



9 ALEXANDER STREET COLLARROY

STATEMENT OF ENVIRONMENTAL EFFECTS FOR ALTERATIONS AND ADDITIONS TO A DWELLING HOUSE



Report prepared for
Trudi and Matthew Pike
October 2022

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Clause 4.6 Variation to Height of Buildings attached

1.0 Introduction

1.1 This is a statement of environmental effects for alterations and additions to an existing dwelling at 9 Alexander Street, Collaroy.

The report describes how the application addresses and satisfies the objectives and standards of the Warringah Local Environmental Plan 2011, the Warringah Development Control Plan 2011 and the heads of consideration listed in Section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended).

1.2 This statement of environmental effects has been prepared with reference to the following:

- ◆ Site visit
- ◆ Survey Drawing prepared by C.M.S Surveyors
- ◆ Architectural Plans prepared by Action Plans
- ◆ BASIX Certificate prepared by Action Plans
- ◆ Stormwater Management Plan, and accompanying letter prepared by Taylor Consulting Engineers
- ◆ Preliminary Geotechnical Assessment prepared by AscentGeo

1.3 The proposed development is compliant with the objectives of Council controls, considerate of neighbouring residents and streetscape and results in improved amenity for the residents of the site. It is an appropriate development worthy of Council consent.

2.0 The site and its locality

- 2.1 The site is located at on the northern side of Alexander Street, approximately 135 metres west of its intersection with Pittwater Road. The site is legally described as Lot 13 DP 11374.
- 2.2 The lot is rectangular in shape with front and rear boundaries of 17.475 metres and side boundaries of 26.75 metres (east) and 26.79 metres (west). It has an area of 467.7m².
- 2.3 The subject site is currently occupied by a one, two and three storey brick and clad dwelling with a tile roof. The existing dwelling incorporates a double garage on the western side and a single hardstand on the eastern side of the property. The site is set within a residential lot which falls significantly from the front towards the rear by approximately 2.7 metres. A Sydney Water sewer main runs across the rear (adjacent to northern property boundary) of the site in an east to west direction.
- 2.4 The site is surrounded by detached residential dwellings, residential flat buildings and commercial/retail properties along Pittwater Road to the east. Curl Curl Beach is located in close proximity to the east and The Collaroy Centre to the south. The site is also in close proximity to services on Pittwater Road.



Figure 1. The site and it's immediate surrounds

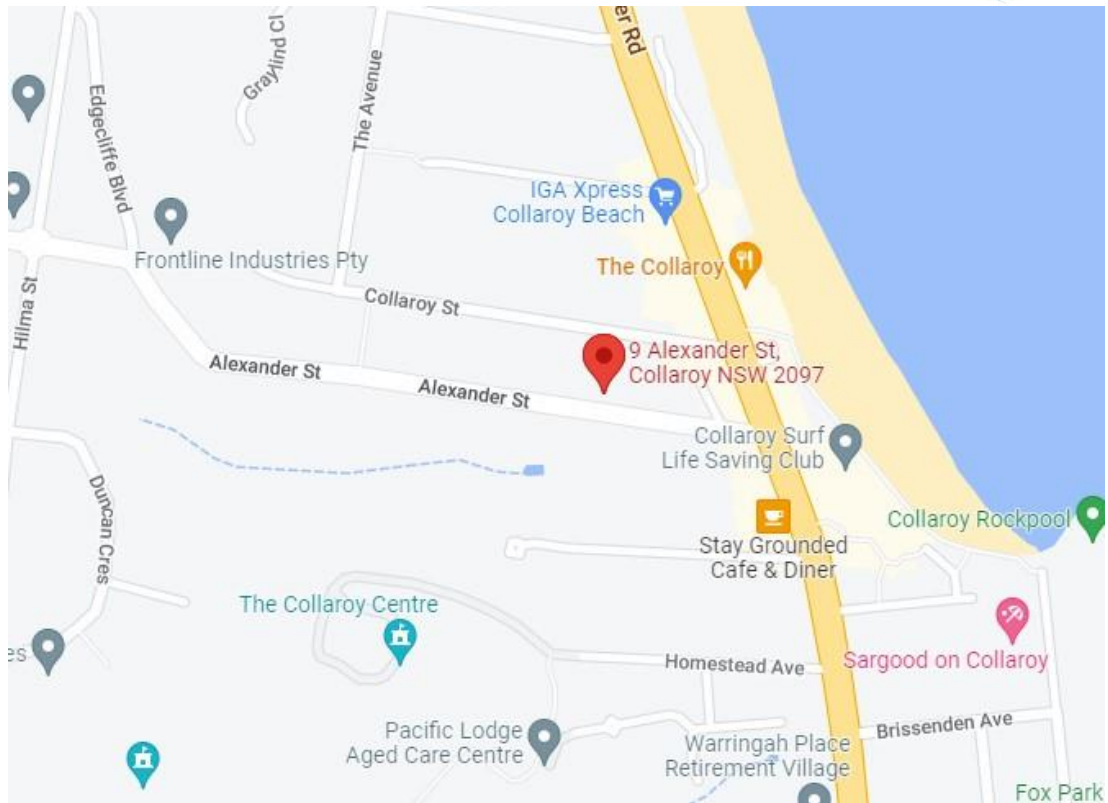


Figure 2. The site within the locality

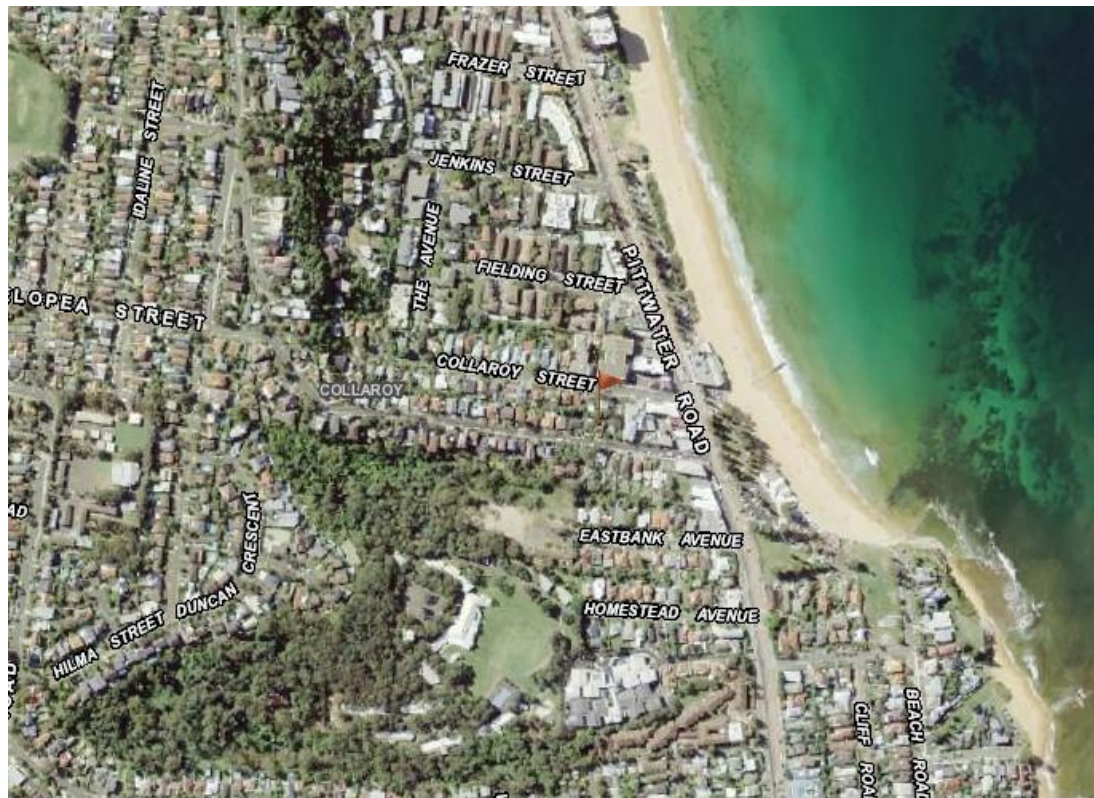


Figure 3. Aerial photograph of the site and its immediate surrounds

3. Proposed Development

3.1 The proposed development is for alterations and additions to an existing dwelling.

3.2 The proposed alterations and additions remain consistent with the streetscape and the locality. The proposal is compliant with Council controls, ensures privacy, solar access and views are maintained for both neighbours and the subject site.

3.3 The alterations and additions to the dwelling will be made up as follows:

Lower Ground Floor

- Demolish wall between storage areas to make one open plan living area
- Demolish kitchen and construct new kitchenette
- Construct new robes in Bedrooms 2 and 3
- Existing living and dining areas to become two living areas
- Large storage on the western side to be repurposed to a TV room
- Installation of new doors on northern elevation
- Stairs to be rebuilt and accessed from the living area
- External path and rear terrace to be tiled and installation of new stairs in north western corner to access balcony on upper ground floor

Upper Ground Floor

- Demolition of internal walls to living room, kitchen, bedroom 1 and bathroom
- New flexible room at front eastern side
- New bathroom adjacent to flexible room
- New kitchen, dining and living areas adjacent to existing covered balcony
- New roof over existing balcony with four skylights above
- New front door

First Floor

- Extend southern building well on eastern and western corners
- Add new robes to Bedrooms 1 and 2
- New window openings
- Removal of existing roof covering and installation of new cover over existing roof framing at rear of dwelling

Landscaping

- New retaining walls
- Stone cladding over existing masonry wall at front

4. Site Photos



Figure 4. Looking north, the subject site viewed from Alexander Street



Figure 5. Looking east, the rear of existing dwelling



Figure 6. Looking west, the existing upper ground floor balcony at the rear



Figure 7. Looking north, the eastern building setback



Figure 8. Looking north, the western building setback



Figure 9. Looking north east, the front of the subject site showing the first floor roof line

5. Statutory Framework

5.1 State Environmental Planning Policies

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

Schedule 1 of the Environmental Planning and Assessment Regulation (2000) sets out the requirement for a BASIX certificate to accompany any BASIX affected building, being any building that contains one or more dwellings, but does not include a hotel or motel. SEPP BASIX applies to the proposal and a compliant BASIX certificate is provided with this application.

State Environmental Planning Policy (Biodiversity and Conservation) 2021 (formerly SEPP Vegetation in Non-Rural Areas 2017)

State Environmental Planning Policy (Biodiversity and Conservation) 2021 aims to protect biodiversity values and preserve the amenity of non-rural areas, through the preservation of trees and other vegetation. No significant trees are to be removed and the development is consistent with the provisions of the SEPP.

State Environmental Planning Policy (Resilience and Hazards) 2021 (formerly SEPP No. 55 – Remediation of Land)

The subject site has historically been used for residential purposes and no change of use is proposed. There is no known reason to suspect the site may be contaminated and the consent authority can be satisfied that the land is suitable for the continued residential use.

5.2 Warringah Local Environment Plan 2011

Zoning

The site is zoned R2 Low Density Residential pursuant to the provisions of the Warringah Local Environment Plan 2011. The proposed development is a permissible use in the R2 zone, which permits dwelling houses with development consent.

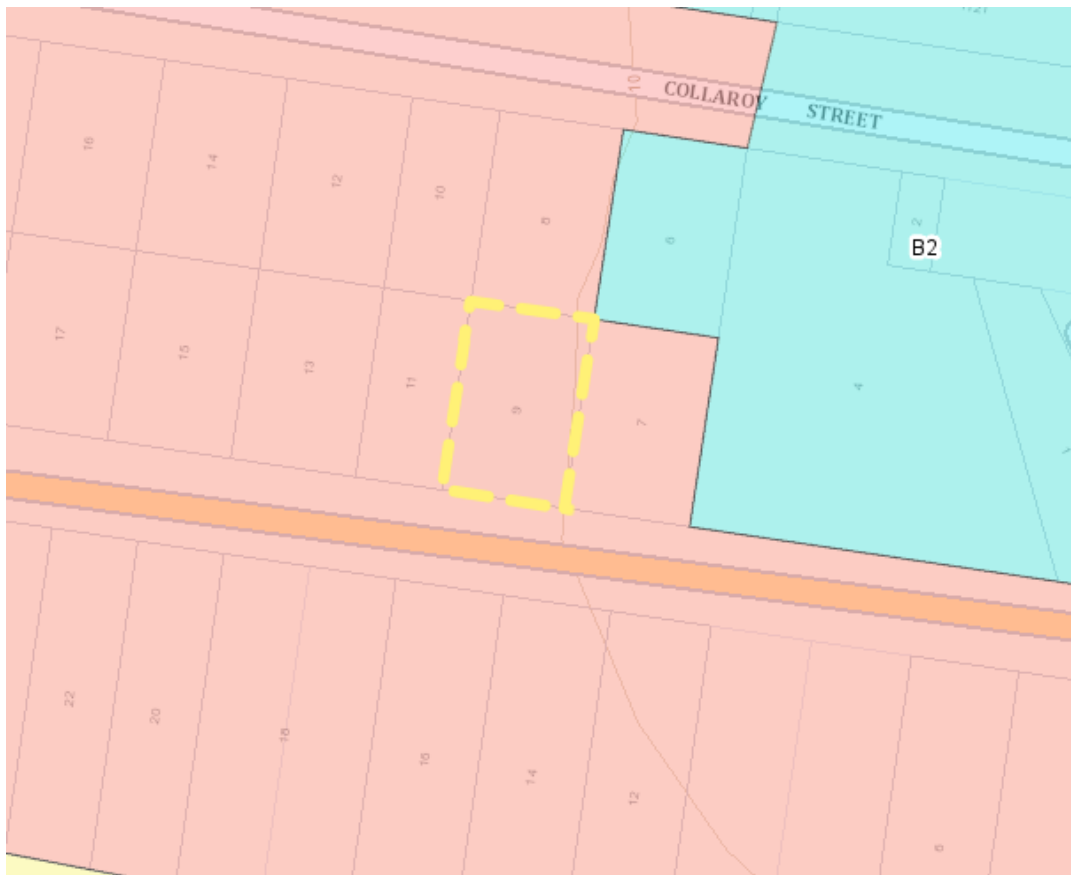


Figure 10. Extract from Warringah LEP zoning map

Demolition

Demolition works are proposed to allow for the construction of the proposed works. The demolition works are illustrated on the architectural drawings attached to this development application package and procedures to be followed on-site provided on the same drawings.

Minimum Lot Size

The site is mapped with a minimum lot size of 600m². The subject site is an undersized parcel of land with a site area of 467.7m² and no subdivision is proposed.

Height

The LEP restricts the height of any development on the subject site to 8.5 metres. The existing height is 8.64 metres. The proposed development includes an extension to the timber framed roof on the eastern and western sides at first floor level and will retain the existing maximum height of 8.64 metres.

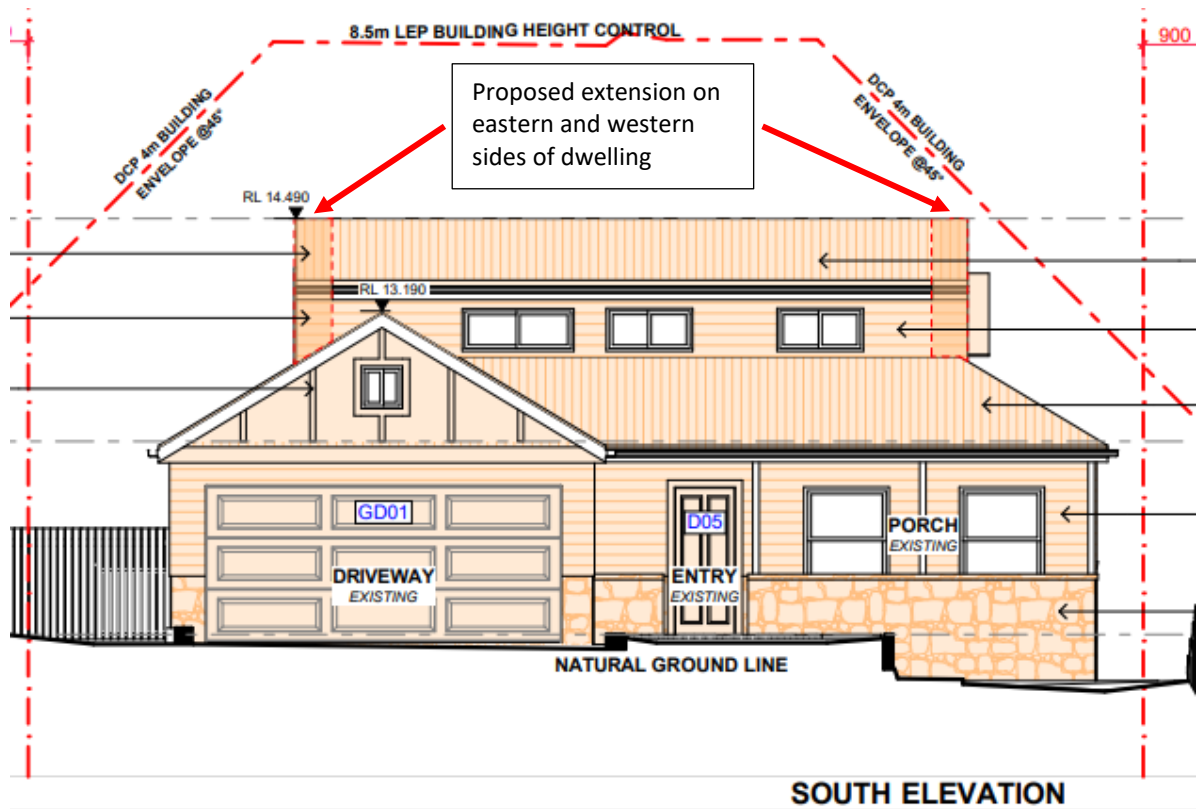


Figure 11. Extract from Architectural Drawing DA12, showing the proposed small extension to the roof at first floor level

A negligible breach will also occur within the centre of the dwelling at first floor level as a result of the replacement of the roof covering (refer Drawing DA11 North / East Elevation).

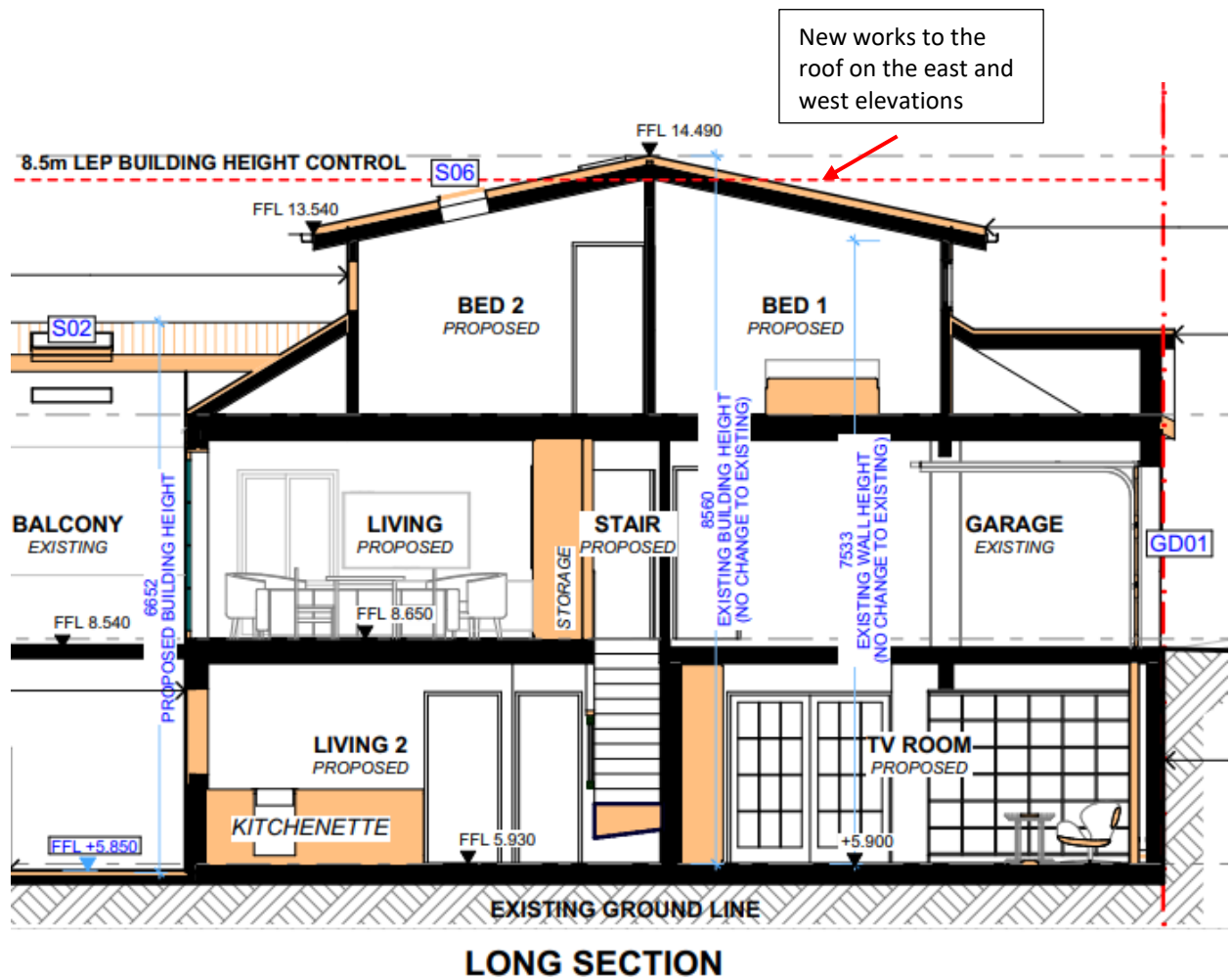


Figure 12. Extract from Architectural Drawing DA13, showing the proposed maximum building height

A variation is justifiable in this case, as the proposal will not exceed the existing building height of the dwelling, impact adjoining properties and being a minor breach (representing less than a 10% variation). The proposed built form is aesthetically pleasing, consistent with the existing dwelling and presents a compliant height when viewed from the Alexander Street frontage. Overall, there will be a negligible impact to the bulk and scale of the dwelling when viewed from Alexander Street.

A Clause 4.6 variation is attached in support of the proposed height.

Heritage

The site is not a heritage item, located within a heritage conservation area or located near any heritage items which will be impacted by the proposed development.

Acid Sulfate Soils

The site is located in an area nominated as Acid Sulfate soils Class 4 and 5. No additional information is required for a development of this scale.

Earthworks

Minor earthworks are proposed to prepare the site for the new footings associated with the proposed external site and landscaping works at the rear of the site.

Standard erosion and sediment control measures will be implemented, and any engineering specifications and conditions of consent adhered to, to ensure best practice procedures are followed.

Development on Sloping Land

The site is located in the area nominated the LEP maps as Area D – Flanking Slopes 5 to 15. Accordingly, a Preliminary Geotechnical Assessment has been prepared by AscentGeo confirming that the proposal complies with Council controls.

5.2 Warringah Development Control Plan 2011

The relevant sections of the Warringah DCP 2011 are addressed below.

Part A Introduction

Objectives

The proposed development is entirely consistent with the ecologically sustainable, environmental, social and economic objectives as specified in the DCP. The proposal is appropriate to the site and the locality and has been designed with fulfilment of these objectives as essential criteria.

Part B General Controls

Wall Heights

A maximum wall height of 7.2 metres is permitted. The proposed development will not change the existing maximum wall height of 7.533 metres (see Figure 12 above).

Side Building Envelope

The site requires a side boundary envelope of 5m/45°.

The development proposes the replacement of the existing roof covering, with new roof materials, to the existing non-compliant rear part of the roof on the eastern side. See Figure 13 below.

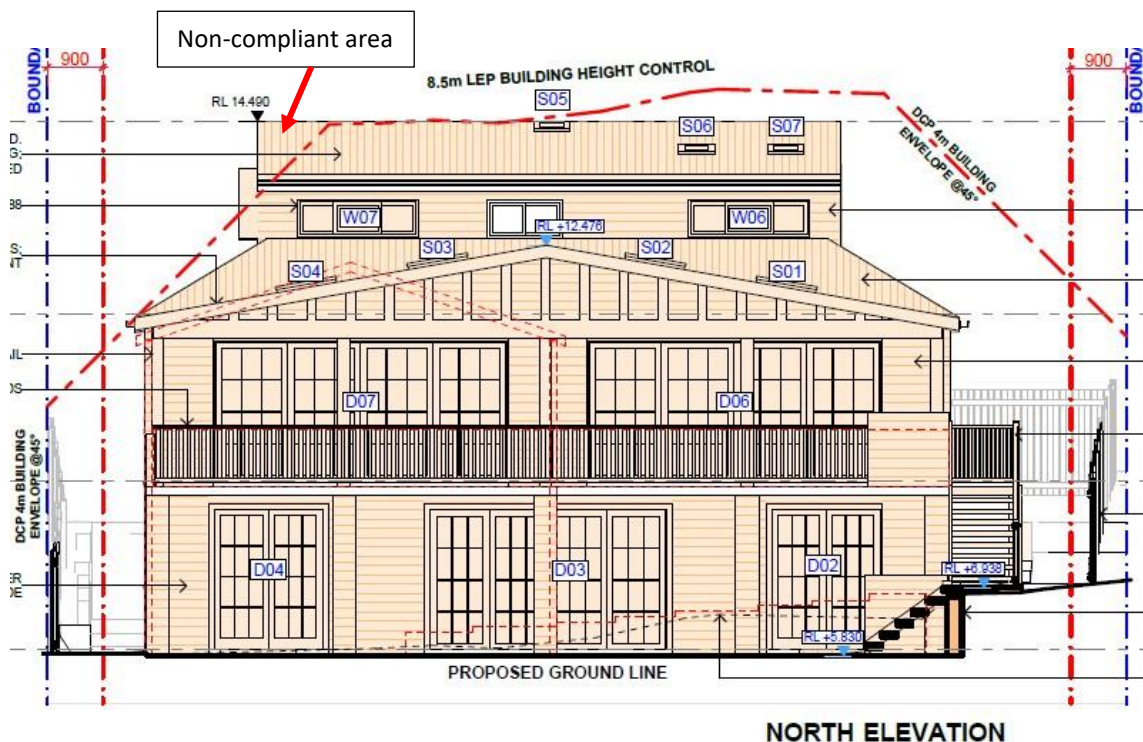


Figure 13. Excerpt from North Elevation, Drawing DA11, showing the non-compliant area

A variation to the side boundary envelope is appropriate in this case, as the proposed development can still meet the objectives of this clause being:

- *To ensure that development does not become visually dominant by virtue of its height and bulk.*

The proposed development involves minor alterations to the first floor level, involving the replacement of the roof covering with new materials. No change is proposed to the existing maximum building height for the dwelling. The proposed changes at roof level provide aesthetic improvements to the dwelling, without creating any additional floor space at this level. As the breach is the result of changes to the already non-compliant roof form, the proposal will not alter the existing bulk and scale of the dwelling when viewed from neighbouring properties or Alexander Street.

- *To ensure adequate light, solar access and privacy by providing spatial separation between buildings.*

The shadow diagrams included with this application, demonstrate that the proposed development maintains compliant solar access, with direct sunlight available to more than 50% of the private open space of the subject site and the adjoining dwellings at 9am and 12pm on June 21. All rooms provide BCA compliant access to light.

Privacy will be retained for neighbours and no direct overlooking into any key living areas. The existing ground floor is visually separated from the neighbouring properties by the side boundary fencing.

The alterations and additions ensure that appropriate spatial separation between the subject site and adjoining dwellings is retained.

- *To ensure that development responds to the topography of the site.*

The proposed built form (and minor variation) responds to the topography, and existing ground level, to create an appropriate development for the site.

It is concluded that the proposed variation will have no impacts on neighbouring properties and remains consistent with the objectives of this clause, despite the non-compliance.

Side Boundary Setbacks

Side setbacks of 900mm are permitted on the subject site. The existing dwelling is setback 1.580 metres from the eastern boundary and 2.865 metres from the western boundary at the lower ground and upper ground floor levels. No change is proposed to the existing lower ground or upper ground floor level setbacks.

At first floor level the existing dwelling is setback 3.377 metres from the eastern property boundary and 4.646 metres from the western property boundary and no

change is proposed. The existing setbacks are retained as the proposed development is fully contained within the building footprint of the existing dwelling.

Front Setback

A front setback of 6.5 metres is required on the site. The existing dwelling has a compliant front setback of 6.535 metres to the garage from Alexander Street and no change is proposed.

Rear Setback

A rear setback of 6 metres is required for the site. There is no change to the existing rear setback of 5.443 metres to the covered balcony at rear lower ground floor level. The development proposes a new roof above the upper ground floor level balcony, including the installation of four (4) new skylights.

Given that the existing rear setback is to be retained, the sense of openness within the rear yard will be unaffected by the proposal. Further, the development results in an increase in landscaped open space of 8.47m² at the rear of the dwelling, due to the removal of existing paved surfaces.

5.2.2 Part C Siting Factors

Traffic Access and safety

No changes are proposed to the two (2) existing driveway crossovers from Alexander Street.

Parking

There is no change proposed to the existing on-site parking.

Stormwater

The proposed alterations and additions will be connected to Council's existing stormwater system and a new absorption trench to be located in the north eastern corner of the site. See attached Stormwater Management Plan, and accompanying letter, prepared by Taylor Consulting Engineers.

Erosion and Sedimentation

An erosion and sediment control plan is provided in the attached plan set.

Excavation and Landfill

The majority of the proposed works are located within the footprint of the existing dwelling; however, minor earthworks are proposed to prepare for the external site and landscaping works.

Demolition and Construction

The proposed alterations and additions will involve demolition works as detailed on the attached architectural plans.

All demolition and construction works will be undertaken as required by Council controls and compliant with any relevant conditions of consent.

Waste Management

Appropriate waste management will be undertaken during the demolition and construction process.

All demolished materials will be recycled where possible which is detailed in the accompanying Waste Management Plan.

The existing dwelling has appropriate waste storage areas, with waste to be collected by Councils regular service.

5.2.3 Part D Design

Landscaping and Open space and bush land setting

The DCP requires 40% landscaping on the site which is equivalent to 187.08m² for the site area of 467.7m². The existing landscaped area on the site equates to 137.22m² or 29.3%. The development proposes 137.96m² or 29.5%. If the areas <2 metres were to be included in the landscaped area calculation, the proposal would incorporate a landscaped area of 179.27m² or 38.3%.

It is noted that the proposed development results in a very minor increase in landscaped open space at the rear of the site. It is considered that the existing rear lawn, terrace and balcony provide appropriate outdoor recreational opportunities for the occupants and provide space for clothes drying.

A variation to the landscaped area control is considered appropriate, in this case, as the development remains consistent with the objectives of the control, despite the variation, as addressed below:

Objectives of the control:

- *To enable planting to maintain and enhance the streetscape.*

Comment

The proposed development does not involve any changes to the existing landscaped area (in excess of 38m²) within the front setback to Alexander Street. Existing vegetation on the street frontage will be retained.

- *To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.*

Comment

Not relevant to the subject site.

- *To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.*

Comment

There is sufficient area for the retention and establishment of low lying and medium shrubs and the majority of canopy trees. The proposed development does not involve the removal of any significant vegetation on the site.

- *To enhance privacy between buildings.*

Comment

Privacy is easily maintained between dwellings, with no change to existing compliant front and side building setbacks, and no change to the existing rear setback. Also, with privacy measures incorporated within the overall building design.

- *To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.*

Comment

The alterations and additions do not reduce the rear landscaped area being the dedicated area on the site for recreational opportunities.

- *To provide space for service functions, including clothes drying.*

Comment

There is sufficient area to accommodate service functions including clothes drying.

- *To facilitate water management, including on-site detention and infiltration of stormwater.*

Comment

Stormwater runoff resulting from the proposed development will be connected to the existing stormwater system and a new absorption trench located at the rear of the site. A Stormwater Management Plan is attached to this development application package.

Private open space

The DCP requires 60m² of private open space (minimum dimension 5 metres) for dwelling houses with 3 or more bedrooms. The site has an existing area of 109.85m² of private open space in the rear yard and no change is proposed.

Noise

The development is appropriate and will not result in noise levels inappropriate to a residential area. The site is not located in close proximity to a noise generating activity.

Access to sunlight

At least 50% of the private open space of the subject site and the adjoining dwellings are required to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21 by this DCP clause.

The proposed works result in negligible solar access impacts. The following observations are made of the shadow diagrams included with this application:

9am – The development will result in a negligible increase in overshadowing to the subject site on the western side of the dwelling and a negligible increase to the eastern side of the neighbouring property at 11 Alexander Street.

12pm – The development will result in a negligible impact in overshadowing to the subject site only.

3pm – The development will result in a negligible impact to solar access at the rear of the subject site and a negligible impact to the western side of the dwelling located at 7 Alexander Street.

It is concluded that the key outdoor living areas at the subject site and the neighbouring properties will receive ample solar access between 9am and 3pm.

Views

A site inspection of the subject site has been undertaken and it is considered that no views will be impacted as a result of the proposed development.

Privacy

Privacy will be retained for neighbours with compliant setbacks, with no change to existing setbacks on the lower ground, upper ground and first floor levels. The proposed first floor has ample setbacks to ensure privacy is maintained between dwellings.

The new windows and window treatments will be constructed to comply with the BCA for class 1a dwellings. These treatments will further enhance privacy.

Building Bulk

The proposed alterations and additions do not materially affect the bulk and scale of the existing dwelling. Further, the alterations and additions will be consistent with the streetscape and surrounding dwellings, with the overall impact being an updated, aesthetically pleasing and complimentary addition to Alexander Street.

Building Colours and Materials

The proposed alterations and additions will include weatherboard cladding, with some stone cladding, and a sheet metal roofing. Colours to match the coastal surrounds are proposed as shown on the architectural elevations and attached schedule.

Roofs

The new roof will retain and complement the existing pitch and maintain the existing built form. Eaves are incorporated for shading and materials will be non-reflective.

Glare & Reflection

Materials have been chosen to ensure no glare or reflection issues.

Front Fences and Front Walls

The existing development does not have a front fence on the Alexander Street frontage and no change is proposed.

Site Facilities

The existing dwelling has appropriate waste, recycling areas and drying facilities.

Side and Rear Fences

No change is proposed to the existing timber side fencing.

Safety and Security

An ability to view the street frontage is retained allowing for casual surveillance which is to the benefit of the safety and security.

Conservation of Energy and Water

The design has achieved a BASIX Certificate which accompanies the application.

5.2.4**Part E Design****Preservation of Trees or Bushland Vegetation**

The proposed development does not require the removal of any significant vegetation on the site.

Retaining unique Environmental Factors

The development will have no impact on any unique environmental factors in the area.

Wildlife Corridors

There will be no impact on any valued wildlife as a result of the proposed alterations and additions.

Landslip Risk

A Preliminary Geotechnical Report has been prepared in support of the application in its current form.

6. Numerical Compliance Table

| | Standard | Proposed | Compliance |
|--|--|--|---|
| Warringah LEP 2011 | | | |
| Lot Size | 450m ² | Existing – 467.7m ² | Yes – no change |
| Building Height | 8.5 metres | Existing - 8.64 metres Changes at roof level will retain existing non-compliant height | Clause 4.6 attached |
| Floor Space Ratio | Not identified | - | - |
| Warringah DCP 2011 | | | |
| Wall Height | 7.2 metres | Existing - 7.533 metres | Yes – no change proposed |
| Number of Stories | Not identified | - | - |
| Side Boundary Envelope | 5 metres / 45 degrees | Variation on eastern side due to replacement of roof materials above existing non-compliant area of roof | Yes - Compliance with objectives achieved |
| Site Coverage | Not identified | - | - |
| Side Boundary Setbacks | 0.9 metres | Existing- 1.580 metres (east) 2.865 metres (west) | Yes – no change |
| Front Boundary Setback | 6.5 metres | 6.535 metres to garage | Yes |
| Rear Boundary Setbacks | 6 metres | Existing - 8.450 metres to dwelling Proposed - 5.443 metres to covered balcony | Yes – compliance with objectives achieved |
| Parking | 2 spaces | Existing - 2 spaces | Yes – no change proposed |
| Landscaped Open Space and Bushland Setting | 40% of lot area (187.08m ²) | 29.5% (137.96m ²) Increase to existing | Yes - compliance with objectives achieved |
| Private Open Space | 60m ² Minimum dimensions of 5 metres | Existing – 109.85m ² | Yes – no change to existing |

| | Standard | Proposed | Compliance |
|--------------|--|-----------|--------------------------------------|
| Solar Access | 3 hours sunlight to 50% of POS of both subject site and adjoining properties between 9am and 3pm on June 21. | 3 hours + | Yes – refer attached shadow diagrams |

7. Section 4.15 Considerations

The following matters are to be taken into consideration when assessing an application pursuant to section 4.15 of the Environmental Planning and Assessment Act 1979 (as amended). Guidelines to help identify the issues to be considered have been prepared by the former Department of Urban Affairs and Planning. The relevant issues are:

The provision of any planning instrument, draft environmental planning instrument, development control plan or regulations

This report clearly and comprehensively addresses the statutory regime applicable to the application and demonstrates that the proposed land use is complimentary and compatible with adjoining development. The proposal achieves the aims of the Warringah LEP and DCP.

The development is permissible in the zone.

The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economical impacts in the locality

7.1. *Context and Setting*

What is the relationship to the region and local context in terms of:

- the scenic qualities and features of the landscape?*
- *the character and amenity of the locality and streetscape?*
- *the scale, bulk, height, mass, form, character, density and design of development in the locality?*
- *the previous and existing land uses and activities in the locality?*

These matters have been discussed in detail in the body of the statement.

What are the potential impacts on adjacent properties in terms of:

- *relationship and compatibility of adjacent land uses?*
- *sunlight access (overshadowing)?*
- *visual and acoustic privacy?*
- *views and vistas?*
- *edge conditions such as boundary treatments and fencing?*

The proposed alterations and additions have been designed to complement the site and its surrounds. The alterations and additions are appropriate and will have negligible impact on adjacent properties.

7.2 Access, transport and traffic

Would the development provide accessibility and transport management measures for vehicles, pedestrians, bicycles and the disabled within the development and locality, and what impacts would occur on:

- *travel demand?*
- *dependency on motor vehicles?*
- *traffic generation and the capacity of the local and arterial road network?*
- *public transport availability and use (including freight rail where relevant)?*
- *conflicts within and between transport modes?*
- *traffic management schemes?*
- *vehicular parking spaces?*

The proposed development does not later the existing access, transport and traffic conditions on the site.

7.3 Public domain

The proposed development will have a positive impact on the public domain as the proposal is consistent with the character and streetscape of the residential area.

7.4 Utilities

There will be no impact on the site, which is already serviced.

7.5 Flora and fauna

There will be no impact.

7.6 Waste

There will be no impact.

7.7 Natural hazards

The site is affected by slip. A report has been provided by an expert with regard to the geotechnical aspects of the site and is supportive of the proposal subject to recommendations. This report accompanies the development application.

7.8 Economic impact in the locality

There will be no impact, other than the possibility of a small amount of employment during construction.

7.9 **Site design and internal design**

Is the development design sensitive to environmental conditions and site attributes including:

- *size, shape and design of allotments?*
- *the proportion of site covered by buildings?*
- *the position of buildings?*
- *the size (bulk, height, mass), form, appearance and design of buildings?*
- *the amount, location, design, use and management of private and communal open space?*
- *landscaping?*

The proposed alterations and additions are highly appropriate to the site with regard to all of the above factors. The development fits well within the context of the surrounds and is an appropriate scale, well-suited to its residential surrounds.

How would the development affect the health and safety of the occupants in terms of:

- *lighting, ventilation and insulation?*
- *building fire risk – prevention and suppression/*
- *building materials and finishes?*
- *a common wall structure and design?*
- *access and facilities for the disabled?*
- *likely compliance with the Building Code of Australia?*

The proposed development will comply with the provisions of the Building Code of Australia. Additionally finishes, building materials and all facilities will be compliant with all relevant Council controls.

7.10 **Construction**

What would be the impacts of construction activities in terms of:

- *the environmental planning issues listed above?*
- *site safety?*

Site safety measures and procedures compliant with relevant legislation will ensure that no site safety or environmental impacts will arise during construction.

The suitability of the site for the development

Does the proposal fit in the locality?

- *are the constraints posed by adjacent developments prohibitive?*

- *would development lead to unmanageable transport demands and are there adequate transport facilities in the area?*
- *are utilities and services available to the site adequate for the development?*

The adjacent development does not impose any unusual development constraints.

Are the site attributes conducive to development?

The site is appropriate for the alterations and additions proposed.

Any submissions received in accordance with this Act or the regulations

It is envisaged that the consent authority will consider any submissions made in relation to the proposed development.

The public interest

It is considered that the proposal is in the public interest as it allows for appropriate use of an existing residential site.

Section 4.15(1) of the Environmental Planning and Assessment Act has been considered and the development is considered to fully comply with all relevant elements of this section of the Environmental Planning and Assessment Act 1979.

8. Conclusions

- 8.1 The proposed development for alterations and additions to the existing dwelling at 9 Alexander Street, Collaroy is appropriate considering all State and Council controls.
- 8.2 When assessed under the relevant heads of consideration of s4.15 of the Environmental Planning and Assessment Act, the proposed development is meritorious and should be granted consent.
- 8.3 Considering all the issues, the fully compliant development is considered worthy of Council's consent.

Planner Declaration

This report was prepared by:

Senior Planner: Susan May-Roberts

Report Version: Final

Document Control Table

| Document Purpose: | Statement of Environmental Effects | |
|-------------------|-------------------------------------|----------------------------|
| Date | Prepared by | Approved by |
| 13/10/2022 | Susan May-Roberts Senior Planner | Sarah McNeilly Director |

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