

BASIX COMMITMENTS

READ DRAWINGS IN CONJUNCTION WITH THE ATTACHED BASIX CERTIFICATE  
#A440753\_02 SUBMITTED WITH THE DEVELOPMENT APPLICATION.

**RAINWATER TANK:**  
RAINWATER TANK NOT REQUIRED.

**OUTDOOR SWIMMING POOL**  
NO SWIMMING POOL PROPOSED.

**HOT WATER:**  
HOT WATER SYSTEM AS IS.

**LIGHTING:**  
ENSURE A MINIMUM OF 40% OF NEW OR ALTERED LIGHT FIXTURES ARE FITTED  
WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED)  
LAMPS.

**FIXTURES:**  
ALL NEW OR ALTERED SHOWERHEADS TO HAVE A FLOW RATE NO GREATER THAN 9  
L PER MINUTE OR A 3 STAR WATER RATING. NEW OR ALTERED TOILETS TO HAVE A  
FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A MINIMUM 3  
STAR WATER RATING. NEW OR ALTERED TAPS TO HAVE A FLOW RATE NO GREATER  
THAN 9 L PER MINUTE OR MINIMUM 3 STAR WATER RATING.

**INSULATION:**  
NEW OR ALTERED CONSTRUCTION OF FLOORS, WALLS AND CEILINGS/ROOFS TO BE:  
- EXTERNAL WALLS: FRAMED: R1.3 (OR R1.70 INCLUDING CONSTRUCTION)  
- ROOFS: FRAMED: CEILING R3.00, ROOF: FOULSARKING ROOF COLOUR TO BE  
MEDIUM SOLAR ABSORPTANCE 0.475 - 0.7

**WINDOWS, GLAZED DOORS AND SKYLIGHTS.**  
- THE APPLICANT MUST INSTALL THE WINDOWS, GLAZED DOORS AND SHADING  
DEVICES, IN ACCORDANCE WITH SPECIFICATIONS LISTED IN THE BASIX  
CERTIFICATE. EACH WINDOW, GLAZED DOOR OR SKYLIGHT TO HAVE A U-VALUE AND  
SOLAR HEAT GAIN COEFFICIENT NO GREATER THAN THAT LISTED. ALTERNATIVE  
SYSTEMS WITH COMPLYING U-VALUE AND SHGC MAY BE SUBSTITUTED.

41 Heathcliff CRESCENT  
2 STOREY DWELLING  
new house under construction

37 Heathcliff CRESCENT  
2 STOREY DWELLING  
rendered & painted house with metal roofing

PROPOSED  
First Floor Plan  
SCALE 1:100/A2

LEGEND

- PROPOSED NEW WALLS  
INTERNAL & EXTERNAL WALLS
- EXISTING HOUSE WALLS  
BRICK & OTHER WALLS
- DEMOLITION  
EXISTING HOUSE WALLS & FIXTURES TO BE DEMOLISHED
- PROPOSED ADDITIONAL BUILDING AREA  
HOUSE EXTENSION
- ADJOINING NEIGHBOURING PROPERTIES  
AS PER SITE SURVEY PLAN
- CONCRETE  
REINFORCED CONCRETE OR OTHER TO ENGINEER DETAILS
- EXTERNAL WALLS  
BRICK with WEATHERBOARD WALLS (AS INDICATED)
- INTERNAL WALLS  
FRAMED LIGHT WEIGHT PLASTERBOARD WALLS
- TIMBER FLOOR  
SELECTED HARDWOOD FLOOR
- WET AREA TILING  
SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
- CARPET FLOOR FINISH  
SELECTED CARPET & UNDERLAY
- ROOFING  
NEW PITCHED COLOURBOND METAL ROOFING

NOTES

**\* SITE SURVEY INFORMATION:**  
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COUNCIL AND/OR OTHER AUTHORITIES.

REV	DATE	ISSUE
1	29.10.2021	DA CONSULTANT ISSUE
2	03.12.2021	DA CONSULTANT ISSUE

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BCA AND COUNCIL BUILDING REQUIREMENTS.

**DU PLESSIS  
+ DU PLESSIS ARCHITECTS**

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www.droom.com.au  
NSW  
REGISTERED  
ARCHITECT:  
#7435  
NOMINATED  
ARCHITECT:  
Eugene du Plessis

PROJECT TITLE:  
39 Heathcliff Crescent  
House Alterations & Additions

CLIENT:  
Todd & Janelle  
Delaney

ADDRESS:  
39 Heathcliff Crescent  
Balgowlah Heights NSW 2093

DRAWING TITLE:  
PROPOSED  
FIRST FLOOR PLAN

DRAWN:  
E DU PLESSIS  
CHECKED:  
H DU PLESSIS

SCALE:  
1:100 [A2]

DRAWING NO.:

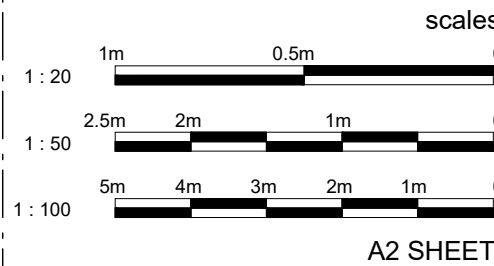
A.08

ISSUE:  
2  
DATE:  
03.12.2021

DRAWING STATUS:  
DEVELOPMENT APPLICATION

3 9 H E A T H C L I F F C R E S C E N T

HOUSE DELANEY  
Alterations & Additions to Existing House  
BCA Class 1a  
39 Heathcliff Crescent, Balgowlah Heights  
Lot 16 Sec 25 D.P. #758044  
SITE AREA 617.4m²



BASIX COMMITMENTS

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HOT WATER SYSTEM AS IS.

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BCA Class 1a  
39 Heathcliff Crescent, Balgowlah Heights  
Lot 16 Sec 25 D.P. #758044  
SITE AREA 617.4m<sup>2</sup>

PROPOSED  
Roof Terrace Plan  
SCALE 1:100/A2

LEGEND

- PROPOSED NEW WALLS  
INTERNAL & EXTERNAL WALLS
  - EXISTING HOUSE WALLS  
BRICK & OTHER WALLS
  - DEMOLITION  
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HOUSE EXTENSION
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SELECTED FLOOR TILES TO FALLS & SET-OUT TO DETAIL
  - CARPET FLOOR FINISH  
SELECTED CARPET & UNDERLAY
  - ROOFING  
NEW PITCHED COLOURBOND METAL ROOFING
- + (RL 37.40) LEVELS

NOTES

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**DU PLESSIS  
+ DU PLESSIS ARCHITECTS**

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BALGOWLAH HEIGHTS NSW 2093  
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NSW  
REGISTERED  
ARCHITECT:  
#7435

NOMINATED  
ARCHITECT:  
Eugene du Plessis

PROJECT TITLE:  
39 Heathcliff Crescent  
House Alterations & Additions

CLIENT:  
Todd & Janelle  
Delaney

ADDRESS:  
39 Heathcliff Crescent  
Balgowlah Heights NSW 2093

DRAWING TITLE:  
PROPOSED  
ROOF TERRACE PLAN

DRAWN:  
E DU PLESSIS

CHECKED:  
H DU PLESSIS

SCALE:  
1:100 [A2]

DRAWING NO:  
A.09

ISSUE:  
2

DATE:  
03.12.2021

DRAWING STATUS:  
DEVELOPMENT APPLICATION

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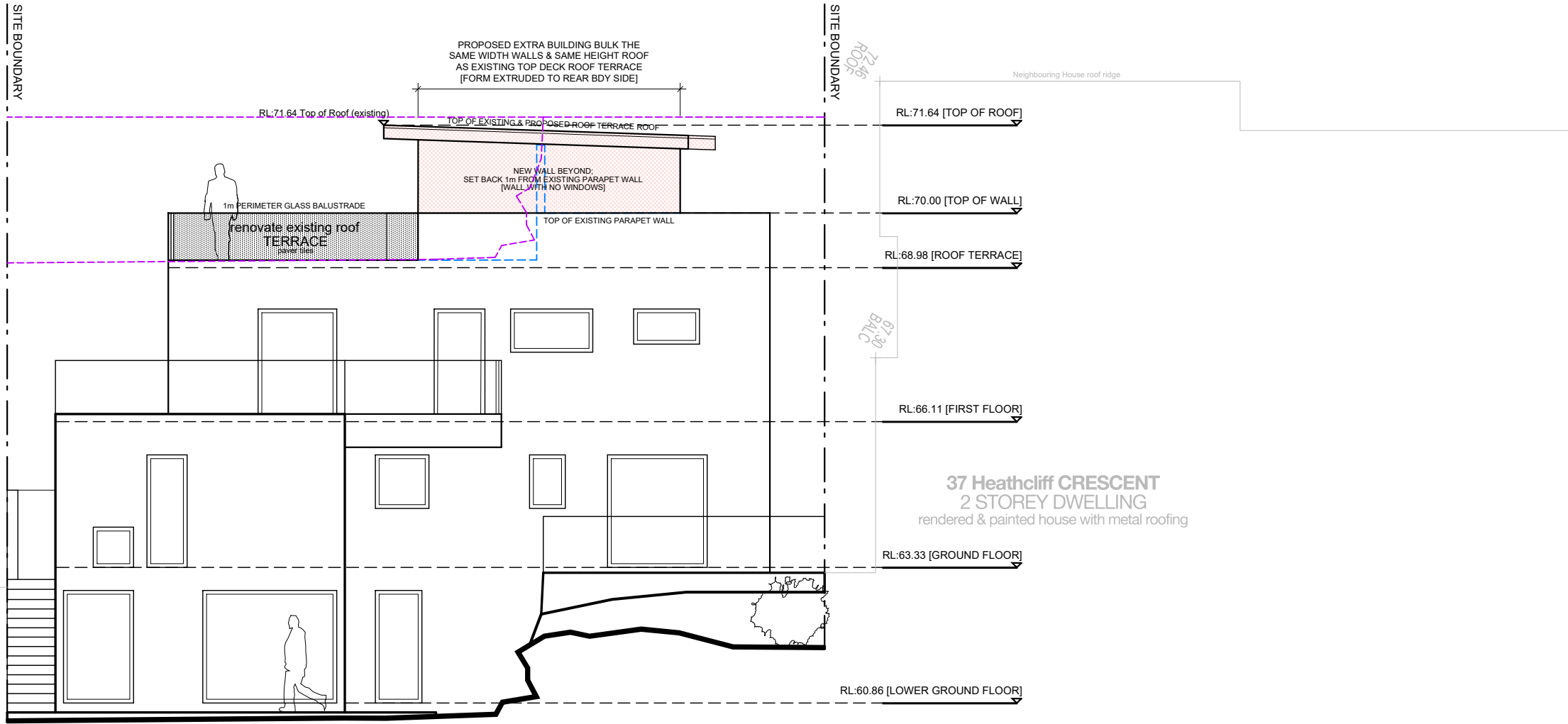
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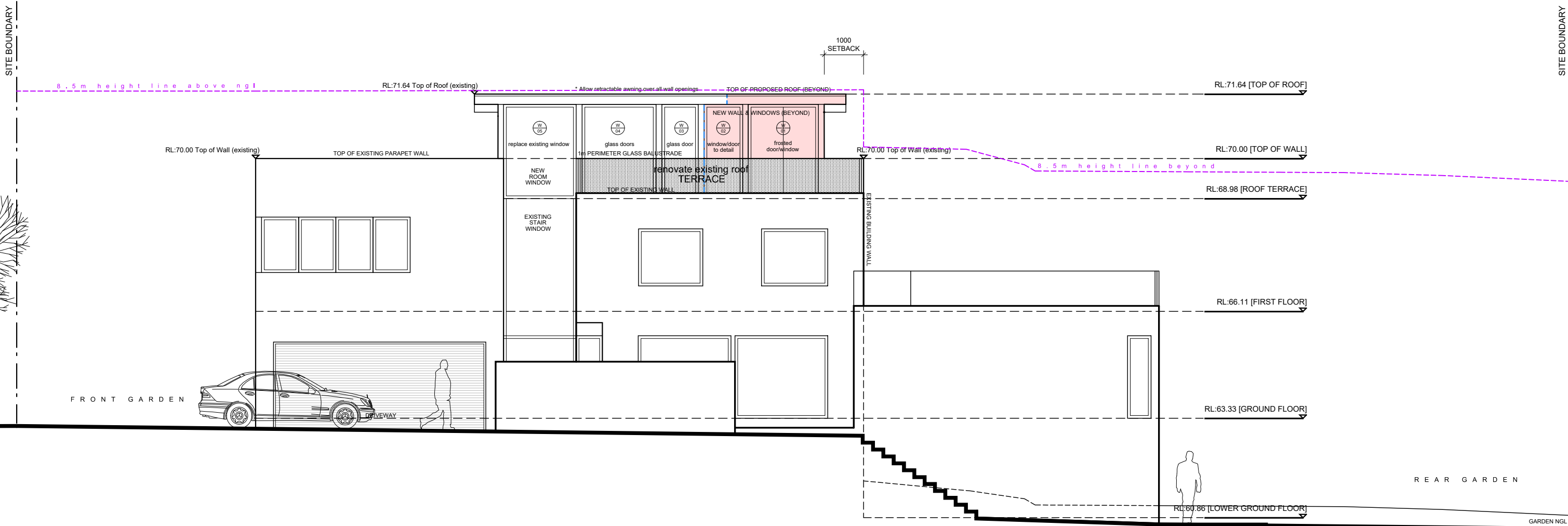
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new house under construction



West Rear Elevation

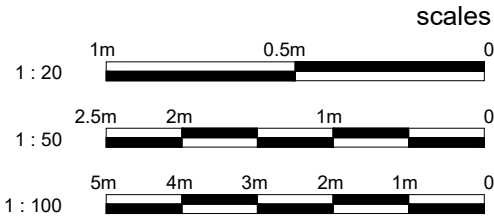
SCALE 1:100/A2



North Side Elevation

SCALE 1:100/A2

HOUSE DELANEY  
Alterations & Additions to Existing House  
BCA Class 1a  
39 Heathcliff Crescent, Balgowlah Heights  
Lot 16 Sec 25 D.P. #758044  
SITE AREA 617.4m²



A2 SHEET

LEGEND

- PROPOSED NEW WALLS  
INTERNAL & EXTERNAL WALLS
- EXISTING HOUSE WALLS  
BRICK & OTHER WALLS
- DEMOLITION  
EXISTING HOUSE WALLS & FIXTURES TO BE DEMOLISHED
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SELECTED CARPET & UNDERLAY
- ROOFING  
NEW PITCHED COLOURBOND METAL ROOFING
- RL.71.64 LEVELS

NOTES

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DU PLESSIS  
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House Alterations & Additions

CLIENT:  
Todd & Janelle  
Delaney

ADDRESS:  
39 Heathcliff Crescent  
Balgowlah Heights NSW 2093

DRAWING TITLE:  
WEST ELEVATION  
NORTH ELEVATION

DRAWN:  
E DU PLESSIS

CHECKED:  
H DU PLESSIS

SCALE:  
1:100 [A2]

DRAWING NO.:

A.12

ISSUE:  
2

DATE:  
03.12.2021

DRAWING STATUS:  
DEVELOPMENT APPLICATION



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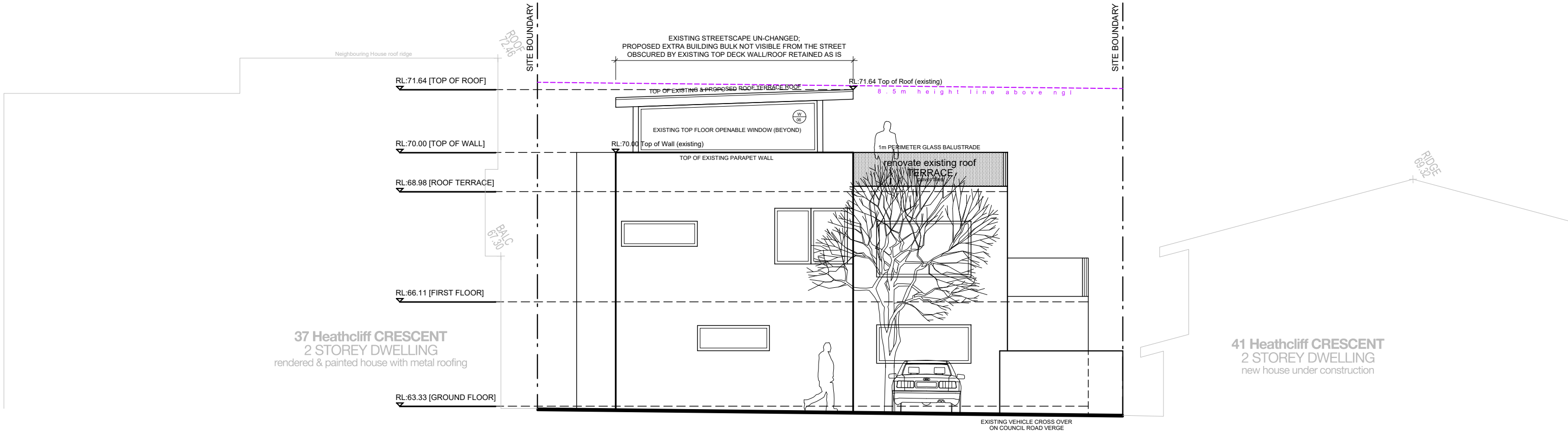
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LEGEND

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BRICK & OTHER WALLS
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CONTRACTORS TO VERIFY ALL DIMENSIONS ON SITE BEFORE  
COMMENCING WORK.  
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