

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0907

DUST CONTROL :
TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

SEDIMENT NOTE :
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
2. MINIMISE DISTURBED AREAS, REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS.
5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

STOCKPILES :
ALL STOCKPILES ARE TO BE KEPT ON-SITE WHERE POSSIBLE. ANY MATERIALS PLACED ON THE FOOTPATHS OR NATURE STRIPS REQUIRE COUNCIL'S PERMISSION.
ALL STOCKPILES ARE TO BE PLACED AWAY FROM THE DRAINAGE LINES AND STREET GUTTERS. IT IS BEST TO LOCATE THESE ON THE HIGHEST PART OF THE SITE IF POSSIBLE. PLACE WATERPROOF COVERING OVER STOCKPILES.
IF REQUIRED PROVIDE DIVERSION DRAIN & BANK AROUND STOCKPILES.

GUTTER PROTECTION :
PROVIDE PROTECTION TO DOWNHILL GRATE IN GUTTER BY MEANS OF SAND BAGS OR BLUE METAL WRAPPED IN GEOTEXTILE FABRIC. WHEN SOIL OR SAND BUILDS UP AROUND THIS SEDIMENT BARRIER, THE MATERIAL SHOULD BE RELOCATED BACK TO THE SITE FOR DISPOSAL.

NOTE: ALL PROPOSED STORMWATER TO CONNECT WITH EXISTING



REV.	DATE	COMMENTS	DRWN
A	09.07.19	DA SET	EAS
B	21.10.19	DA 'REV A'	EAS

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All errors and omissions are to be verified by the Builder/Contractor and referred to the designer prior to the commencement of works.

LEGEND	
	EXISTING
	PROPOSED
	DEMOLISHED
	TIMBER

CLIENT
ELIZABETH & ANDREW SWEENEY

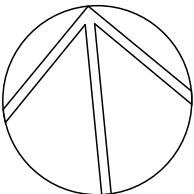
PROJECT ADDRESS
43 QUINTON ROAD,
MANLY, 2095

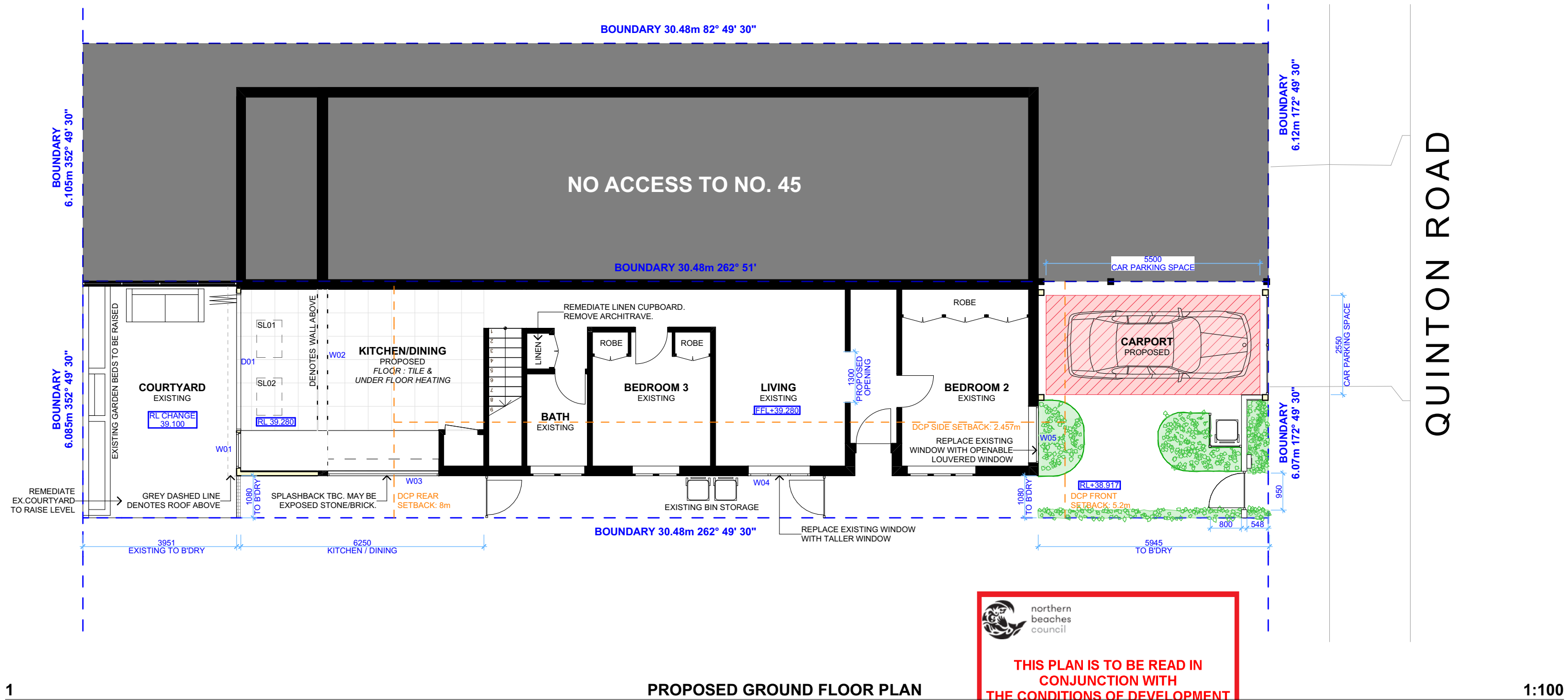
DRAWING NO.
DA02

DATE
Monday, 21 October 2019

DRAWING NAME
SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN

SCALE
1:200 @A3

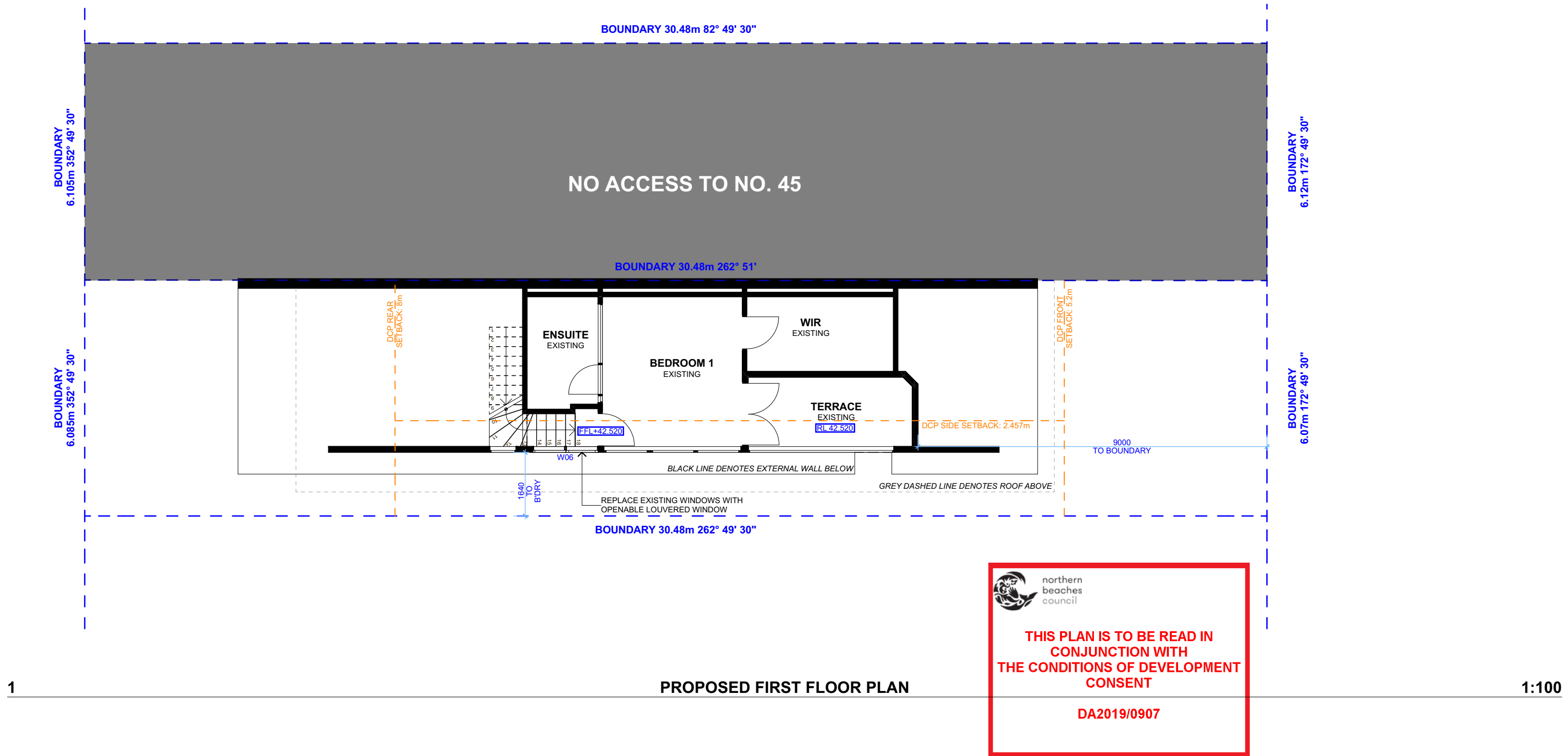




1

PROPOSED GROUND FLOOR PLAN

1:100



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m: 0426 957 518
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REV.	DATE	COMMENTS	DRWN
A	09.07.19	DA SET	EAS
B	21.10.19	DA 'REV A'	EAS

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LEGEND	
	EXISTING
	PROPOSED
	DEMOLISHED
	TIMBER

CLIENT

ELIZABETH & ANDREW SWEENEY

PROJECT ADDRESS

43 QUINTON ROAD,
MANLY, 2095

DRAWING NO.

DA06

DATE

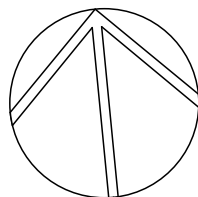
Monday, 21 October 2019

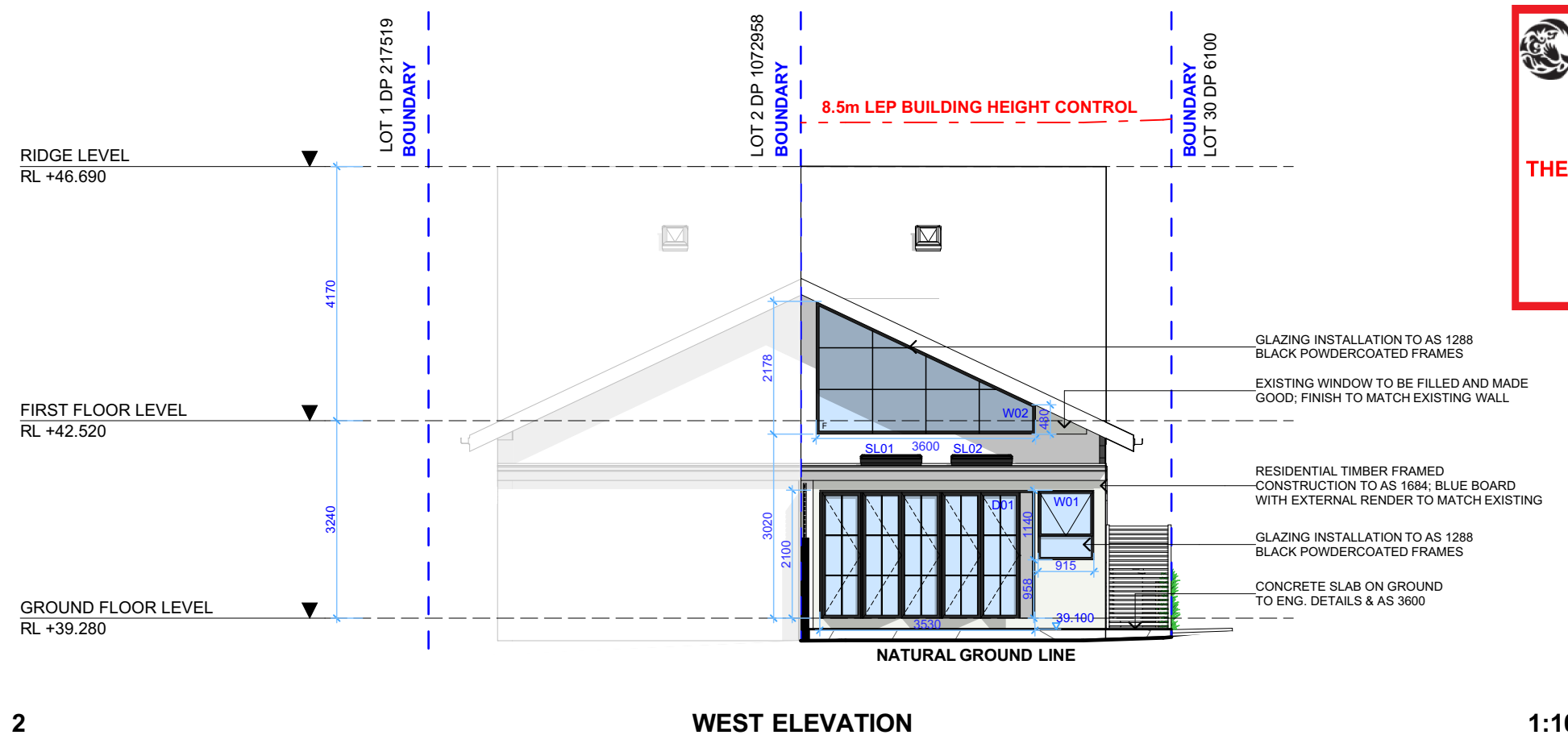
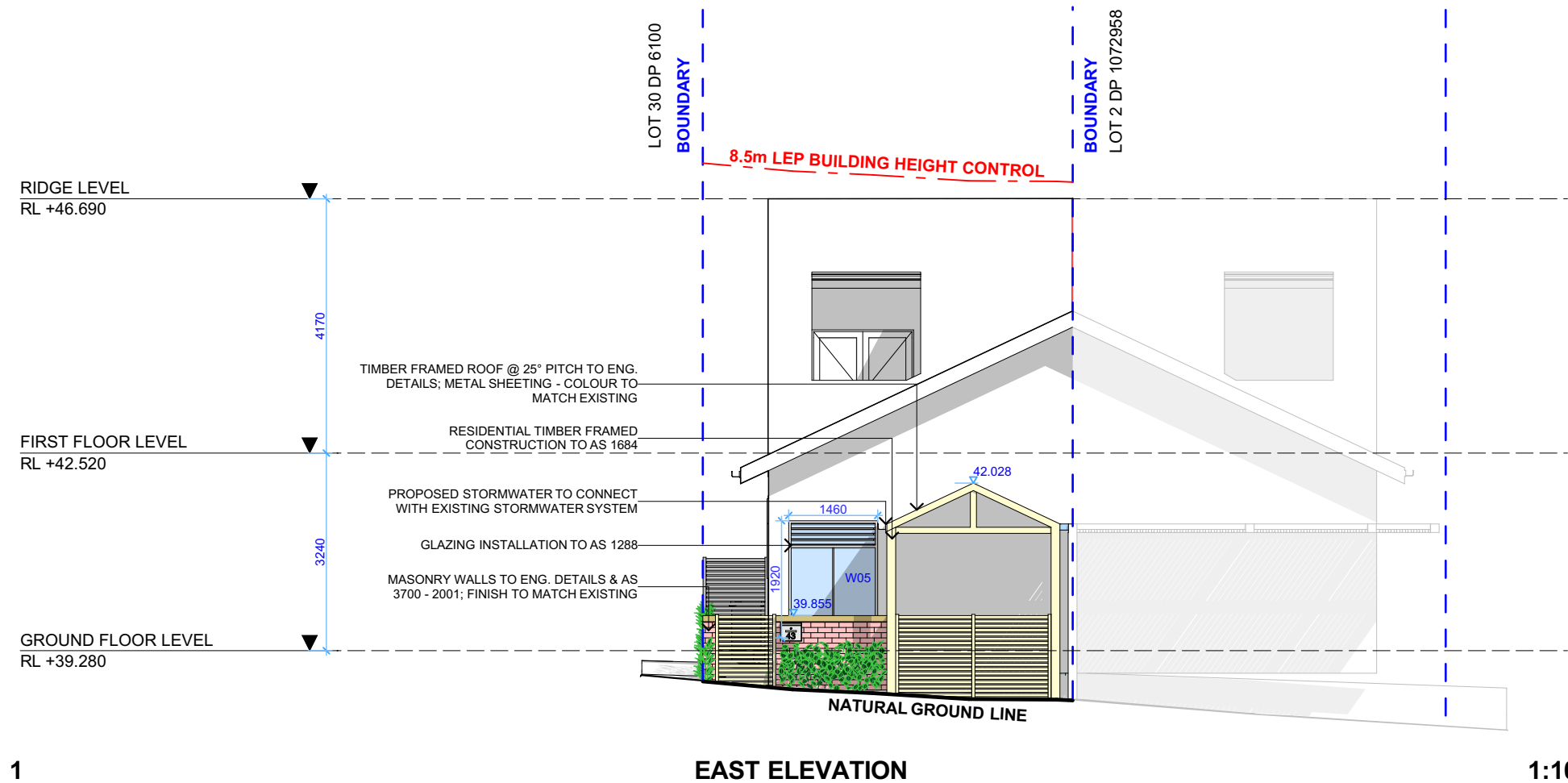
DRAWING NAME

PROPOSED FIRST FLOOR PLAN

SCALE

1:100 @A3














 **northern
beaches
council**

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B	21.10.19	DA 'REV A'	EAS	

LEGEND	
	METAL ROOFING
	TILED ROOFING
	TIMBER
	RENDER
	CONCRETE
	BRICKWORK
	METAL
	EXISTING
	DEMOLISHED

CLIENT
ELIZABETH & ANDREW SWEENEY
PROJECT ADDRESS
43 QUINTON ROAD, MANLY, 2095

DRAWING NO.
DA07
DATE
Monday, 21 October 2019

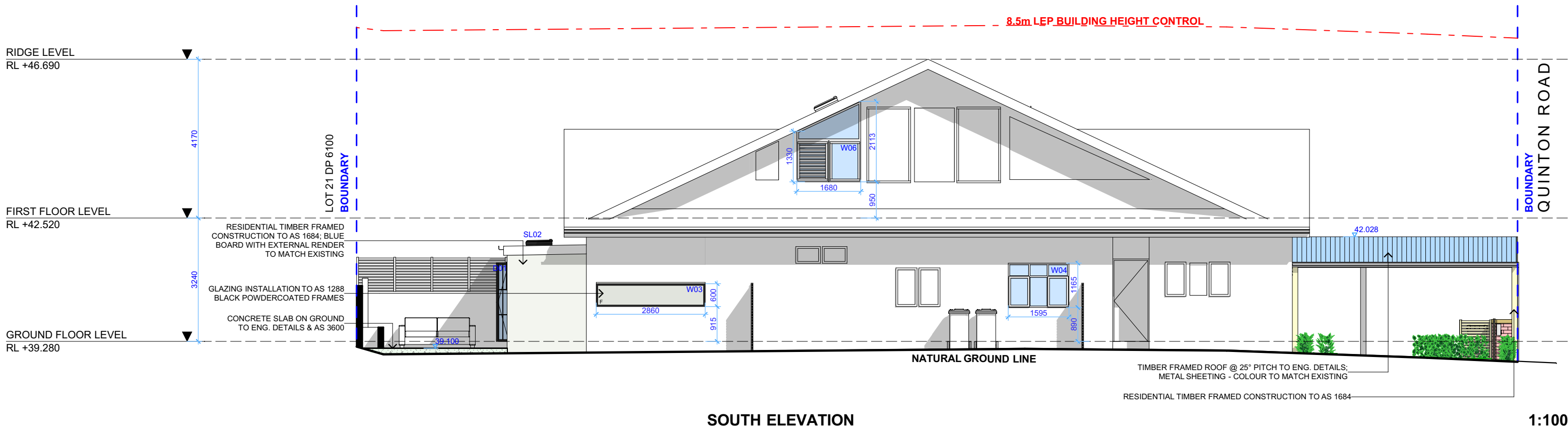
DRAWING NAME
EAST / WEST ELEVATION
SCALE
1:100 @A3




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e:operations@actionplans.com.au
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REV.	DATE	COMMENTS	DRWN	NOTES
A	09.07.19	DA SET	EAS	LEGEND <div><div>METAL ROOFING</div><div>CONCRETE</div><div>BRICKWORK</div><div>METAL</div><div>EXISTING</div><div>DEMOLISHED</div><div>TILED ROOFING</div><div>RENDER</div><div>TIMBER</div></div>
B	21.10.19	DA 'REV A'	EAS	

CLIENT

ELIZABETH & ANDREW SWEENEY

PROJECT ADDRESS

43 QUINTON ROAD,
MANLY, 2095

DRAWING NO.

DA08

DATE

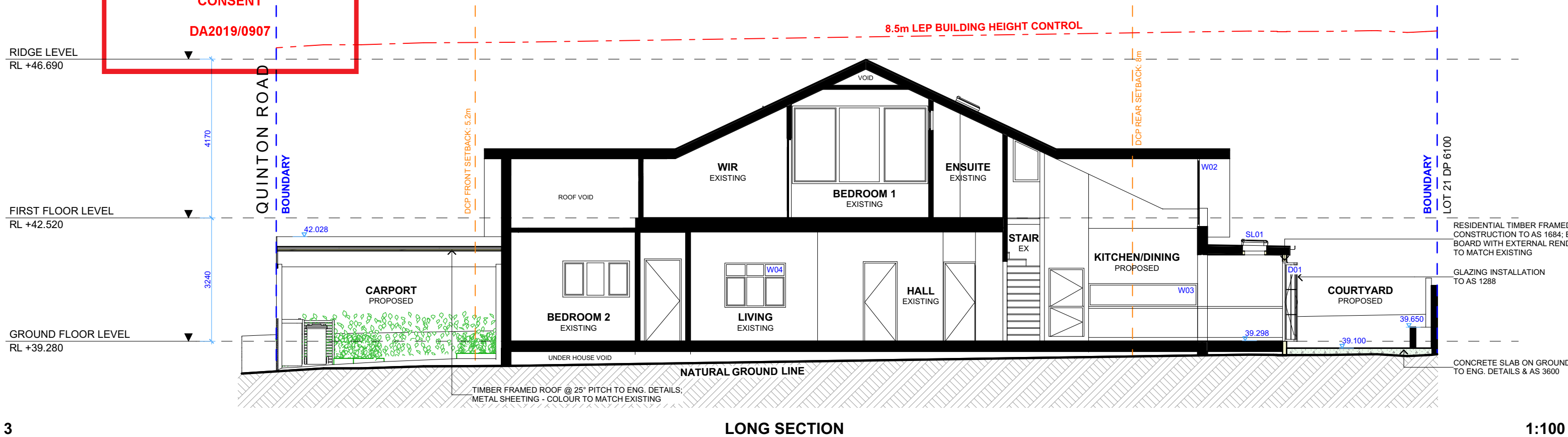
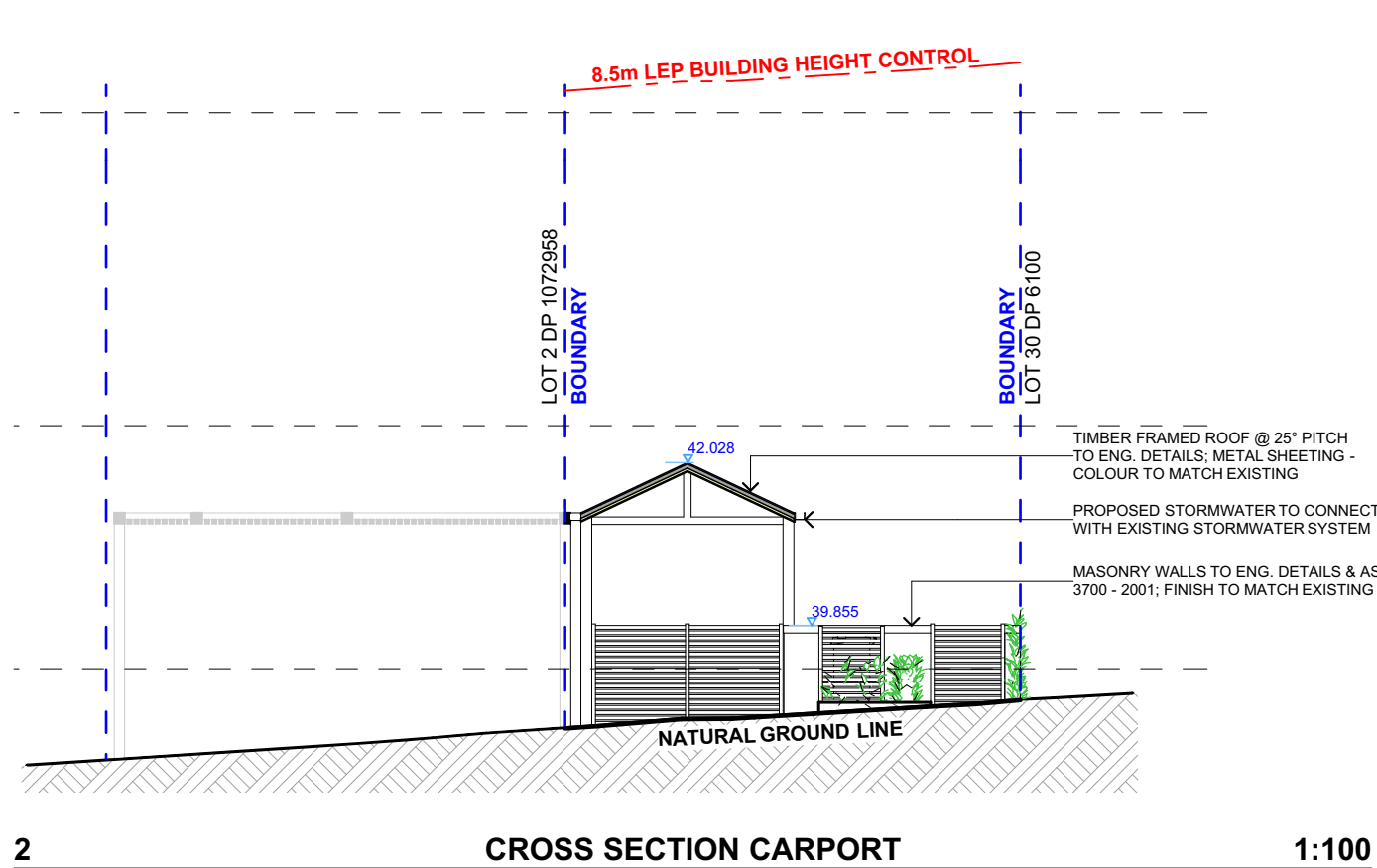
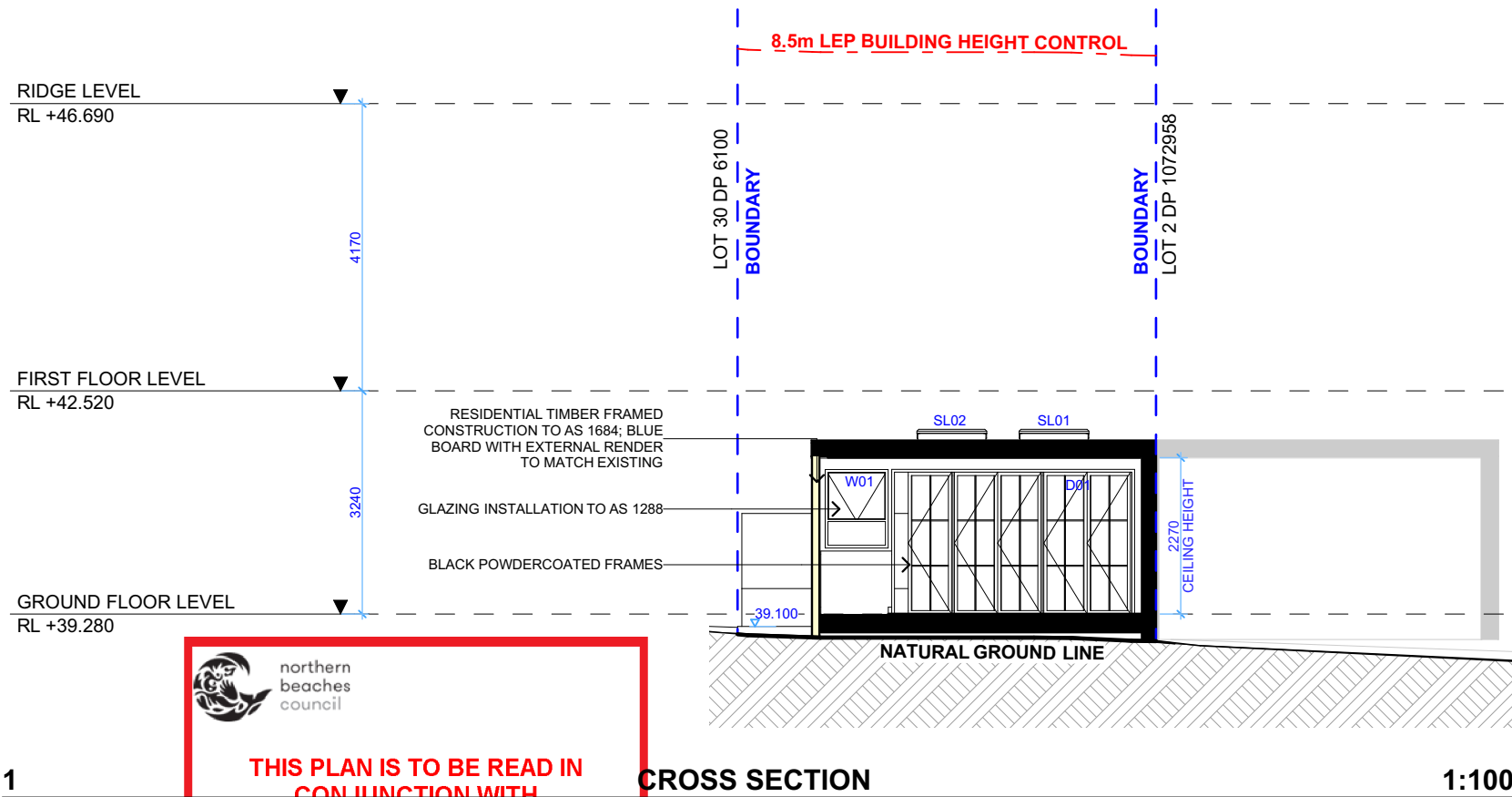
Monday, 21 October 2019


DRAWING NAME

SOUTH ELEVATION

SCALE

1:100 @A3





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B	21.10.19	DA 'REV A'	EAS	

LEGEND

METAL ROOFING

TILED ROOFING

TIMBER

RENDER

CONCRETE

BRICKWORK

METAL

EXISTING

DEMOLISHED

CLIENT

ELIZABETH & ANDREW SWEENEY

PROJECT ADDRESS

43 QUINTON ROAD, MANLY, 2095

DRAWING NO.

DA09

DATE

Monday, 21 October 2019

DRAWING NAME

LONG / CROSS SECTION

SCALE

1:100 @A3