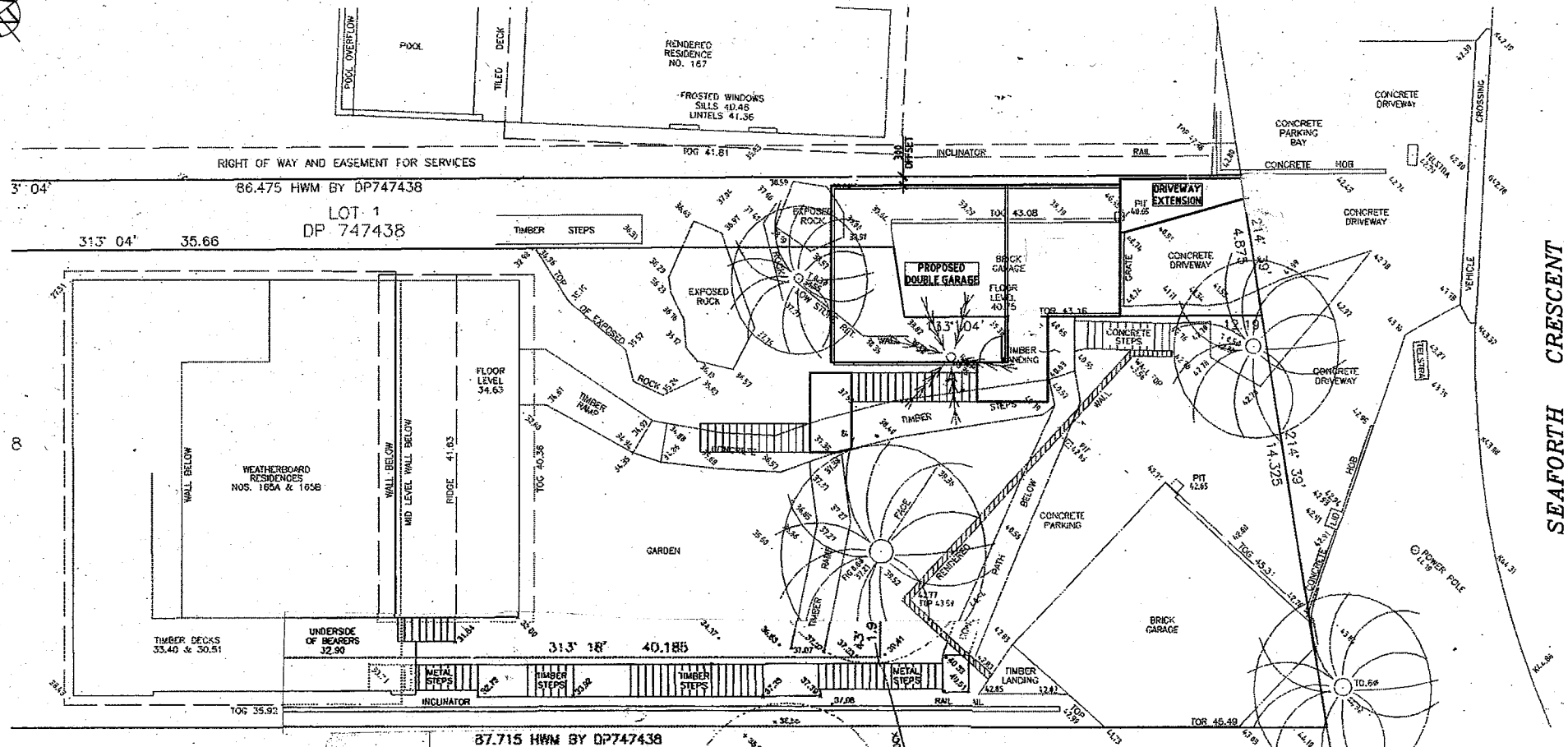




ER, EASEMENT TO DRAIN SEWAGE & RIGHT OF FOOTWAY, 1.83 WIDE

PARTIAL SITE PLAN

SCALE 1:100

SHOWING LOCATION AND EXTENT OF PROPOSED WORKS

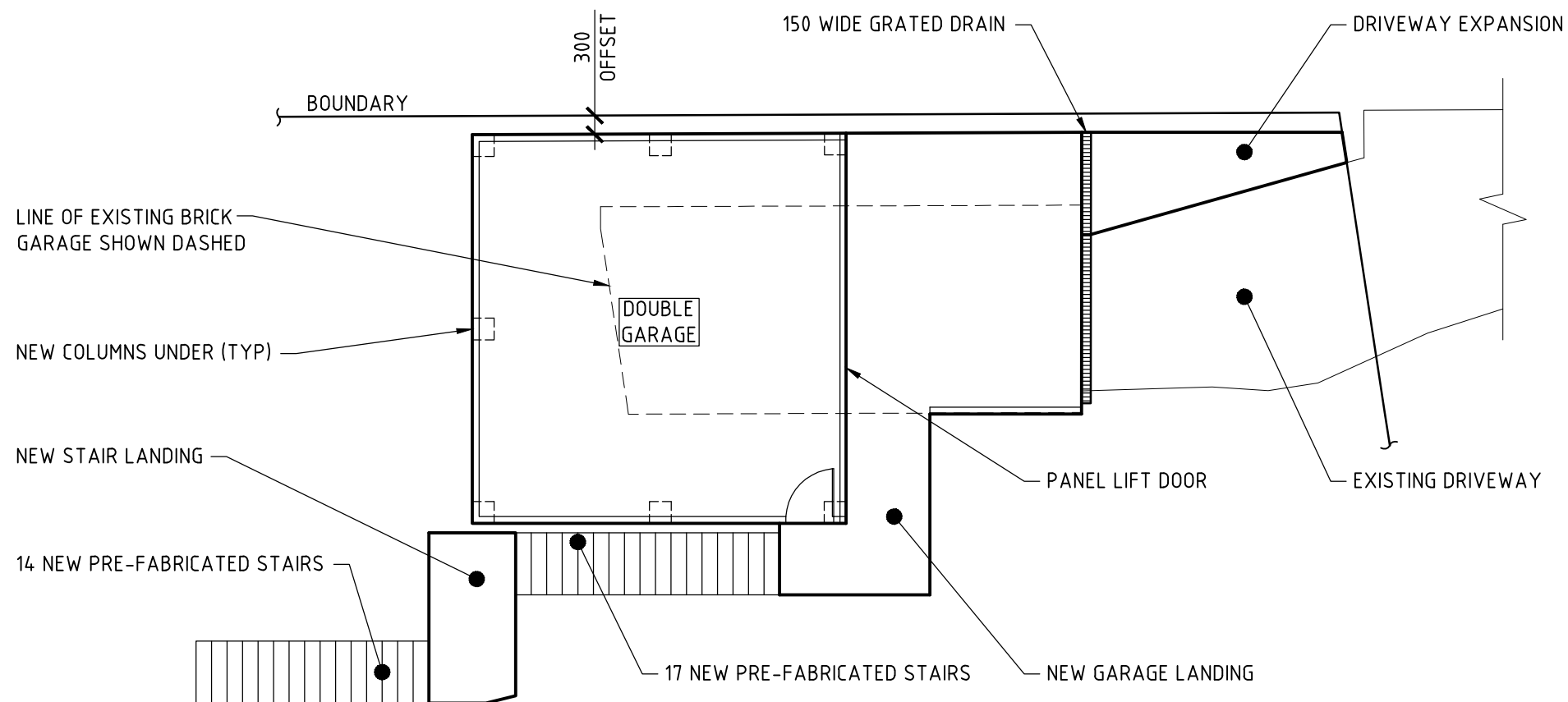
BENCH MARK
CUT IN KERB
RL 45.54 AND

ISSUE DATE	REVISION

TITLE
PLAN OF ALTERATIONS AND ADDITIONS
165 SEAFORTH CRESCENT AND 165A SEAFORTH CRESCENT, SEAFORTH
LOTS 1 AND 2 IN DP 747438
FOR R LEE AND CA & RM LEE

DRAWN	DATE	CHECKED	SCALE
MOB	1 DECEMBER 2013		A2 1:100

DRAWING NO
SHEET-1



PROPOSED GARAGE PLAN

SCALE 1:100

TITLE
PLAN OF ALTERATIONS AND ADDITIONS
165 SEAFORTH CRESCENT AND 165A SEAFORTH CRESCENT, SEAFORTH
LOTS 1 AND 2 IN DP 747438
FOR R.LEE AND CA & RM LEE

DRAWN

MDB

DATE

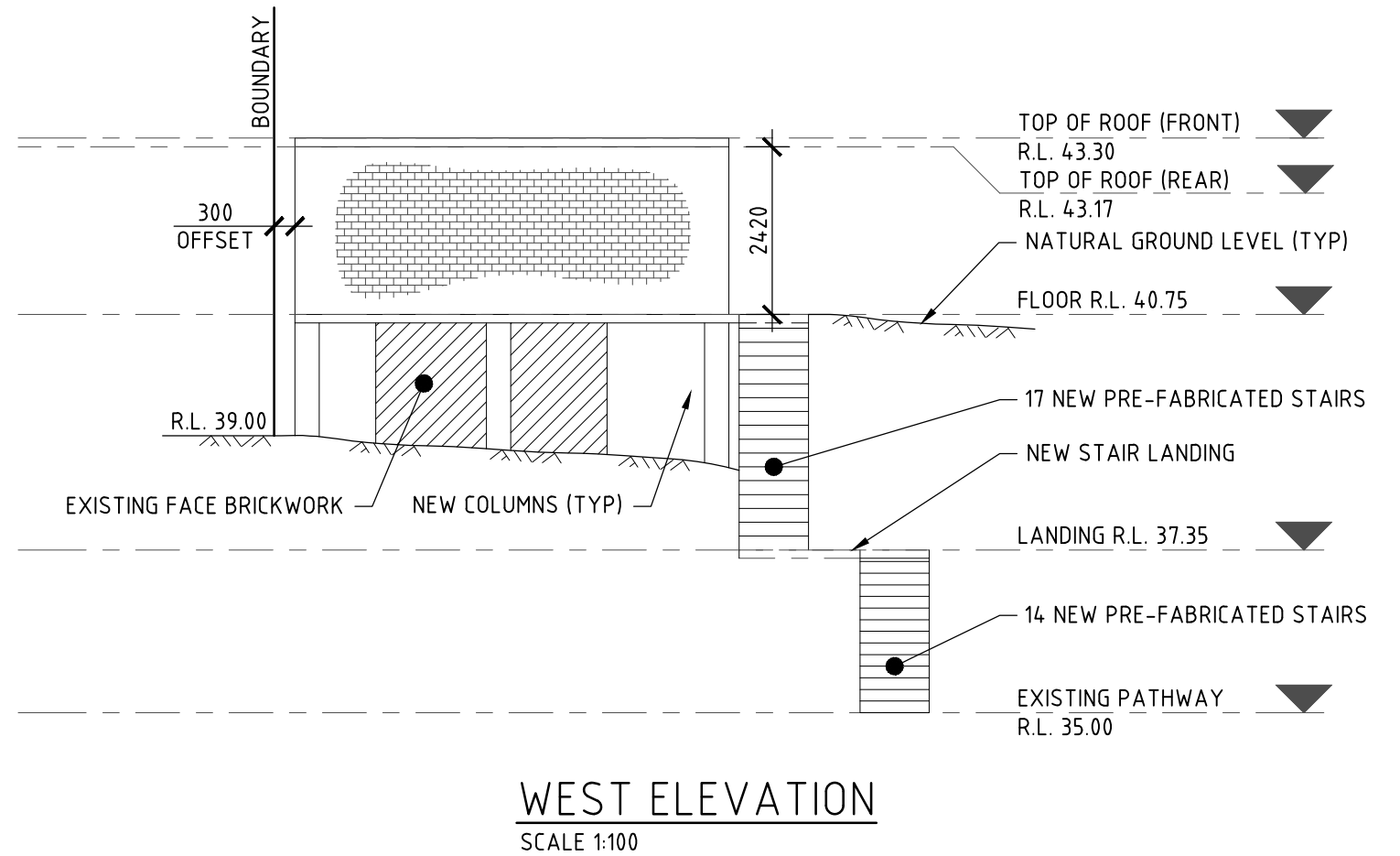
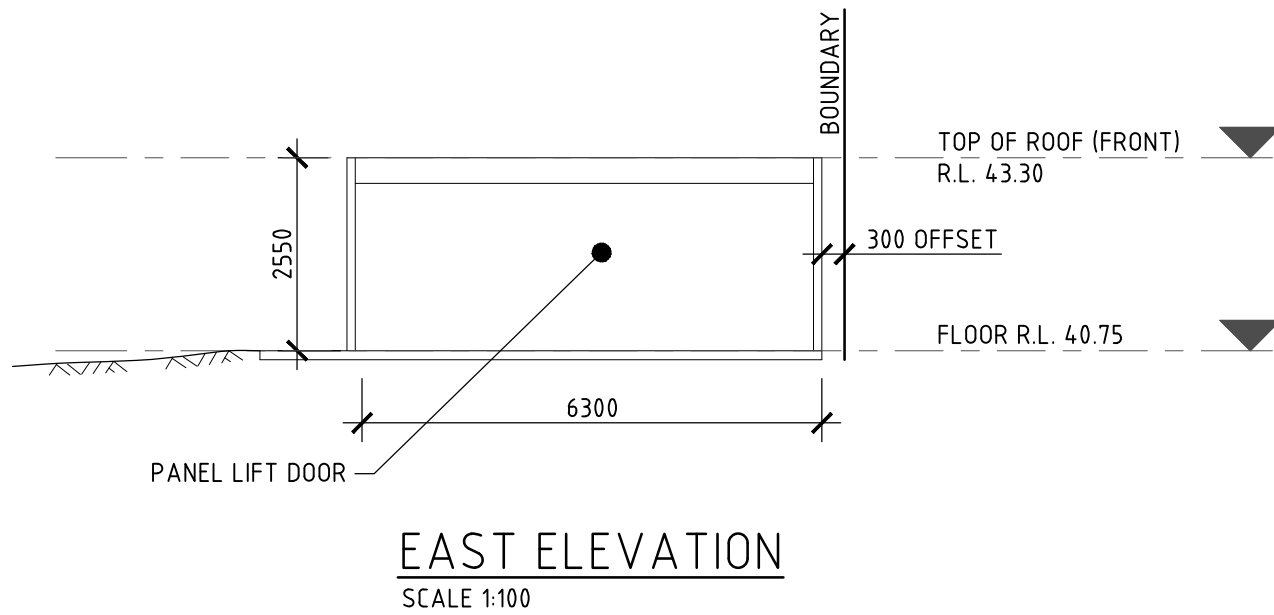
1 DECEMBER 2019

CHECKED

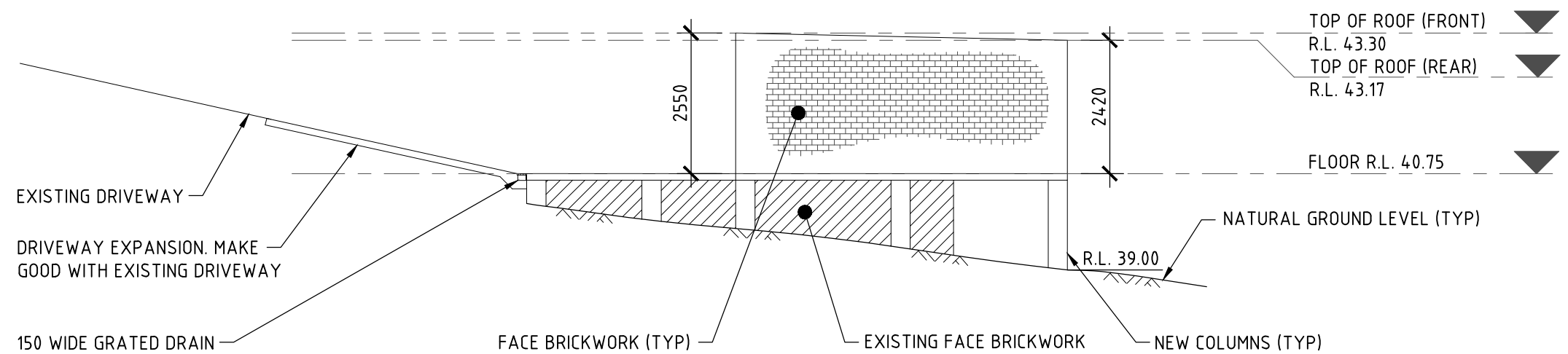
SCALE @ A3

1:100

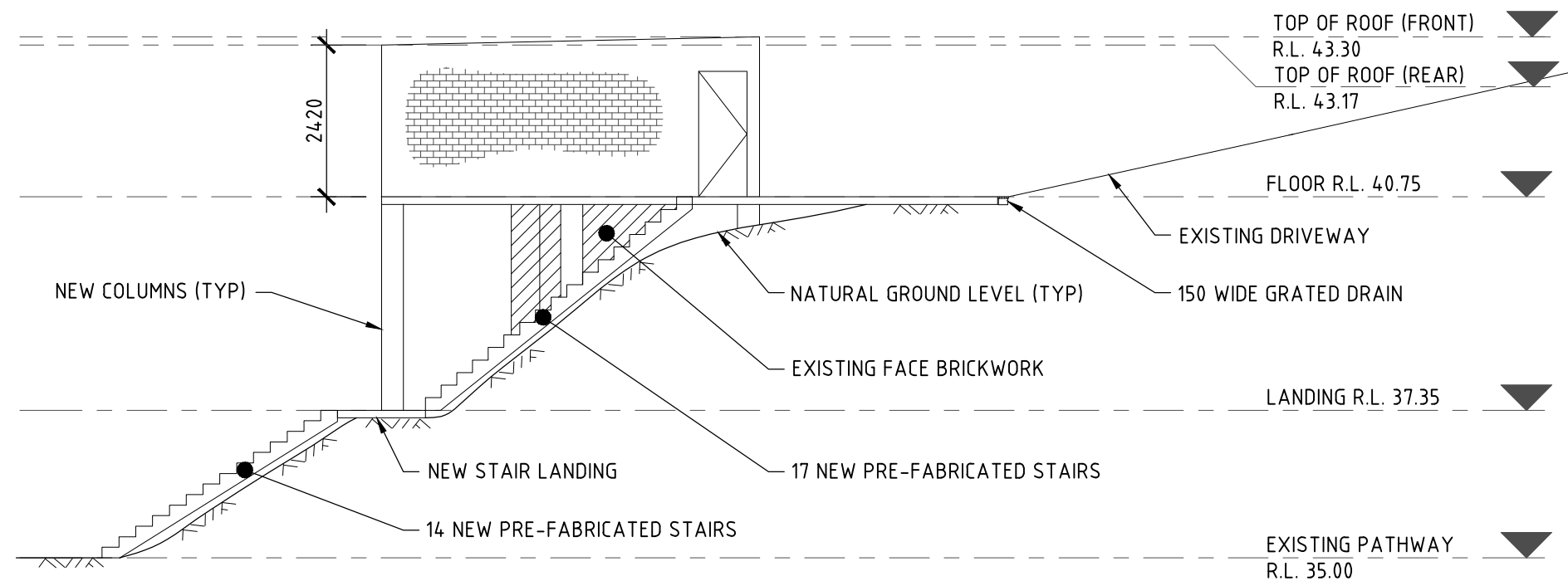
DRAWING NO
SHEET-2



TITLE PLAN OF ALTERATIONS AND ADDITIONS 165 SEAFORTH CRESCENT AND 165A SEAFORTH CRESCENT, SEAFORTH LOTS 1 AND 2 IN DP 747438 FOR R.LEE AND CA & RM LEE				DRAWING NO SHEET-3
DRAWN	DATE	CHECKED	SCALE @ A3	
MDB	23 DECEMBER 2019		1:100	

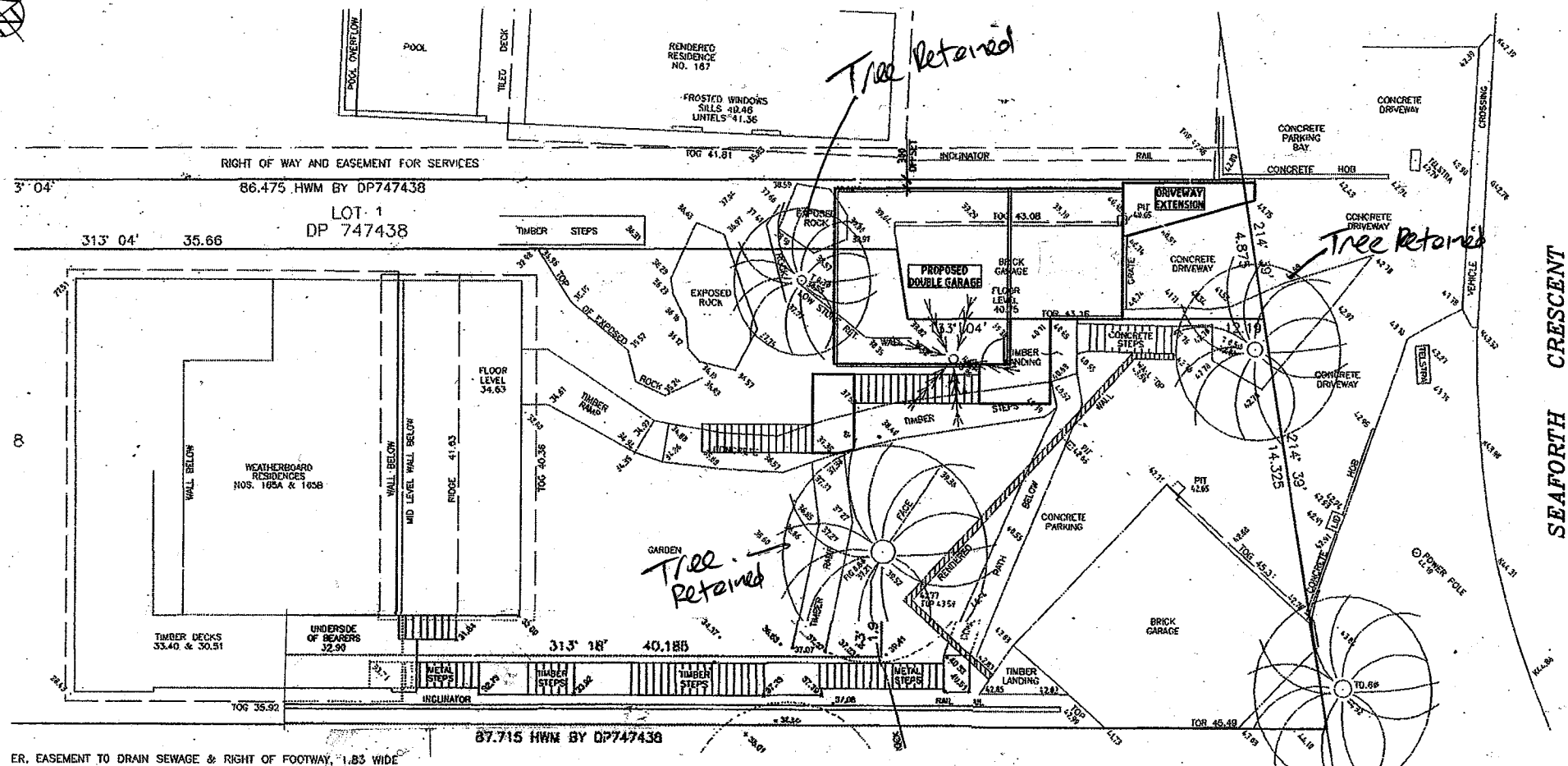


NORTH ELEVATION
SCALE 1:100



SOUTH ELEVATION
SCALE 1:100

TITLE				DRAWING NO SHEET-4
PLAN OF ALTERATIONS AND ADDITIONS				
165 SEAFORTH CRESCENT AND 165A SEAFORTH CRESCENT, SEAFORTH				
LOTS 1 AND 2 IN DP 747438				
FOR R.LEE AND CA & RM LEE				
DRAWN	DATE	CHECKED	SCALE @ A3	
MDB	23 DECEMBER 2019		1:100	



ER. EASEMENT TO DRAIN SEWAGE & RIGHT OF FOOTWAY, 1.83 WIDE

SCALE 1:100
SHOWING LOCATION AND EXTENT OF PROPOSED WORKS

SITE ANALYSIS PLAN.

- Views Retained - Propopatal below road level.
- Solar Access + Overshadowing - Propopatal on south side of Adjoining Property
- Trees retained as shown.
- No windows in garage

ISSUE DATE	REVISION

TITLE
PLAN OF ALTERATIONS AND ADDITIONS
165 SEAFORTH CRESCENT AND 165A SEAFORTH CRESCENT, SEAFORTH
LOTS 1 AND 2 IN DP 747438
FOR R. LEE AND CA & RM LEE

DRAWN DATE CHECKED SCALE
MDB 1 DECEMBER 2019 1:100

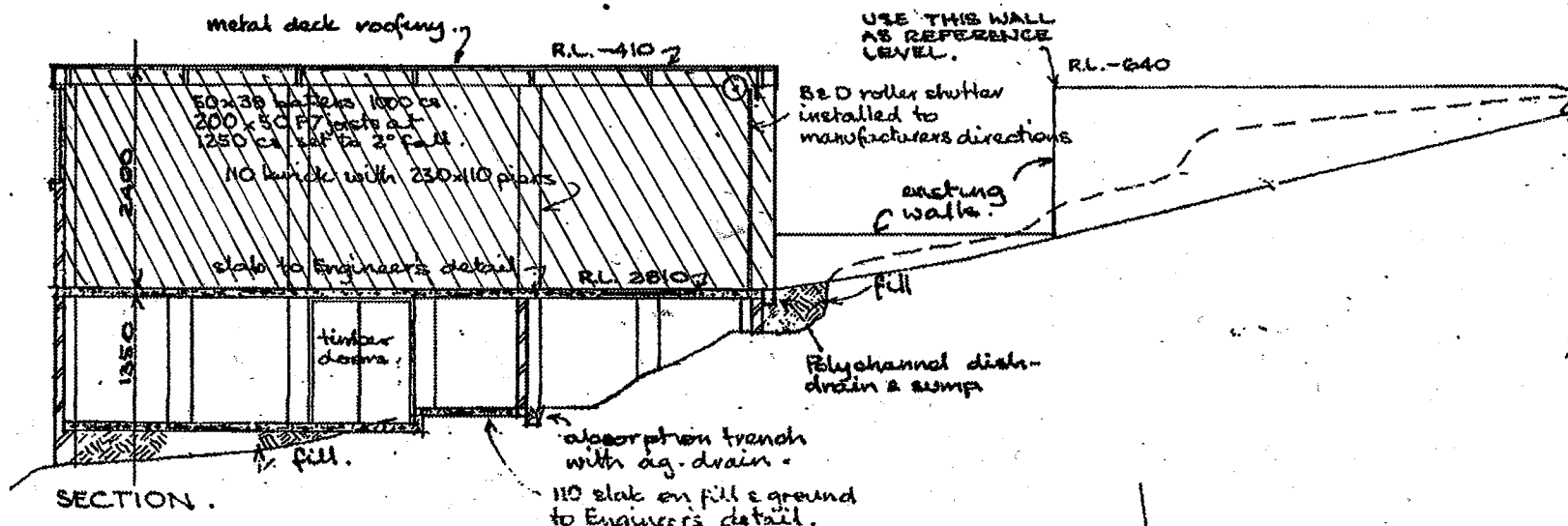
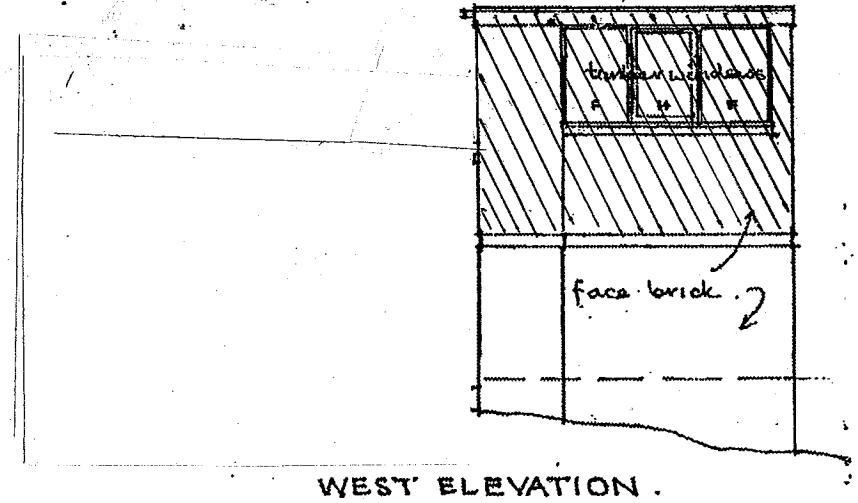
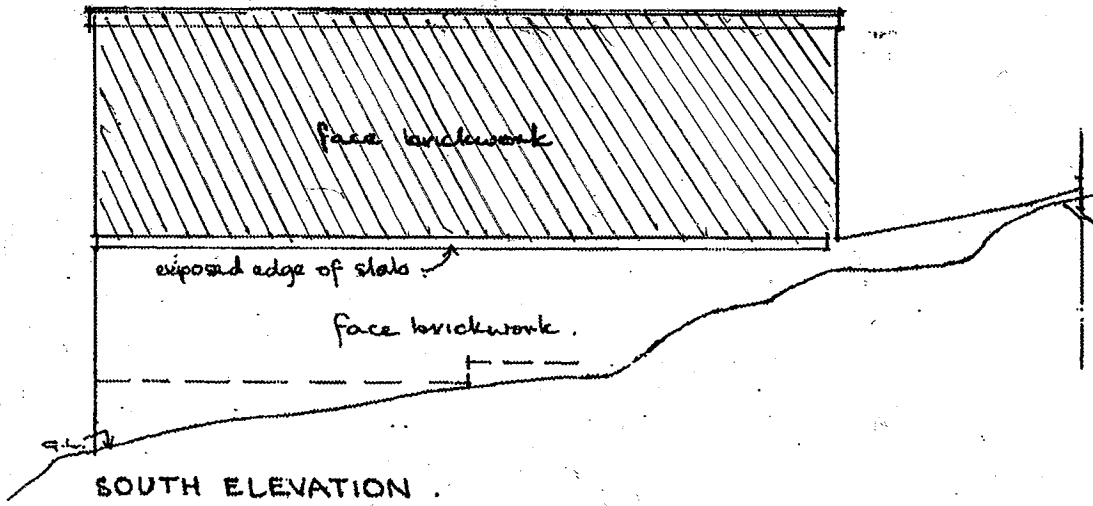
BENCH MARK
CUT IN KERB
RL 45.54 AND

DRAWING NO.
SHEET-1

DEMOLITION PLAN 165 + 165 A SEAFORTH CRESCENT SEAFORTH.

Denotes Demolition Areas.

metal deck roofing
set to fall to gutter.

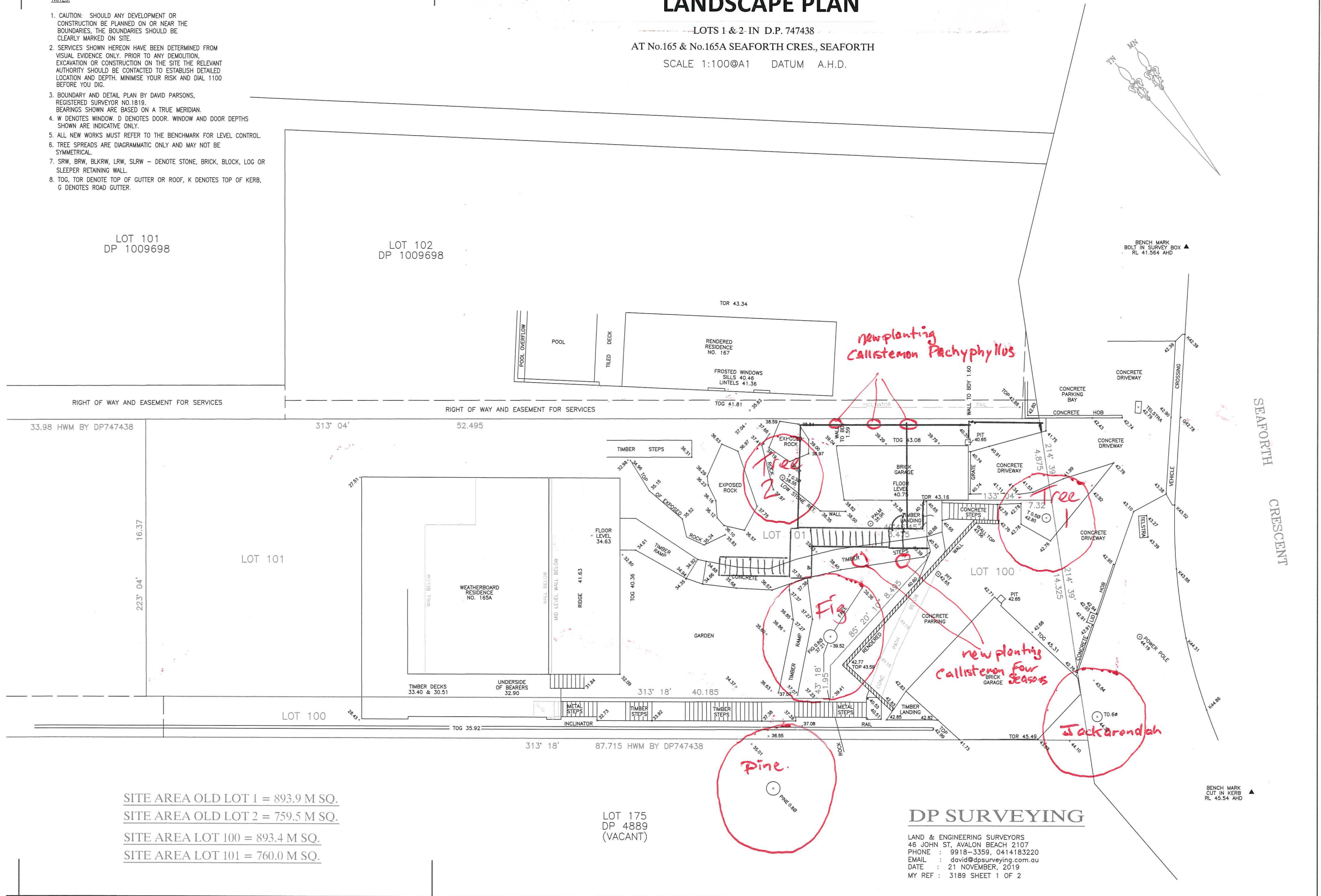


NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW, D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

LANDSCAPE PLAN

LOTS 1 & 2- IN D.P. 747438
AT No.165 & No.165A SEAFORTH CRES., SEAFORTH
SCALE 1:100@A1 DATUM A.H.D.



NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO. 1819. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W. DENOTES WINDOW, D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW - DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

EROSION AND SEDIMENT CONTROL PLAN

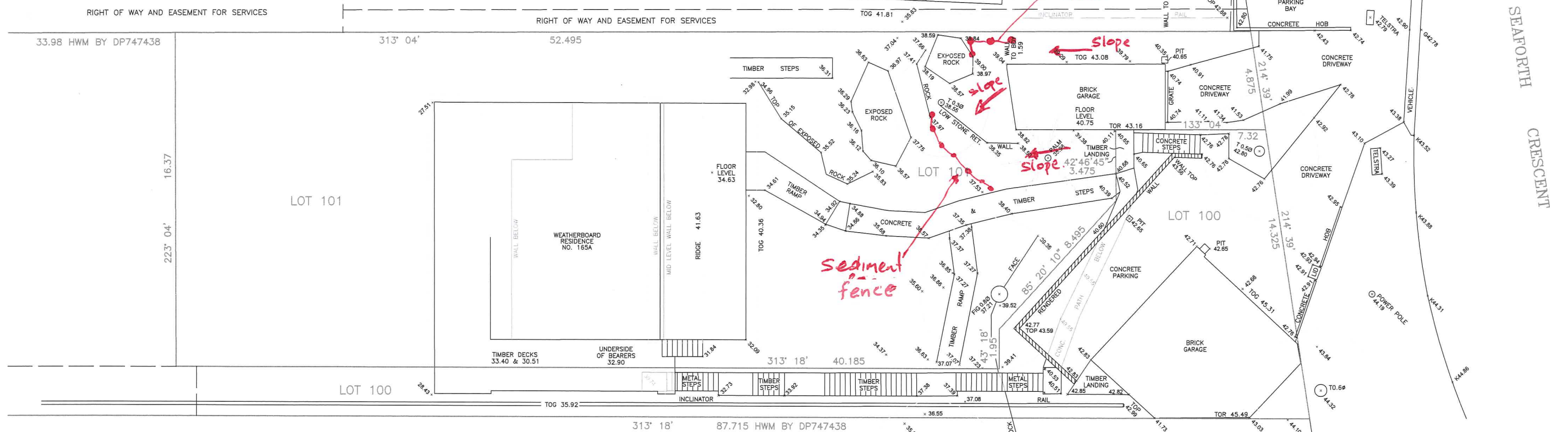
LOTS 1 & 2 IN D.P. 747438

AT No.165 & No.165A SEAFORTH CRES., SEAFORTH

SCALE 1:100@A1 DATUM A.H.D.

LOT 101
DP 1009698

LOT 102
DP 1009698



SITE AREA OLD LOT 1 = 893.9 M SQ.
SITE AREA OLD LOT 2 = 759.5 M SQ.
SITE AREA LOT 100 = 893.4 M SQ.
SITE AREA LOT 101 = 760.0 M SQ.

LOT 175
DP 4889
(VACANT)

DP SURVEYING

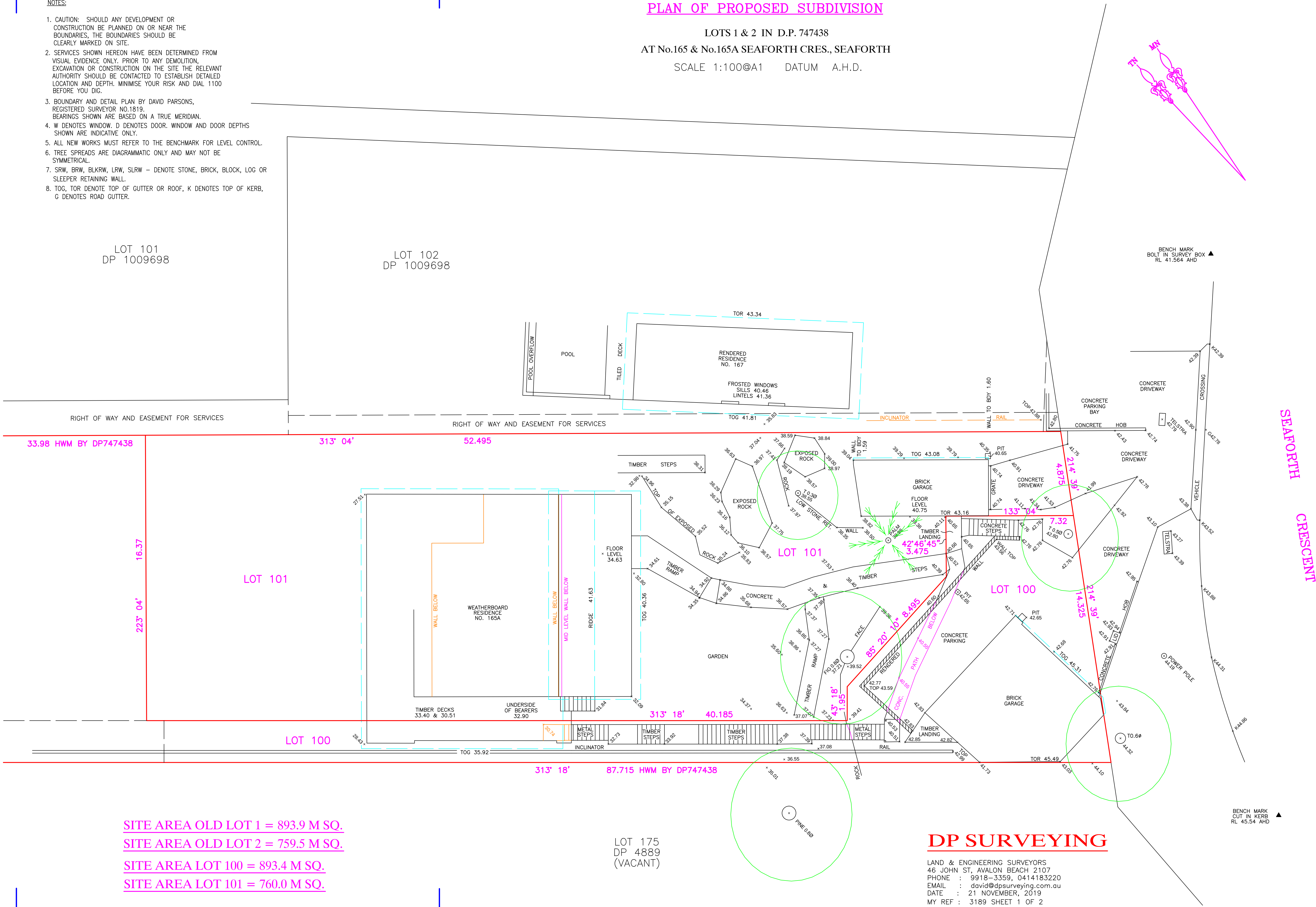
LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 9918-3359, 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 21 NOVEMBER, 2019
MY REF : 3189 SHEET 1 OF 2

NOTES:

1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
3. BOUNDARY AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819. BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
4. W DENOTES WINDOW. D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
7. SRW, BRW, BLKRW, LRW, SLRW – DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

PLAN OF PROPOSED SUBDIVISION

LOTS 1 & 2 IN D.P. 747438
AT No.165 & No.165A SEAFORTH CRES., SEAFORTH
SCALE 1:100@A1 DATUM A.H.D.



PLAN OF PROPOSED SUBDIVISION

LOTS 1 & 2 IN D.P. 747438
AT No.165 & No.165A SEAFORTH CRES., SEAFORTH
SCALE 1:100@A1 DATUM A.H.D.

NOTES:

- 1. CAUTION: SHOULD ANY DEVELOPMENT OR CONSTRUCTION BE PLANNED ON OR NEAR THE BOUNDARIES, THE BOUNDARIES SHOULD BE CLEARLY MARKED ON SITE.
- 2. SERVICES SHOWN HEREON HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO ESTABLISH DETAILED LOCATION AND DEPTH. MINIMISE YOUR RISK AND DIAL 1100 BEFORE YOU DIG.
- 3. BOUNDARY AND DETAIL PLAN BY DAVID PARSONS, REGISTERED SURVEYOR NO.1819.
BEARINGS SHOWN ARE BASED ON A TRUE MERIDIAN.
- 4. W DENOTES WINDOW. D DENOTES DOOR. WINDOW AND DOOR DEPTHS SHOWN ARE INDICATIVE ONLY.
- 5. ALL NEW WORKS MUST REFER TO THE BENCHMARK FOR LEVEL CONTROL.
- 6. TREE SPREADS ARE DIAGRAMMATIC ONLY AND MAY NOT BE SYMMETRICAL.
- 7. SRW, BRW, BLKRW, LRW, SLRW – DENOTE STONE, BRICK, BLOCK, LOG OR SLEEPER RETAINING WALL.
- 8. TOG, TOR DENOTE TOP OF GUTTER OR ROOF, K DENOTES TOP OF KERB, G DENOTES ROAD GUTTER.

LOT 101
DP 1009698

LOT 102
DP 1009698

RIGHT OF WAY AND EASEMENT
FOR BOATSHED FACILITIES

RIGHT OF WAY AND EASEMENT FOR SERVICES

RIG

33.98 HWM BY DP747438

313' 04'

LOT 100

LOT 101

16.37

223' 04'

27.51

WALL BELOW

TIMBER DECKS
33.40 & 30.51

28.40

NEW EASEMENT TO DRAIN WATER & EASEMENT TO DRAIN SEWAGE, 2.4 WIDE

LOT 100

DP SURVEYING

LAND & ENGINEERING SURVEYORS
46 JOHN ST, AVALON BEACH 2107
PHONE : 9918-3359, 0414183220
EMAIL : david@dpsurveying.com.au
DATE : 21 NOVEMBER, 2019
MY REF : 3189 SHEET 2 OF 2

SITE AREA OLD LOT 1 = 893.9 M SQ.
SITE AREA OLD LOT 2 = 759.5 M SQ.
SITE AREA LOT 100 = 893.4 M SQ.
SITE AREA LOT 101 = 760.0 M SQ.

SCHEDULE OF COLOURS AND MATERIALS

Roofing:	Kliplock 700 series 0.48mm Colour – Windspray
Walls:	Face brickwork to match existing brickwork
Wall reinforcement:	Steel square hollow sections
Roof structure:	Cee Perlins C15015
Garage door:	B & D slimline or similar
Stairs:	Galvanised steel stringers Aluminium Non slip treads
Guttering:	Lysaght Quad gutter.