

STATEMENT OF ENVIRONMENTAL EFFECTS

BUILDING APPROVAL SOLUTIONS - 2019

*11 Woolgoolga Street, North Balgowlah NSW 2093 (WILLINGHAM) –
Proposed Deck. Northern Beaches Council*

TABLE OF CONTENTS

Table of Contents

1.0	Introduction	1
1.1	Subject Site	1
1.2	Description of the Proposed	1
1.3	Applicable Statutory & Non-Statutory Plans/Policies	1
2.0	Site Analysis	2
2.1	Description of the Subject Site	2
2.2	Adjoining Land Use & Locality Character	3
2.3	Zoning	3
3.0	Matters for Consideration	5
3.1	Relevant Strategic and Statutory Plans and Policies	5
3.2	Context and Setting	5
3.3	Access Traffic & Utilities	9
3.4	Environmental Impacts	9
3.5	Flora and Fauna Impacts	10
3.6	Natural & Technological Hazards	10
3.7	Waste Management	10
3.8	Social & Economic Impacts	10
3.9	Acoustic Impacts	10
3.10	Heritage Impacts	10
3.11	Public Interest	10
4.0	Conclusion	11

Prepared by:

Carmela S Litonjua for Building Approval Solutions, 26 June 2019

1.0 INTRODUCTION

1.0 Introduction

This Statement of Environmental Effects (SEE) is submitted to **NORTHERN BEACHES COUNCIL** (the Council) as part of a Development Application (DA) for proposed **DECK**. This SEE describes the site, its environs and the proposed development, provides an assessment of the proposal in terms of the matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979 (EP&A Act)*. Within this report, references to “the site” mean the land to which this DA relates.

1.1 SUBJECT SITE

The site of the proposed works is at **11 Woolgoolga Street, North Balgowlah NSW 2093** and can be legally identified as **Lot 55 in DP 11915**.

1.2 DESCRIPTION OF THE PROPOSED

The DA seeks development consent for the following:

Proposed Deck (around an approved swim spa)

Removal of Existing Timber Access Platform to Spa

Note: This Statement is to be read in conjunction with the submitted Plans set.

1.3 APPLICABLE STATUTORY & NON-STATUTORY PLANS/POLICIES

Warringah Local Environmental Plan 2011

Warringah Development Control Plan 2011

2.0 SITE ANALYSIS

2.0 Site Analysis

2.1 DESCRIPTION OF THE SUBJECT SITE

The subject site is commonly known as **11 Woolgoolga Street, North Balgowlah NSW 2093** and can be legally identified as **Lot 55 in DP 11915**. (See Figure 1 below)

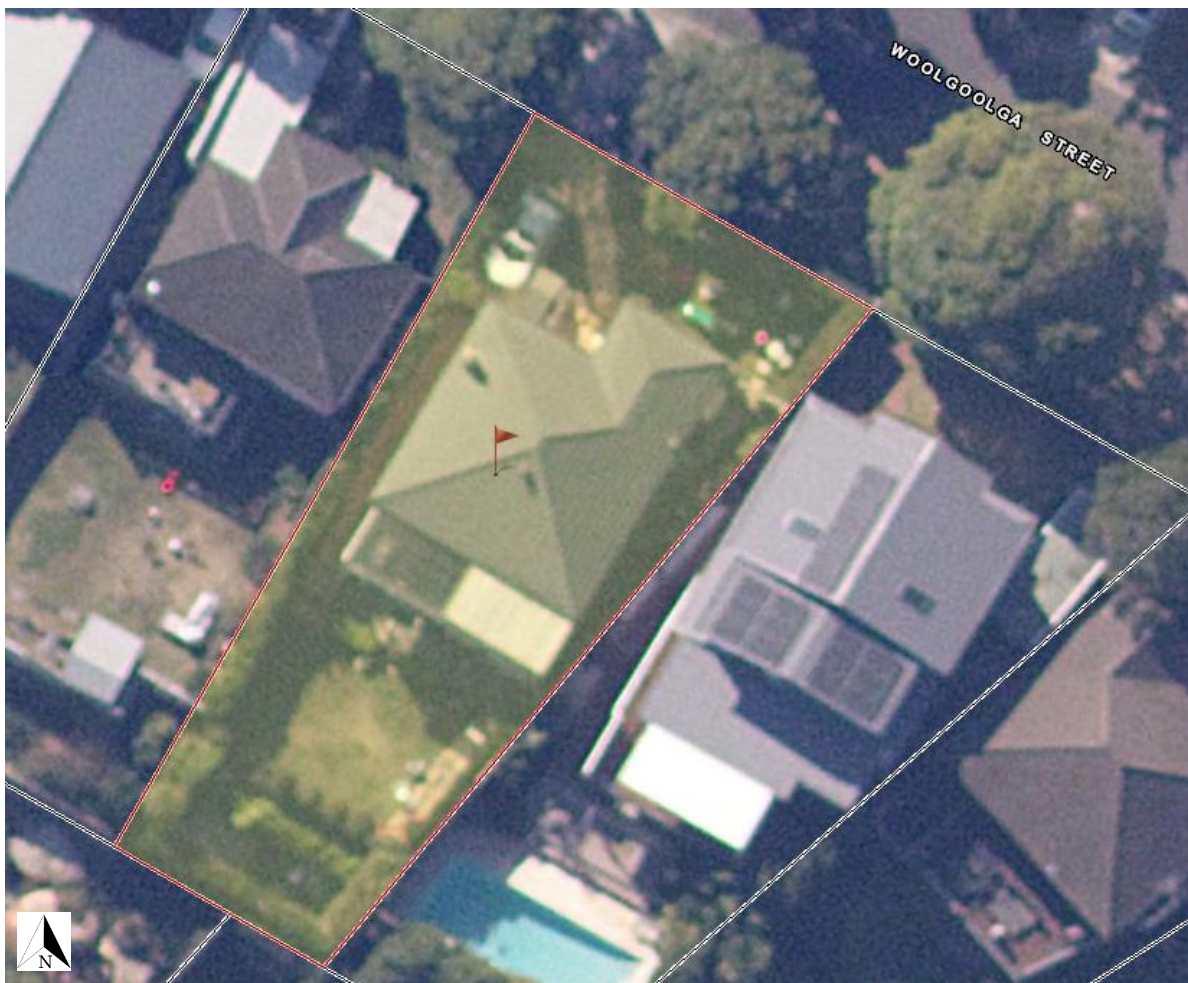


FIGURE 1 (Source: Six Maps, NSW Government. Accessed 04.06.2019)

The trapezoid-shaped allotment is on the southern side of Woolgoolga Street. It has a frontage of 16.7m, a western boundary of 36.59m, a rear boundary of 10.49m and an eastern boundary of 37.115m with a total lot area of 498 square meters. Onsite stands a two-storey brick and tile dwelling with a timber deck and garage. The site is sloping, having a gradient of around 17%. It is located around 450m southeast of Balgowlah North Public School and around 295m west of the intersection of Woodbine Street and Bangaroo Street.

2.0 SITE ANALYSIS

2.2 ADJOINING LAND USE & LOCALITY CHARACTER

The immediate locality is characterized by residential development consistent with its zoning as may be seen in Figure 2 below.



FIGURE 2 (Source: Six Maps, NSW Government. Accessed 04.06.2019)

2.3 ZONING

The subject site is **ZONE R2 – Low Density Residential**. The proposed works are permissible under this zoning and complimentary to the objectives of said zone.

WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011

Zone R2 - Low Density Residential

1 Objectives of zone

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

2.0 SITE ANALYSIS

- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.

2 Permitted without consent

Home-based child care; Home occupations

3 Permitted with consent

Bed and breakfast accommodation; Boarding houses; Boat sheds; Building identification signs; Business identification signs; Centre-based child care facilities; Community facilities; Dwelling houses; Educational establishments; Emergency services facilities; Environmental protection works; Exhibition homes; Group homes; Health consulting rooms; Home businesses; Hospitals; Oyster aquaculture; Places of public worship; Pond-based aquaculture; Recreation areas; Respite day care centres; Roads; Secondary dwellings; Tank-based aquaculture; Veterinary hospitals

4 Prohibited

Any development not specified in item 2 or 3

3.0 MATTERS FOR CONSIDERATION

3.0 Matters for Consideration

This chapter contains the assessment of the environmental effects of the proposed development as required under *Section 79C (1) of the EP & A Act*. In determining a development application the consent authority has to take into account a range of matters relevant to the development including the provisions of environmental planning instruments, impacts to the built and natural environment, social and economic impacts of the development; the suitability of the site; and whether the public interest would be served by the development.

These matters for consideration are further discussed in the ensuing sections.

3.1 RELEVANT STRATEGIC AND STATUTORY PLANS AND POLICIES

Summary of compliance

Table 1.1 – Compliance with Warringah Local Environmental Plan 2011

COMPLIANCE TABLE		
Requirements	Proposed	Compliant
Dictionary <i>Private open space</i> means an area external to a building (including an area of land, terrace, balcony or deck) that is used for private outdoor purposes ancillary to the use of the building.	The proposed deck is consistent with the definition of private open space being ancillary to the dwelling.	Yes

Table 1.2 – Compliance with Warringah Development Control Plan 2011

Requirements	Comments/Proposed
B4. Site Coverage	Not relevant – proposed deck does not affect the site coverage onsite.
B5 Side Boundary Setbacks  Minimum 0.9m	Compliant – the deck is to have a side boundary of 900mm

3.0 MATTERS FOR CONSIDERATION

<p>B9 Rear Boundary</p>  <p>Minimum of 6m</p>	<p>The subject deck is ancillary to the existing dwelling and will serve the purpose of enhanced access and utility to the existing swim spa. It will have a rear setback of 900mm.</p> <p>The applicant is seeking merit assessment based on justifications discussed in the next section.</p> <p>Information on Land configuration: The subject property features a rear garden area that is approximately 9m wide by 12m long. Out of the 12m length, approximately 5m of the rearmost area is depressed, being around 1.8m lower, within which is an existing swim spa with mostly pebble ground cover.</p> <p>Information on Privacy: The privacy of the adjacent properties are deemed unaffected by the proposed deck given the following: a) No. 9 Woolgoolga (eastern side) has an existing pool and timber privacy screens. This application likewise proposes privacy screen on this side; b) No. 13 Woolgoolga (western side) has a similar topographic configuration to this site allowing it to be screened by the natural configuration and the existing vegetation; c) Southern neighbours are at significantly lower ground levels, which means that the proposed deck will overlook their rooftops. To reinforce privacy, a 1.6m privacy screen is proposed; d) Visual continuity will not be significantly affected as may be seen in Figure 4 below.</p>
<p>B10 Merit assessment of rear boundary setbacks</p> <p>Requirements 1. Rear boundary setbacks will be determined on a merit basis and will have regard to:</p> <ul style="list-style-type: none"> streetscape; 	<p>The Applicant is seeking Council's merit assessment for the rear boundary setback given the following justifications:</p>

3.0 MATTERS FOR CONSIDERATION

- amenity of surrounding properties; and
- setbacks of neighbouring development

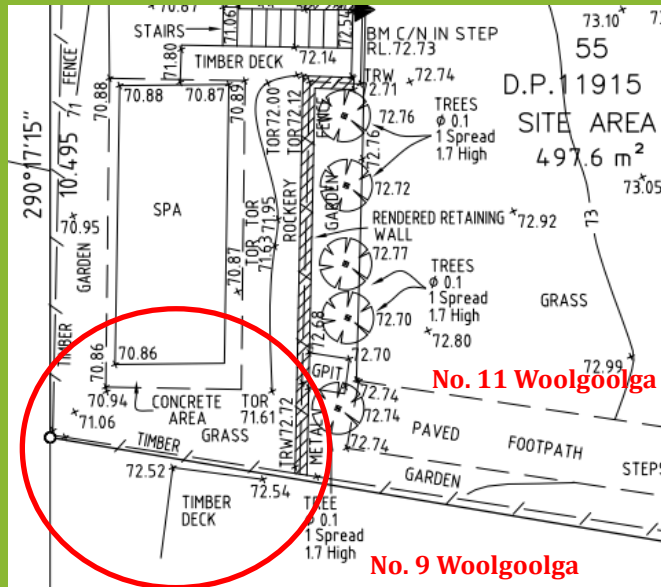


FIGURE 3 – Survey Detail, rear of site

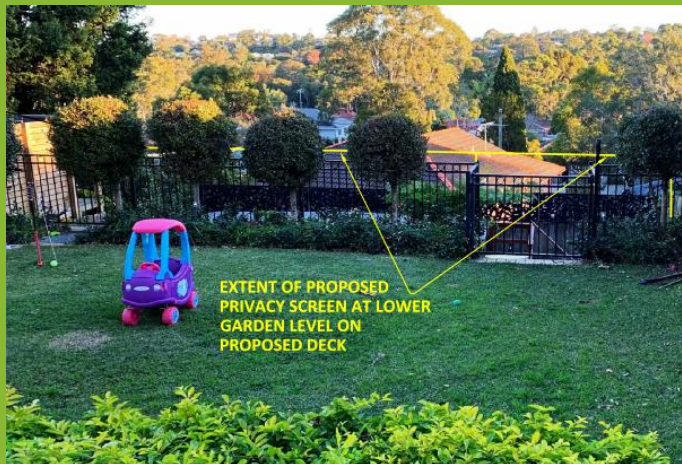


FIGURE 4 – Visual continuity

a) The land profile of site's rear garden is divided into two namely the upper garden and the lower garden which is approximately 1.8m lower (see Figure 3, survey detail).

The location of the proposed deck is deemed ideal wherein enhanced amenity is provided by allowing the use of an extremely sloping, rocky, and virtually unusable portion of the lot which is the lower rear garden;

b) The proposed deck is ancillary to an approved swim spa, the enjoyment of which would be enhanced by a deck that serves as platform for access into it;

c) Envisaged infringement into the privacy of the adjoining lots is addressed by the proposed privacy screen on the eastern side of the deck;

d) The deck of the pool of the adjoining property at No. 9 Woolgoolga Street likewise encroaches on the setback, as shown in the survey detail in Figure 3, with negligible impact on the adjoining properties;

e) With the inclusion of the proposed privacy screens, the visual continuity from the dwelling and upper rear garden will be retained. A sense of openness is likewise sustained, as may be seen in Figure 4.

It is considered that the objectives of this control are satisfied despite inclusion of the proposed works.

C4 Stormwater

Not relevant – the proposed deck is to be of timber construction. Decking will allow rainwater to pass through and into the existing ground below. Local drainage patterns will be unchanged. No concentrated stormwater runoff will occur.

3.0 MATTERS FOR CONSIDERATION

C5 Erosion and Sedimentation	Compliant – appropriate erosion and sediment controls are to be installed onsite. Ground disturbance associated with the proposed works will be limited to those of the deck footings.								
C7 Excavation and Landfill	Not relevant – no earth moving proposed. The natural configuration of the land will be maintained.								
C9 Waste Management	Compliant – a Waste Management Plan is submitted with this application.								
D2 Private Open Space <ol style="list-style-type: none"> 1. Residential development is to include private open space for each dwelling. 2. The minimum area and dimensions of private open space are as follows: <table border="1"> <thead> <tr> <th>DWELLING Type</th><th>Area and Minimum Dimensions per dwelling</th></tr> </thead> <tbody> <tr> <td>Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms</td><td>A. total of 35m² with minimum dimensions of 3 metres</td></tr> <tr> <td>Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms</td><td>A. total of 60m² with minimum dimensions of 5 metres</td></tr> <tr> <td>Multi dwelling housing (not located at ground level): residential flat buildings and shop top housing</td><td>A. total of 10m² with minimum dimensions of 2.5 metres</td></tr> </tbody> </table> 3. Private open space is to be directly accessible from a living area of a dwelling and be capable of serving as an extension of the dwelling for relaxation, dining, entertainment, recreation and children's play. 4. Private open space is to be located and designed to ensure privacy of the occupants of adjacent buildings and occupants of the proposed development. 5. Private open space shall not be located in the primary front building setback. 6. Private open space is to be located to maximise solar access. 	DWELLING Type	Area and Minimum Dimensions per dwelling	Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms	A. total of 35m ² with minimum dimensions of 3 metres	Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms	A. total of 60m ² with minimum dimensions of 5 metres	Multi dwelling housing (not located at ground level): residential flat buildings and shop top housing	A. total of 10m ² with minimum dimensions of 2.5 metres	Compliant – the dwelling is to have access to more than 70sqm private open space at the rear in addition to the proposed deck area which is likewise consistent with the definition of private open space in the WLEP 2011.
DWELLING Type	Area and Minimum Dimensions per dwelling								
Dwelling houses (including dual occupancy) and attached dwellings with 1 or 2 bedrooms	A. total of 35m ² with minimum dimensions of 3 metres								
Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms	A. total of 60m ² with minimum dimensions of 5 metres								
Multi dwelling housing (not located at ground level): residential flat buildings and shop top housing	A. total of 10m ² with minimum dimensions of 2.5 metres								
D8 Privacy	Compliant – it is deemed that the layout, siting, existing landscape and proposed privacy screens provide optimized privacy for the residents of the site and its neighbours, as discussed above in Section B9.								

3.0 MATTERS FOR CONSIDERATION

D10 Building Colours and Materials	Not relevant – the deck will not be located in close proximity to bushland, waterway or beach nor is it visible from the street.
E1 Preservation of Trees or Bushland Vegetation	Not relevant – no tree will be removed or affected by the proposed deck.
E10 Landslip Risk	Site is identified as being under Area B – Flanking Slopes 5 to 25. However, the subject deck is lightweight and will not entail significant disturbance to the ground. Additionally, the area has underlying sandstone bedrock as indicated in the submitted Geotechnical Report by Jack Hodgson Consultants Pty Ltd dated 26 th October 2018 prepared for the approved swim spa. For these reasons, the proposed structure is deemed to have nil adverse effect on the geotechnical stability of the area.

3.2 CONTEXT AND SETTING

The proposed in its current form is envisaged to impart no adverse impacts in this regard. It complements the existing and envisaged development patterns and imparts negligible effects on the locality character.

The proposed will act to enhance the socio-economic values of the locality whilst assisting the continued viability of the subject site by enabling responsible development thereof.

3.3 ACCESS TRAFFIC & UTILITIES

The subject site and proposed is not envisaged to impart any notable impacts on traffic conditions for the locality and will utilise existing access provisions. All required utilities are provided to the site and the proposed is again envisaged to impart negligible impacts or increased strain on these services.

3.4 ENVIRONMENTAL IMPACTS

No significant environmental constraints have been identified on the subject site, though regardless no adverse effects are envisaged in this regard.

3.0 MATTERS FOR CONSIDERATION

3.5 FLORA AND FAUNA IMPACTS

No significant ecological communities of species have been identified on the subject site and minimal disturbance to any existing flora or fauna is envisaged.

3.6 NATURAL & TECHNOLOGICAL HAZARDS

A preliminary assessment of the available information has not identified any such hazards.

3.7 WASTE MANAGEMENT

All construction waste is to be appropriately removed from site as per the submitted waste management plan. Ongoing waste generated through occupation of the site is to be disposed of as per councils waste management regulations and services.

3.8 SOCIAL & ECONOMIC IMPACTS

The proposed development will result in beneficial social and economic effects being imparted not only on the site but also on the surrounding locality.

3.9 ACOUSTIC IMPACTS

It is anticipated that nil to negligible adverse impacts will be incurred pertaining to noise levels at the site locality. The proposed development does not envisage any adverse acoustic impacts as a result of the proposal obtaining consent.

3.10 HERITAGE IMPACTS

Consideration to the sites historical and archeological aspects are non-applicable in this regard. The subject site has no such aspects associated with it as outlined in the Section 149 certificate produced by council and no indicatory features have been identified to warrant further consideration.

3.11 PUBLIC INTEREST

The scope of the proposed is arguably not significant enough to engage public interest considerations. With that said the proposed is envisaged to impart enhanced socio-economic amenity to the immediate locality. Support for the proposed is deemed to be in the public interest through the continuation of viable development in the area, allowing adaptation to the transforming fabric of development inherent to built form frameworks.

4.0 CONCLUSION

4.0 Conclusion

The Statement of Environmental Effects is submitted to **NORTHERN BEACHES COUNCIL** in the belief that the works itemized below be approved.

Proposed Deck (around an approved swim spa)

Removal of Existing Timber Access Platform to Spa

The development is permissible under the zoning as specified in the relevant planning instruments and successfully achieves the desired objectives of thereof. At all stages the development appears compliant with the performance criteria specified. Specifically the proposed has been assessed against the **WARRINGAH LOCAL ENVIRONMENTAL PLAN 2011** and **WARRINGAH DEVELOPMENT CONTROL PLAN 2011**.

The proposed development, if approved, will form an exemplary figure in the area for holistic and thorough application of planning principles implemented through consideration and application of council's development controls. Support for such development is imperative in the continued viability of the areas existing landscape.