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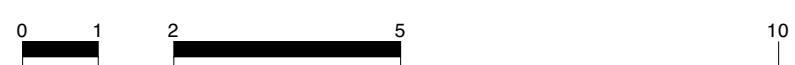


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PROJECT
Mixed Use Boarding House Development
ADDRESS
691 Pittwater Road Dee Why NSW
CLIENT
Gannet Developments
DRAWING
Cover Page

PROJECT #	19049	SCALE @ A1	
DRAWN	AT/JG	CHECKED	JK
DATE	27/11/20	DRAWING No.	
NORTH		DA 000	
		REV	D





1 View From Corner of Pittwater Rd & Fisher Rd



2 Bird's Eye View

LOCATION & CONTEXT

This proposal is for a mixed use, 64 room boarding house development located in the heart of Dee Why's Town Centre at 691 Pittwater Road, Dee Why. Dee Why Town Centre and Pittwater Road is characterised by a mix of commercial buildings 2-3 storeys high and newer mixed use multi-residential buildings with retail at Ground level up to 15 stories in scale. Pittwater Road is a major public transport route and has a high volume thoroughfare of cars, buses and pedestrian activity.

The site enjoys excellent access to **public transport services** including 11 bus stops within 400m walking distance. These bus stops offer a variety of routes including the express **B-Line** bus to the City/Wynyard as well as services to Manly, Palm Beach, Elanora Heights, North Sydney and Mosman. This site is within **walking distance** to the Town Centre's central amenities including Northern Beaches Council, Dee Why Library, and the Village Plaza, as well as the wider town centre and Dee Why Beach. This lends the site as appropriate for convenient affordable residential accommodation for key members of the public who value ease of location and access to amenities and the beach.

The site forms part of a triangular block bound by Pittwater Road to the South-East, Fisher Road to the West, and St David Avenue to the North. Situated beside retail businesses at 693a Pittwater Road and 689 Pittwater Rd, the subject site is located in a **B4 Mixed Use Zone**. Partially adjoining the rear of the site on Fisher Road is the Salvation Army which consist of 4 buildings including a church.

The immediate context of 691 Pittwater Road looks towards higher density, a diversifying population and supports affordability. Located nearby at 701 Pittwater Road is a newly developed apartment block and highlights the current progression and transformation of the Town Centre.

The site is approximately 650m² in area and is legally known as Lot 1 in DP166322.

HERITAGE & ARCHITECTURE

The facade of the existing building at 691 Pittwater Road is listed as an item of environmental heritage in the WLEP 2011, identified as 148 on the LEP maps. The two storey **Art Deco** style building was built in 1941 and operated as a Commonwealth Bank Branch up until 2018. Whilst extensive alterations have occurred on the interior, only minor modifications have been made to the front facade. These include an additional room on the right hand side of the facade to allow for AMT facilities, a large awning to cover the footpath, and black paint to the original red granite. The awning is a continual theme along the street frontage, however, detracts the original essence of the historical facade.

The proposal seeks to restore the front facade to its original intent via removing the ATM partition walls to reveal the symmetrical nature of the Art Deco style. The awning is also proposed to be removed and replaced with a small glass awning limited to above the new proposed accessible entryway.

The addition of the boarding house development not only respects the historical significance of the building, but further adds to the gentrifying streetscape. Typical of **Art Deco characteristics**, and similar to the retained heritage facade, the proposal offers an overall composition inclusive of a strong vertical emphasis, geometric forms, smooth wall surfaces and a stepped outline.

The plan consists of an 'E' built form with a front, middle and rear block with an internal courtyard. Both front and rear facades portray the same characteristics of the typical Art Deco style. The rear block includes a rooftop urban farm whilst the top storey of the front facade is further recessed from the street and changes materiality.

The middle block is situated within the internal courtyard void and is separated from its neighbouring boundary by 6m. This assists on a range of essential factors including additional **solar access** and **natural ventilation**, increased visual dynamics and **increased privacy** throughout each level. Similarly to the front and rear facade, the middle block continues the motifs of floor to ceiling windows, angular walls and geometric forms.

FSR & USES

The development consists of retail and office spaces as well as 63 boarding rooms over 7 storeys plus a manager's room. Due to the site being in an Accessible Area (land within 400m walking distance of a bus stop used by a regular bus service), the affordable housing component is suitable and encouraged.

"Boarding houses serve an important role in providing low cost accommodation for people who value affordability and location over space, and who prefer simple, flexible and tenure arrangements."
- NSW Government planning - AHSEPP Review 2010

Not only do these arrangements provide housing opportunities for low and moderate income earners, it also encourages cultural and economic diversity, assists local businesses to attract and retain employees, and promotes "live near work" housing which helps **alleviate traffic congestion** and the environmental impacts associated with long commutes.

The proposed development achieves an FSR lower than the maximum allowed. The site has an allowable FSR of 4:1 and the proposal for the boarding house achieves and FSR of 3.64:1.

It comprises a New Generation Boarding House where each room consists of a private bathroom, kitchenette and a combination washer dryer to allow for independence and flexibility. The proposal includes four accessible rooms as required by the BCA.

The site currently provides zero landscaped or deep soils areas. The proposed development greatly improves the status quo by providing 147m² of **deep soil planting** (>22% of the site) and rooftop urban farm. The ground floor street frontage is traditionally used as retail and is being retained. An accessible entry to the rest of the development is provided through the western thoroughfare via a ramp. This leads up to a communal courtyard area which includes **127 bicycle spaces** (in lieu of zero carparking), retail facilities, and communal waste rooms. In addition, three levels of podium towards Pittwater Road retains as commercial; consistent with the existing and future character of the area.

A communal living, kitchen and dining are located on the top floor of the front block and benefits from the northern orientation as well as ocean views of Dee Why Beach to the South-East. It also directly connects to oversized communal outdoor areas. The communal area to the North takes advantage of passive solar design as they receive a minimum of 3 hours of sunlight between 9am and 3pm in mid winter. The proposed urban farm also promotes communal activity and socialisation. It encourages a healthy lifestyle and living opportunities within the Boarding House.

The proposal looks towards the near future and **advocates for sustainability** and carbon neutrality. The following sustainable strategies have been implemented:
- A large solar power arrangement efficiently orientated on the rooftop, plus rainwater catchment system to further boost the project's green credentials.
- The 'E' shaped formation makes the best use of solar access, views and protection from strong and gusty winds.
- Solar access and cross ventilation achievements including ceiling fans and no air conditioning.
- The innovation of bicycle parking as a substitute for car parking not only promotes healthy lifestyles, but further reduces the environmental impact of traffic congestion and pollution.

The proposal also caters for the **future laneway** envisioned by Council, running through the rear 6m setback provided within the site. Waste collection, services and the possibility of up to three car parking spaces were strategically located towards this area for this purpose.

QUALITY OF MATERIALS

Due to the importance to retain the original heritage facade; a mix of materials consisting of precast concrete and lightweight metal cladding, provide a sense of tradition and durability. Reflective of the **Art Deco style** of smooth facades and vertical compositions, the precast concrete respects the traditional material of its surroundings.

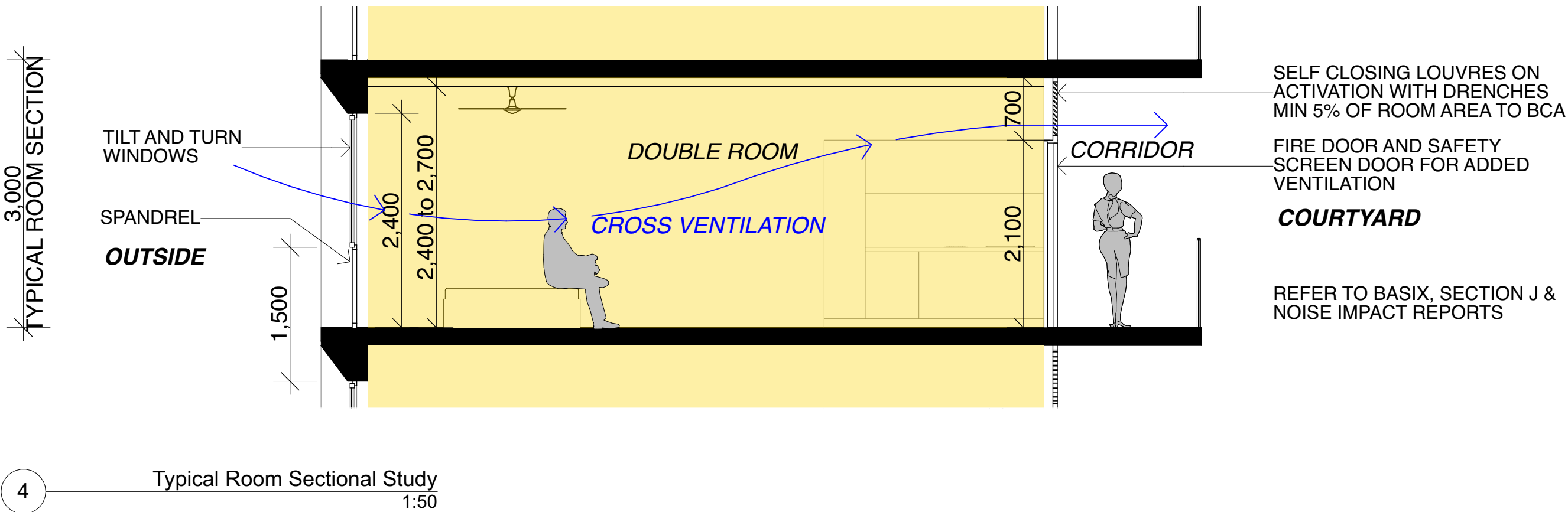
The **natural palette** has been accentuated by earthy paint tones which highlights a different shade on each floor level. As well as this, a sense of delicacy and refinement is portrayed via black metal balustrades, awnings and window accents.

There is also an opportunity for an extensive artwork/mural to be provided along the courtyard wall which will further enhance the communal ground floor areas.



The architectural style and quality of materials proposed for 691 Pittwater Road embraces a **contemporary addition** to the fast changing and growing neighbourhood. It is because of this that the proposal is an opportunity for creative endeavour, which results in a unique design with ties that link the past to the present.



3 View From Corner of Pittwater Rd & St David Ave



4 Typical Room Sectional Study 1:50

FOR DA PURPOSES		<div><div></div><div><p>THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT</p><p>DA2020/0272</p></div></div>	<div><div><p>FOR DA ONLY</p><p>NOT FOR CONSTRUCTION</p></div></div>	<p>All dimensions are in millimetres unless stated otherwise.</p> <p>All architectural drawings are to be read in conjunction with the relevant consultant documents. All dimensions and levels are to be checked and verified on site prior to the commencement of work, shop drawings or fabrication of any components. Refer all discrepancies to the Architect for determination. Drawings are not to be scaled, use only figured dimensions. This drawing is copyright and must not be retained, copied or used without the permission of BKA Architecture. This document has been prepared for and on behalf of the clients noted on the drawing. BKA Architecture's responsibility is to these clients only and not to any third party who may rely on these documents.</p> <p>DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION.</p>	<table><tr><th>REVISION</th><th>DATE</th><th>ISSUE</th></tr><tr><td>A</td><td>6/3/20</td><td>ISSUED FOR DA</td></tr><tr><td>C</td><td>21/09/20</td><td>ISSUED FOR DA</td></tr></table>	REVISION	DATE	ISSUE	A	6/3/20	ISSUED FOR DA	C	21/09/20	ISSUED FOR DA	<div><div></div></div>	<div><div><div><p>BKA <i>architecture</i></p><p>SYDNEY Suite 1.04, 77 Dunning Ave, Roseberry NSW 2018</p><p>NEWCASTLE Suite 4, 19 Bolton St, Newcastle NSW 2300</p><p>BYRON BAY Unit 1, 10 Station St, Bangalow NSW 2479</p><p>T: +61 2 9318 9500 E: bka@bka.com.au W: www.bka.com.au</p><p>T: +61 2 4926 5563 T: +61 2 4926 5563</p></div></div></div>	<div><div><div><p>PROJECT Mixed Use Boarding House Development</p><p>ADDRESS 691 Pittwater Road Dee Why NSW</p><p>CLIENT Gannet Developments</p><p>DRAWING Design Intent</p></div></div></div> <div><div><table><tr><th>PROJECT #</th><td>19049</td><th>SCALE @ A1</th><td>1:50</td></tr><tr><td>DRAWN</td><td>AT/UG</td><td>CHECKED</td><td>JK</td></tr><tr><td>DATE</td><td>27/11/20</td><td>DRAWING No.</td><td>DA 001</td></tr><tr><td>NORTH</td><td></td><td>REV</td><td>C</td></tr></table></div></div>	PROJECT #	19049	SCALE @ A1	1:50	DRAWN	AT/UG	CHECKED	JK	DATE	27/11/20	DRAWING No.	DA 001	NORTH		REV	C
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DA Calculations

Project Number: 19049
Project Address: 691 Pittwater Rd, Dee Why
Date: November 2020

GFA and FSR Controls	Control LEP	Proposed	Compliance
Site Area (sqm):	650		
FSR:	4:1	3.64:1	✓
Max GFA (sqm):	2600	2418.4	✓
ARH SEPP Bonus *:	N/A		

*26 (1) (c) if the development is on land within a zone in which residential flat buildings are permitted and the land **does not contain a heritage item that is identified in an environmental planning instrument or an interim heritage order or on the State Heritage Register** —the existing maximum floor space ratio for any form of residential accommodation permitted on the land, plus:
(i) 0.5:1, if the existing maximum floor space ratio is 2.5:1 or less, or
(ii) 20% of the existing maximum floor space ratio, if the existing maximum floor space ratio is greater than 2.5:1.

Net GFA (sqm)				
Level	Commercial / Retail	Office	Residential	Communal / Service
Ground Floor	63.90			175.55
Level 1		130.71	150.25	58.02
Level 2		56.07	150.25	58.02
Level 3			268.38	60.81
Level 4			268.38	60.81
Level 5			272.71	60.81
Level 6			272.71	60.81
Level 7			139.53	110.68
Total:	63.9	186.78	1522.21	645.51
TOTAL GFA	2418.4			

Parking Controls			
Control	Required DCP/SEPP	Proposed	Compliance
Car Parking Boarding House	Average 33% ** per unit = 22 spaces	2 x Car Share + 9 Standard + 1 Manager's = 12 Automatic	✗
Car Parking Retail	1 / 16.4 sqm = 3.8 spaces	0	✗
Car Parking Offices	1 / 40sqm = 4.7 spaces	0	✗
TOTAL Car Parking Required	31	12 (post-laneway)	✗
Motorcycle Parking Provided:	13	13 (post-laneway)	✓
Bicycle Parking Provided:	Units 1x5 = 12.8 Office Employees 1/200m2 + Visitors 1/750 m2 = 1 Retail 1/200m2 + Visitors 1/600m2=1	45 (first stage) - 15 (post laneway construction)	✓

**Average by UNSW Research Paper

Existing Car Parking Requirements.	Required DCP	Current	Compliance
Bank Branch Customer Service = 587.63 sqm. (Ground Floor)	1 / 16.4sqm = 36 spaces	0	✗
Office = 368.82 sqm (Level 1)	1 / 40sqm = 9 spaces	0	✗
TOTAL Existing Car Parking required:	45	0	✗(-45)

NOTE: Proposed development reduces current deficit of car

Setback Controls DCP	Compliance
Front Setback 5m from kerb first 4th Levels	✓
Front Setback 9m from kerb above 4th Level	✓
Height Controls LEP	
Current LEP Height Limit 27m	✓

NOTE: Heritage item setback prevails

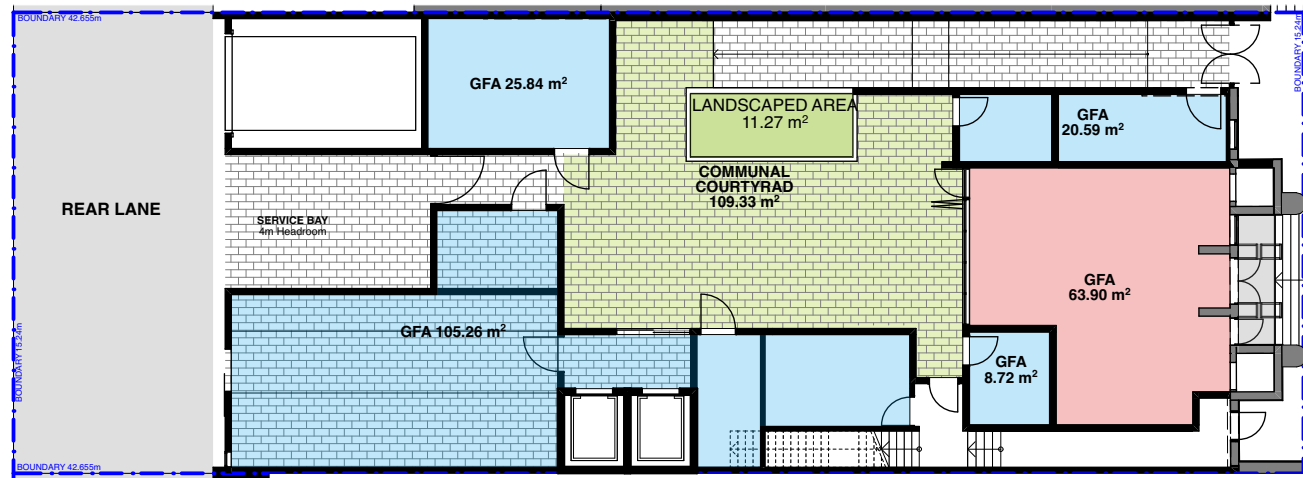
Proposed Rooms				
Level	Single Rooms	Double Rooms	Accessible ***	Manager
Ground Floor				
Level 1		5	1	
Level 2		5	1	
Level 3		10	1	
Level 4		10	1	
Level 5	2	10		
Level 6	2	10		
Level 7		5		1
Total Per Type:	4	55	4	1
TOTAL Overall Room Numbers:		64		

*** Min Req BCA: 61 to 80 Units = 4 Accessible ✓

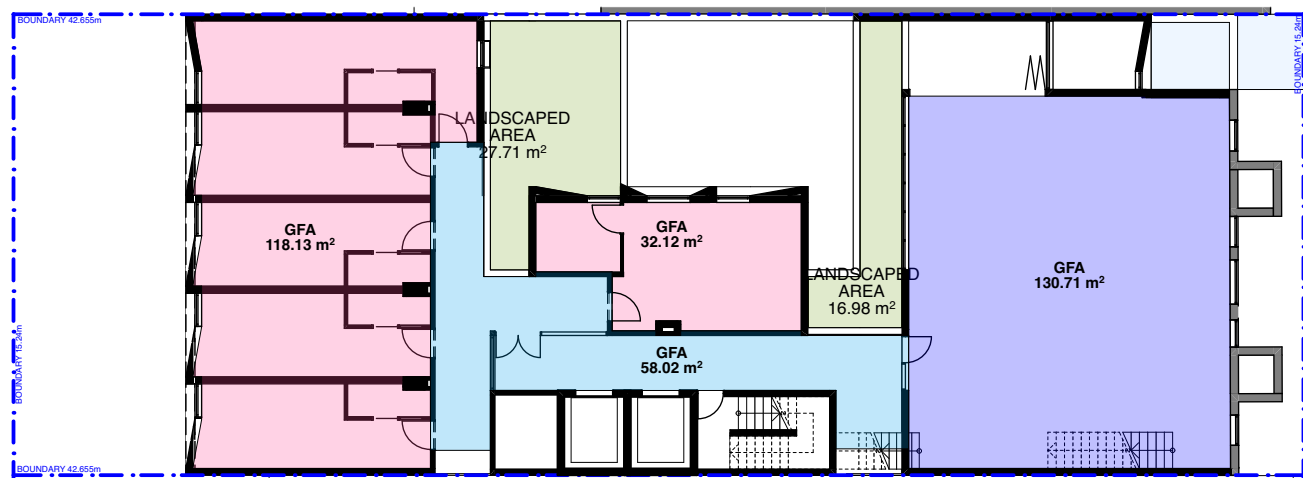
Communal Living and Open Space			
Level	Required	Room	Proposed Area (sqm)
Communal Living Space (sqm)	size not specified	Communal Lounge	52.60
Communal Open Space (sqm)	20 (ARH SEPP)	Roof Terraces	40.35 + 34.55 = 74.9 ✓ (+54.9 sqm)
Boarding House	Landscaped Area (sqm) DCP means a part of a site used for growing plants, grasses and trees, but does not include any hard paved area	Groud Floor	11.27= 11.27sqm
	20% of Site Area DCP = 130sqm	Level 1	27.71+16.92= 44.63 sqm
		Level 2	5.25 sqm
		Level 3 & 4	2 x (6.68 + 2.21)= 17.78sqm
		Level 5 & 6	2 x (2.21 + 2.21)= 8.84sqm
		Level 7 & Roof Top	20.74 + 25.06 + 1.34 + 1.34 + 2.24 = 50.72sqm
		TOTAL	138.49 sqm ✓



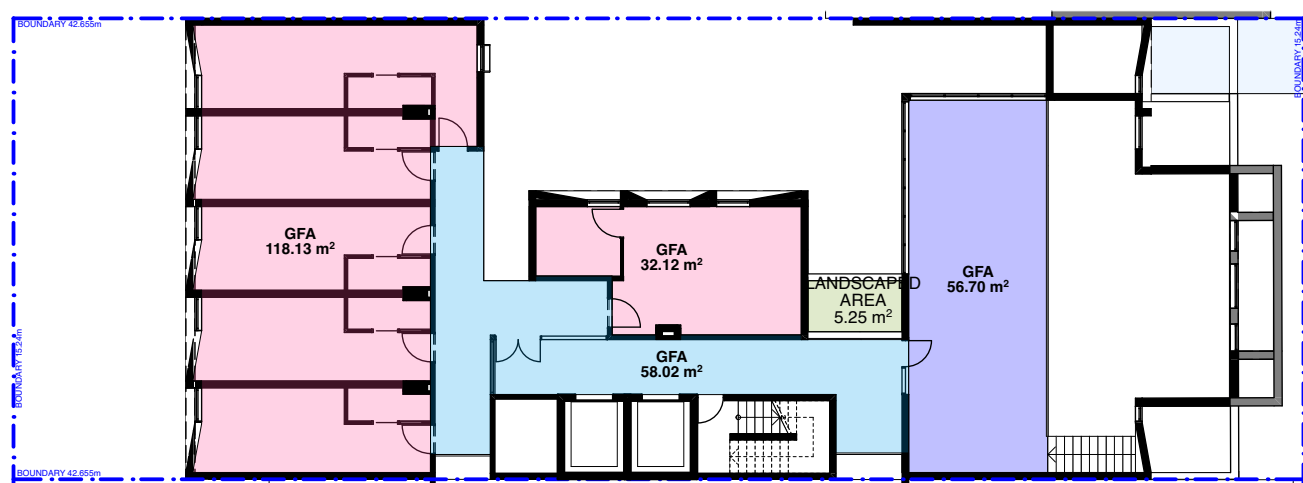
10 Height Plane



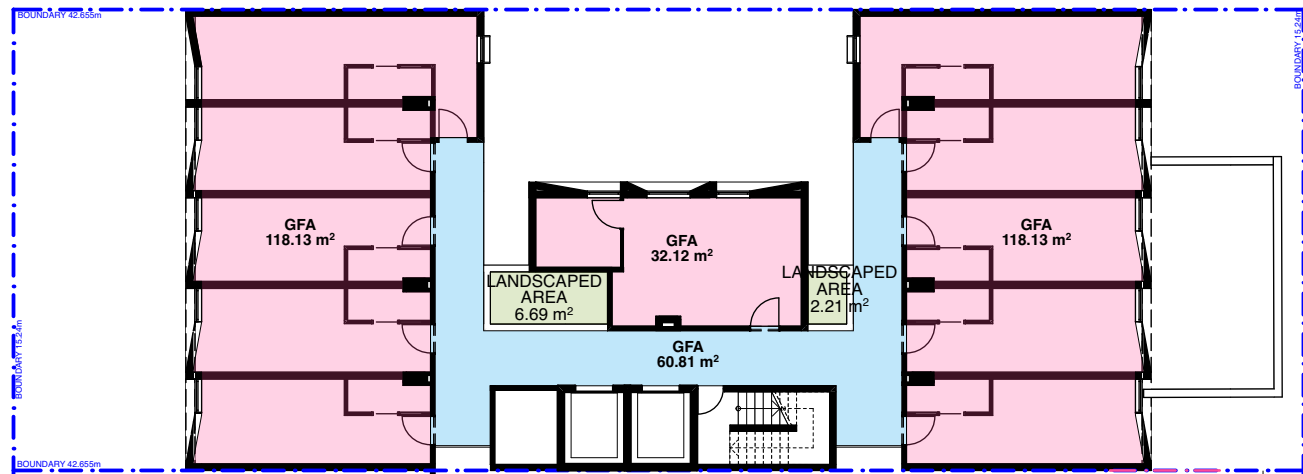
1 Ground Floor GFA 1:250



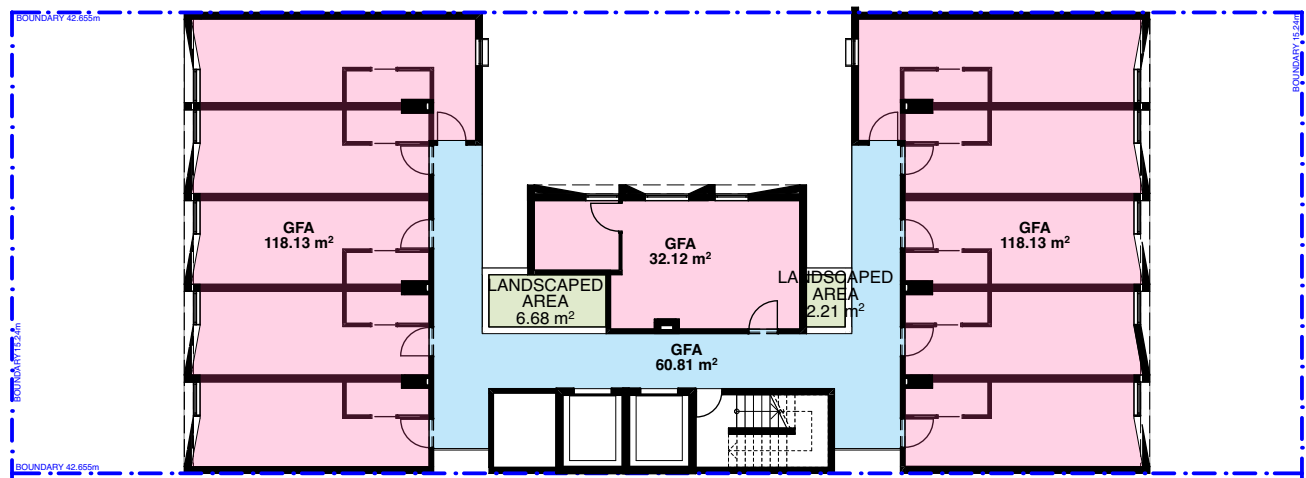
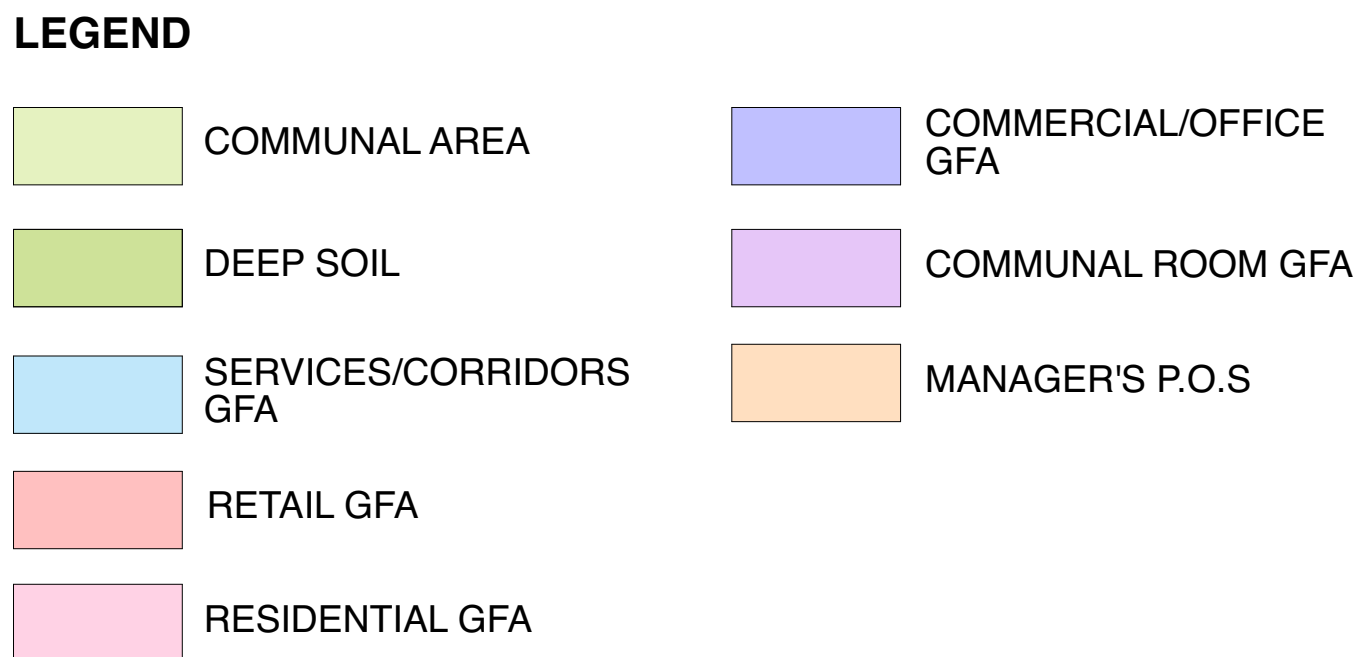
2 Level 1 GFA 1:250



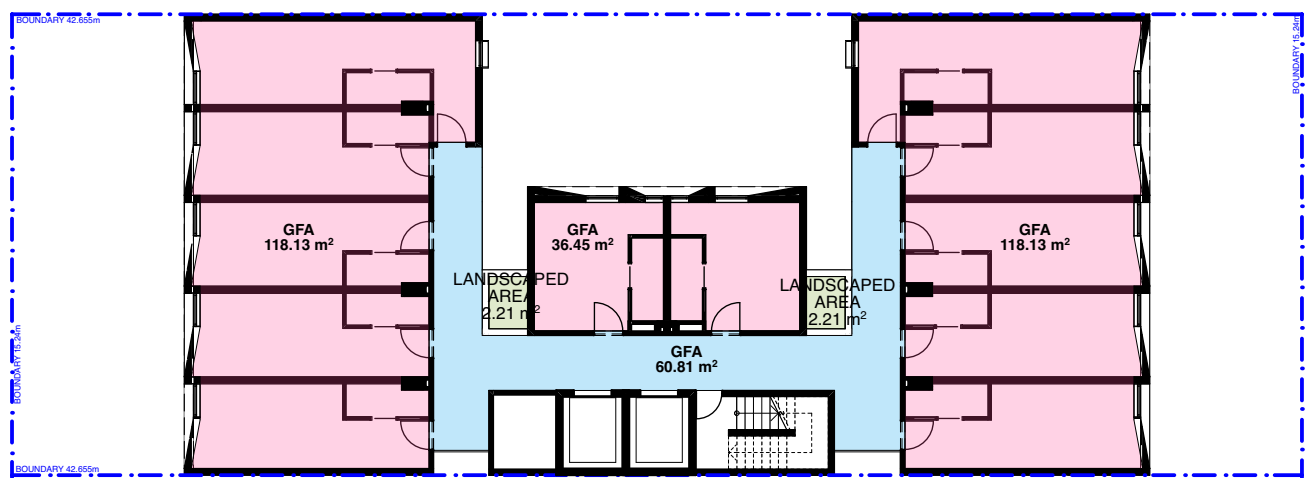
3 Level 2 GFA 1:250



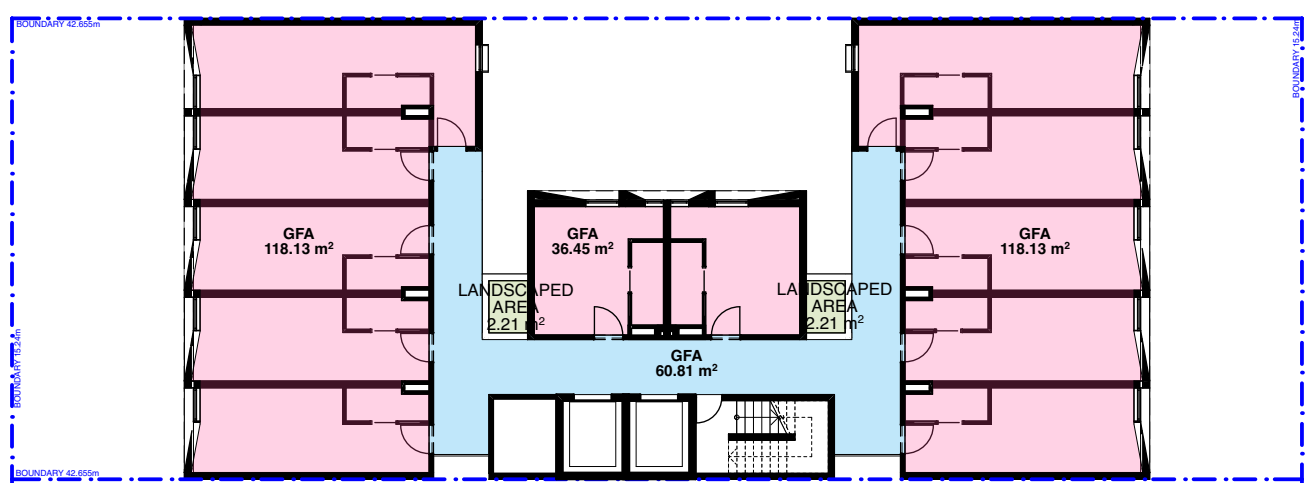
4 Level 3 GFA 1:250



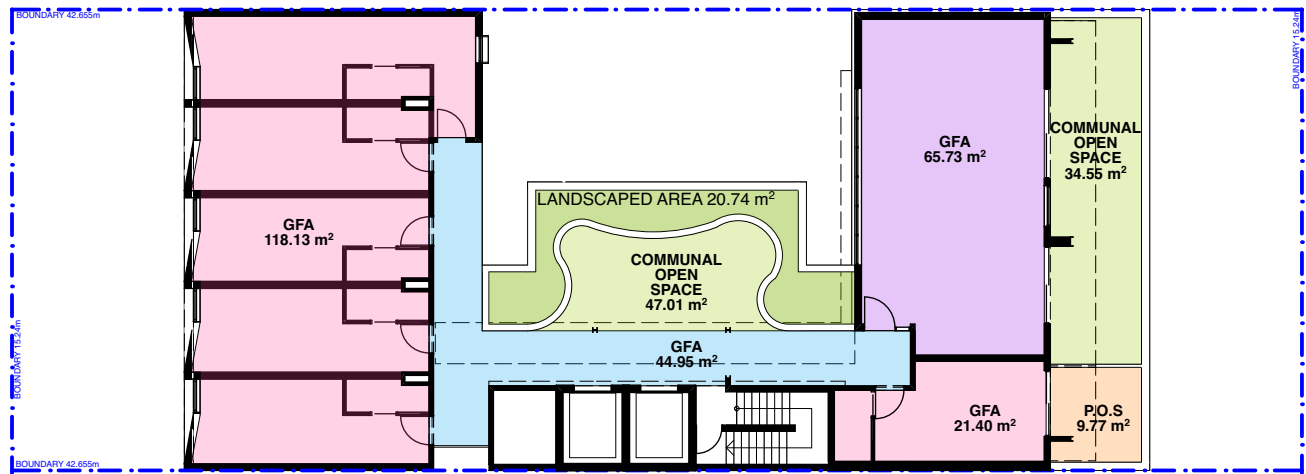
5 Level 4 GFA 1:250



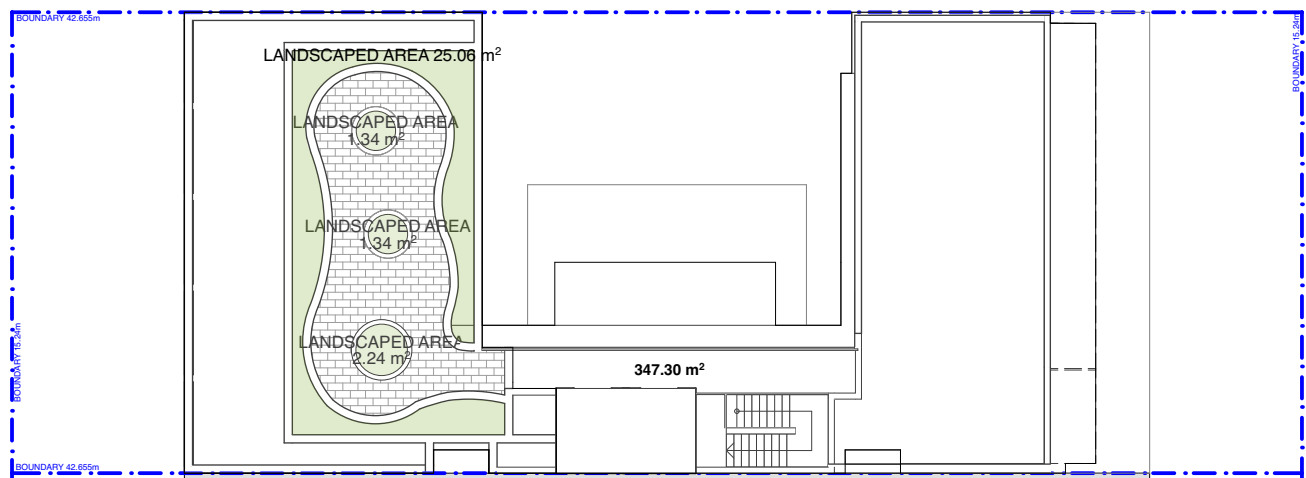
6 Level 5 GFA 1:250



7 Level 6 GFA 1:250



8 Level 7 GFA 1:250



9 Roof 1:250



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D	02/11/20	AMENDED ISSUE FOR DRP
E	03/11/20	AMENDED ISSUE FOR DRP
F	18/11/20	AMENDED ISSUE FOR DRP
G	24/11/20	AMENDED ISSUE FOR DRP



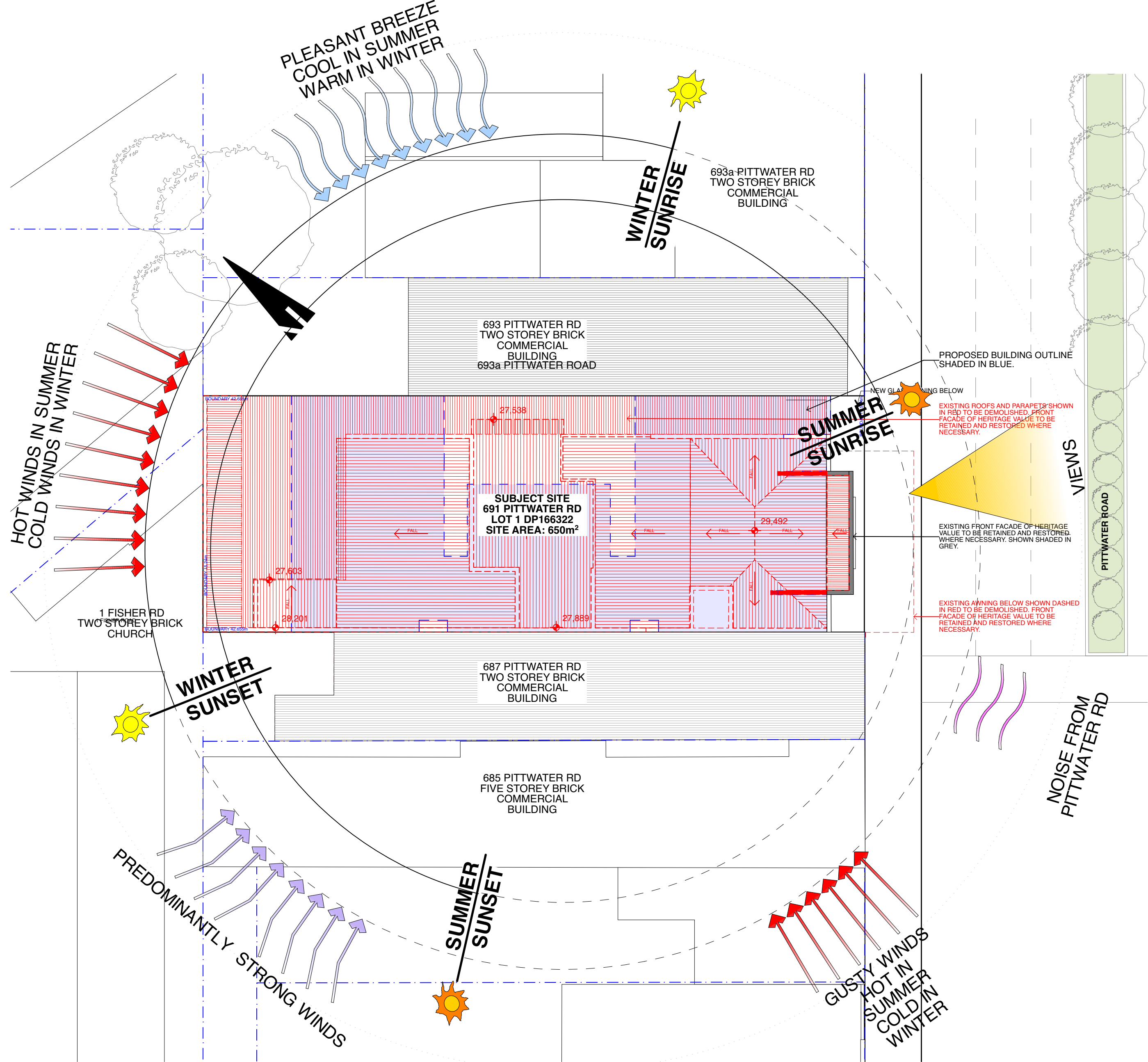
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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Calculations

PROJECT # 19049	SCALE @ A1 1:250
DRAWN ATJUG	CHECKED JK
DATE 27/11/20	DRAWING No. DA 002
NORTH	REV



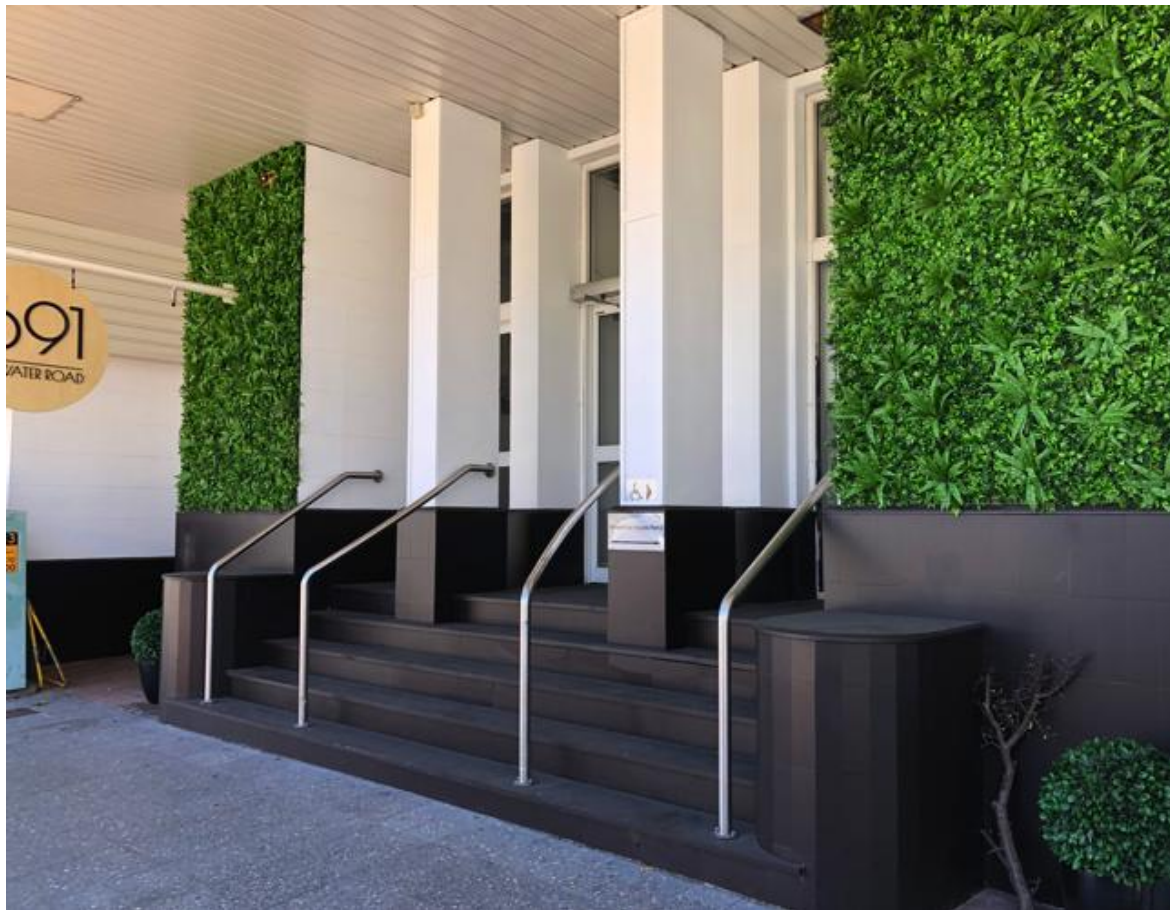
1 Location Plan
1:750



2 Site Analysis
1:200



View of 691 Pittwater Rd from opposite side of street. Art Deco style building built in 1941 with front facade of heritage value.



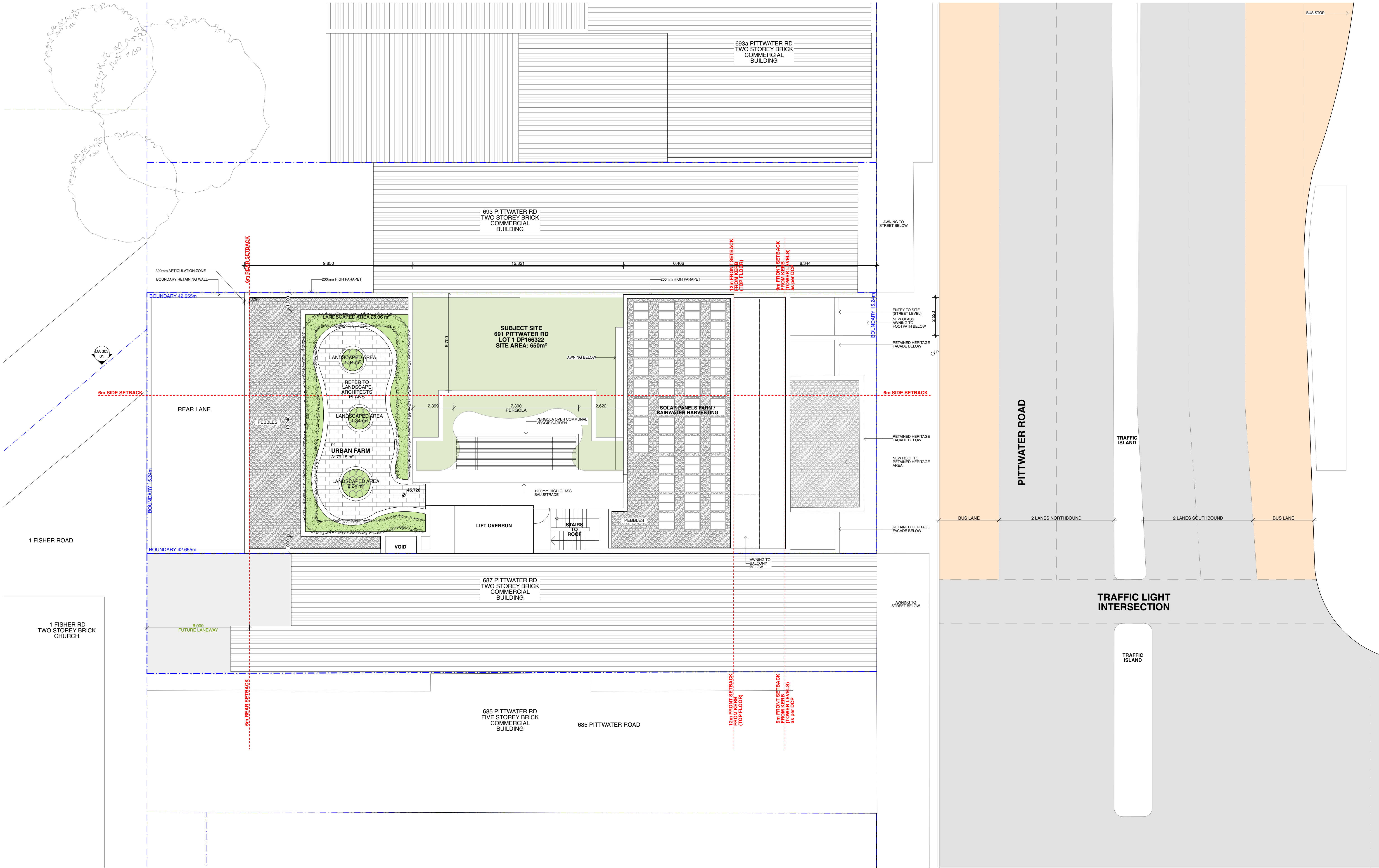
Entrance to site. Original red granite plinth painted in black to be restored.



View of subject site and neighbouring properties from Pittwater Rd intersection at Howard Avenue. Newly constructed apartment building at 701 Pittwater Road.



View from subject site to other side of Pittwater Rd. Nearby traffic lights and intersection as well as a 7 storey apartment block and commercial buildings.



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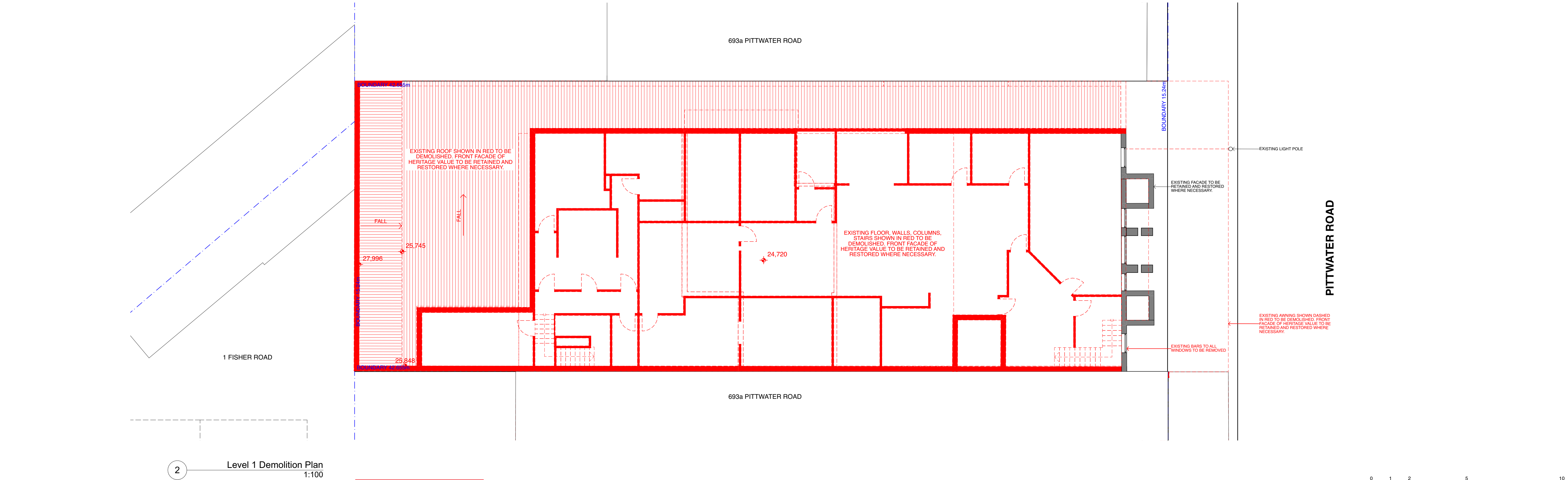
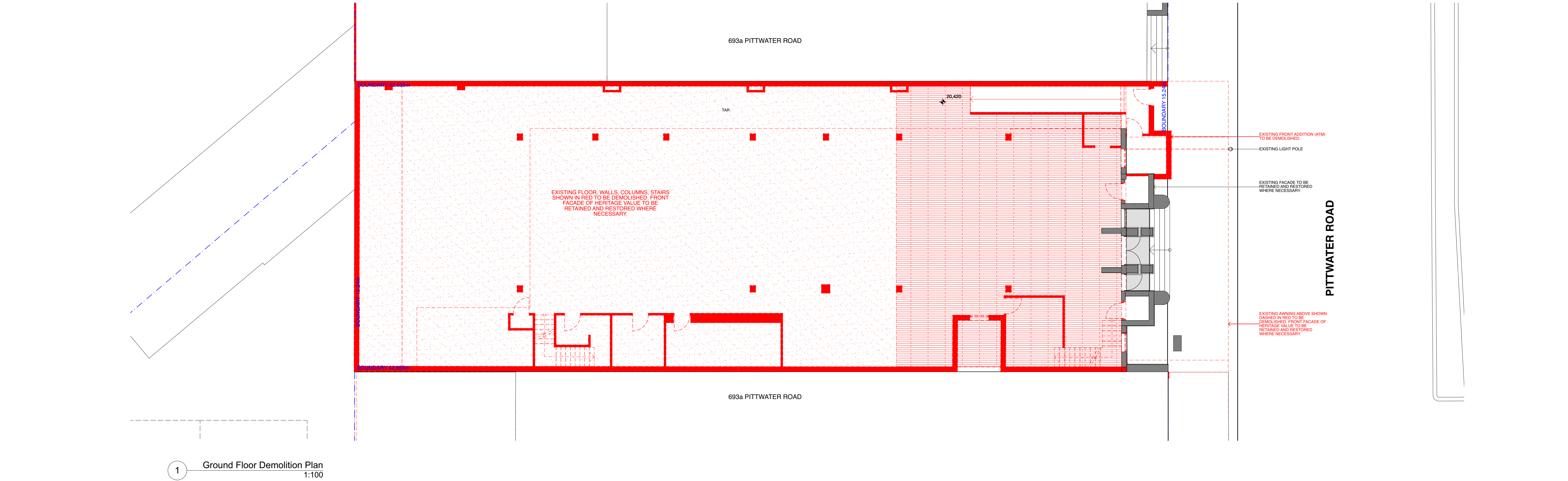
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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Site Plan

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
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NORTH		REV	C





1 Roof Demolition Plan
1:100

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TO BE DEMOLISHED

TO BE RETAINED

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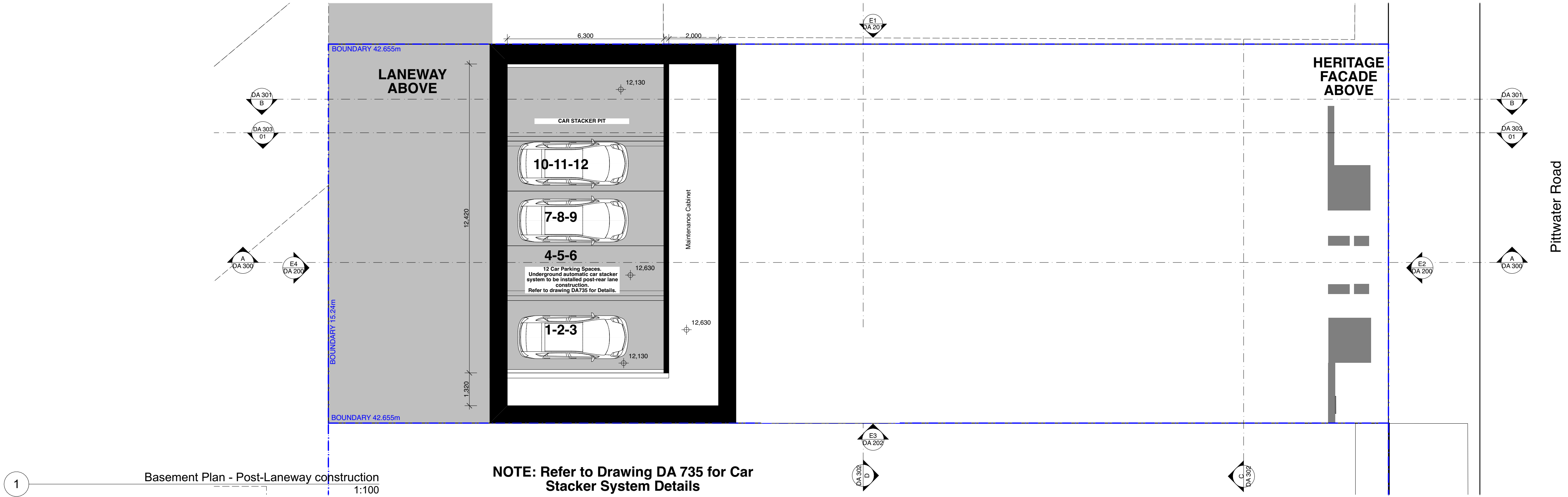
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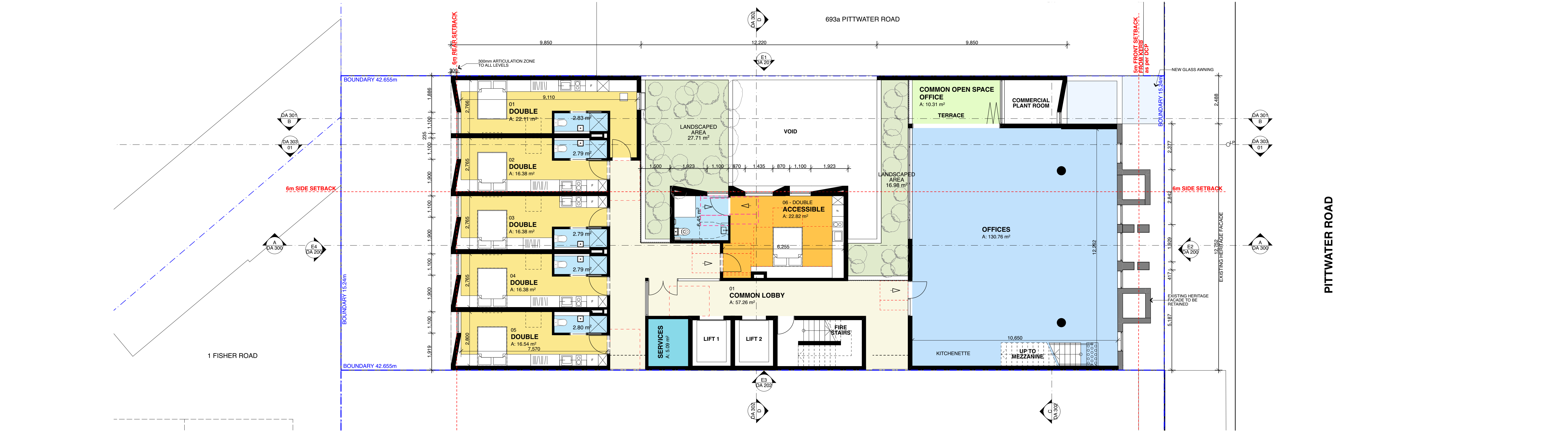
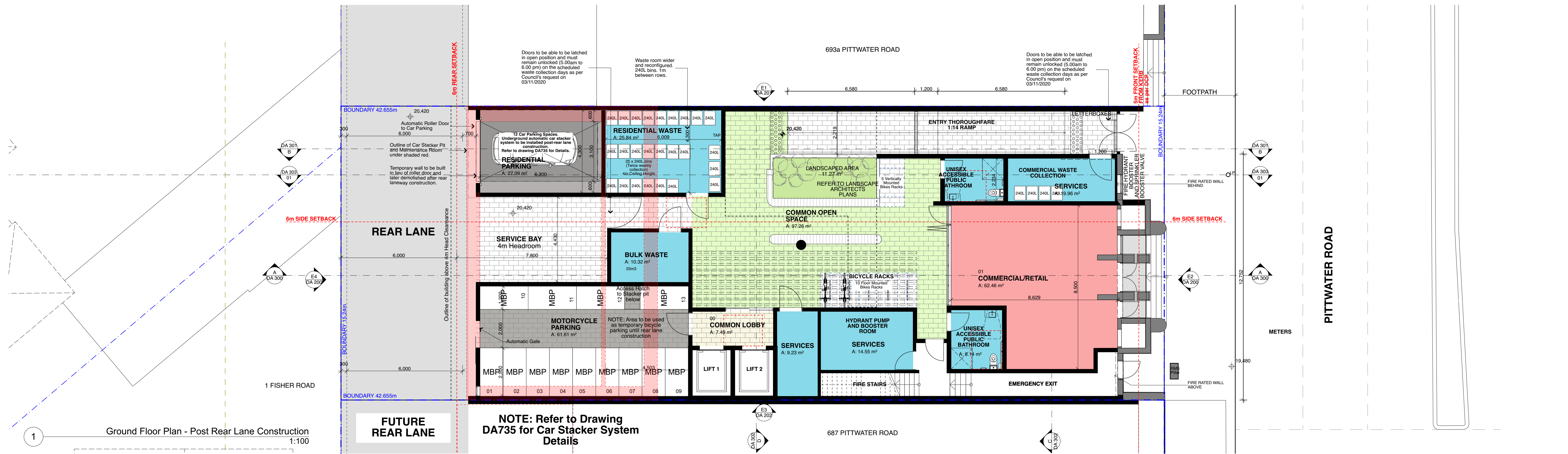
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W: www.bka.com.au

PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Demolition Plan - Roof

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 011
NORTH		REV	C





2 Level 1 Floor Plan
1:100

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G	24/11/20	AMENDED ISSUE FOR DRP
H	26/11/20	AMENDED ISSUE TO COUNCIL



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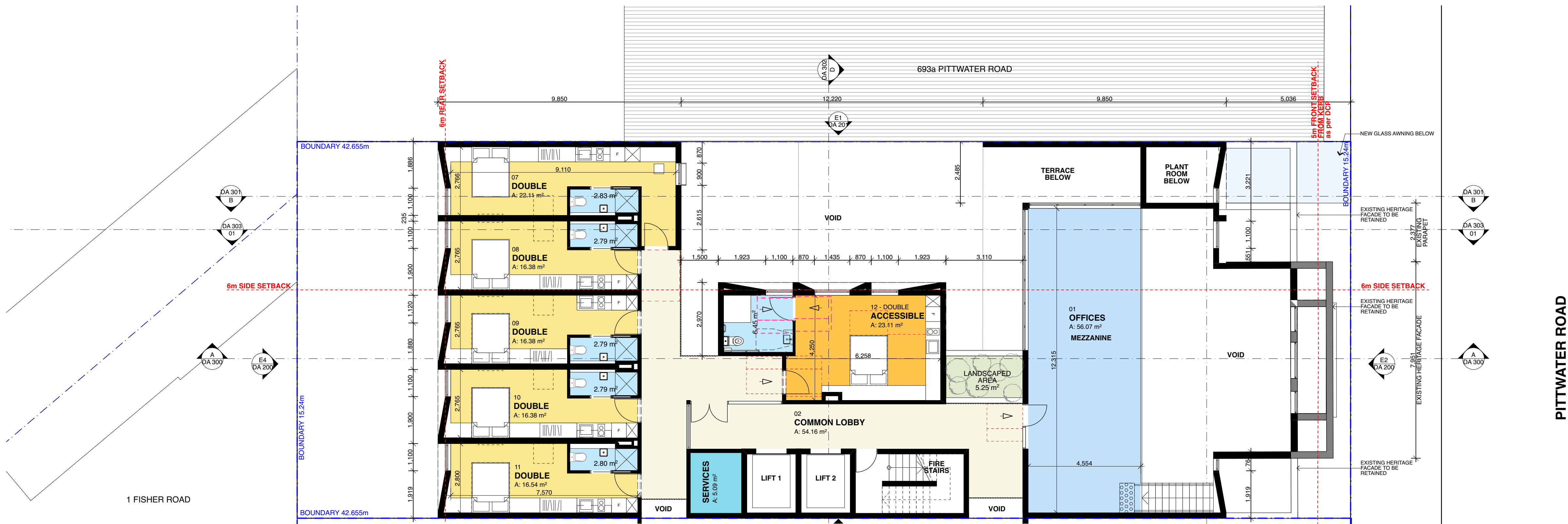
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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Ground Floor & L1 Plan

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 100
NORTH		REV	H



1 Level 2 Floor Plan
1:100



2 Level 3 Floor Plan
1:100

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PROJECT # 19049 SCALE @ A1 1:100
Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING L2 & L3 Floor Plan

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 101
NORTH		REV	C



1 Level 4 Floor Plan
1:100



2 Level 5 Floor Plan
1:100



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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING L4 & L5 Floor Plan

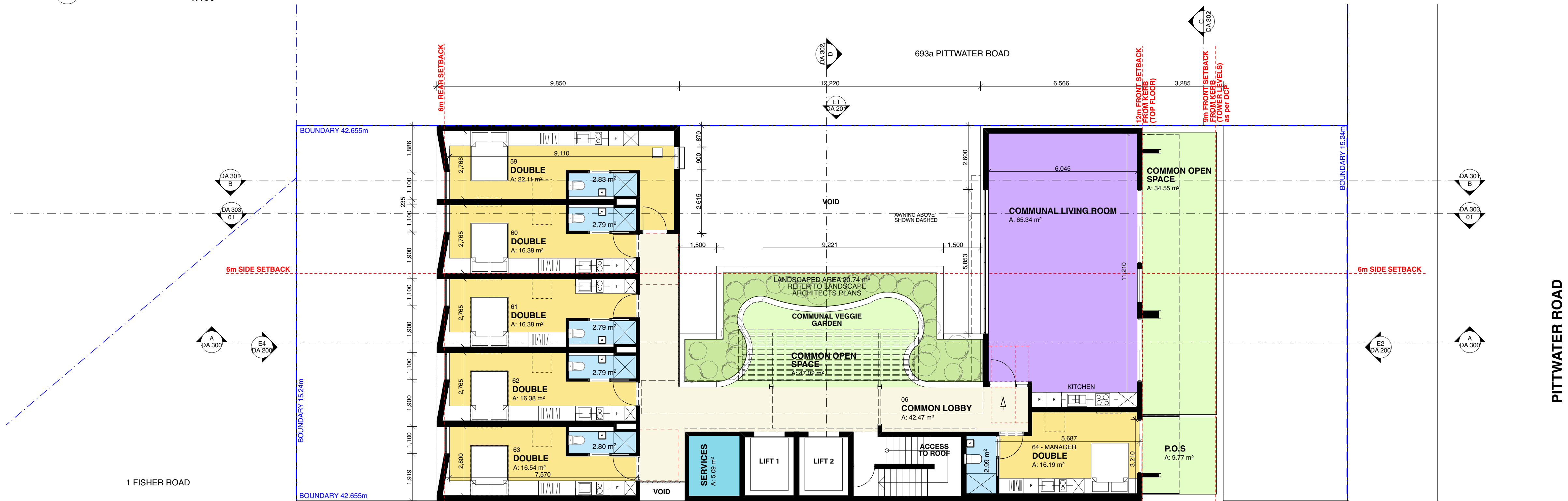
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DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 102
NORTH		REV	C



1 Level 6 Floor Plan
1:100



2 Level 7 Floor Plan
1:100



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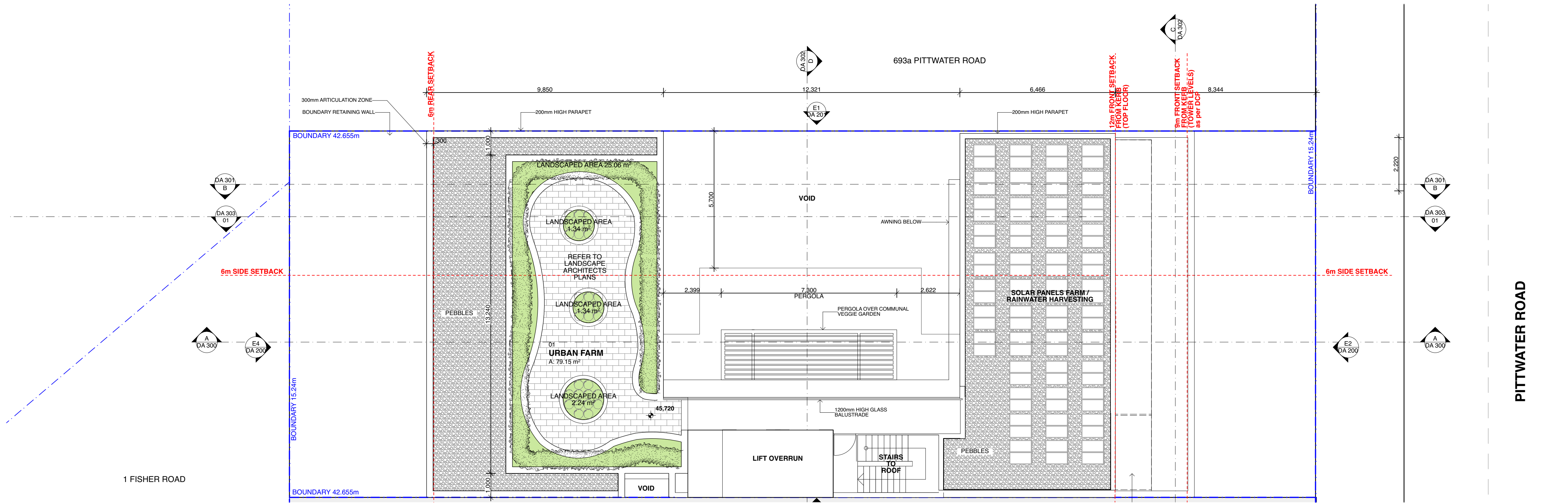
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PROJECT
Mixed Use Boarding House Development
ADDRESS
691 Pittwater Road Dee Why NSW
CLIENT
Gannet Developments
DRAWING
L6 & L7 Floor Plan

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 103
NORTH		REV	C



1 Rooftop Floor Plan
1:100



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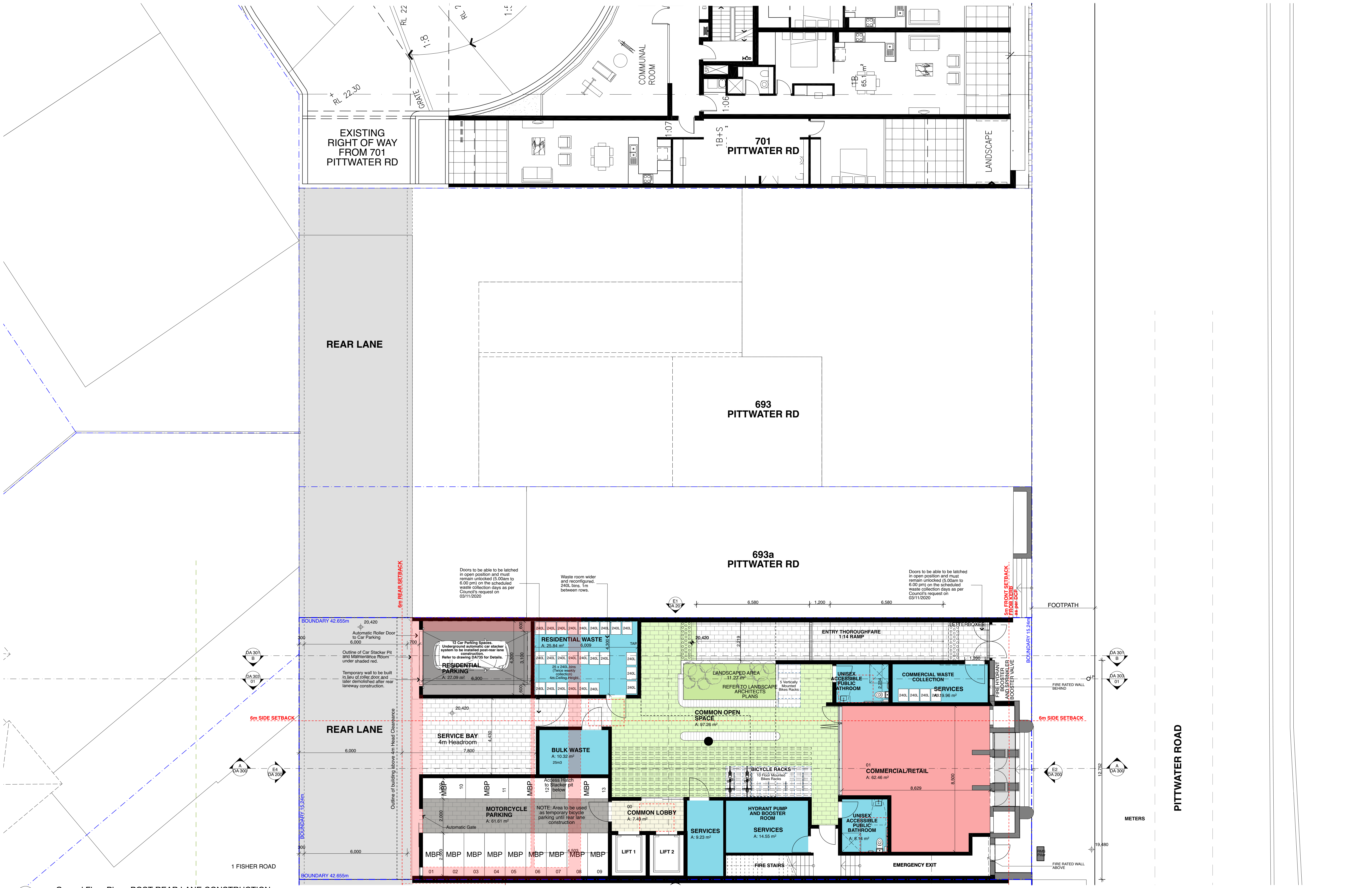
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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Rooftop Floor Plan

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJ/G	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 104
NORTH		REV	C



1 Ground Floor Plan - POST-REAR LANE CONSTRUCTION
1:100

685 PITTWATER RD 687 PITTWATER RD 691 PITTWATER RD 693a PITTWATER RD 693a PITTWATER RD 691 PITTWATER RD 687 PITTWATER RD 685 PITTWATER RD

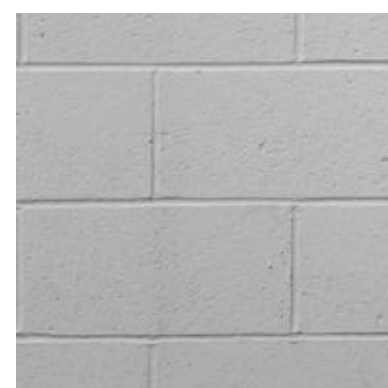


1 Southeast Elevation - Pittwater Rd Street Frontage
1:100

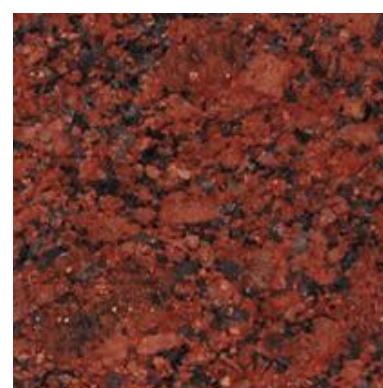


2 Northwest Elevation
1:100

Schedule of External Finishes



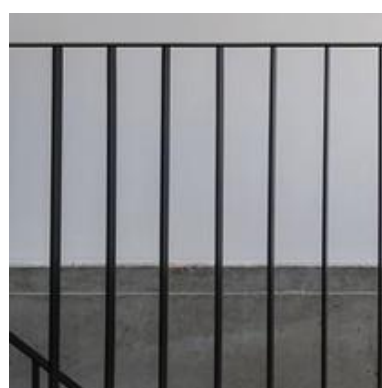
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Colour: White



2. Existing Granite Cladding
Colour: Red Granite



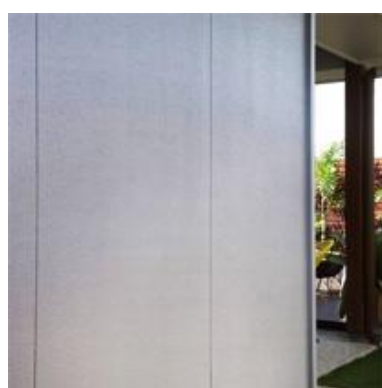
3. Glass Canopy Awning
Colour: Clear



4. Metal Balustrade
Colour: Black



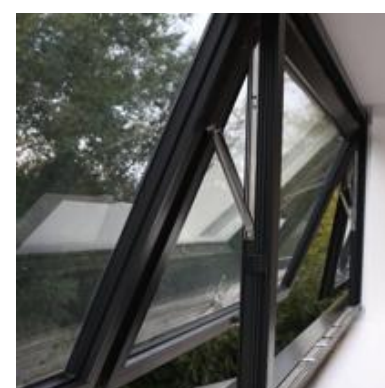
5. Precast Concrete Panels



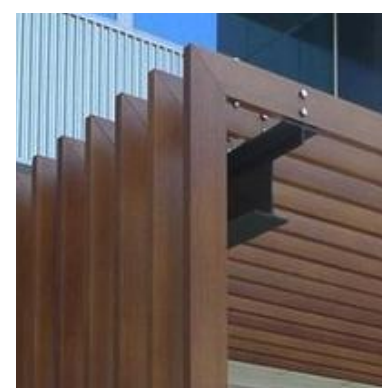
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Colour: Dark grey



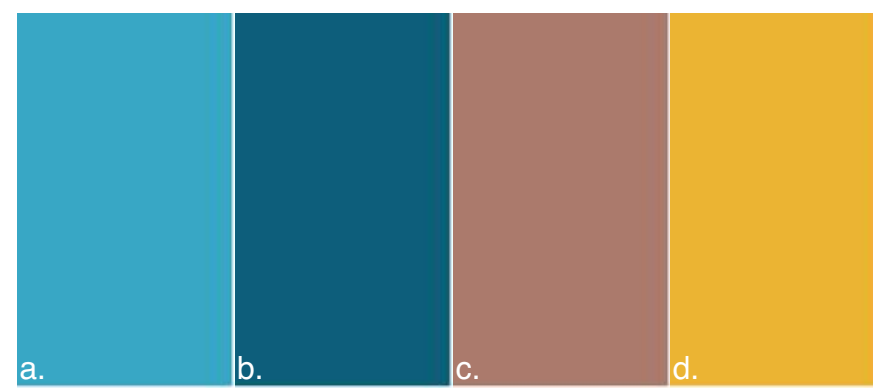
7. Steel Window Shades
Colour: Monument or similar



8. Aluminium Window and Door Frames
Colour: Black



9. Timber Looking Lift Lobby Screening



10. Accent Paint Colours
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)



11. FC Cladding
Colour: Mid grey

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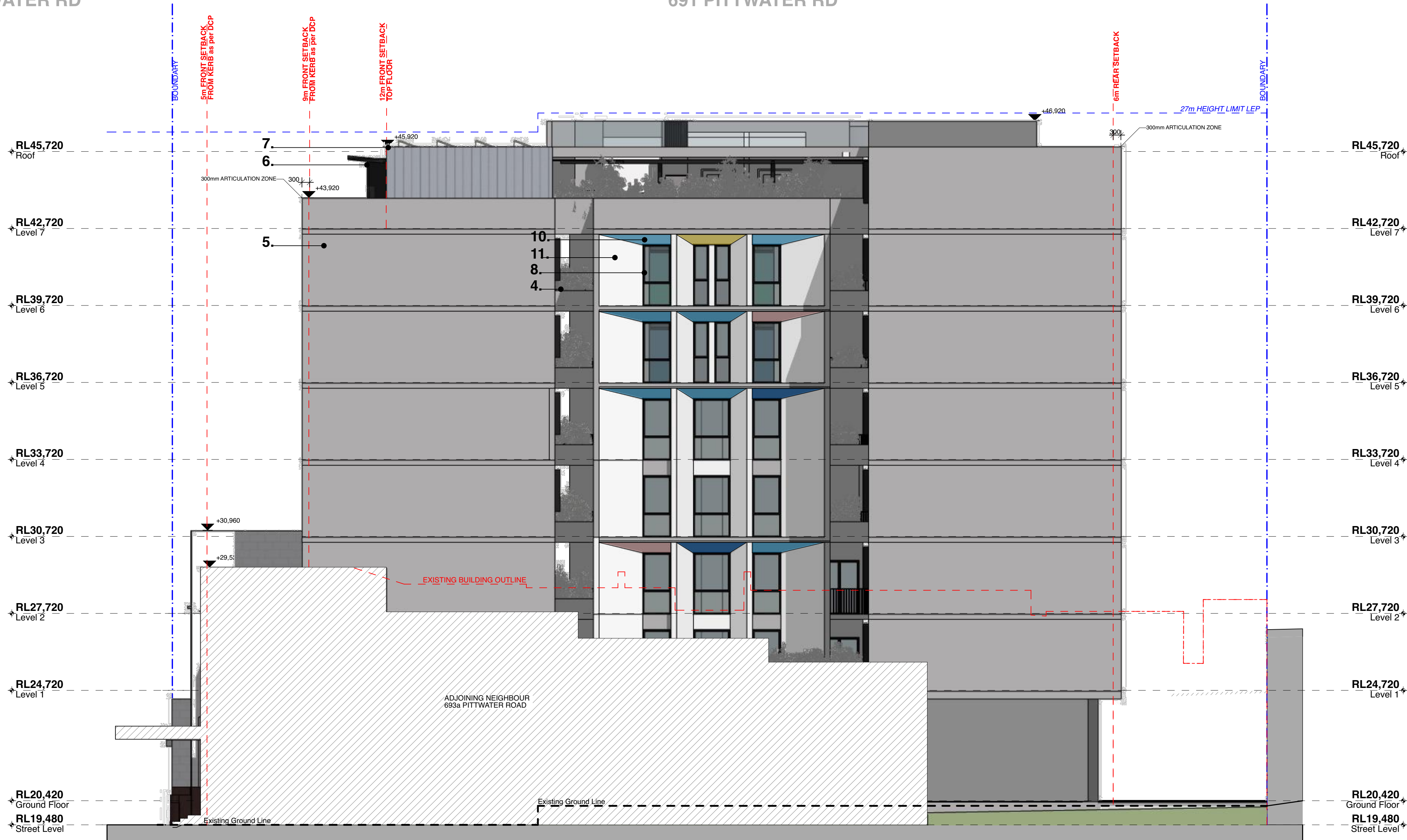
PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Elevations

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 200
NORTH		REV	G

PITTWATER RD

691 PITTWATER RD

1 FISHER RD

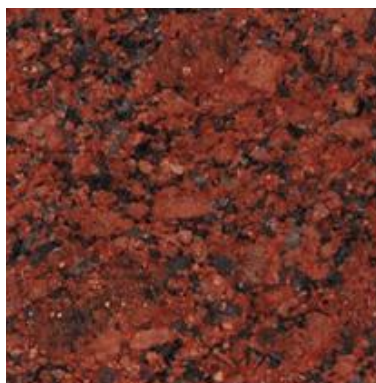


1 Northeast Elevation
1:100

Schedule of External Finishes



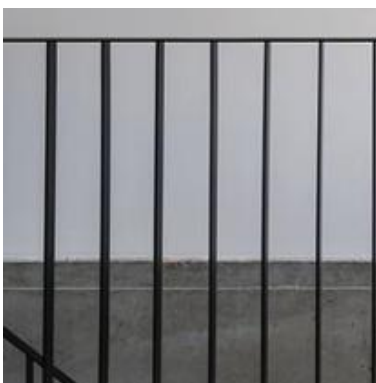
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2. Existing Granite Cladding
Colour: Red Granite



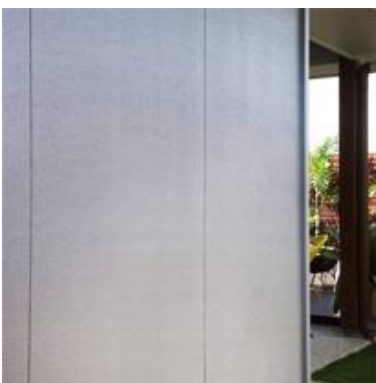
3. Glass Canopy Awning
Colour: Clear



4. Metal Balustrade
Colour: Black



5. Precast Concrete Panels



6. EasyLap Panel Cladding
Colour: Dark grey



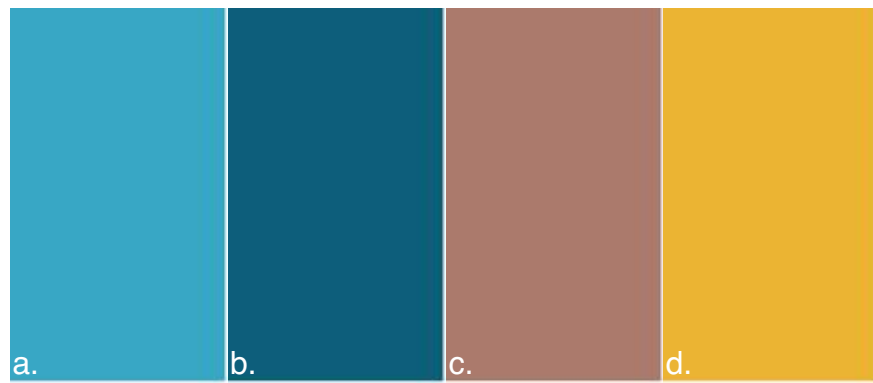
7. Steel Window Shades
Colour: Monument or similar



8. Aluminium Window and Door Frames
Colour: Black



9. Timber Looking Lift Lobby Screening



10. Accent Paint Colours
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)



11. FC Cladding
Colour: Mid grey



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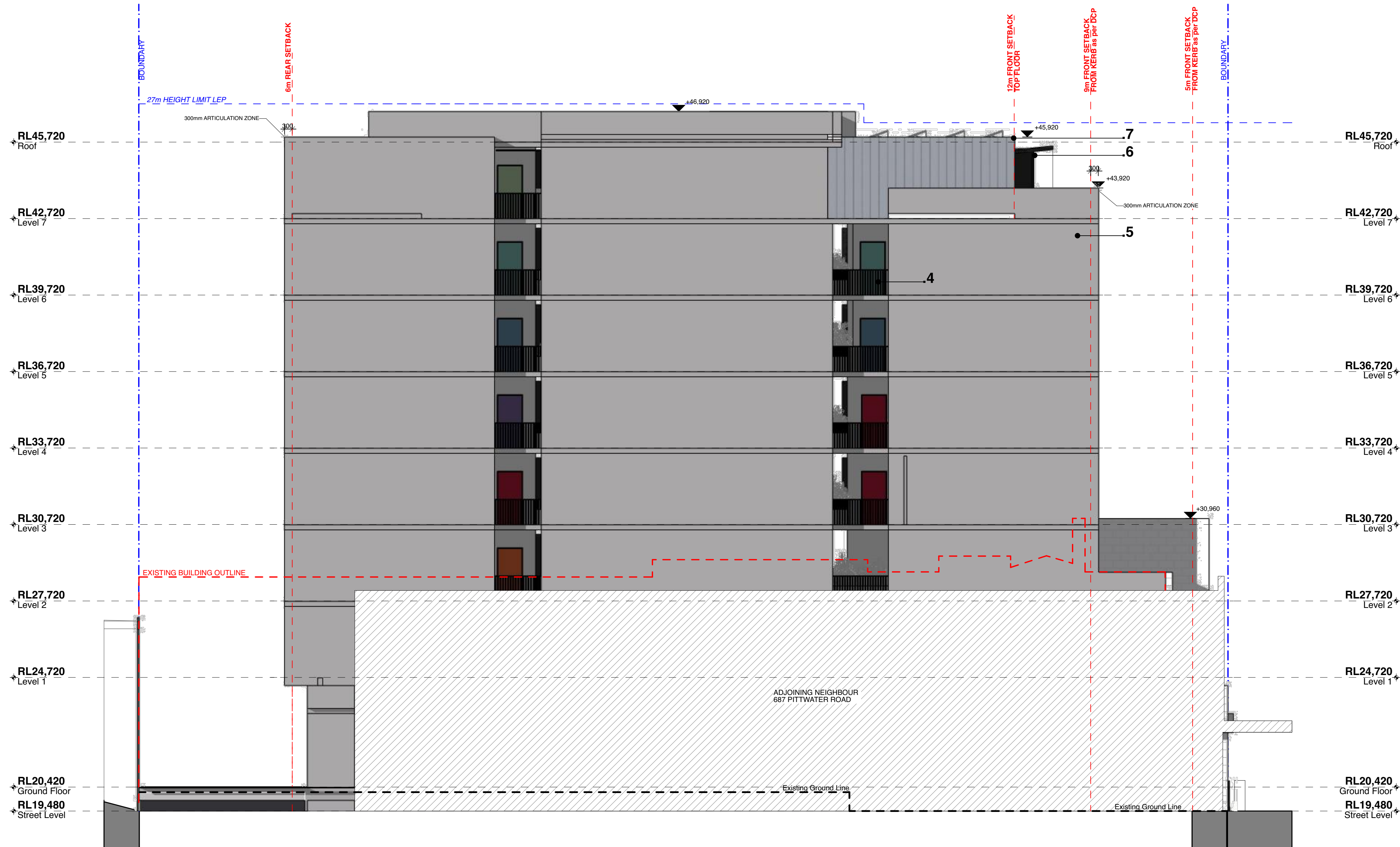
PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Elevations

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJ/G	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 201
NORTH		REV	C

1 FISHER RD

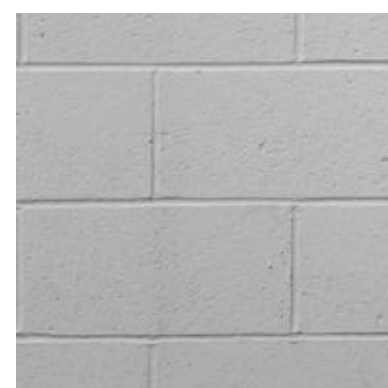
691 PITTWATER RD

PITTWATER RD

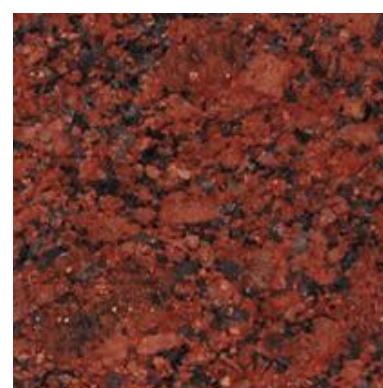


1 Southwest Elevation
1:100

Schedule of External Finishes



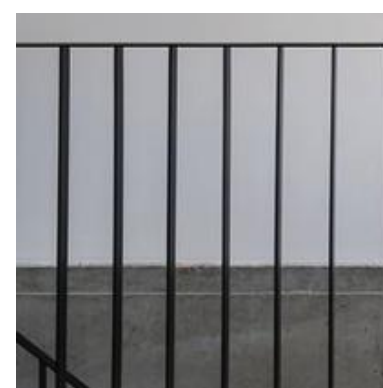
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2. Existing Granite Cladding
Colour: Red Granite



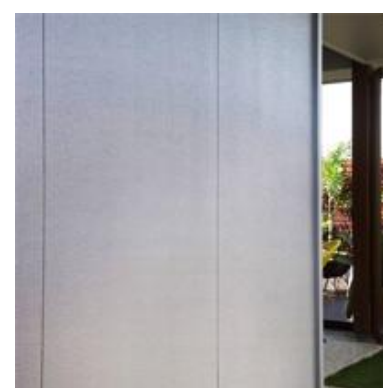
3. Glass Canopy Awning
Colour: Clear



4. Metal Balustrade
Colour: Black



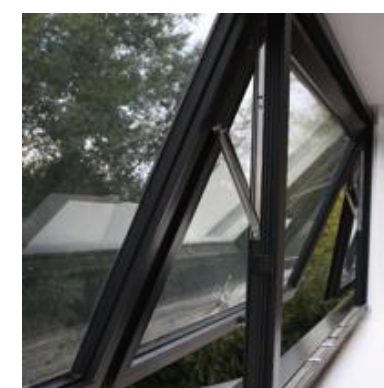
5. Precast Concrete Panels



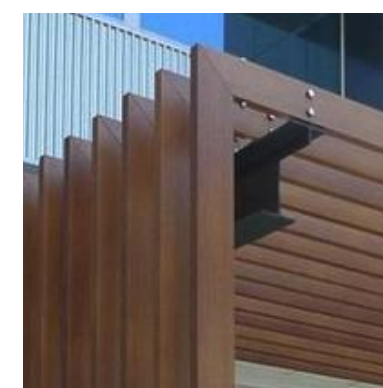
6. EasyLap Panel Cladding
Colour: Dark grey



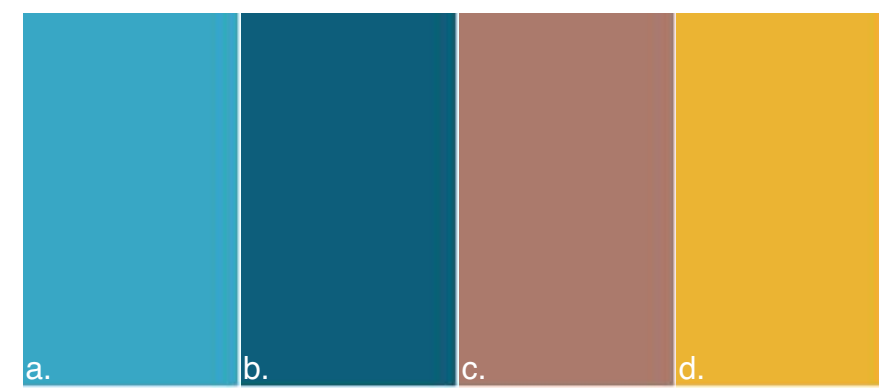
7. Steel Window Shades
Colour: Monument or similar



8. Aluminium Window and Door Frames
Colour: Black



9. Timber Looking Lift Lobby Screening



10. Accent Paint Colours
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)



11. FC Cladding
Colour: Mid grey



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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Elevations

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 202
NORTH		REV	C

1 FISHER RD

691 PITTWATER RD

PITTWATER RD



1

Section A
1:100

NOTE: POST-REAR LANE CONSTRUCTION ARRANGEMENT SHOWN

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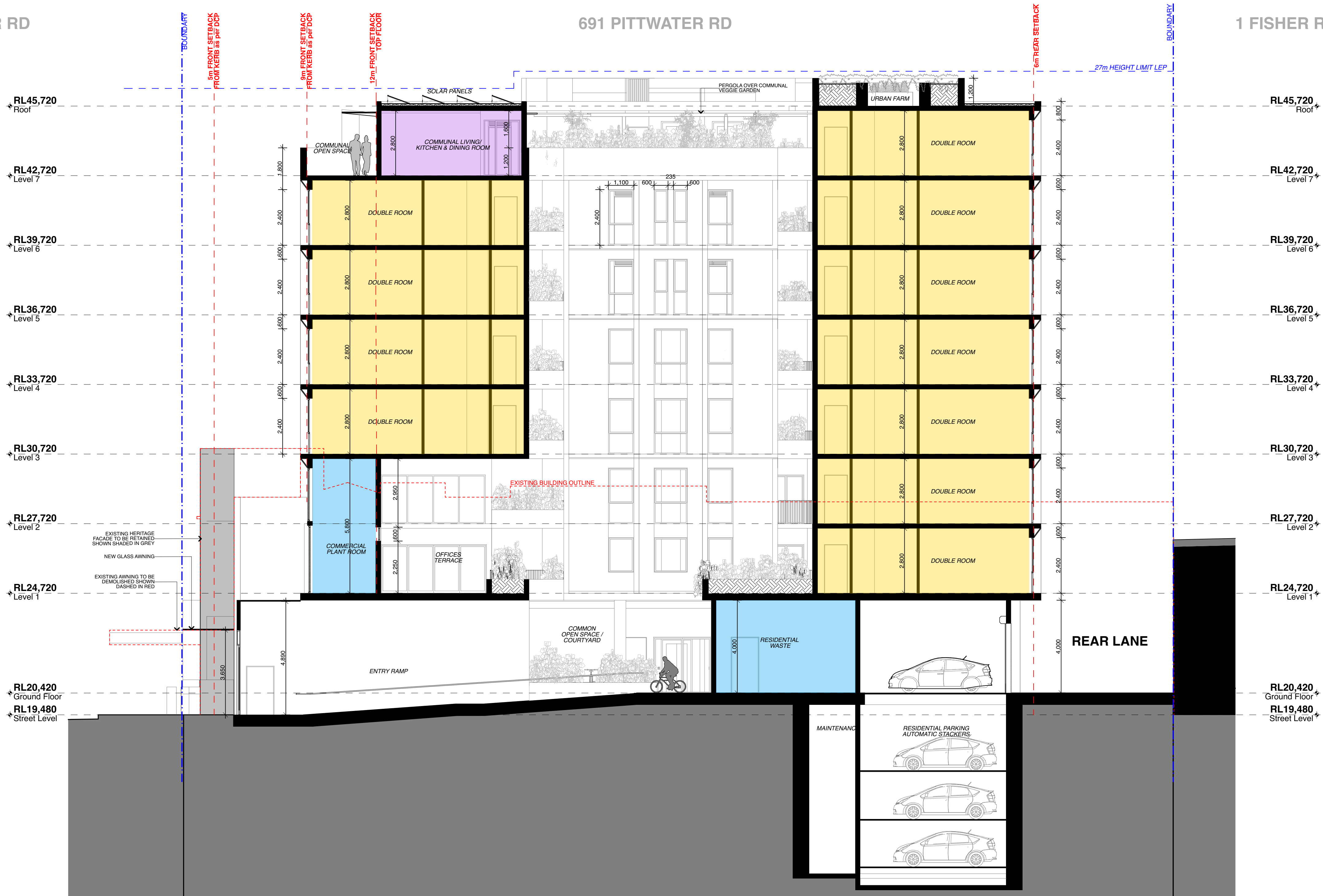
PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Sections 01

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 300
NORTH		REV	G

PITTWATER RD

691 PITTWATER RD

1 FISHER RD



1 Section B
1:100

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REVISION	DATE	ISSUE
A	6/3/20	ISSUED FOR DA
C	21/09/20	ISSUED FOR DA
D	02/11/20	AMENDED ISSUE FOR DRP
E	03/11/20	AMENDED ISSUE FOR DRP
F	18/11/20	AMENDED ISSUE FOR DRP
G	24/11/20	AMENDED ISSUE FOR DRP



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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Sections 02

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 301
NORTH		REV	G

687 PITTWATER RD

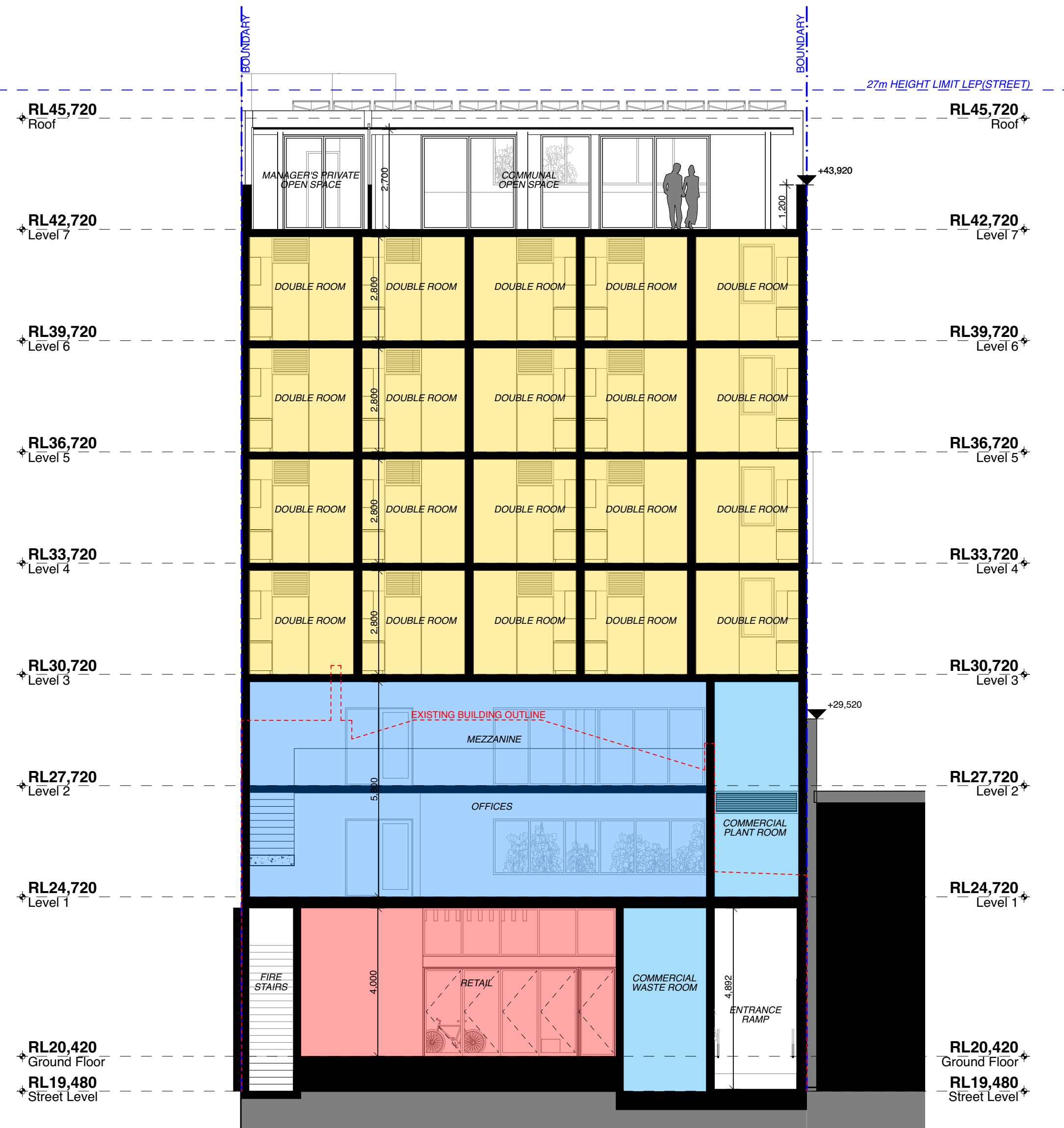
691 PITTWATER RD

693a PITTWATER RD

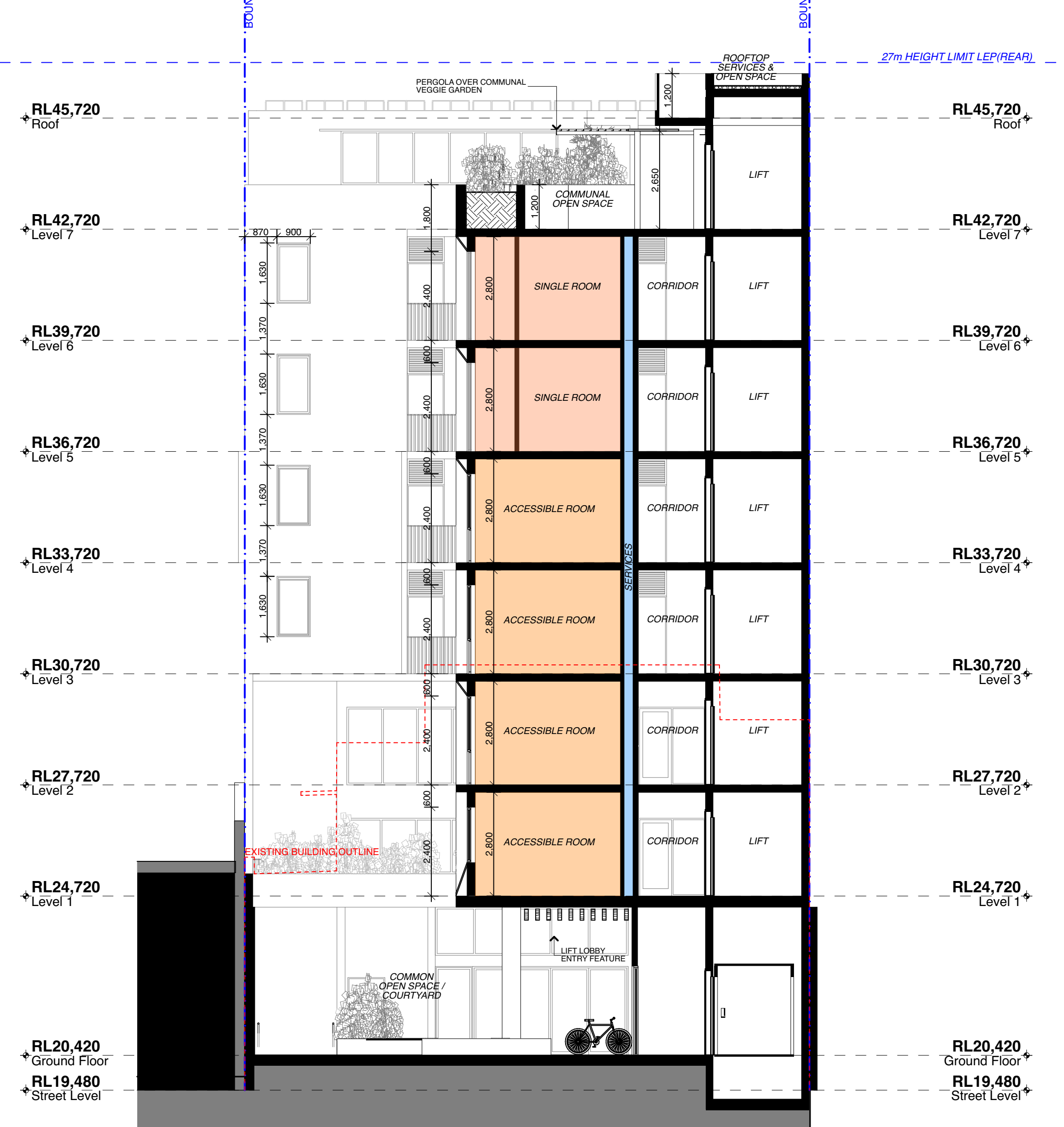
693a PITTWATER RD

691 PITTWATER RD

687 PITTWATER RD



1 Section C
1:100



2 Section D
1:100

FOR DA PURPOSES



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CONSENT**

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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Sections 03

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 302
NORTH		REV	C

PITTWATER RD

691 PITTWATER RD

1 FISHER RD



1 Future Laneway Sectional Detail
1:100

FOR DA PURPOSES	
	FUTURE WORKS
	PROPOSED DEVELOPMENT
	TO BE RETAINED

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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Detailed Section - Future Development

PROJECT #	19049	SCALE @ A1	1:100
DRAWN	ATJG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 303
NORTH		REV	G

HERITAGE COMPONENT



Window 1: Existing heritage window viewed from street, with staircase behind. Head detail to be matched in other restored window.

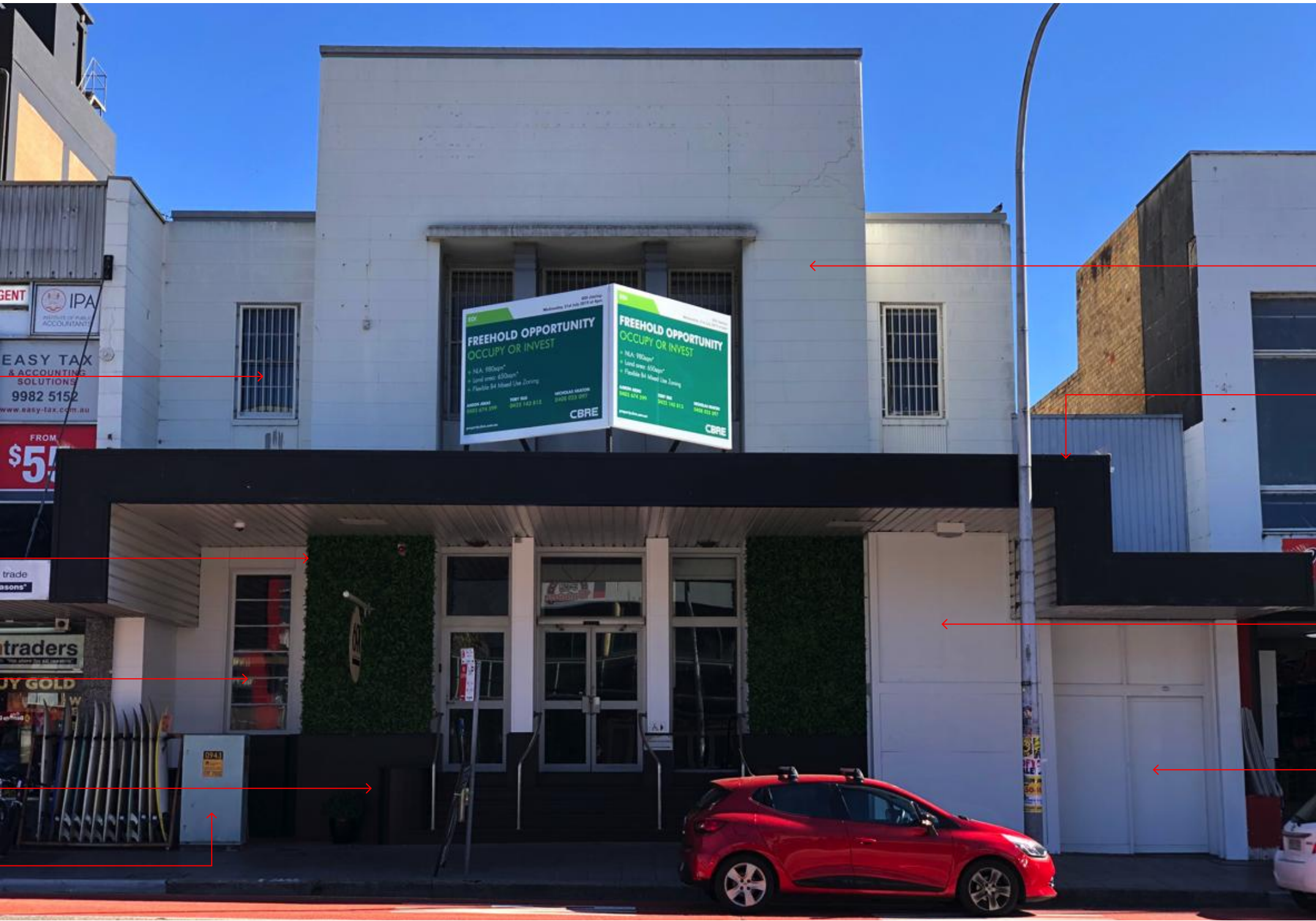
EXISTING SECURITY BARS TO BE REMOVED AND SECURITY LOCK INSTALLED.

EXISTING IMITATION GREEN WALLS TO BE REMOVED AND MADE GOOD WHERE NECESSARY.

PROPOSED EMERGENCY EXIT DOOR. HERITAGE WINDOW TO BE RESTORED TO DETAIL. (WINDOW 1)

EXISTING GRANITE PLINTH. BLACK PAINT TO BE STRIPPED TO SHOW ORIGINAL RED STONE.

RMS PILLAR



HERITAGE FACADE TO BE RETAINED AND RESTORED WHERE NECESSARY.

EXISTING AWNING TO BE REPLACED WITH LIGHTWEIGHT GLASS AWNING OVER ACCESSIBLE ENTRY ONLY.

EXISTING ATM FACILITIES TO BE REMOVED FOR HERITAGE WINDOW BEHIND TO BE SHOWN. (WINDOW 2)

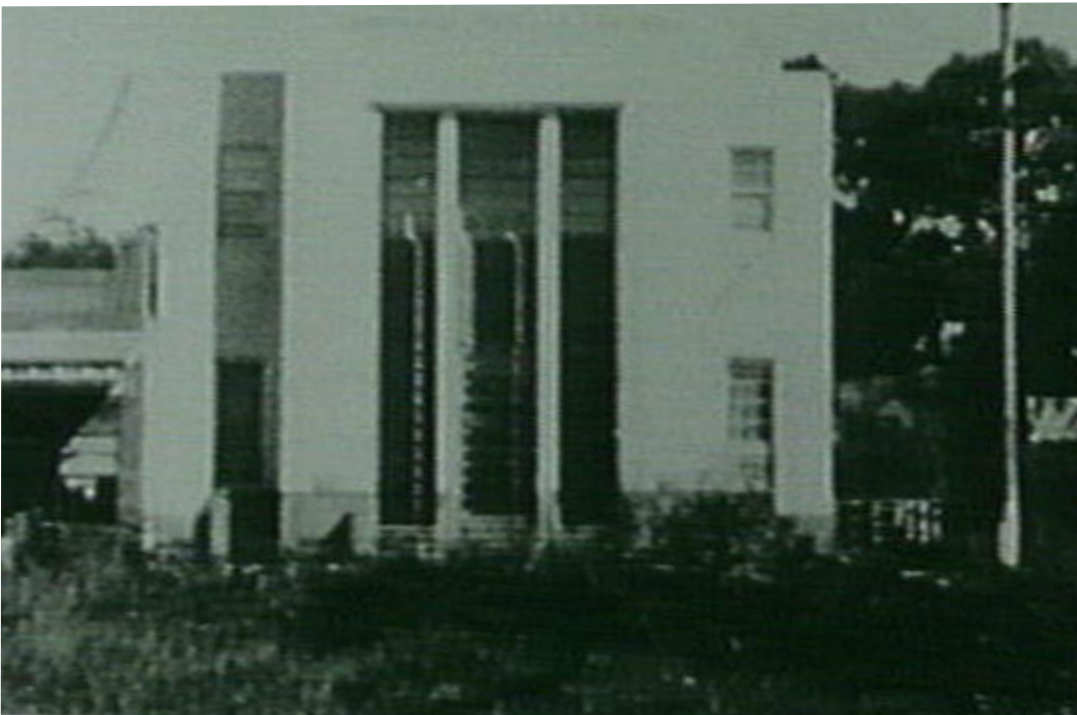
EXISTING ACCESSIBLE ENTRY TO BE REMOVED AND REPLACED WITH GLASS DOORS AND A COMPLIANT, ACCESSIBLE ENTRY RAMP. GLAZED ENTRY TO BE RECESSED FROM BOUNDARY, FLUSH WITH HERITAGE FACADE.



Window 2: Existing heritage window in poor condition. Currently covered by ATM services on the outside. View shown from inside existing building.

GENERAL

Proposal for the heritage facade of 691 Pittwater Rd, Dee Why, to be retained and restored.

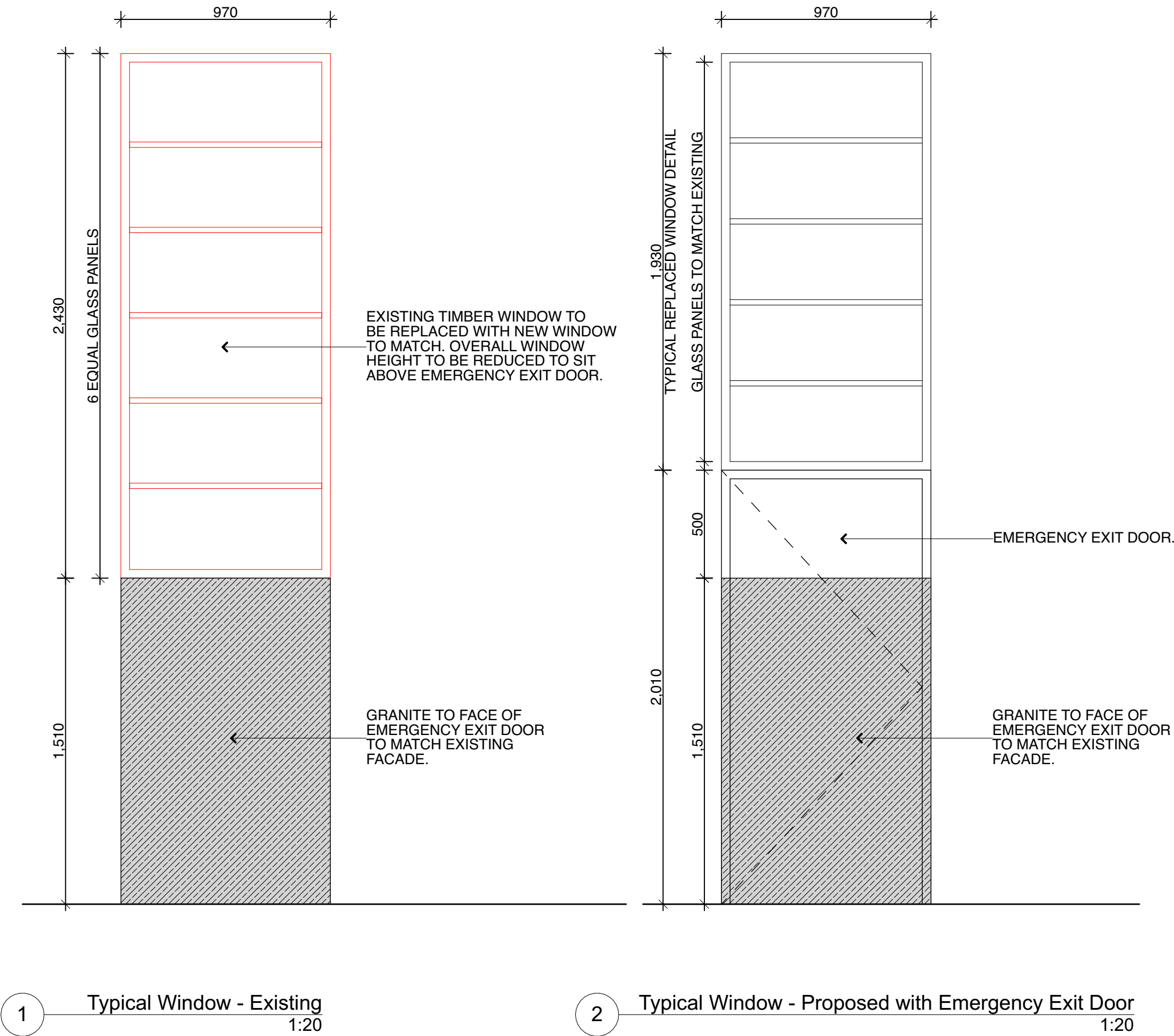


691 Pittwater Road as the Commonwealth Bank in the 1940's. (Source: Warringah Image Library; <http://www.photosau.com.au/warringah/scripts/home.asp>).

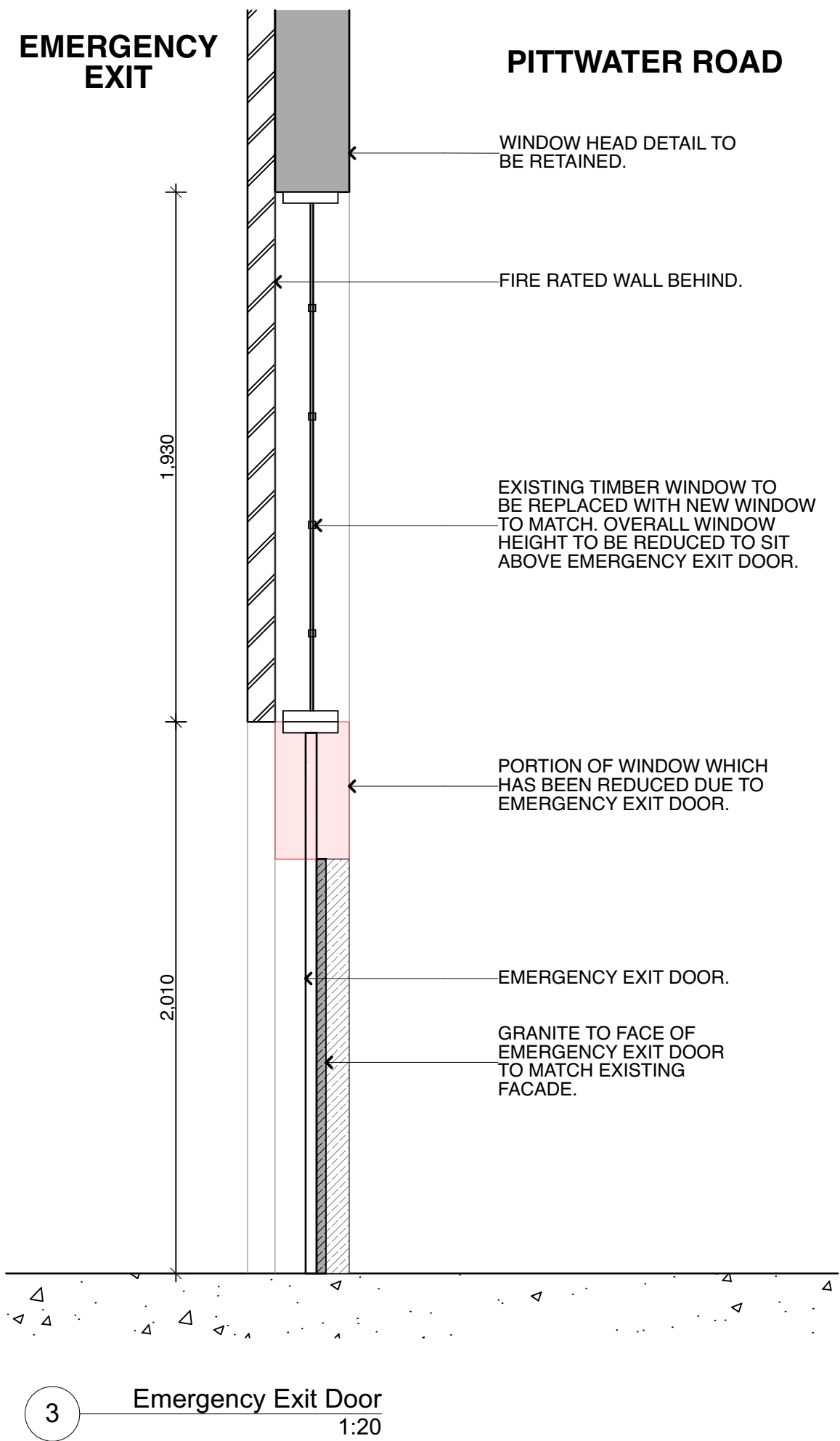
- The proposal includes the following items:
- ATM service walls and partitions to be removed
 - Black paint to be stripped from granite plinth
 - Granite plinth to be restored to its original intent
 - Remove existing metal street awning
 - Existing bars off upper level windows to be removed

As recommended by Council's Heritage Consultant in the Prelodgement Advice Document, it is preferred "that there be no awning placed on the building due to it interrupting the strong vertical lines as indicated through the aligned columns and windows". Also, "Heritage could consider a small awning above the pedestrian entryway on the northern side". As a result, a glass awning has been proposed to cover the accessible entry to the building on the northern side with minimal impact on the existing heritage facade.

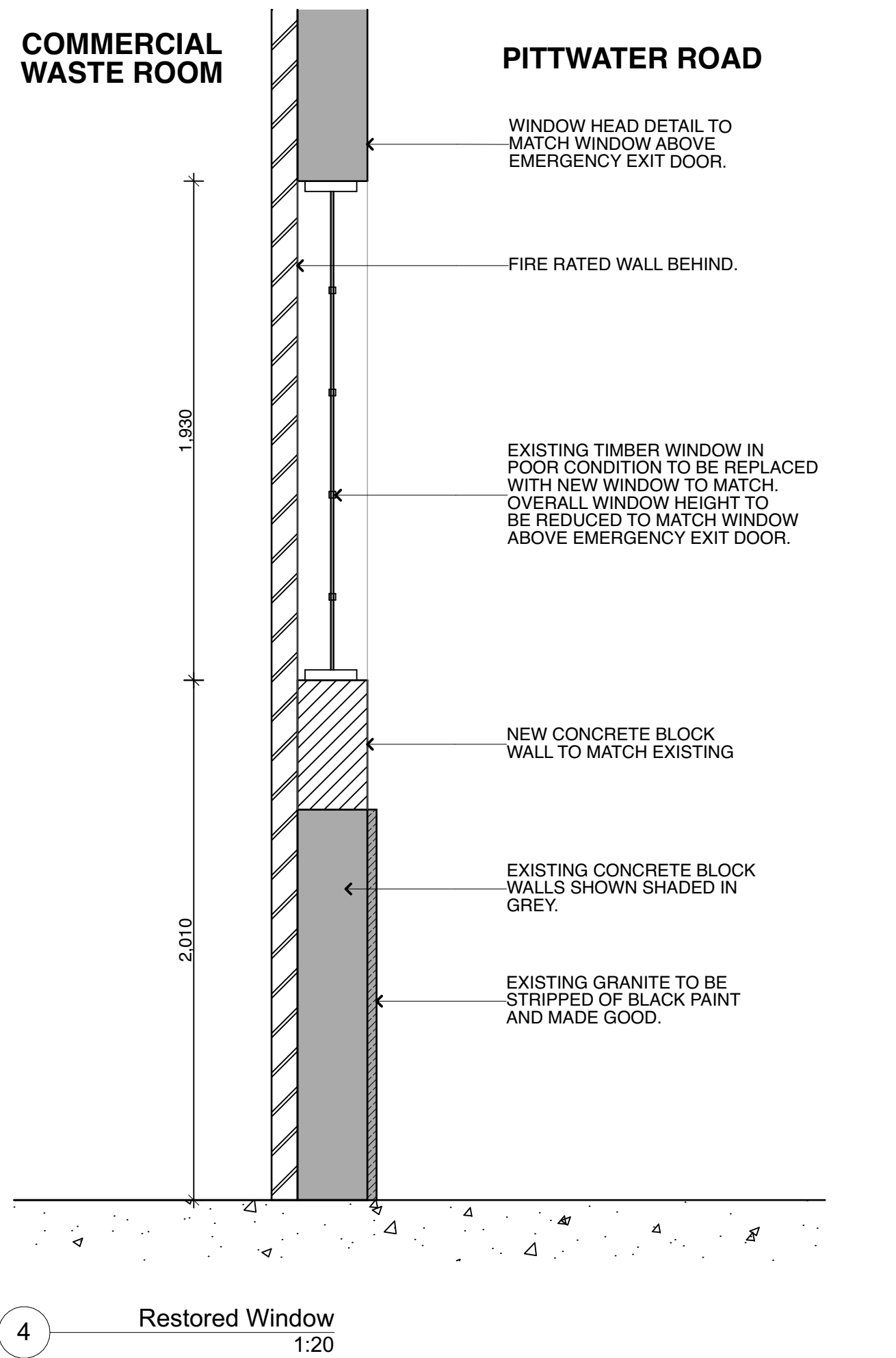
TYPICAL WINDOW DETAIL & EMERGENCY EXIT DOOR ELEVATION



EMERGENCY EXIT DOOR & WINDOW 1



WINDOW 2 DETAIL



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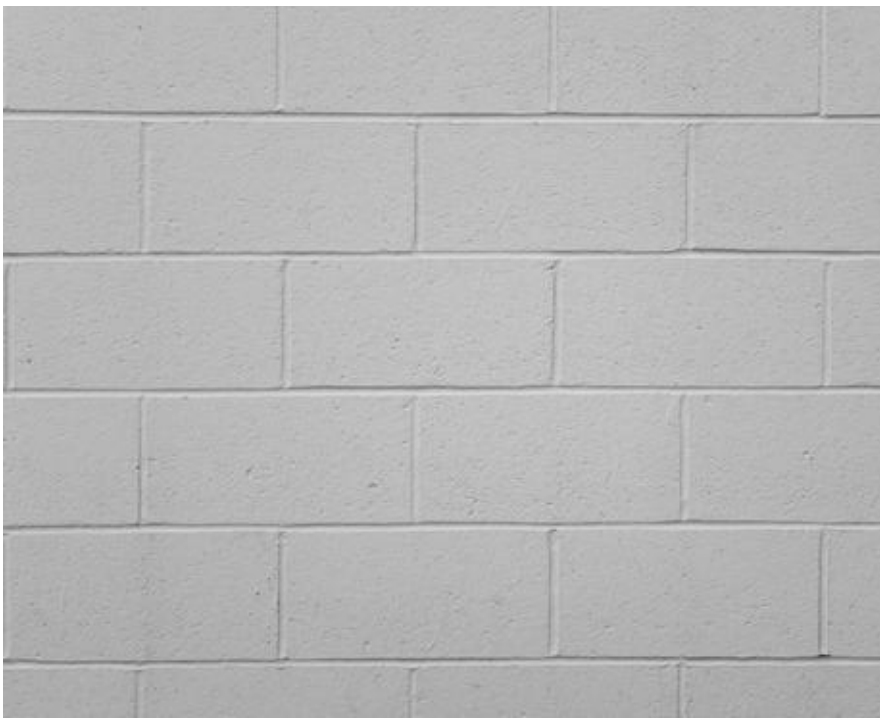
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PROJECT Mixed Use Boarding House Development
ADDRESS 691 Pittwater Road Dee Why NSW
CLIENT Gannet Developments
DRAWING Heritage Component

PROJECT #	19049	SCALE @ A1	1:20
DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 400
NORTH		REV	C



1. Existing Concrete Block Wall
Colour: White



2. Existing Granite Cladding
Colour: Red Granite



3. Glass Canopy Awning
Colour: Clear



4. Metal Balustrade
Colour: Black



5. Precast Concrete Panels



6. EasyLap Panel Cladding
Colour: Dark grey



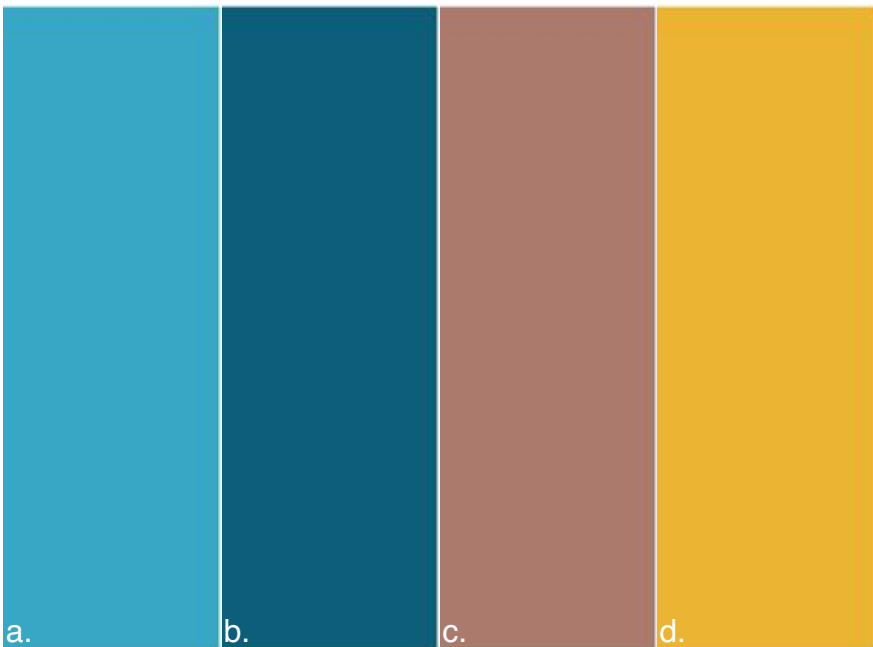
7. Steel Window Shades
Colour: Monument or similar



8. Aluminium Window and Door Frames
Colour: Black



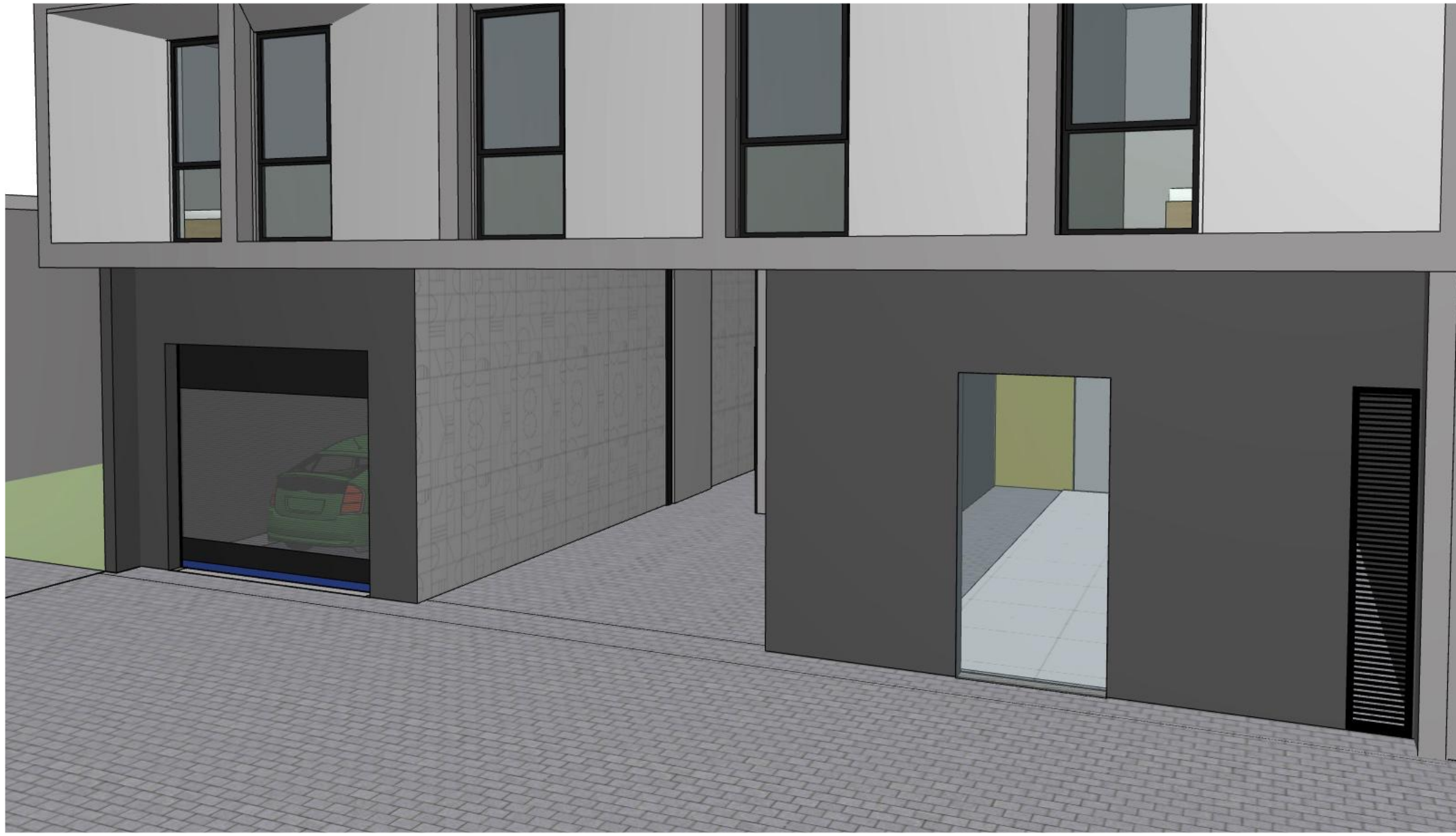
9. Innowood Timber Looking Lift Lobby
Screening



10. Accent Paint Colours
a. Dulux Satorini (S33H3)
b. Dulux Copacabana (S33H7)
c. Dulux Rosetta (S07D5)
d. Dulux Buzz (S15H7)

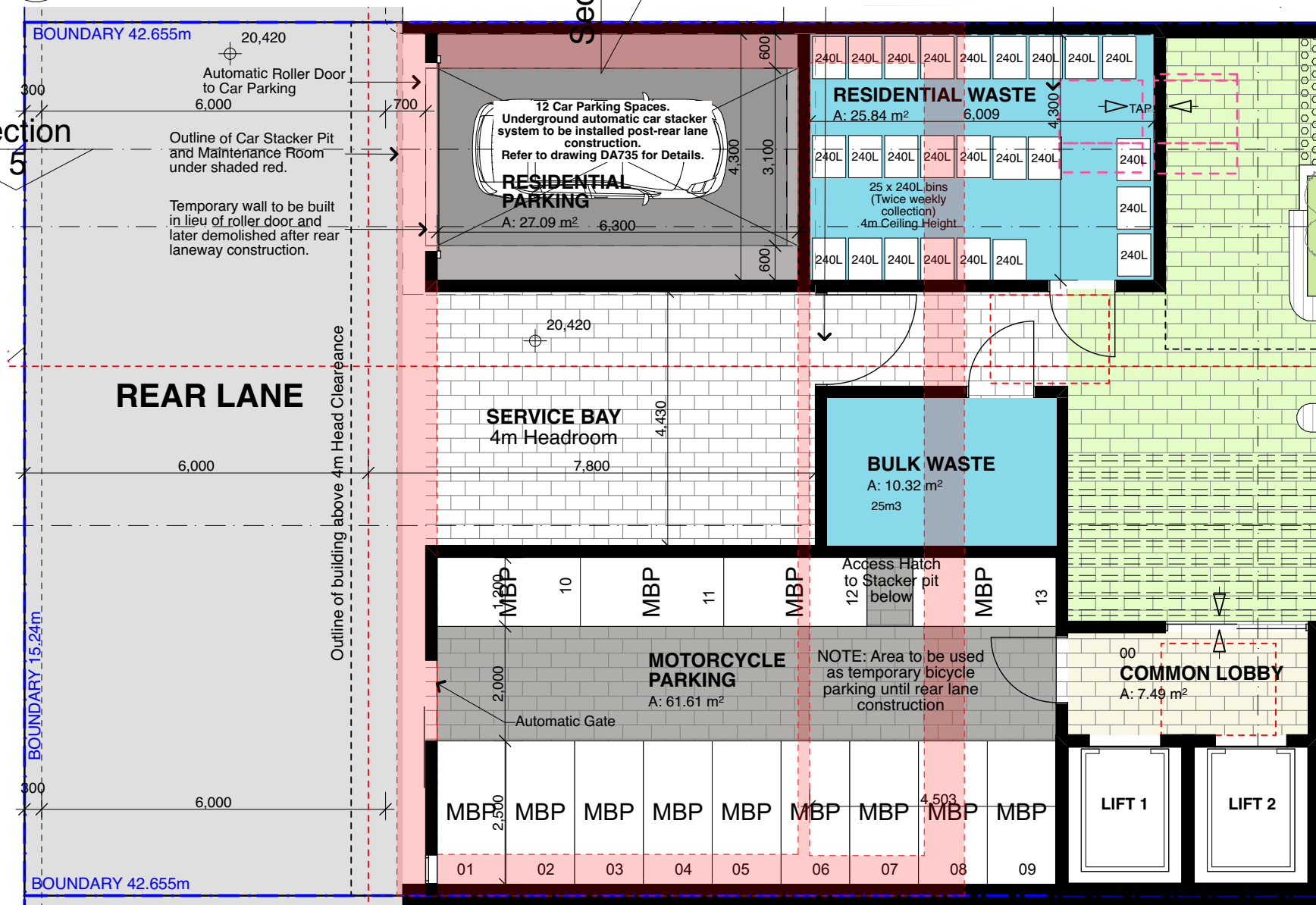


11. FC Cladding
Colour: Mid grey

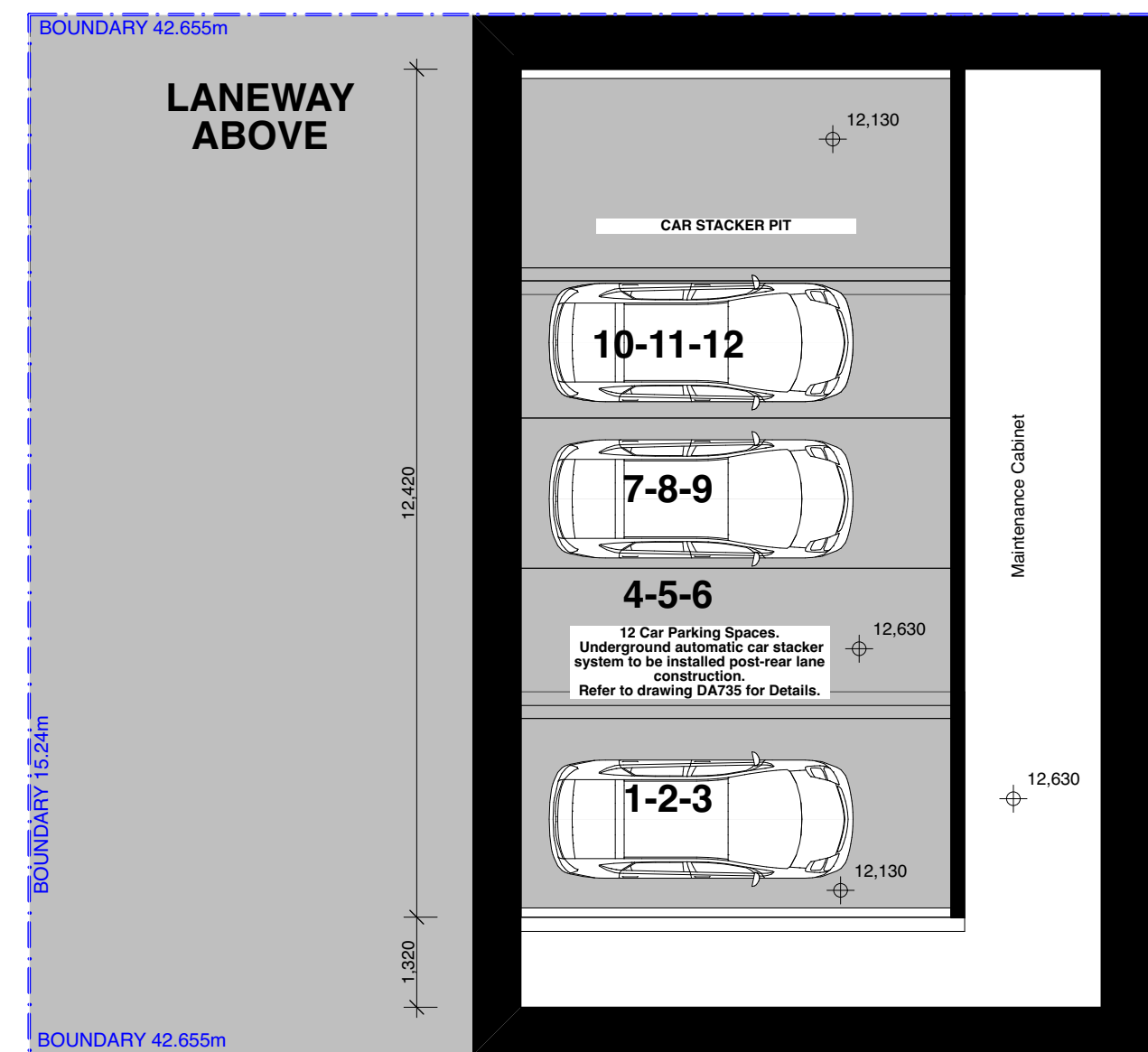


1 3D View from Internal Courtyard

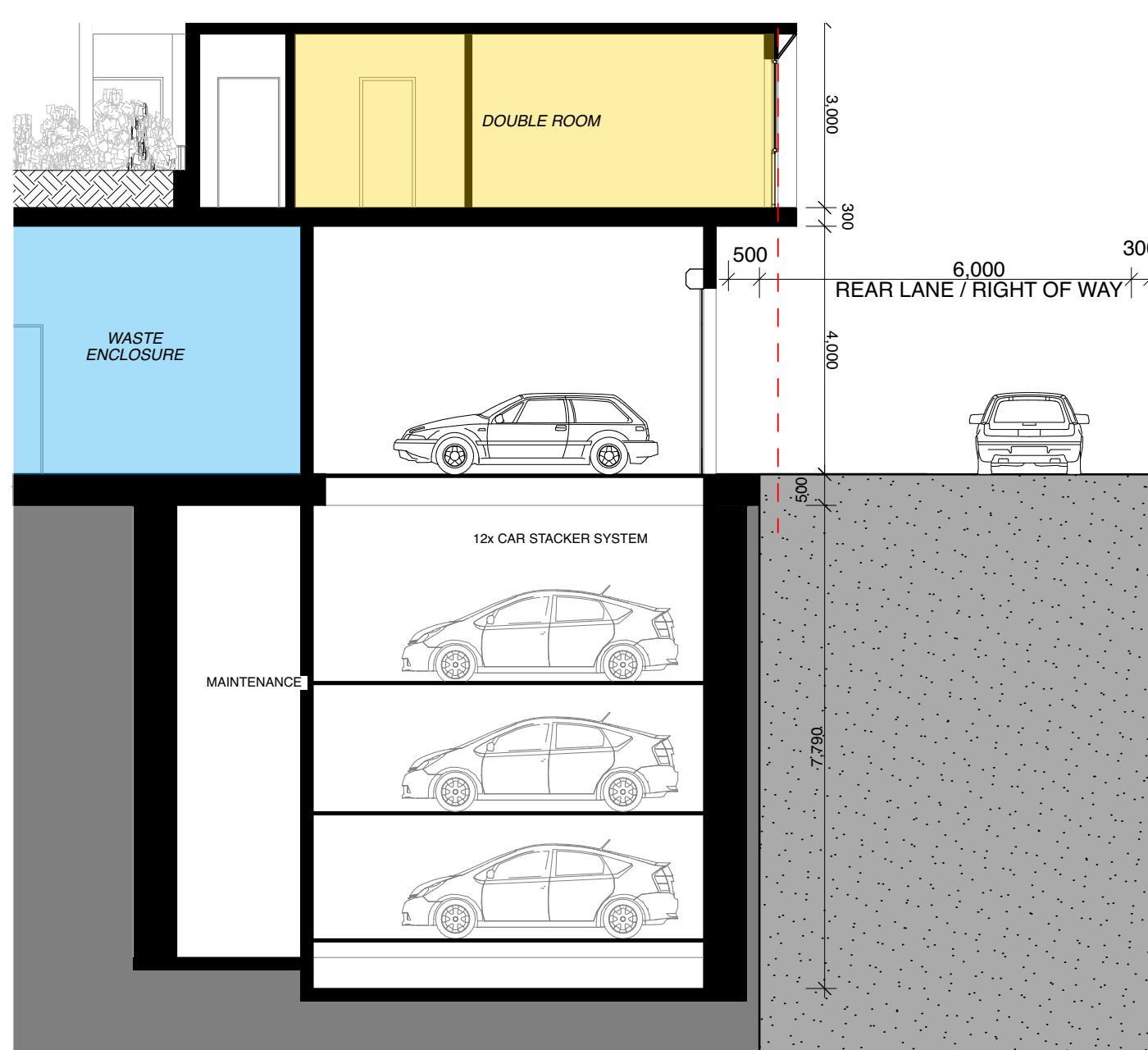
2 3D View from Rear Laneway



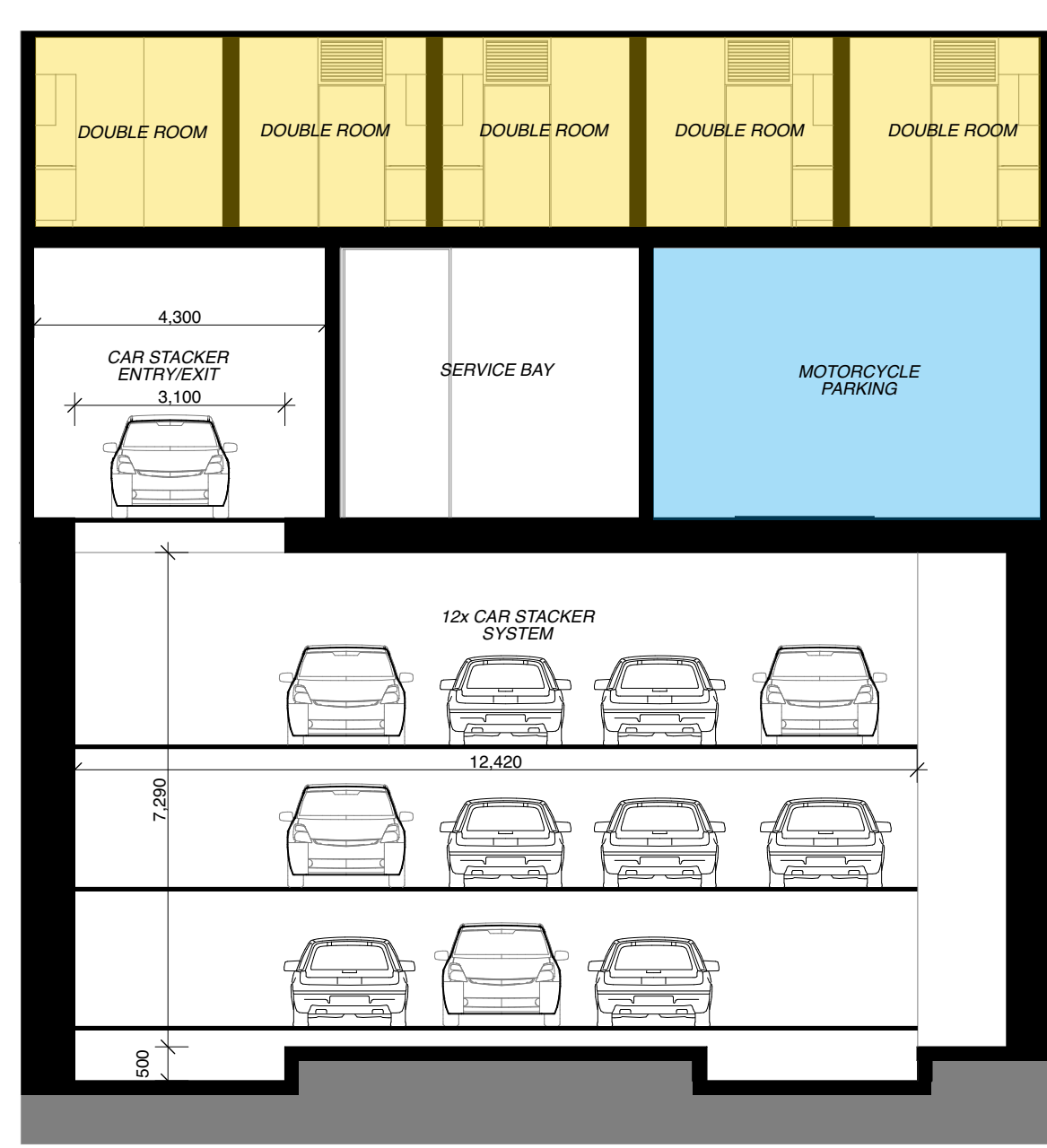
3 Car Stacker Arrangement Ground Floor Plan
1:100



4 Car Stacker Arrangement - Pit Plan
1:100



5 Car Stacker Section Detail
1:100



6 Car Stacker Section Detail
1:100



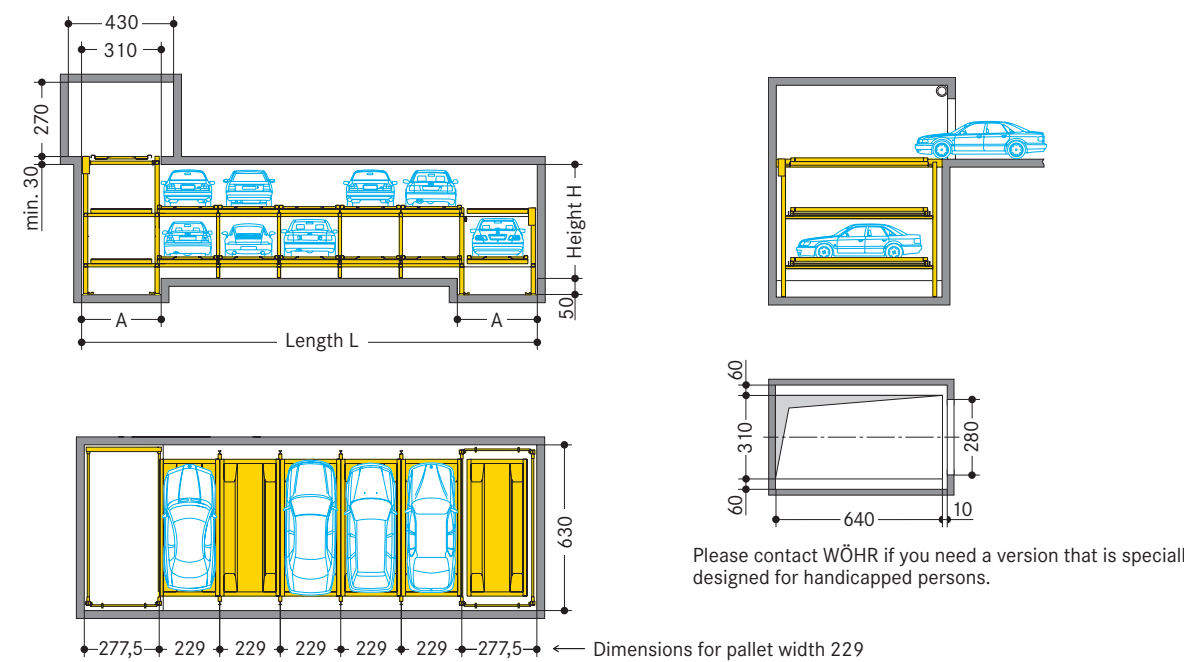
3D View of Internal Courtyard and thoroughfare to laneway

Level Parker 590

Arrangement on two or more parking levels

The example below shows a Level Parker 590 with two parking levels and 12 parking spaces. The parking system must have at least two parking levels, but it may be built also with more than two levels.

The table below on the left specifies the minimum dimensions. The switch cabinet can be arranged flexibly, it may also be placed somewhere else.



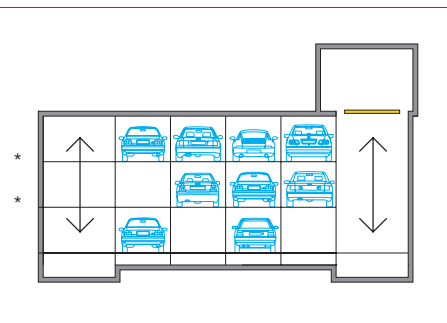
Parking levels	Car height		Height H*	
	160	185	Car height	Car height
2	414	464	200	494
3	609	684	200	729
4	804	904	200	964
5	999	1124	200	1199

* With a turning device on the lower level the dimension has to be increased by 8 cm

Parking places per level	Parking places per system (with 2 levels)	Length L	Pallet width
4	8	1242	229

Position of the transfer area

The transfer area must always be above the parking area, however, it can be arranged flexibly. It is recommended to arrange the transfer area at the ends of the parking rows, either on the right or on the left, where the vertical lifts are located. But it is also possible to position the transfer area above any parking space by adding an additional vertical lift.



Pallet width	Dimension A
229	220

Car weight max. 2500 kg, wheel load max. 625 kg.
These car dimensions are valid for the building dimensions as mentioned. If building dimensions are adjusted, other car dimensions are possible.

WÖHR LEVEL PARKER 590

Please observe the separate Technical Notes!



8

Automatic Car Lift & Stacker System Brochure Extract from WÖHR Level Parker 590

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E	03/11/20	AMENDED ISSUE FOR DRP
F	18/11/20	AMENDED ISSUE FOR DRP
G	24/11/20	AMENDED ISSUE FOR DRP
H	26/11/20	AMENDED ISSUE TO COUNCIL



PROJECT
Mixed Use Boarding House Development
ADDRESS
691 Pittwater Road Dee Why NSW
CLIENT
Gannet Developments
DRAWING
691 Pittwater Rd Car Stacker Detail

PROJECT #	19049	SCALE @ A1	1:200, 1:250, 1:100
DRAWN	ATJUG	CHECKED	JK
DATE	27/11/20	DRAWING No.	DA 735
NORTH		REV	H