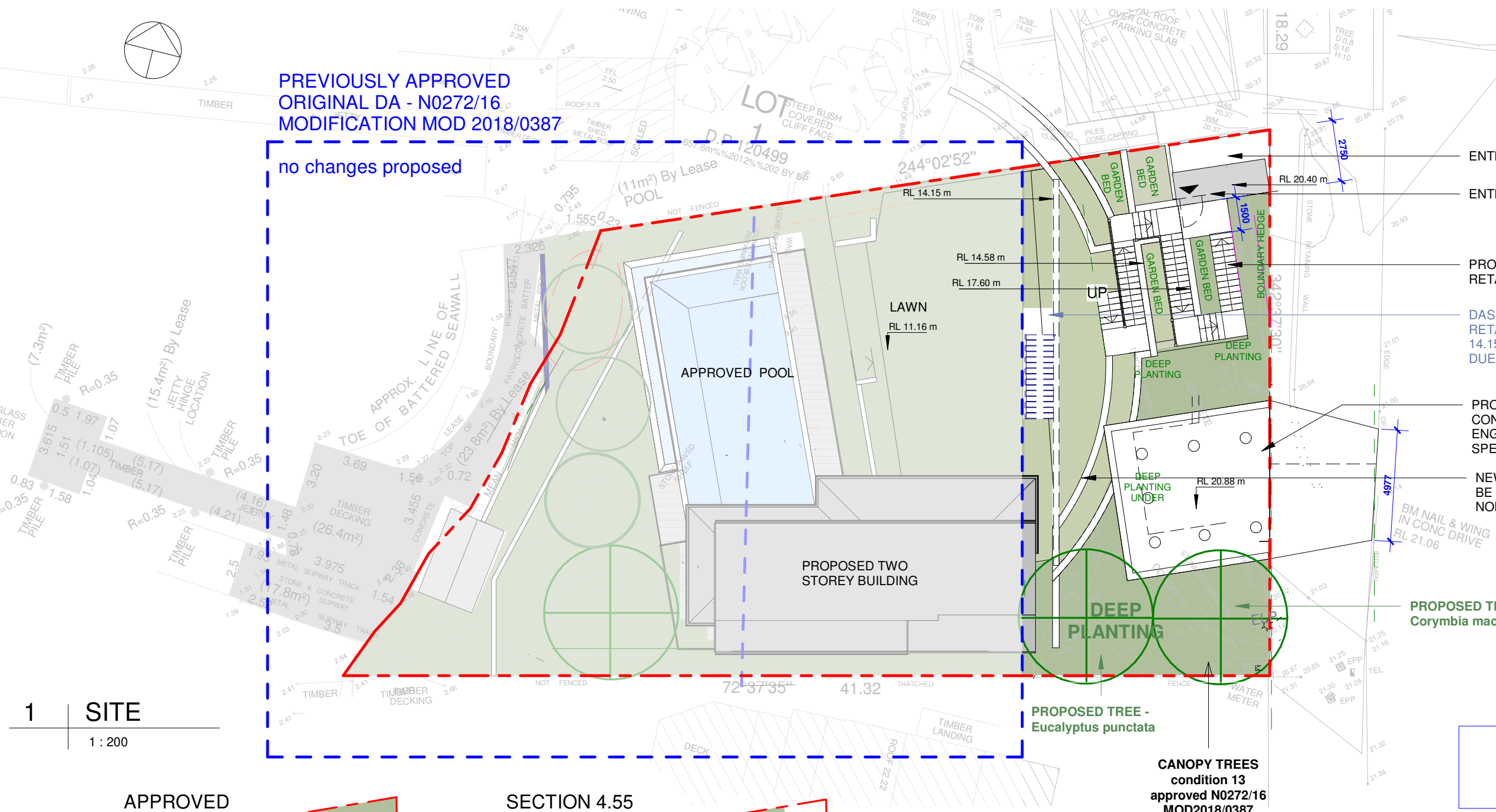


SECTION 4.55

RETAINING WALL REDESIGNED
DUE TO ENGINEERING.
TOP PARKING REDESIGNED
DUE TO EXISTING STRUCTURES
POOR CONDITION

PREVIOUSLY APPROVED
ORIGINAL DA - N0272/16
MODIFICATION MOD 2018/0387

no changes proposed



- ENTRY PLATFORM
- ENTRY GATE WITH AWNING ABOVE
- PROPOSED REDESIGNED STAIRS THAT CREATE RETAINING STRUCTURE THEMSELVES
- DASHED - DA APPROVED RETAINING WALL RL 14.15 NOW REDESIGNED DUE TO ENGINEERING
- PROPOSED DOUBLE PARKING CONCRETE PLATFORM TO ENGINEERS DESIGN AND SPECIFICATIONS
- NEW RETAINING WALLS TO BE FINISHED IN DARK AND NON-REFLECTIVE TONES

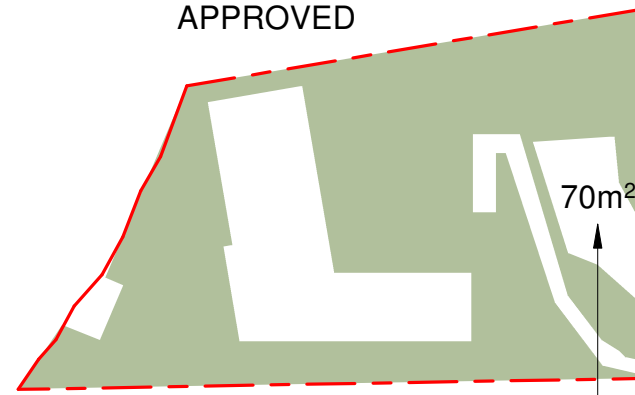
condition 21
approved N0272/16
MOD2018/0387



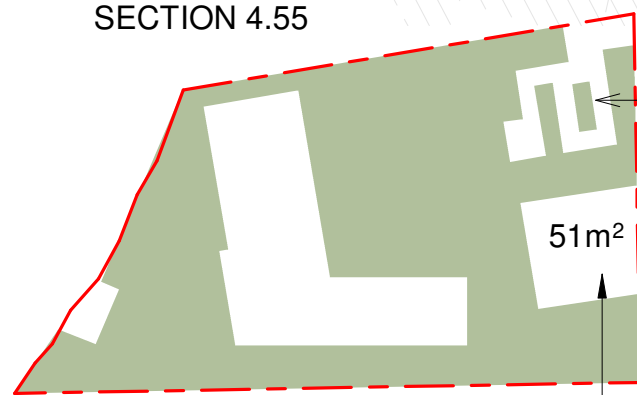
THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DAmod2020/0563

PREVIOUSLY APPROVED
ORIGINAL DA - N0272/16
MODIFICATION MOD 2018/0387



parking, path
and stairs
70m² total



parking, path and stairs
90m² total

APPROVED

LOT 18 DP 28669 ZONE: E4	
Lot Area	727.1 m²
Proposed Floor Area	150 m²
Proposed Pool (m²/m³)	64 m² / 100m³
Proposed Patio + Pool Deck (m²)	22 m²
Total Build On Area (m²)	150 m²
Proposed Landscaped Area (m²/ %)	577 m² / 79%

SECTION 4.55

LOT 18 DP 28669 ZONE: E4	
Lot Area	727.1 m²
Proposed Floor Area	150 m²
Proposed Pool (m²/m³)	64 m² / 100m³
Proposed Patio + Pool Deck (m²)	22 m²
Total Build On Area (m²)	170 m²
Proposed Landscaped Area (m²/ %)	557 m² / 77%

ONLY CHANGE TO CALCS.

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ISSUE	DATE	DESCRIPTION	DRWN	CHKD
	22.02.2016	original DA N0272/16	MW	
	26.10.2018	SECTION 96 MOD2018/0387	MW	
	20.07.2020	SECTION 4.55	MW	KM

BLUE SKY
BUILDING DESIGNS

PO BOX 167
Newport 21106

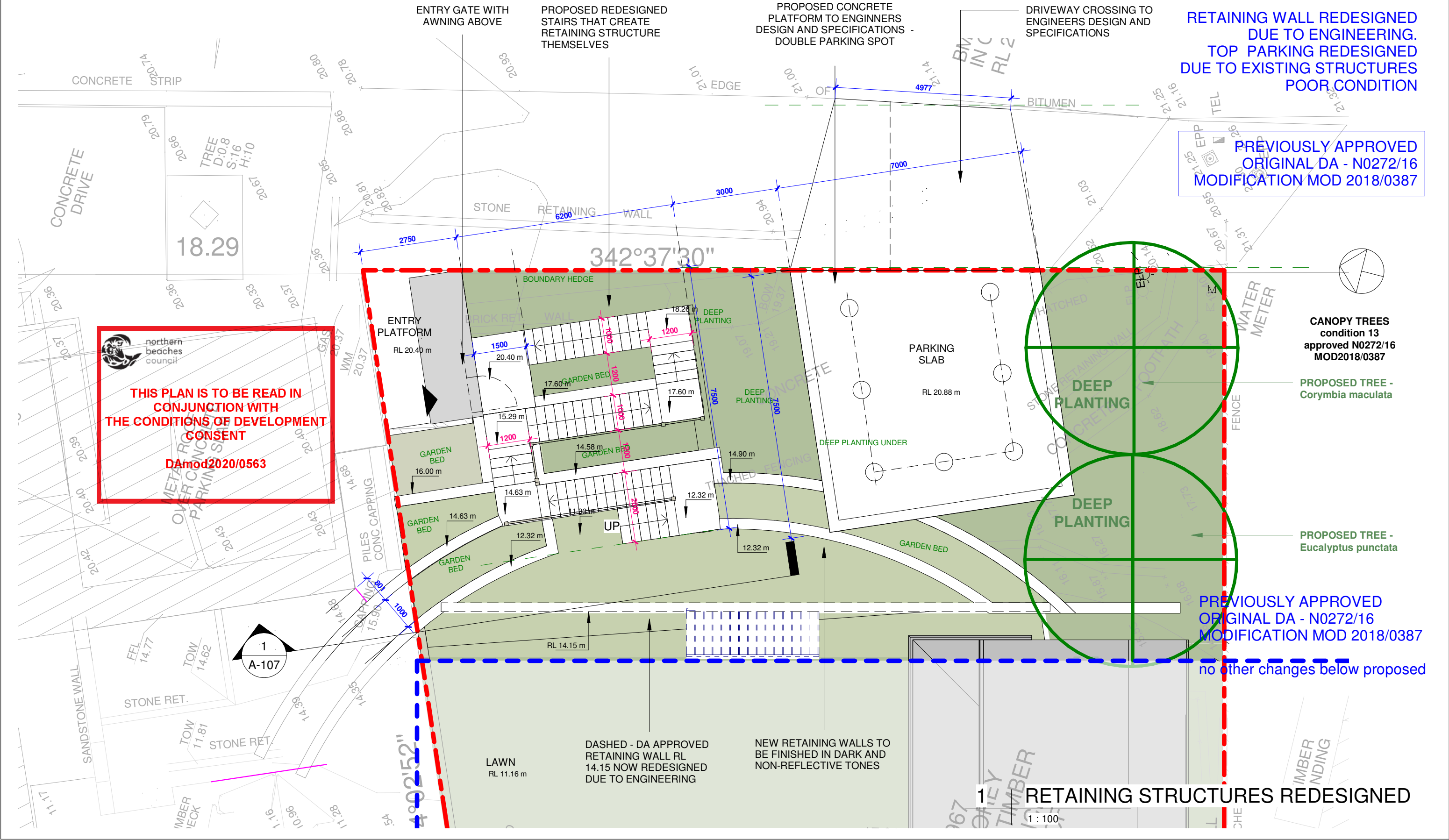
Mobile: 0 414 310 171
E: info@bsbd.com.au

www.blueskybuildingdesigns.com.au

PROJECT TITLE: KNOCK DOWN AND REBUILD
PROJECT NO.: SECTION 4.55 - RET. WALLS AT ENTRY
AT: 967 BARRENJOEY RD
PALM BEACH
FOR: SMJ INVESTMENTS PTY LTD

SHEET TITLE: SITE PLAN
SHEET NO: A-101
SCALE A3: As indicated

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BLUE SKY

BUILDING DESIGNS

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Newport 2106

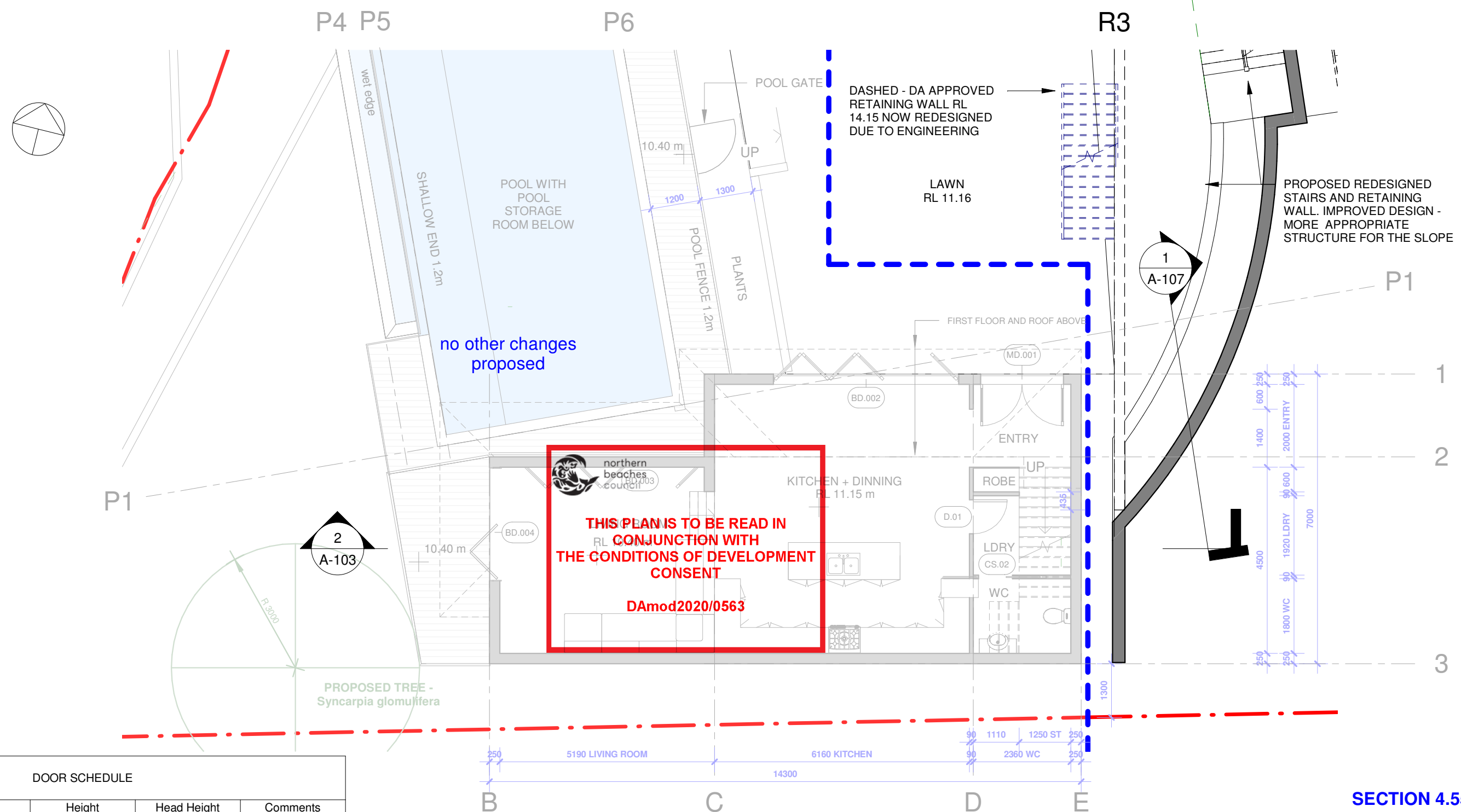
Mobile: 0 414 310 171

E: info@bsbd.com.au

www.blueskybuildingdesigns.com.au

PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	SITE PLAN ENLARGED
SHEET NO:	A-101A
SCALE A3:	1 : 100



DOOR SCHEDULE				
Mark	Width	Height	Head Height	Comments
bbbb	820	2200	1900	
BD.002	4478	2400	2400	Bifold - North
BD.003	4478	2400	2400	Bifold - North
BD.004	2700	2500	2500	Bifold - West
CS.02	820	2040	2040	
D.01	820	2200	2200	
D.03	820	2040	2040	
D.04	820	2200	2200	
D.05	820	2040	2040	
MD.001	2000	2150	2150	
R.01	1524	2032	2032	
R.02	1524	2032	2032	

WINDOW SCHEDULE					
Type Mark	Opening Size		Head Height	Count	Comments
	Width	Height			
W.101	1000	600	2400	1	North
W.102	2700	600	2400	1	North
W.103	3200	600	2400	2	North
W.106	2500	600	2000	1	South

1 | GROUND FLOOR
1 : 100

SECTION 4.55
RETAINING WALL REDESIGNED
DUE TO ENGINEERING.
TOP PARKING REDESIGNED
DUE TO EXISTING STRUCTURES
POOR CONDITION

PREVIOUSLY APPROVED
ORIGINAL DA - N0272/16
MODIFICATION MOD 2018/0387

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	20.07.2020	SECTION 4.55	MW	KM

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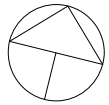
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Newport 2106

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E: info@bsbd.com.au

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PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	GROUND FLOOR
SHEET NO:	A-102
SCALE A3:	1 : 100



SECTION 4.55

RETAINING WALL REDESIGNED
DUE TO ENGINEERING.
TOP PARKING REDESIGNED
DUE TO EXISTING STRUCTURES
POOR CONDITION

PROPOSED REDESIGNED
RETAINING WALLS.
IMPROVED DESIGN - MORE
APPROPRIATE STRUCTURE
FOR THE SLOPE

PREVIOUSLY APPROVED
ORIGINAL DA - N0272/16
MODIFICATION MOD 2018/0387

1 | FIRST FLOOR
1 : 100

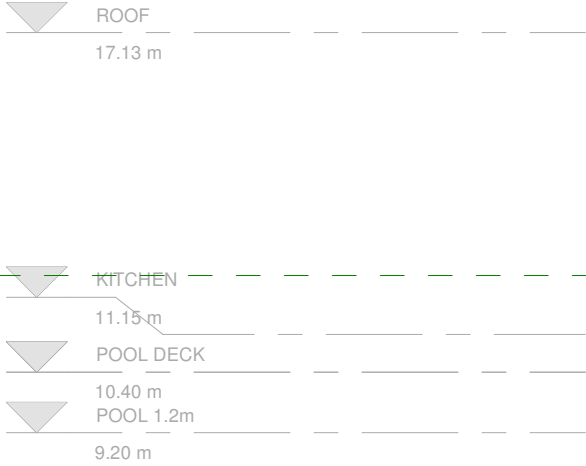
 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DAm02020/0563

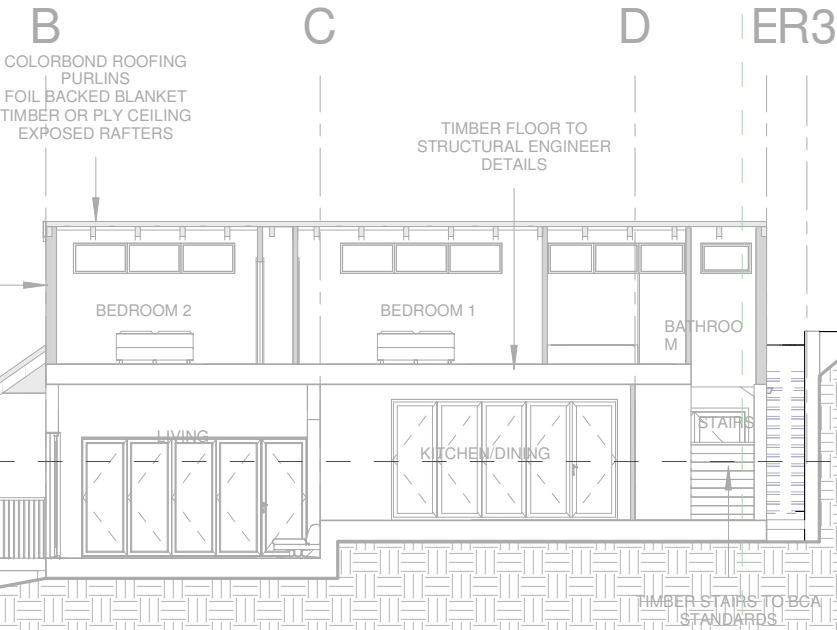
ALL THE STRUCTURAL
ELEMENTS INCLUDING:
- FOUNDATIONS,
- RETAINING WALLS,
- MASONRY WALLS (IF ANY)
- SUB-FLOORS
- RAFTERS
MUST BE DESIGN AND
SPECIFIED BY THE
STRUCTURAL ENGINEER

2 | SECTION A
1 : 150



WEATHERBOARD CLADDING
SARKING MEMBRANE
TIMBER STUD WALLS
INSULATION R2.0
PLASTERBOARD 10mm

SANDSTONE
STRUCTURAL WALL
TBS BY AN ENGINEER



NO CHANGES VISIBLE

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	20.07.2020	SECTION 4.55	MW	KM

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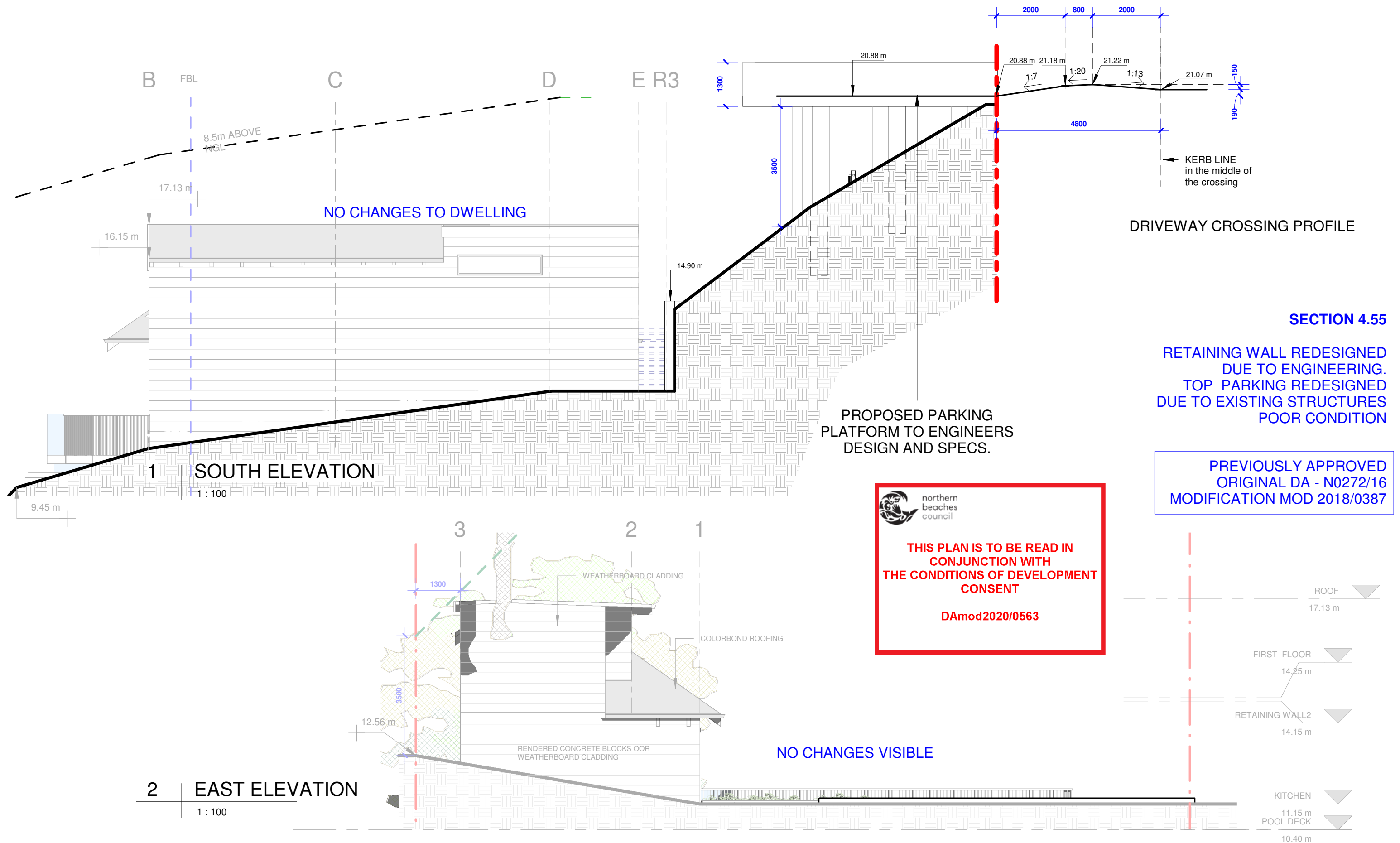
PO BOX 167
Newport 2106

Mobile: 0 414 310 171
E: info@bsbd.com.au

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PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	FIRST FLOOR & SECTION A
SHEET NO:	A-103
SCALE A3:	As indicated



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	20.07.2020	SECTION 4.55	MW	KM

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BUILDING DESIGNS

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PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	SOUTH & EAST ELEVATION DRIVEWAY CROSSING PROFILE
SHEET NO:	A-104
SCALE A3:	1 : 100

RETAINING WALL REDESIGNED
DUE TO ENGINEERING.
TOP PARKING REDESIGNED
DUE TO EXISTING STRUCTURES
POOR CONDITION

PREVIOUSLY APPROVED
ORIGINAL DA - N0272/16
MODIFICATION MOD 2018/0387

PARKING PLATFORM BEHIND

ENTRY GATE WITH
AWNING ABOVE

REDESIGNED RETAINING
STRUCTURE - STAIRS AND
RETAINING WALLS. TO ENGINEERS
DESIGN AND SPECIFICATIONS



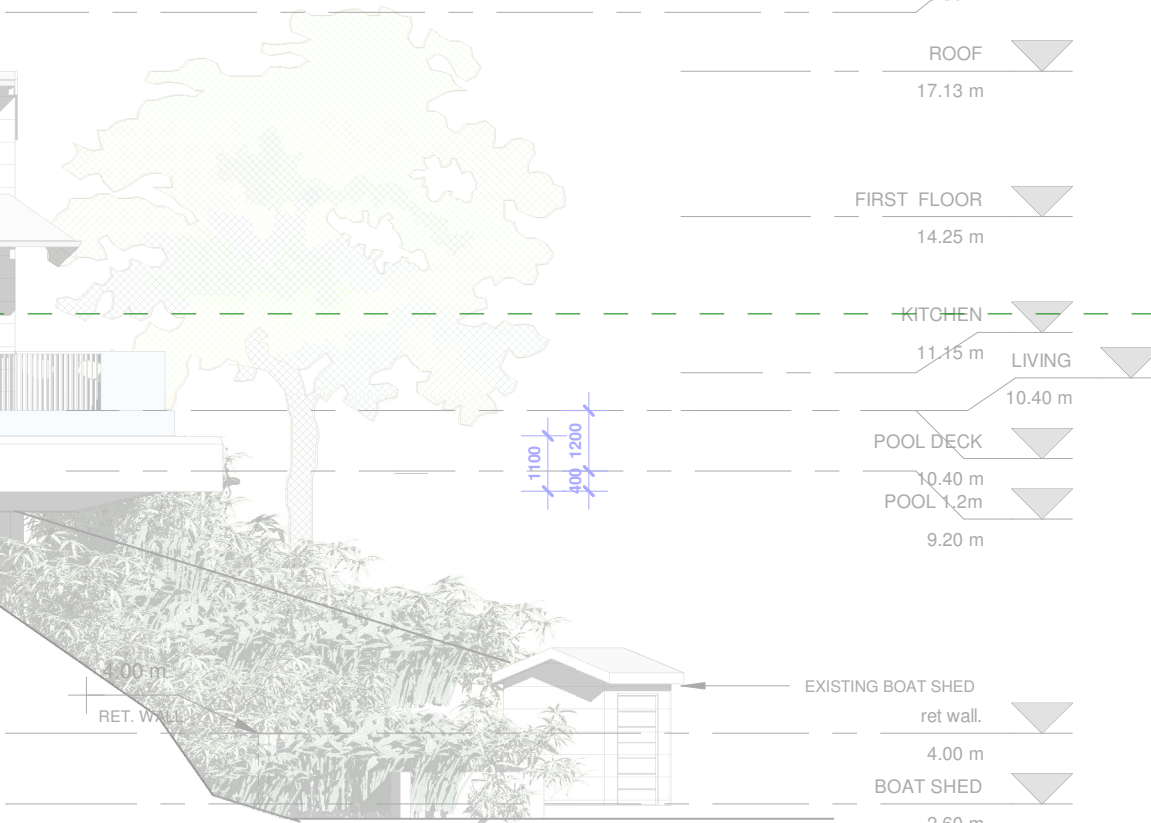
EXAMPLE OF SIMILAR ENTRY GATE AND FINISHES.
TIMBER GATE, SANDSTONE WALL, METAL
LETTERBOX AND INTERCOM



northern
beaches
council

THIS PLAN IS TO BE READ IN
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DAmod2020/0563



1 | NORTH ELEVATION
1 : 150

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	20.07.2020	SECTION 4.55	MW	KM

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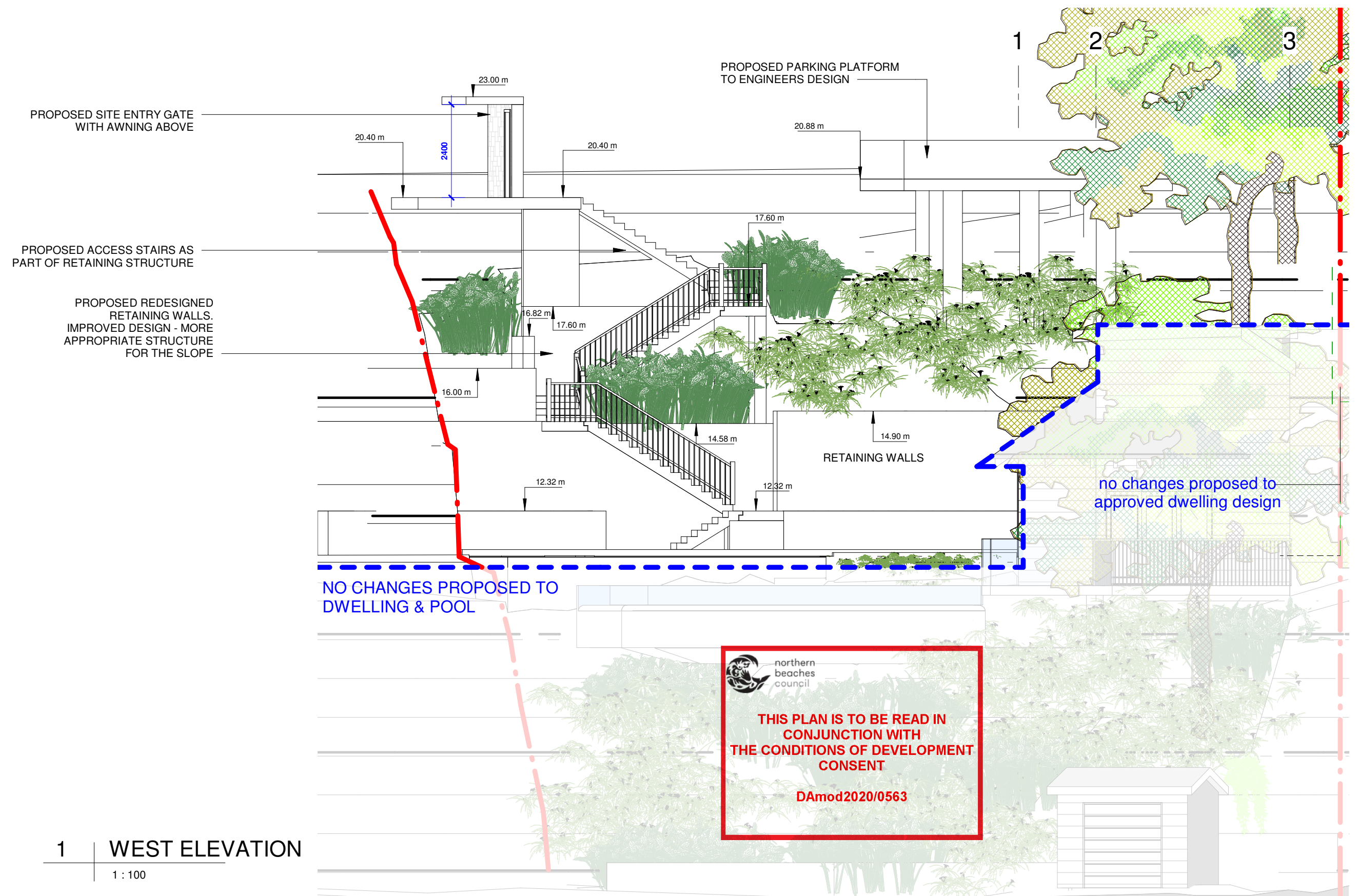
PO BOX 167
Newport 2106

Mobile: 0 414 310 171
E: info@bsbd.com.au

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PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	NORTH ELAVATION
SHEET NO:	A-105
SCALE A3:	1 : 150



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	26.10.2018	SECTION 96 MOD2018/0387	MW	
	20.07.2020	SECTION 4.55	MW	KM

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PROJECT TITLE:	KNOCK DOWN AND REBUILD
PROJECT NO.:	SECTION 4.55 - RET. WALLS AT ENTRY
AT:	967 BARRENJOEY RD PALM BEACH
FOR:	SMJ INVESTMENTS PTY LTD

SHEET TITLE:	WEST ELEVATION
SHEET NO:	A-106
SCALE A3:	1 : 100

