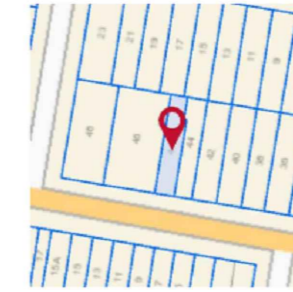


# DEVELOPMENT PROPOSAL

**PROJECT: NEW CARPORT AT FRONT OF PROPERTY**  
**ADDRESS: 44A GRIFFITH ST, FAIRLIGHT 2094.**  
**COUNCIL: NBC**

**LOT: 1**  
**DP: 1194038**  
**EXISTING GFA: 163.00MSQ**  
**PROPOSED GFA: 163.00MSQ (NO CHANGE)**  
**SITE AREA: 256.50 MSQ.**



**Property Details**  
 Address: 44A GRIFFITHS STREET FAIRLIGHT 2094  
 Lot/Section /Plan No: 1/-/DP1194038  
 Council: NORTHERN BEACHES COUNCIL

Local Environmental Plans	Manly Local Environmental Plan 2013 (pub. 1-4-2016)
Land Zoning	R1 - General Residential: (pub. 5-4-2013)
Height Of Building	8.5 m
Floor Space Ratio	0.6:1
Minimum Lot Size	250 m <sup>2</sup>
Heritage	NA
Land Reservation Acquisition	NA
Foreshore Building Line	NA
Acid Sulfate Soils	Class 5

ARCHITECTURAL DRAFTING  
 3D VISUALISATION  
 DEVELOPMENT APPLICATION  
 ASSISTANCE  
 COUNCIL COMPLIANT PLANS

**LEGEND:**  
  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

**LEGEND:**  
  
 EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

**NEW WORKS:**  
**NEW TIMBER CARPORT**  
**NEW TILTING CARPORT DOOR**  
**NEW PRIVACY SCREEN**  
**NEW PICKET FENCE**  
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Scale	AS SHOWN
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NBC	
DP No.	1194038
LOT No.	1
A ISSUED FOR DA 09.09.2022	
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Project Name and Address  
**SAM BIBER + DEBBIE CUELL**  
**44A GRIFFITH ST**  
**FAIRLIGHT**  
**NSW 2094**

**A2 SHEET**



NEW COLOURBOND ROOF - GREY COLOUR



NEW HORIZONTAL TIMBER LINING BOARDS - PAINTED WHITE

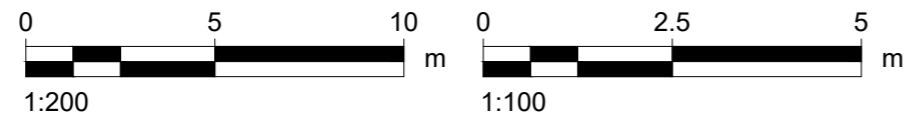
NEW HORIZONTAL TIMBER PRIVACY SCREEN - PAINTED WHITE

NEW VERTICAL TIMBER PANEL GATE - PAINTED WHITE

**NATIONAL CONSTRUCTION CODE, AUSTRALIAN STANDARDS, COUNCIL REQUIREMENTS & OTHER CODES:**  
**ALL BUILDING WORK TO BE IN ACCORDANCE WITH NCC, COUNCIL CODES AND ALL RELEVANT AUSTRALIAN STANDARDS INCLUDING, BUT NOT LIMITED TO :**  
 - AS 1684 - RESIDENTIAL TIMBER FRAMED CONSTRUCTION  
 - AS 2047:2014 - WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS  
 - AS 2870:2011 - RESIDENTIAL SLABS AND FOOTINGS  
 - AS/NZS 3000:2007 - WIRING RULES  
 - AS/NZS 3500.5:2000 - NATIONAL PLUMBING AND DRAINAGE  
 - AS 3660.1:2014 - TERMITE MANAGEMENT  
 - AS 3700-2011 - MASONRY STRUCTURES  
 - AS 3740-2010 - WATERPROOFING OF DOMESTIC WET AREAS  
 - AS/NZS 2918-2018 DOMESTIC SOLID FUEL BURNING APPLIANCES  
 - AS 4100-1998 - STEEL STRUCTURES  
 - NORTHERN BEACHES COUNCIL DRIVEWAY SPECIFICATIONS  
 - SYDNEY WATER TECHNICAL GUIDELINES: BUILDING OVER AND ADJACENT TO PIPE ASSETS

NOTE: IMAGES ARE FOR VISUALISATION PURPOSES ONLY. REFER TO DRAWINGS FOR ACTUAL DETAILS.

**GENERAL NOTES**  
 • BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS  
 • ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.  
 • CONNECT DPS TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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- Brickwork shall comply with AS 3700. All brickwork shall be solidly bonded and laid on a full bed of 10mm. mortar with all joints filled. Wall ties spaced at 460mm. cts horizontally and 610mm. cts vertically or vice-versa and within 300mm of articulation joints, to comply with AS 2699.
- Subfloor ventilation;
  - 150mm. min. bearer to ground clearance for strip flooring.
  - 200mm. min. bearer to ground clearance for sheet flooring.
  - Minimum 7500mm<sup>2</sup>/Metre of external masonry veneer wall.
  - Minimum 22000mm<sup>2</sup>/Metre of internal dwarf walls.
  - Weep holes at max. 1200mm. centres to comply with AS 3700.
- Damp-proof courses to be an approved waterproof cement mortar or bituminous paper placed 75mm. below floor level. A second course to be laid 1 or 2 brick courses higher.
- Firebox inserts shall be installed in accordance with manufacturers specifications and in accordance with AS 2918.
- Top soil and all organic matter to be removed from under where a concrete slab-on-ground is to be poured.
- Structural steel and concrete to comply with the Structural Engineer's design and computations and shall take precedence over instructions on this plan.
- Reinforced concrete to be min. 25MPa. complying with AS 2870 - 1996, (unless directed otherwise by structural Engineer) and;
  - Trench mesh for concrete footings to be lapped a min. 500mm. and have a top and/or bottom cover of min. 50mm, unless directed otherwise by Engineer.
  - Fabric mesh to be lapped a minimum of 225mm. and have a minimum top and/or bottom cover of 25mm, unless directed otherwise by Engineer.
- Excavation of trenches for footings, drainage, sewerage, etc., to be in accordance with the requirements of the local Controlling Authorities.
- Smoke detectors to comply with AS 3786 and must also comply with the BCA 3.7.2.
- Safety switches to be installed to the requirements of the local Controlling Authority.
- All glazing to comply with AS 1288-2006.
- From information provided, the design wind speed is N3 (41m/s).
- No part of any building to encroach Site or Title boundaries.
- Provide Bush fire preventative measures where required by local Council.

- Stair design;
  - Risers 190mm. Maximum 115mm. Minimum
  - Treads 355mm. Maximum 240mm. Minimum
  - Risers and Treads to be constant in size throughout the flight.
  - Ensure gap between treads does not exceed 125mm. or provide infills to block access if larger.
  - Min. 2000mm. vertical head clearance when measured from the nosing of the tread.
  - Stair to be min. 750mm. wide when measured clear of all obstructions.
  - Handrail to be a constant minimum 865mm high above the nosing of treads and minimum 1000mm. high above all landings, balconies and the like that exceed 1000mm. above the finished adjacent ground or floor level.
  - Balusters and rails, etc., to have max. spacing of 125mm.
  - Wire balustrading to comply with Table 3.9.2.1 of the BCA.
- Figured dimensions shall always take precedence over scale.
- Termite prevention works must be in accordance with AS 3660.1 - 2000.
- For buildings in close proximity to the sea, ensure that all steelwork, brick cavity ties, steel lintels, etc. that are embedded or fixed into masonry, be protected in accordance with AS 1650 or AS 3700-1988 Table 2.2, hot dipped galvanised iron, stainless steel or cadmium coated.
- The Builder to take all measures necessary to ensure the stability of new and/or existing structures during construction and generally ensure the watertightness of all works during construction.
- These plans have been prepared for the exclusive use of the customer and only for the purpose expressly notified to the author. Any other person who uses or relies on these plans without the written consent of Avalon Granny Flats does so at their own risk and no responsibility is accepted by Avalon Granny Flats for such use and/or reliance.
- DO NOT SCALE OFF DRAWINGS. The Owner/Builder and/or subcontractor to confirm all dimensions, setbacks and levels prior to commencing construction, ordering materials or preparing shop drawings and shall be responsible for ensuring that all building works conform to the Building Code of Australia, AS codes (current editions) Building regulations, local by-laws and Town Planning requirements. All discrepancies must be referred to this office for clarification.
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- These notes are neither exhaustive nor a substitute for regulations, statutory requirements, building practice or contractual obligations and unless expressly stated otherwise, are provided only as a guide. No responsibility is accepted for their use.

FINAME REVDATE USER

**General Notes**

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G6. FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
- G7. THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.

**Foundations**

- F1. UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.
- F2. TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
- F3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
- F4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
- F5. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
- F6. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
- F7. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

**Masonry**

- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION (WEEP HOLES) SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

**Timber Framing**

- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

**Tiling**

- T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
- T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

**Claddings & Linings**

- C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS 3740.
- C2. ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

**Joinery**

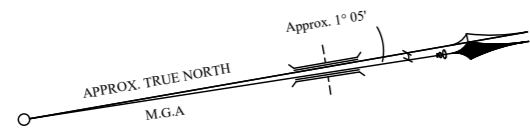
- J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.
- J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

**Steel Framing**

ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

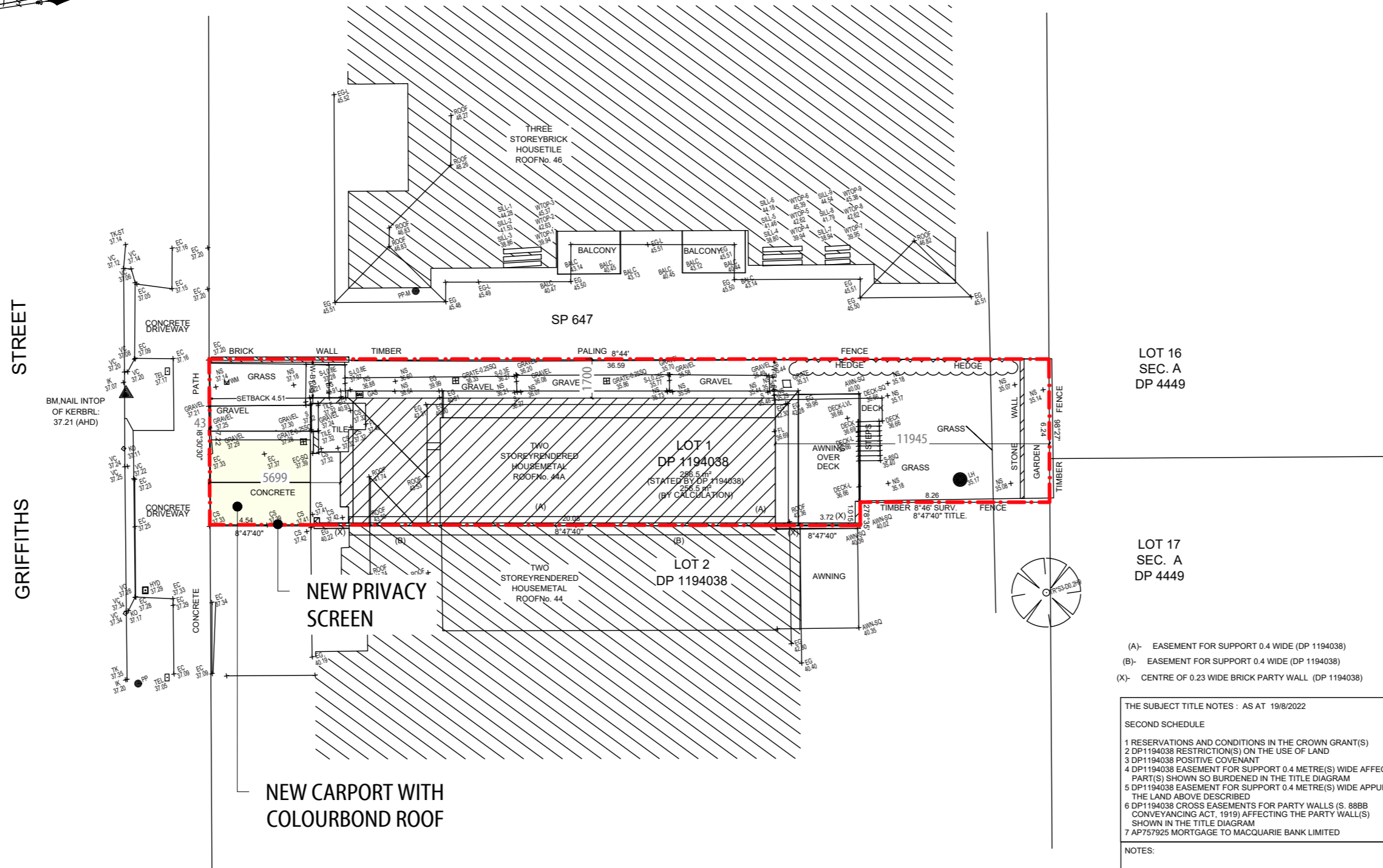
**Roofing**

- R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.
- R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.
- R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.

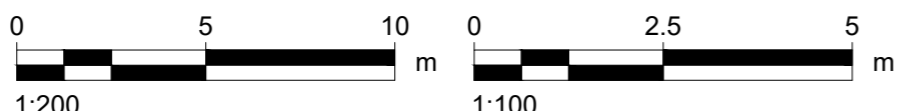


**LEGEND:**

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BB	BOTTOM OF BANK
BM	BENCH MARK
BOW	BOTTOM OF WALL
BRW	BOTTOM OF RETAINING WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
INV	INVERT LEVEL
IK	INVERT OF KERB
KO	KERB OUTLET
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
S-B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SILL	WINDOW SILL
SMH	SEWER MAN HOLE
SV	STOP VALE
TB	TOP OF BANK
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW/TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W-B	WALL TO BOUNDARY
WM	WATER METER
WTOP	TOP OF WINDOW



**SITE PLAN - PROPOSED**  
**SCALE 1:200**



**GENERAL NOTES**

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- CONNECT D.P.'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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**LEGEND:**  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

- NEW WORKS:**
- NEW TIMBER CARPORT
  - NEW TILTING CARPORT DOOR
  - NEW PRIVACY SCREEN
  - NEW PICKET FENCE



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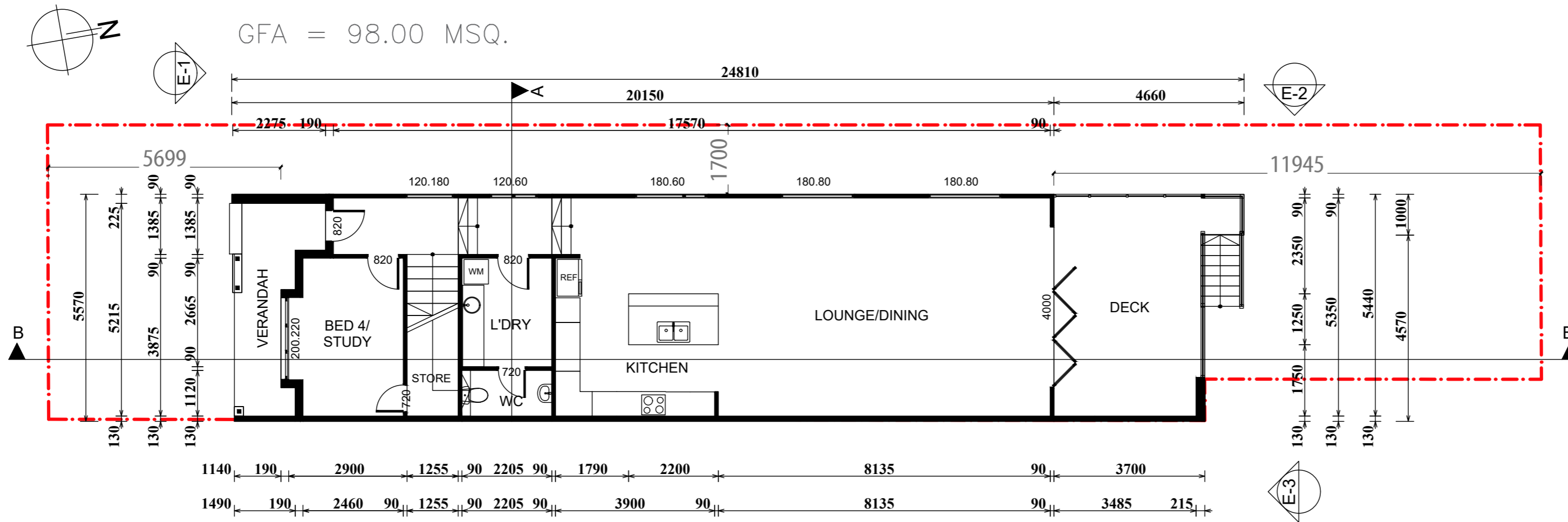
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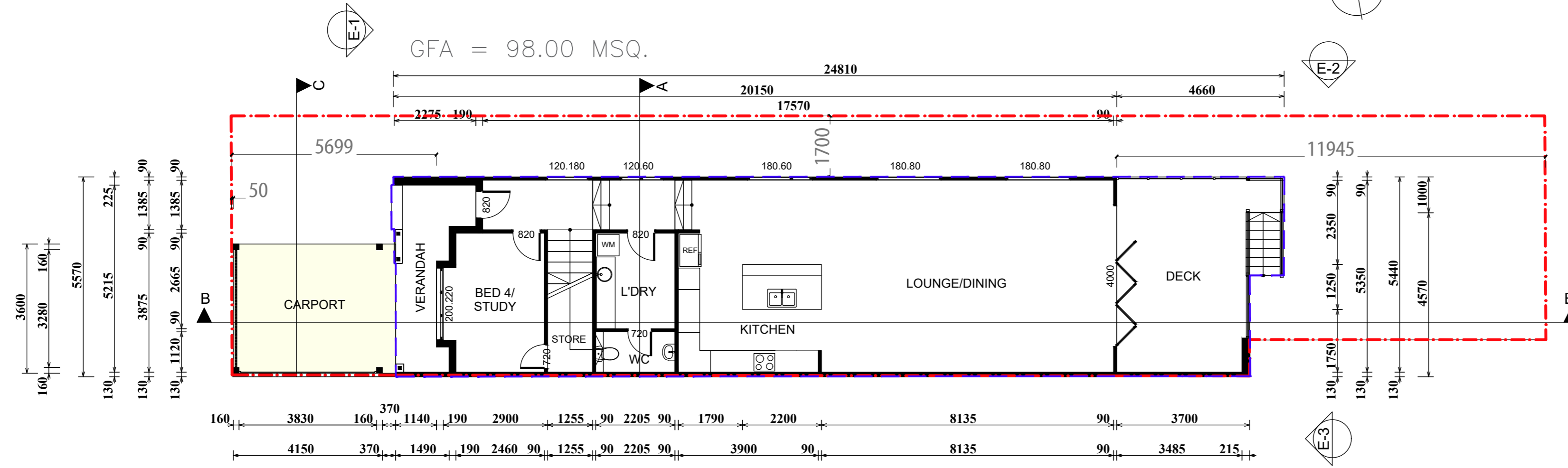
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**FAIRLIGHT**  
**NSW 2094**

**A2 SHEET**

FNAME  
REVDATE  
USER



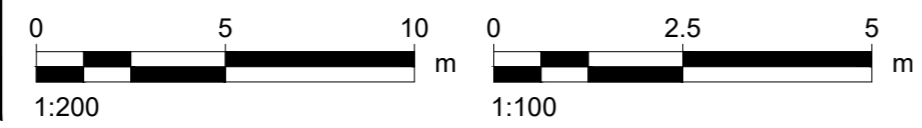
1 GROUND FLOORPLAN – EXISTING  
Scale 1:100



1 GROUND FLOORPLAN – PROPOSED  
Scale 1:100

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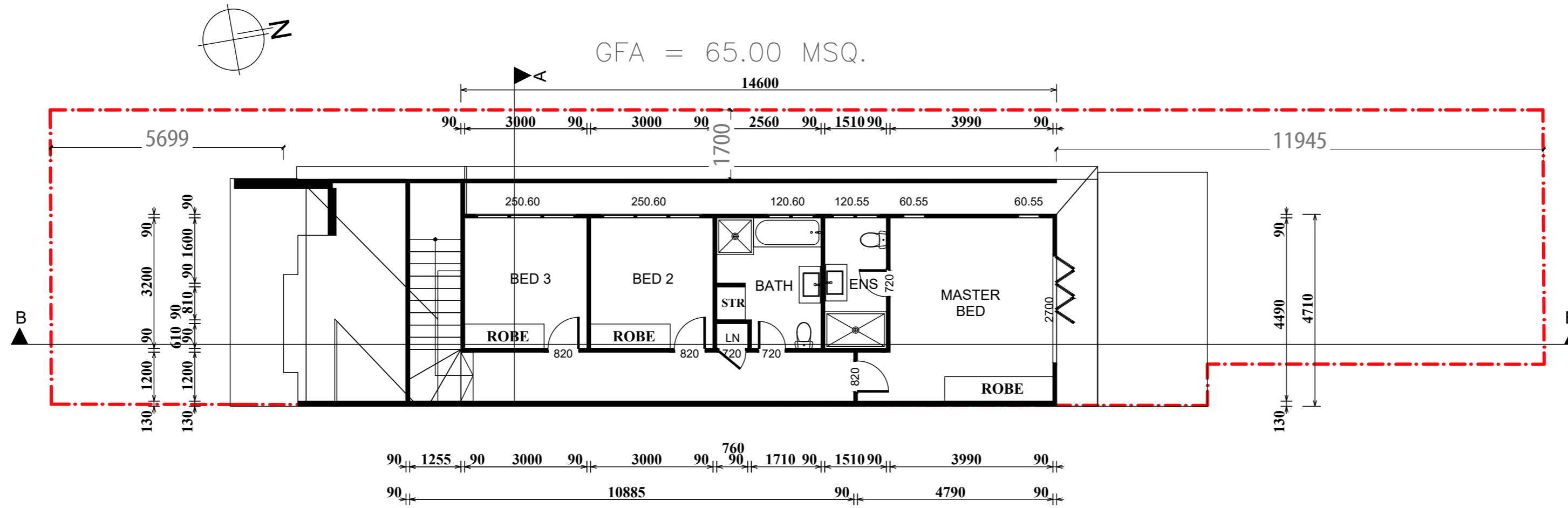
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ADDITONS AND ALTERATIONS	Sheet
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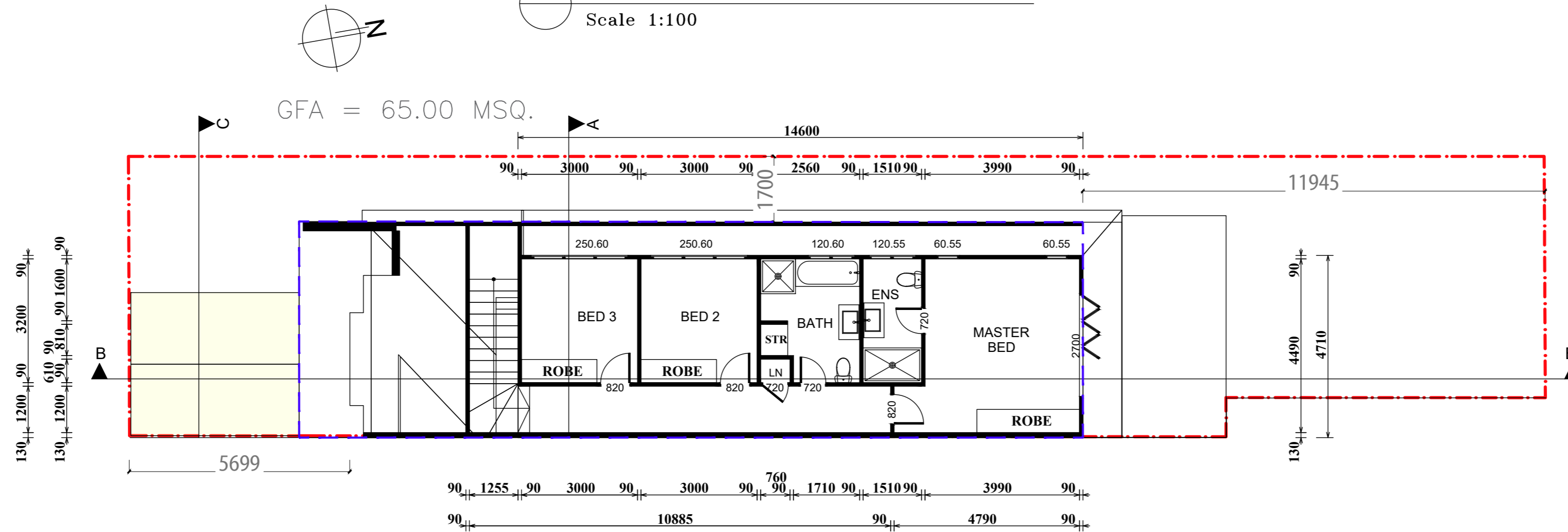
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Project Name and Address  
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REVPDATE  
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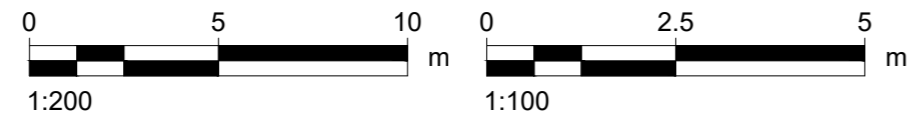
1 1ST FLOOR PLAN - EXISTING  
Scale 1:100



1 1ST FLOOR PLAN - PROPOSED  
Scale 1:100

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NEW PICKET FENCE



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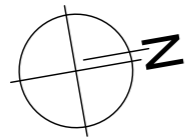
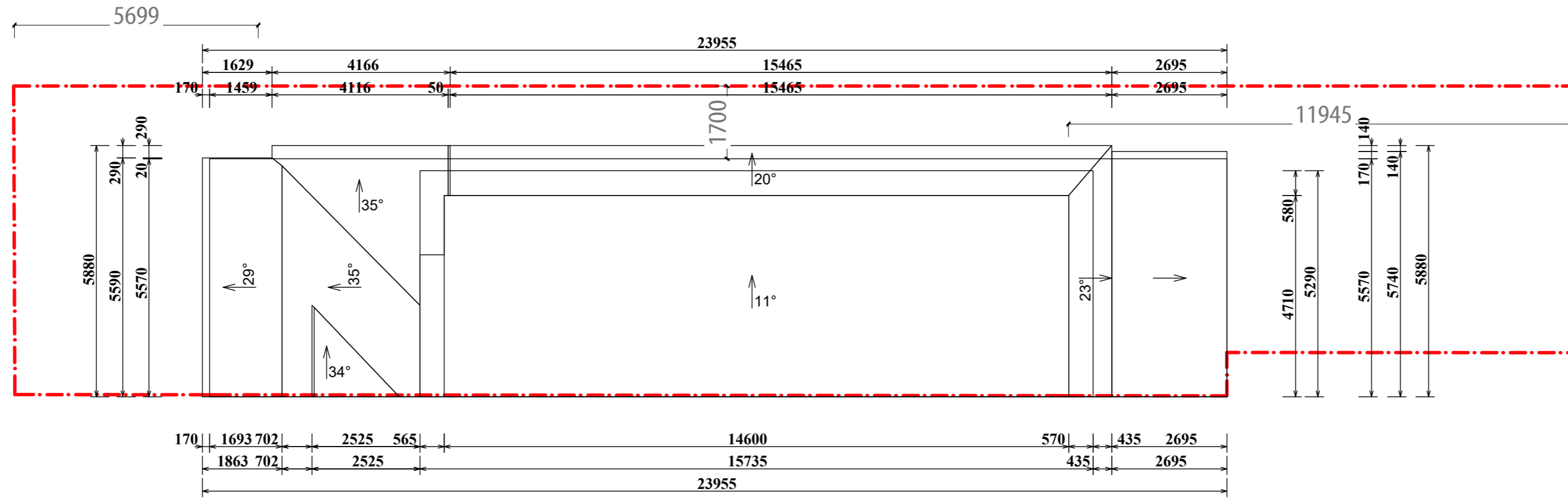
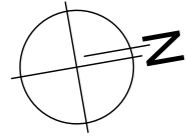
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Date 28/03/2022	<b>2</b>
Scale AS SHOWN	
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DP No. 1194038	
LOT No. 1	
A ISSUED FOR DA	09.09.2022
No. Revision/Issue	Date

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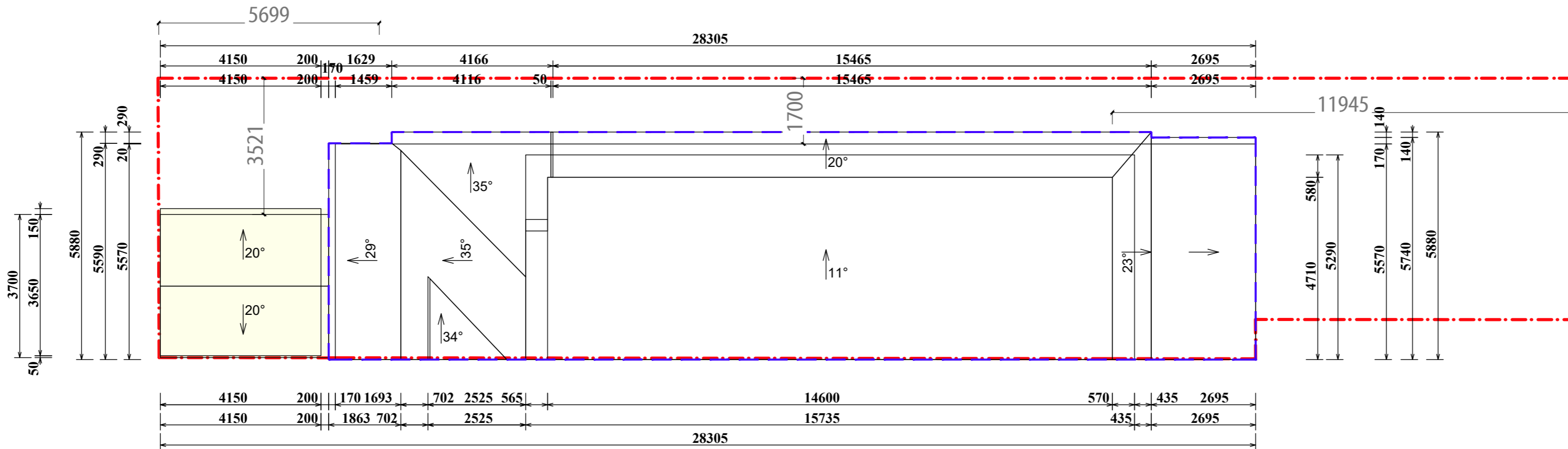
Project Name and Address  
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**44A GRIFFITH ST**  
**FAIRLIGHT**  
**NSW 2094**

**A2 SHEET**

FNAME  
REVDATE  
USER



1 ROOF PLAN - EXISTING  
Scale 1:100

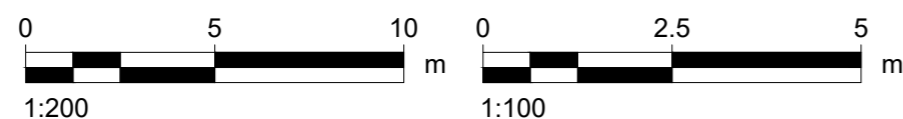


1 ROOF PLAN - PROPOSED  
Scale 1:100

NOTE:  
ROOF COLOUR WILL BE OF A DARK COLOUR IN ACCORDANCE WITH NORTHERN BEACHES COUNCIL DCP

**GENERAL NOTES**

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3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  
☼

**NEW WORKS:**  
NEW TIMBER CARPORT  
NEW TILTING CARPORT DOOR  
NEW PRIVACY SCREEN  
NEW PICKET FENCE



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ADDITIONS AND ALTERATIONS	Sheet
Date	<b>3</b>
Scale	AS SHOWN
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DP No.	1194038
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No.	Revision/Issue Date

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FAIRLIGHT  
NSW 2094

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FNAME

REV/DATE

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LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

**NEW WORKS:**  
**NEW TIMBER CARPORT**  
**NEW TILTING CARPORT DOOR**  
**NEW PRIVACY SCREEN**  
**NEW PICKET FENCE**



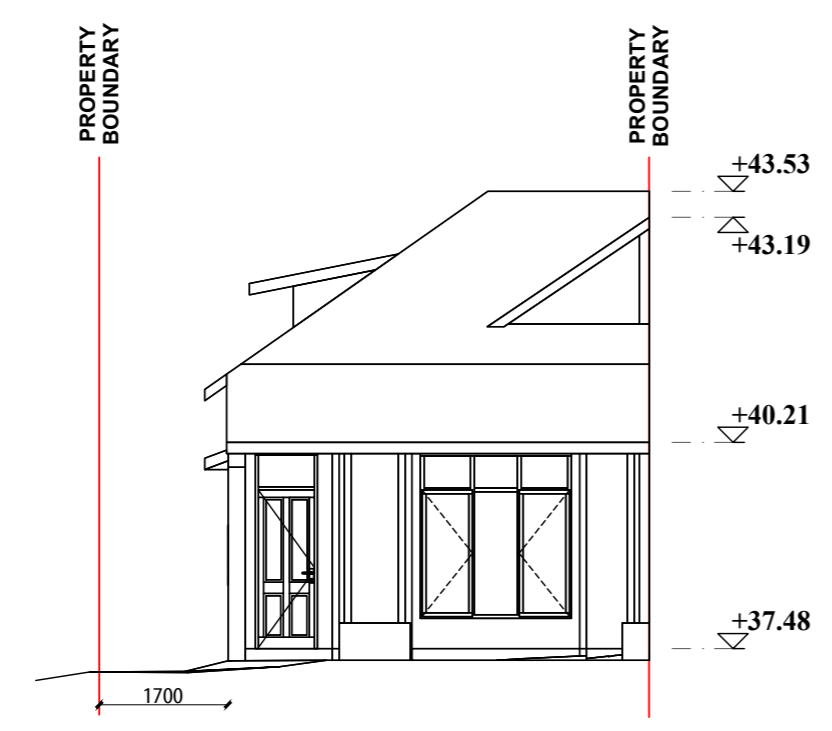
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DP No.	1194038	
LOT No.	1	

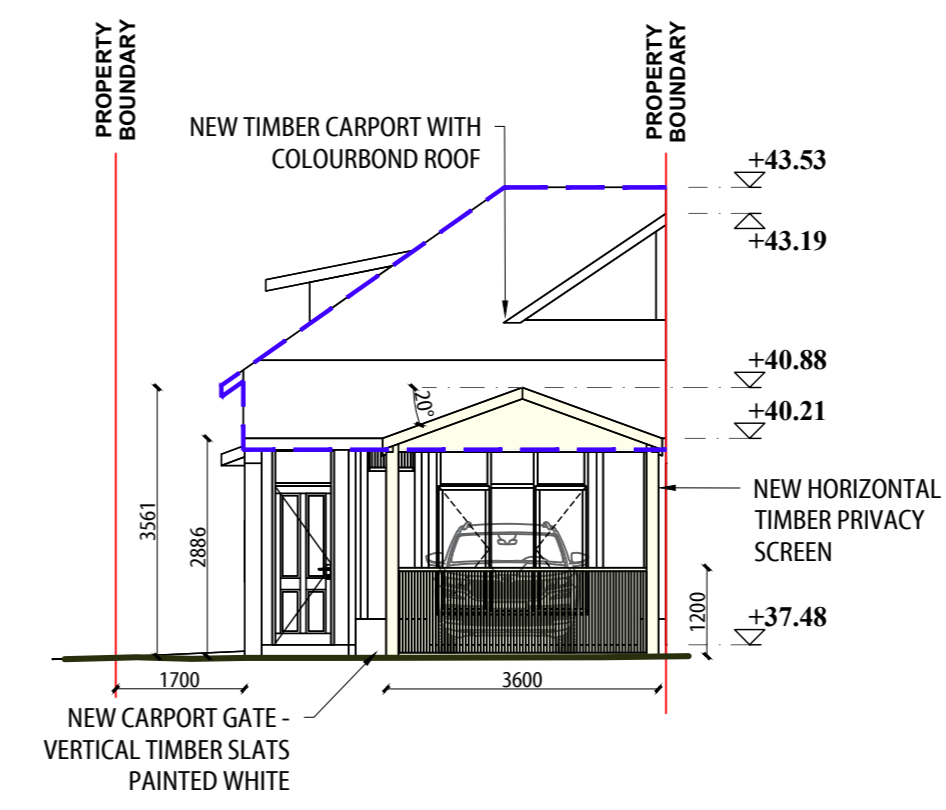
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No.	Revision/Issue	Date

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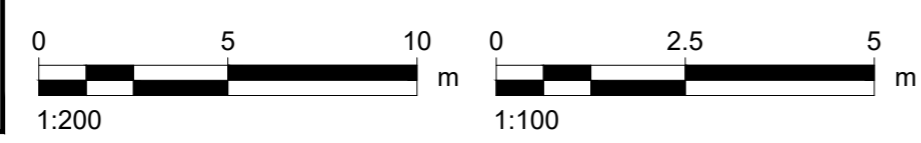
1 SOUTH ELEVATION – EXISTING  
Scale 1:100



1 SOUTH ELEVATION – PROPOSED  
Scale 1:100

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


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LEGEND:  
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 PROPOSED WORK

General Notes

LEGEND:  
 EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786  


**NEW WORKS:**  
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**NEW TILTING CARPORT DOOR**  
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ADDITIONS AND ALTERATIONS	Sheet
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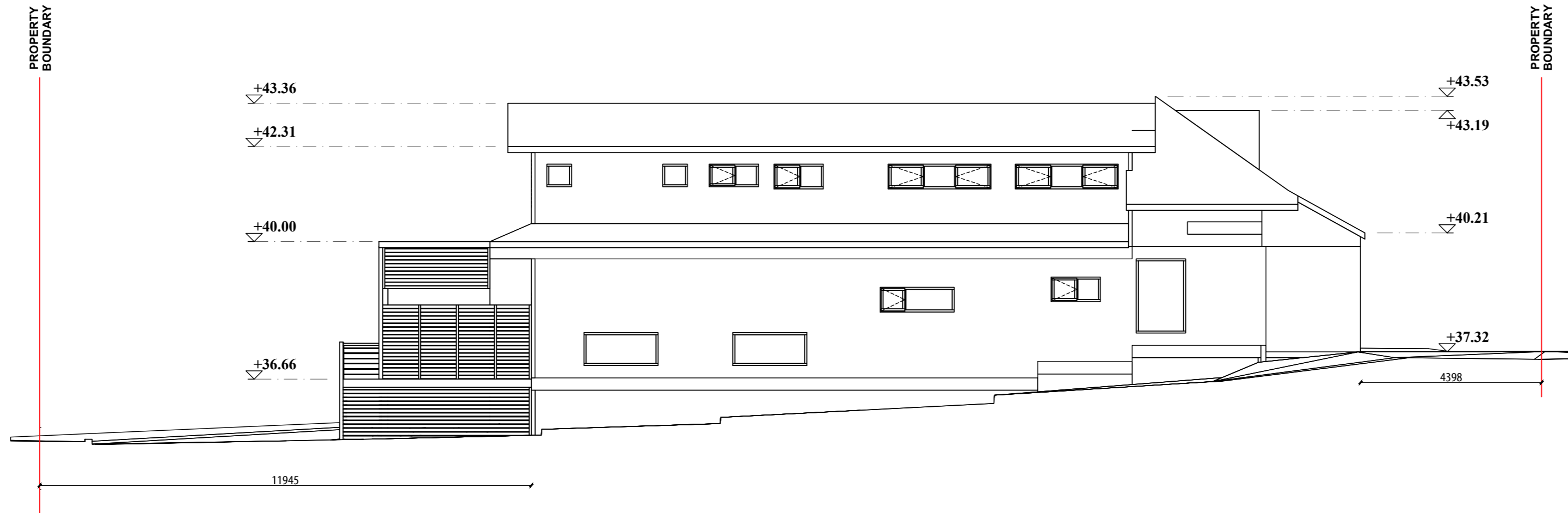
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LOT No. 1

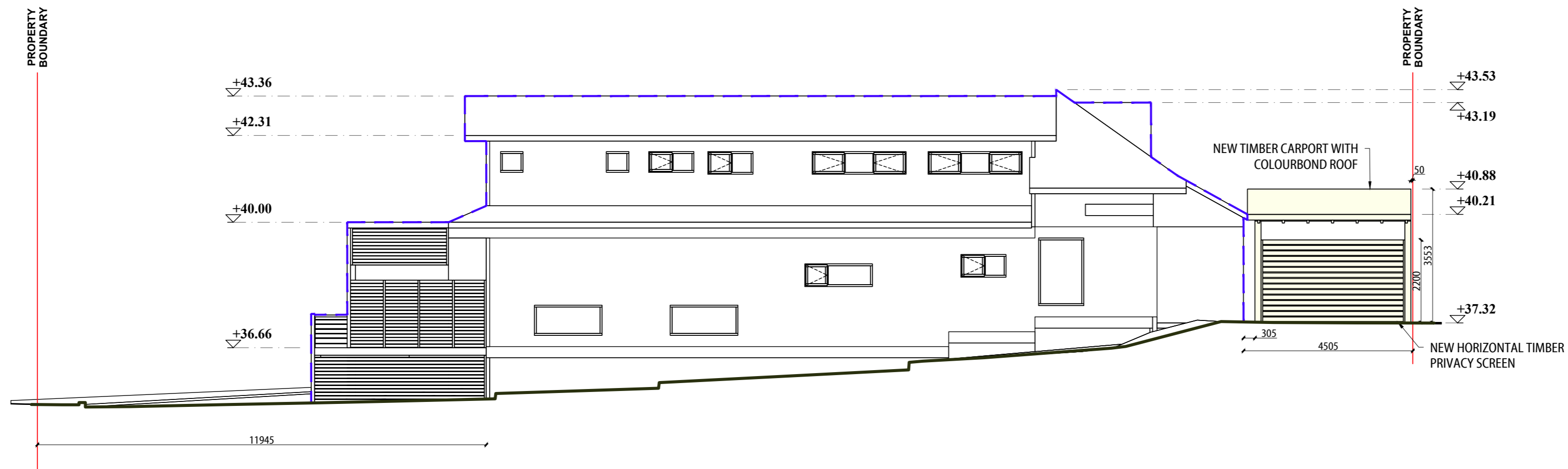

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No.	Revision/Issue	Date

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**FAIRLIGHT**  
**NSW 2094**

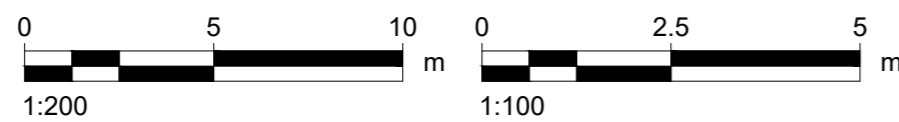


1 WEST ELEVATION - EXISTING  
 Scale 1:100



1 WEST ELEVATION - PROPOSED  
 Scale 1:100

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
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LEGEND:  
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General Notes

LEGEND:  
 EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
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**NEW WORKS:**  
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Date 28/03/2022	<b>6</b>
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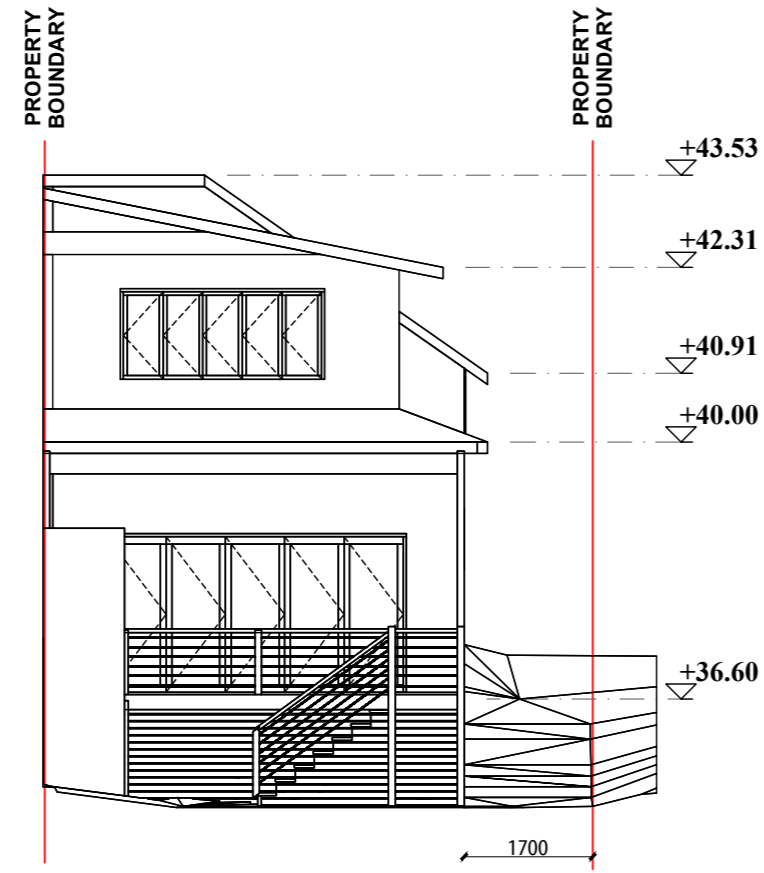
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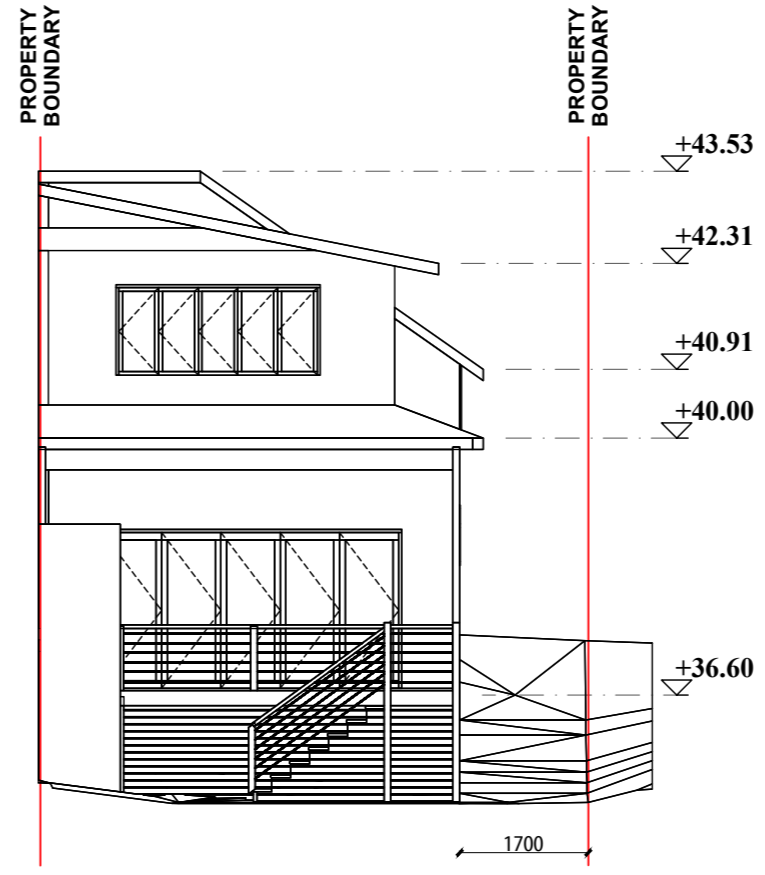
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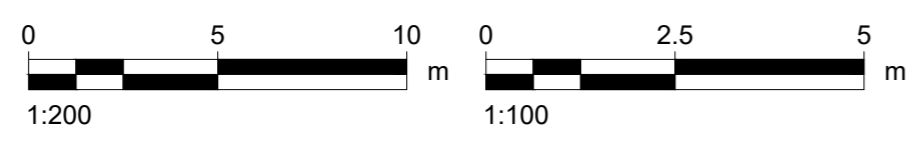


**1** NORTH ELEVATION – EXISTING  
 Scale 1:100



**1** NORTH ELEVATION – PROPOSED  
 Scale 1:100

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REVDATE

USER



**NOTES:**

**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install propriety products or systems in accordance with the published recommendations of the manufacturer or supplier.

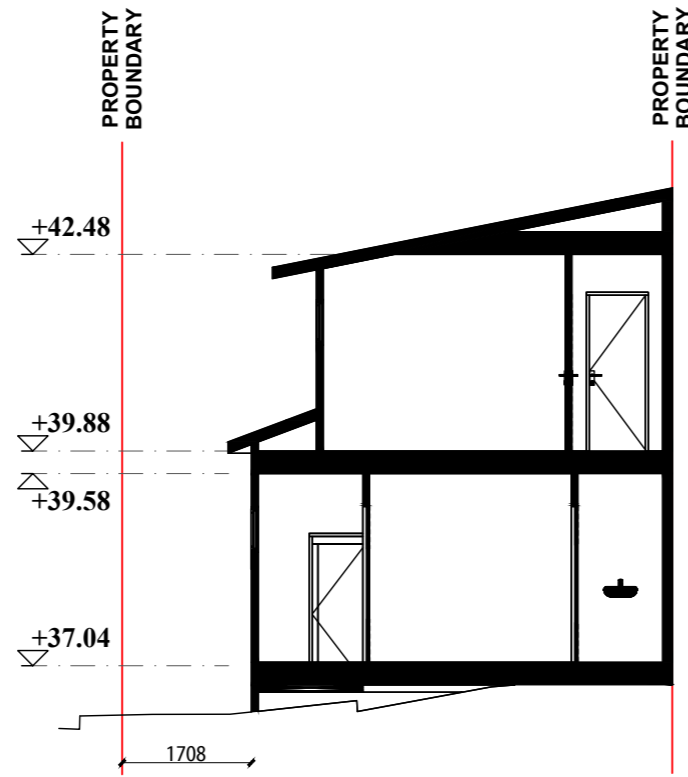
**Dimensions and Setout**

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

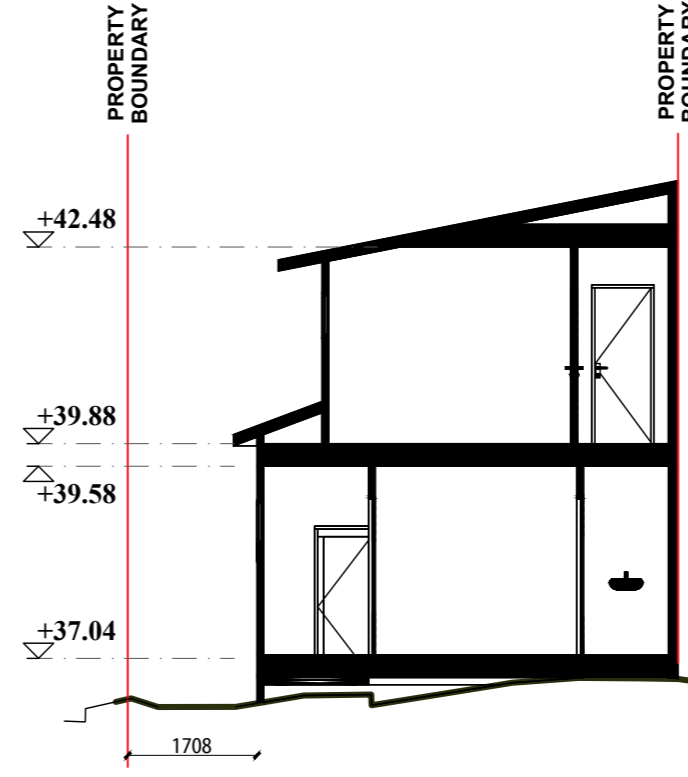
**CONCRETE CONSTRUCTION**

Concrete structures generally to AS3600.  
Ground slabs and footings to AS2870.  
Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.



1 SECTION – EXISTING  
Scale 1:100



1 SECTION – PROPOSED  
Scale 1:100

BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUPPORTING SUPPLEMENTS RELEVANT TO THE APPLICABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
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General Notes

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SMOKE ALARMS TO COMPLY WITH AS 3786

**NEW WORKS:**

- NEW TIMBER CARPORT
- NEW TILTING CARPORT DOOR
- NEW PRIVACY SCREEN
- NEW PICKET FENCE



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Date	28/03/2022	7
Scale	AS SHOWN	
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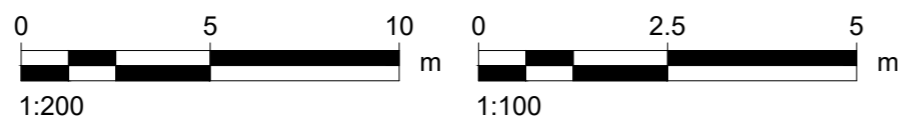
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**NSW 2094**

**A2 SHEET**

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
LEGEND:  
EXISTING BUILDING OUTLINE - - - - -

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REVDATE  
USER

LEGEND:  
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 PROPOSED WORK

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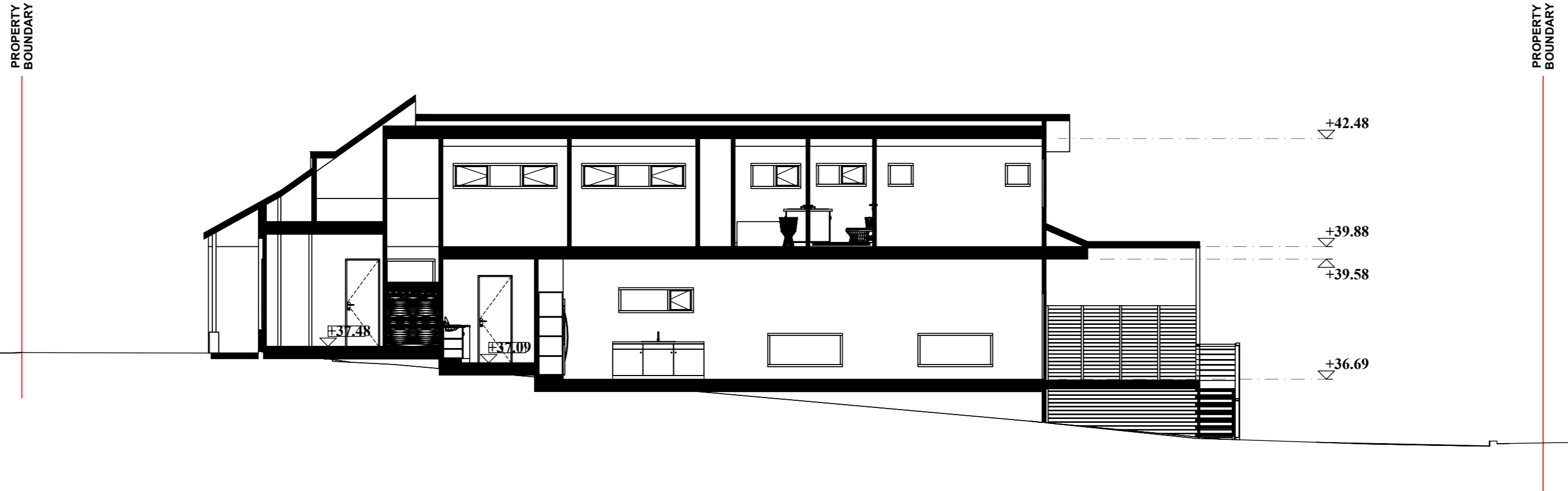
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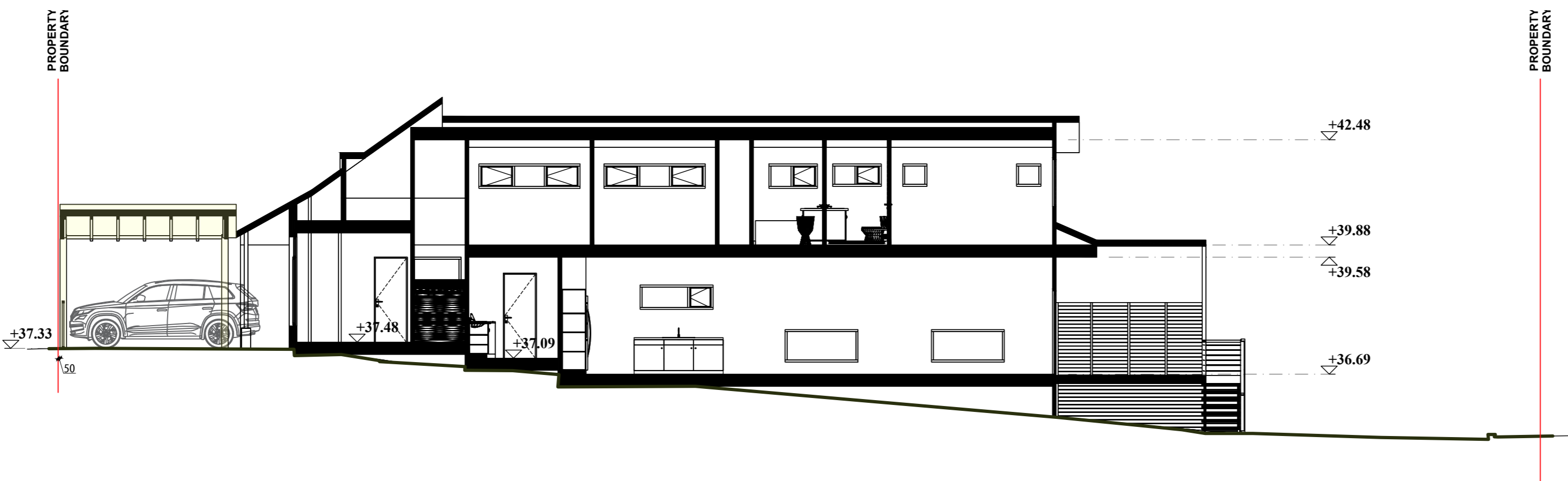
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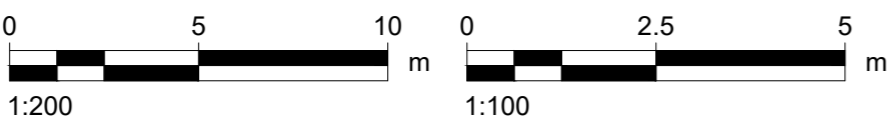


1 SECTION - EXISTING  
 Scale 1:100



1 SECTION - PROPOSED  
 Scale 1:100

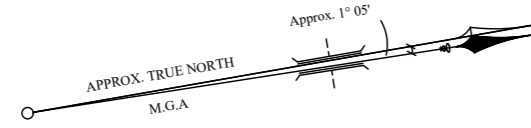
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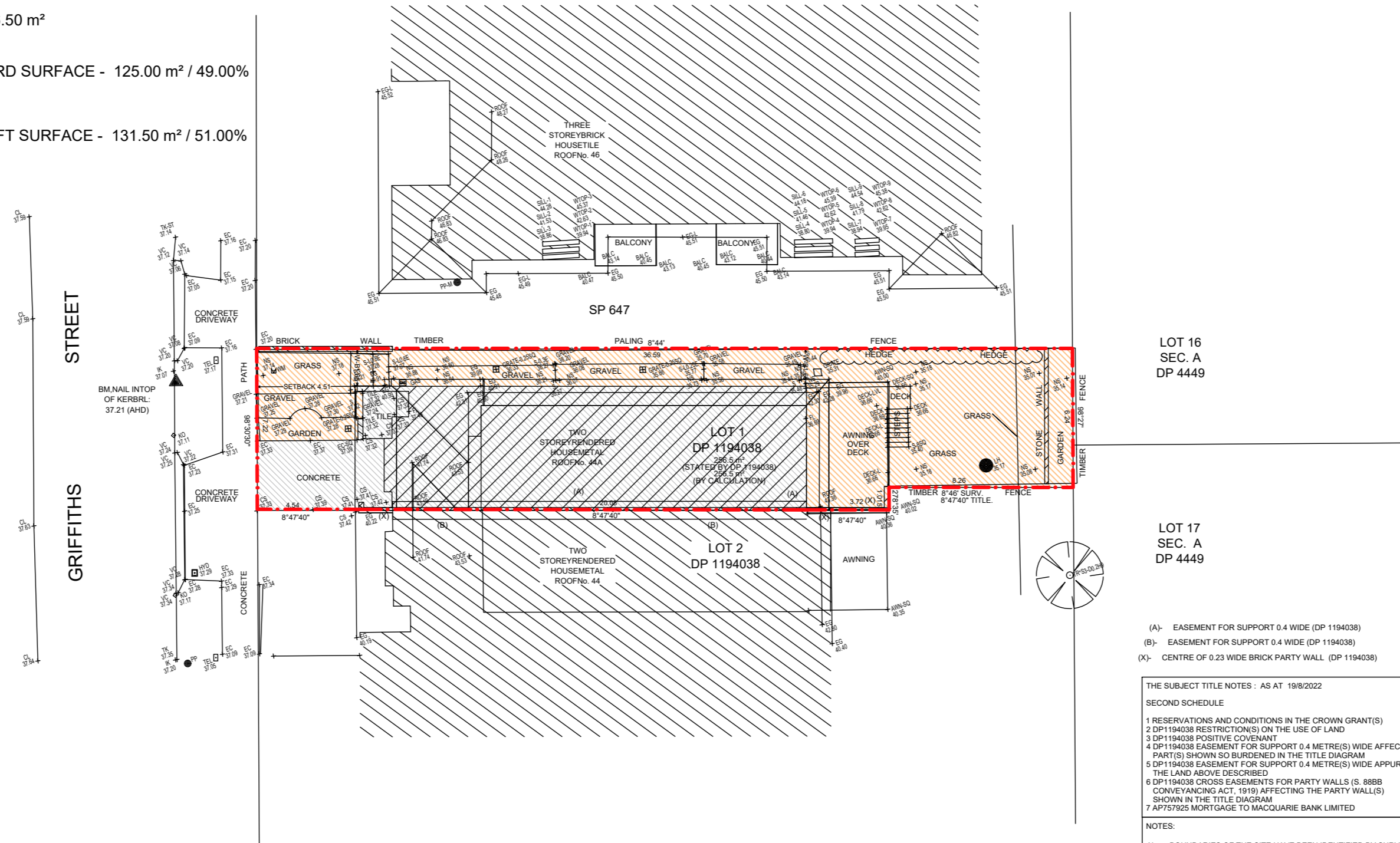
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# EXISTING LAND USE



SITE AREA = 256.50 m<sup>2</sup>

- HARD SURFACE - 125.00 m<sup>2</sup> / 49.00%
- SOFT SURFACE - 131.50 m<sup>2</sup> / 51.00%



LOT 16  
SEC. A  
DP 4449

LOT 17  
SEC. A  
DP 4449

- (A)- EASEMENT FOR SUPPORT 0.4 WIDE (DP 1194038)
- (B)- EASEMENT FOR SUPPORT 0.4 WIDE (DP 1194038)
- (X)- CENTRE OF 0.23 WIDE BRICK PARTY WALL (DP 1194038)

THE SUBJECT TITLE NOTES - AS AT 19/8/2022

SECOND SCHEDULE

- 1 RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- 2 DP1194038 RESTRICTION(S) ON THE USE OF LAND
- 3 DP1194038 POSITIVE COVENANT
- 4 DP1194038 EASEMENT FOR SUPPORT 0.4 METRE(S) WIDE AFFECTING THE PART(S) SHOWN SO BURDENED IN THE TITLE DIAGRAM
- 5 DP1194038 EASEMENT FOR SUPPORT 0.4 METRE(S) WIDE APPURTENANT TO THE LAND ABOVE DESCRIBED
- 6 DP1194038 CROSS EASEMENTS FOR PARTY WALLS (S. 888B CONVEYANCING ACT, 1919) AFFECTING THE PARTY WALL(S) SHOWN IN THE TITLE DIAGRAM
- 7 AP757925 MORTGAGE TO MACQUARIE BANK LIMITED

NOTES:

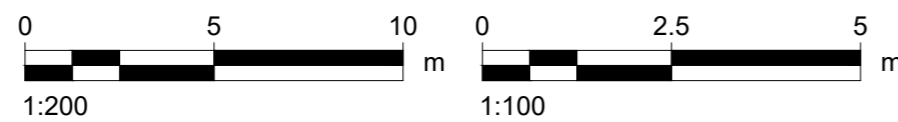
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- B) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. SERVICES MAY EXIST WHICH ARE NOT SHOWN. THE RELEVANT SERVICE AUTHORITY SHOULD BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- C) DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY.
- D) LEVELS SHOWN ARE OF AUSTRALIAN HEIGHT DATUM. ORIGIN OF LEVELS: PM 997, RL 36.152 (AHD), CLASS LB.
- E) USE STATED DIMENSIONS. DO NOT SCALE.
- F) THESE NOTES FORM PART OF THIS PLAN AND CANNOT BE REMOVED.
- G) NO COVENANTS AND/OR RESTRICTIONS HAVE BEEN INVESTIGATED BY C & A SURVEYORS PTY LTD.

## LANDUSE DIAGRAM - EXISTING

### SCALE 1:200

**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPs TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

- LEGEND:
- EXISTING BUILDING OUTLINE
  - PROPOSED WORK

General Notes

- LEGEND:
- EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
COMPLY WITH AS 3786

- NEW WORKS:**
- NEW TIMBER CARPORT
  - NEW TILTING CARPORT DOOR
  - NEW PRIVACY SCREEN
  - NEW PICKET FENCE



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ADDITONS AND ALTERATIONS	Sheet
Date	<b>9</b>
Scale	AS SHOWN
NBC	
DP No.	<b>1194038</b>
LOT No. <b>1</b>	
A	ISSUED FOR DA 09.09.2022
No.	Revision/Issue Date

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Project Name and Address  
**SAM BIBER + DEBBIE CUELL**  
44A GRIFFITH ST  
FAIRLIGHT  
NSW 2094

**A2 SHEET**

FNAME

REVDATE

USER

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
COMPLY WITH AS 3786

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ADDITIONS AND ALTERATIONS	Sheet
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Scale	AS SHOWN

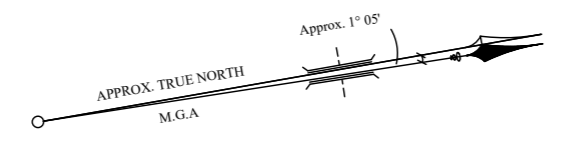
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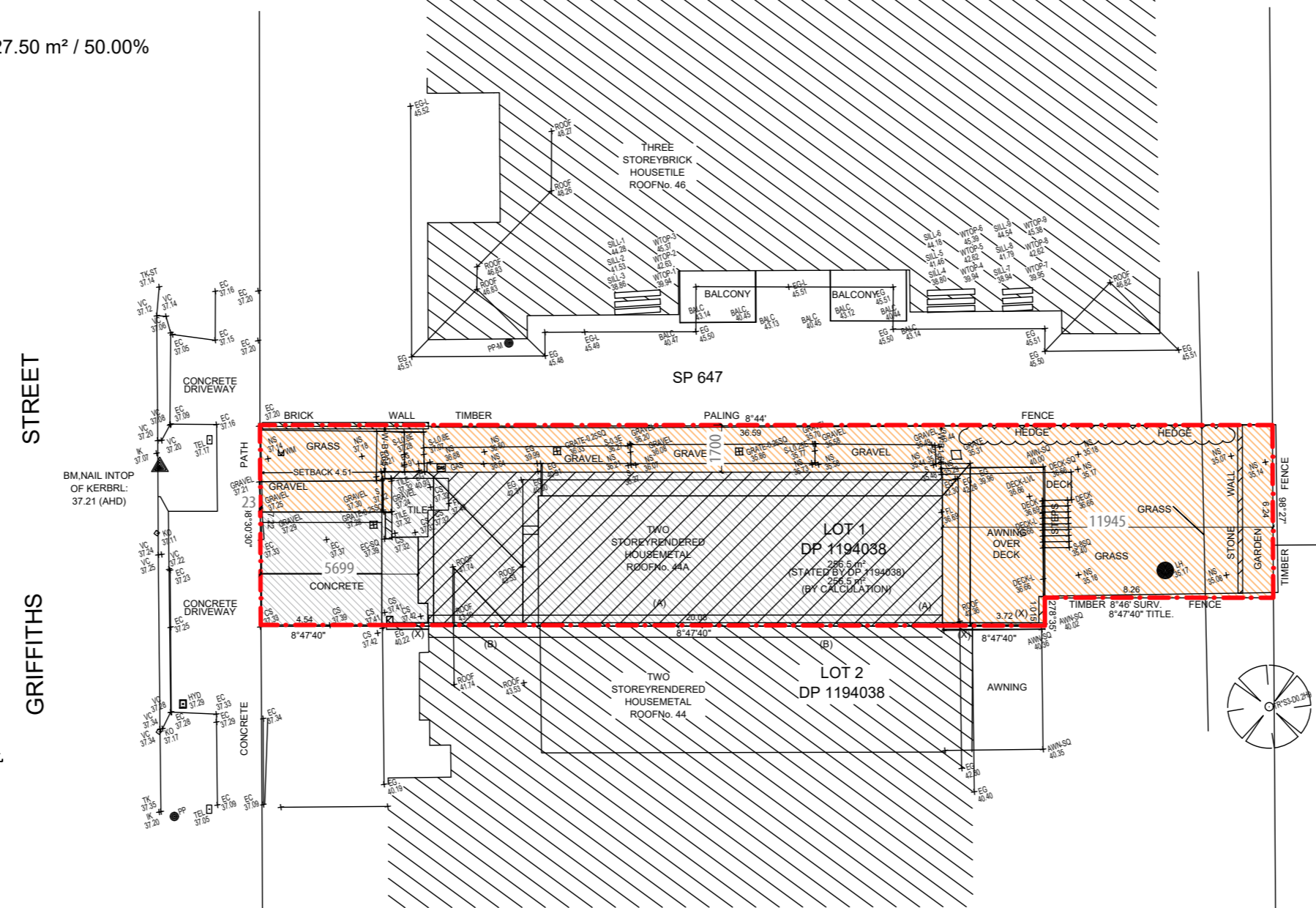
**A2 SHEET**



HARD SURFACE - 129.00 m<sup>2</sup> / 50.00%  
SOFT SURFACE - 127.50 m<sup>2</sup> / 50.00%

LEGEND:

AHD	AUSTRALIAN HEIGHT DATUM
AWN	AWNING
A-B	AWNING TO BOUNDARY
BB	BOTTOM OF BANK
BM	BENCH MARK
BOW	BOTTOM OF WALL
BRW	BOTTOM OF RETAINING WALL
CL	CENTRE LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
HYD	HYDRANT
INV	INVERT LEVEL
IK	INVERT OF KERB
KO	KERB OUTLET
LH	LAMP HOLE
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
S-B	SHED TO BOUNDARY
SL	SURFACE LEVEL
SILL	WINDOW SILL
SMH	SEWER MAN HOLE
SV	STOP VALE
TB	TOP OF BANK
TEL	TELSTRA PIT
TK	TOP OF KERB
TOW/TW	TOP OF WALL
TRW	TOP OF RETAINING WALL
VC	VEHICLE CROSSING
W-B	WALL TO BOUNDARY
WM	WATER METER
WTOP	TOP OF WINDOW



LOT 16  
SEC. A  
DP 4449

LOT 17  
SEC. A  
DP 4449

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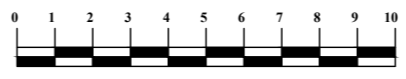
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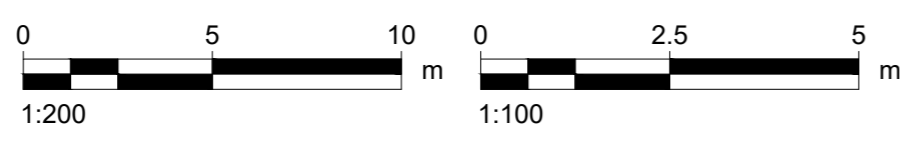
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**LANDUSE DIAGRAM - PROPOSED**  
SCALE 1:200

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
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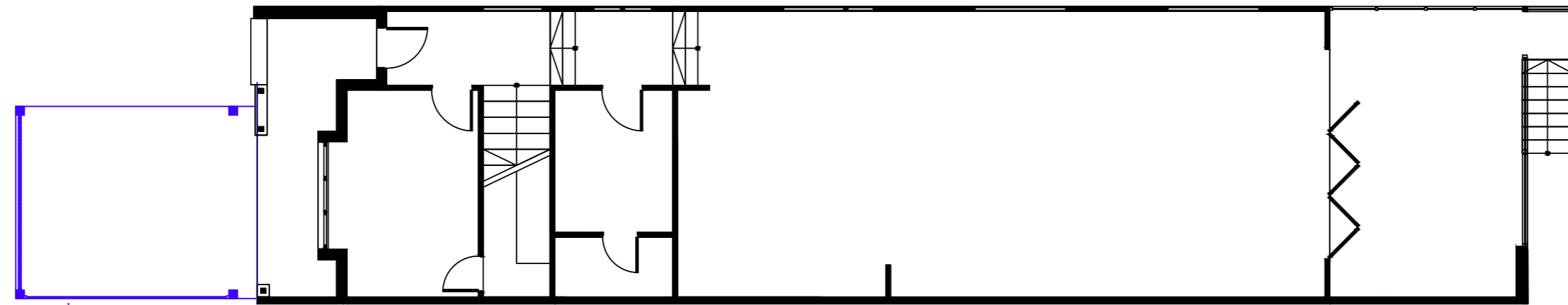
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General Notes


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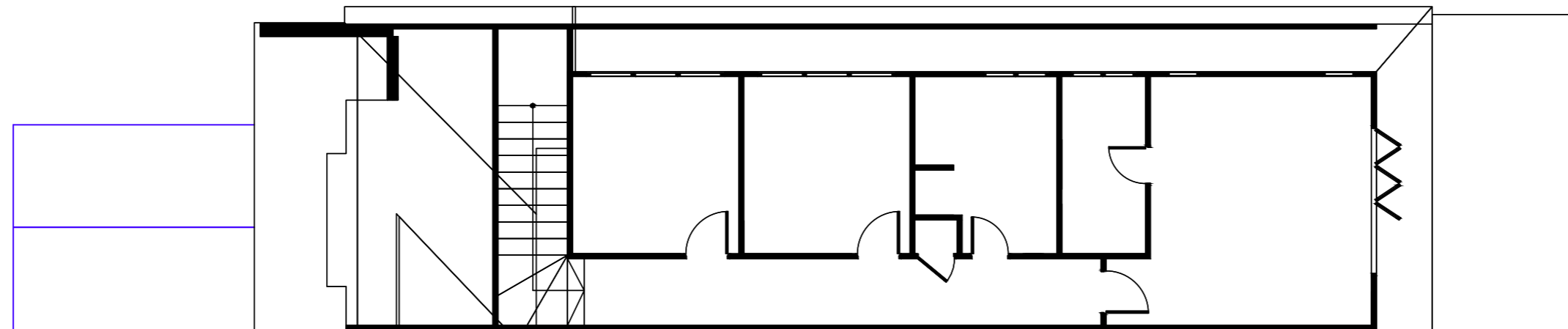
SMOKE ALARMS TO COMPLY WITH AS 3786  


**NEW WORKS:**  
**NEW TIMBER CARPORT**  
**NEW TILTING CARPORT DOOR**  
**NEW PRIVACY SCREEN**  
**NEW PICKET FENCE**



**DEMO PLAN - GROUND FLOOR**  
SCALE 1:100

LEGEND:  
 NEW WORKS



**DEMO PLAN - 1ST FLOOR**  
SCALE 1:100

LEGEND:  
 NEW WORKS



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ADDITIONS AND ALTERATIONS	Sheet
Date 28/03/2022	<b>11</b>
Scale AS SHOWN	

NBC  
 DP No. 1194038

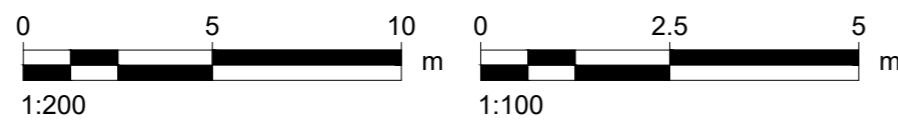
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**NSW 2094**

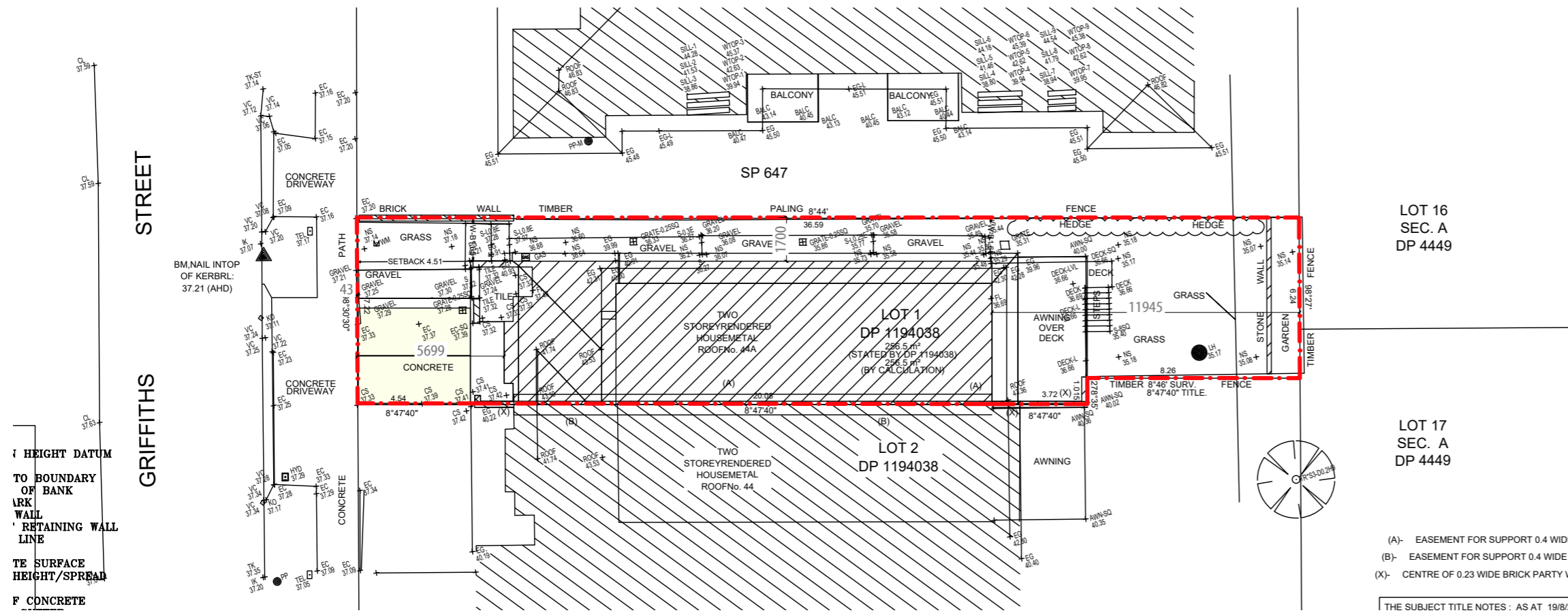
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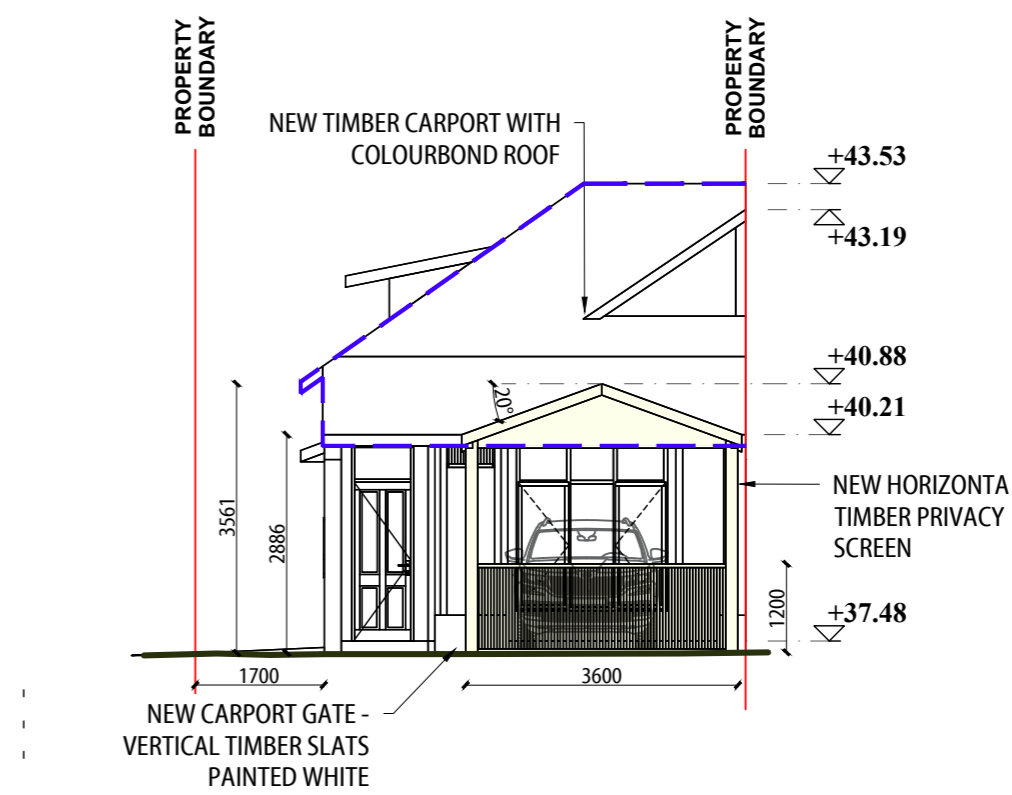
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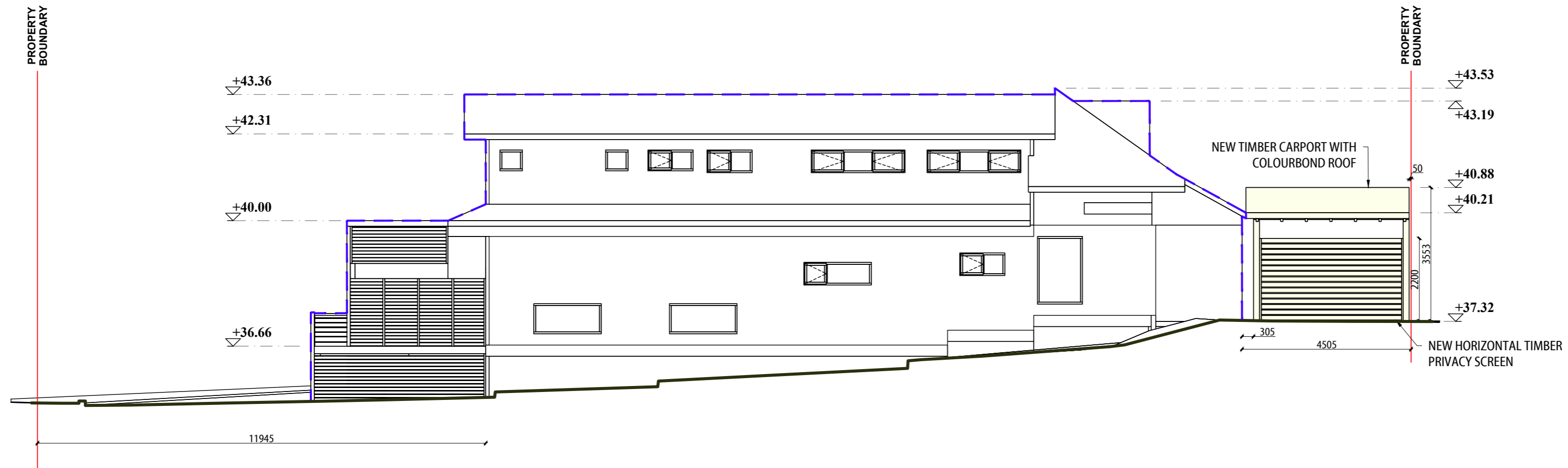
# NOTIFICATION PLAN



**SITE PLAN - PROPOSED**  
SCALE 1:200



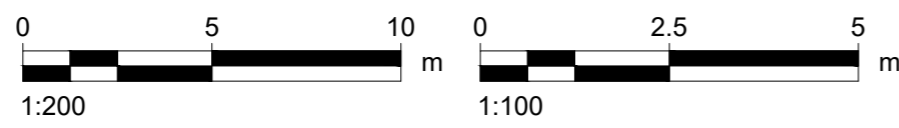
1 SOUTH ELEVATION - PROPOSED  
Scale 1:100



1 WEST ELEVATION - PROPOSED  
Scale 1:100

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LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

LEGEND:  
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SMOKE ALARMS TO COMPLY WITH AS 3786

**NEW WORKS:**  
NEW TIMBER CARPORT  
NEW TILTING CARPORT DOOR  
NEW PRIVACY SCREEN  
NEW PICKET FENCE



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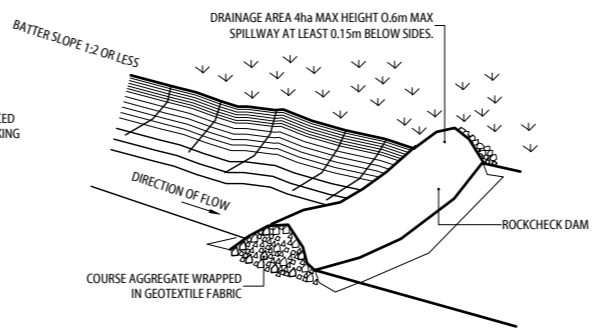
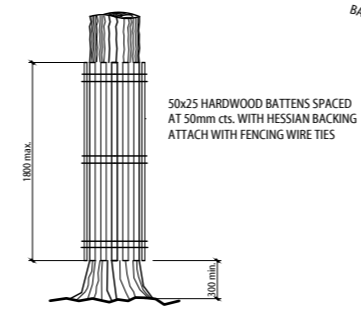
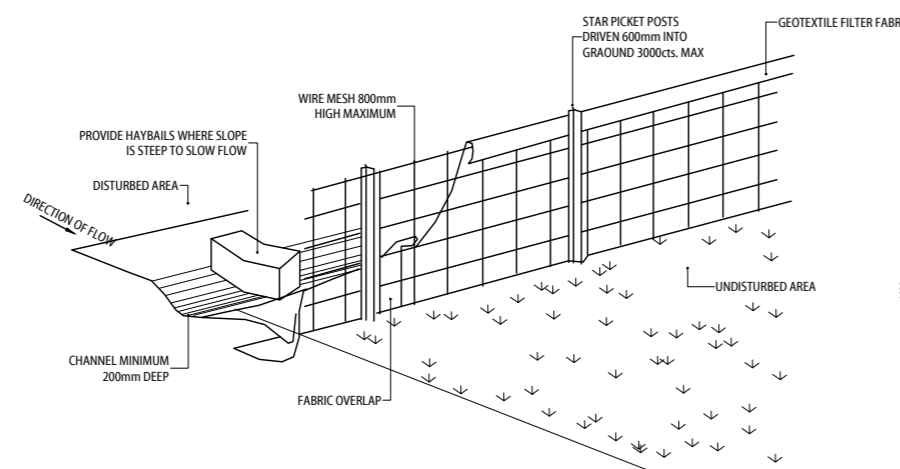
ADDITIONS AND ALTERATIONS	Sheet
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FAIRLIGHT  
NSW 2094

**A2 SHEET**

FNAME REVDATE USER



**Vehicle Movements**  
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE DRIVEWAY POINT UNLESS OTHERWISE APPROVED ALTERNATIVE ARRANGEMENTS.  
ACCESS POINTS AND PARKING AREAS ARE TO BE STABILIZED WITH COMPACTED SUB-GRADE AS SOON AS POSSIBLE AFTER THEIR FORMATION.  
WHERE SPLASHES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION.  
ALL VEHICLES ARE TO BE WASHED PRIOR TO EXITSING THE SITE. THIS SERVES THE PURPOSE OF REMOVING Silt MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND TRAILS. THE STORMWATER SYSTEM ALL POLLUTED WATER MUST BE RETAINED ON SITE FOR TREATMENT BEFORE IT IS DISCHARGED INTO THE STORMWATER SYSTEM.  
NO VEHICLE ASSOCIATED WITH THE WORKS IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE.  
ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THIS AREA.

**Sediment Traps**  
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.  
**Diversion Channels**  
A DIVERSION CHANNEL IS AN UNCALCULATED DITCH OR RILL. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE.  
ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY FAIRTH BANK AROUND THE UPPER EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**Erosion & Sediment Controls**  
APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK.  
THESE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILIZED. IF ANY CONTROL IS DAMAGED OR BECOMES INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINFORCED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

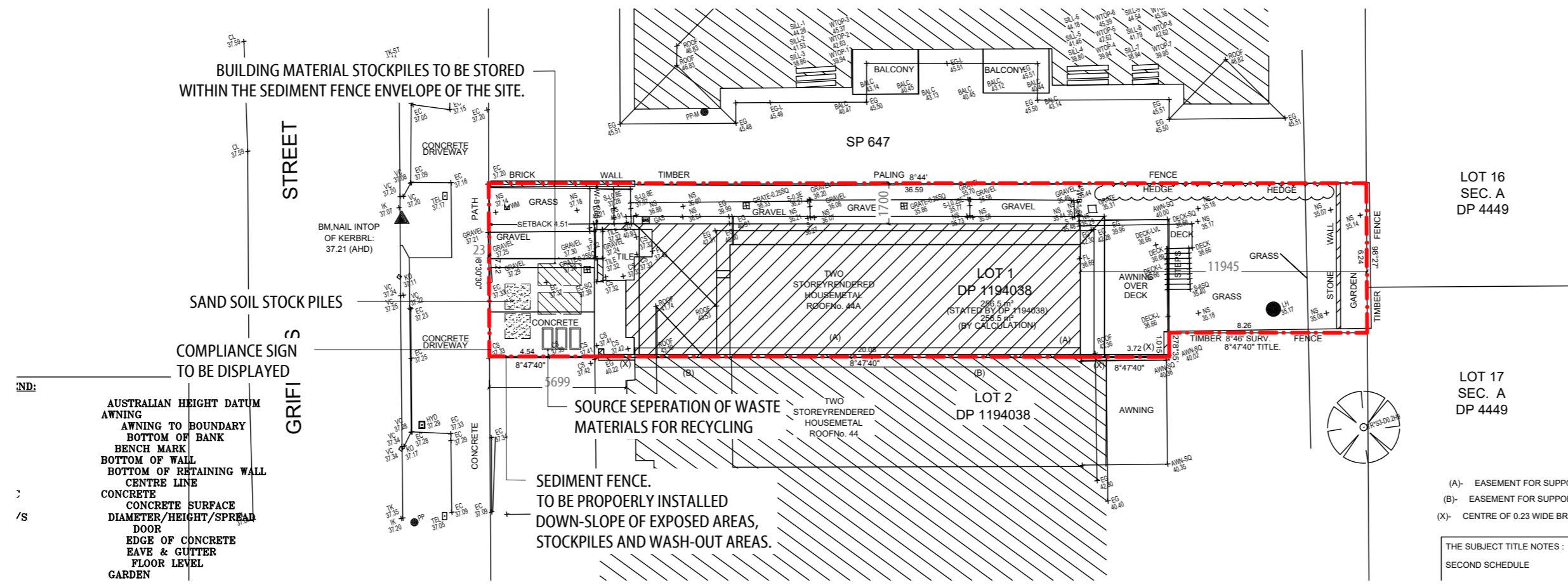
**Dust Control**  
ALL TRUCKS/VESICLES MUST COVER THEIR LOADS AT ALL TIMES.  
APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PROTECTION OF DUST CAN BE ACHIEVED BY WATERING AREAS OF EARTHWORKS, WATERING AND PROTECTIVE VEGETATION.  
WHERE DUST IS CREATED AS A RESULT OF WORKS AND/OR SOIL EXPOSURE, THE WIND-EROSION AREA MUST BE WATERED DURING AND AT THE END OF EACH DAY TO LAY THE DUST.  
EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE FINE DUST.

**Designated Site Manager/Builder**  
PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSURES THE RESPONSIBILITY FOR THE FACTORS OF ALL SUB-CONTRACTED PARTIES AS WELL AS ADDRESSING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**Topsoil Management**  
PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE RELOCATED BY EITHER SLASHING OR MOWING.  
ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE.  
SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCIDENTS, WITHIN DRAINAGE LINE/FLOWS PATHS OR AROUND OR NEARBY TREE SUBURBS.  
SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPROVED MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT.  
IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRADED IMMEDIATELY AND STABILIZED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

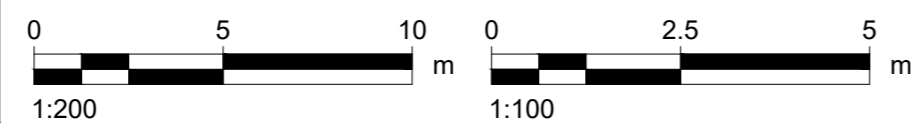
**Building Material Stockpiling**  
SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**Sediment Fences**  
A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNWIND BOUNDARY OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILLER TOP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

LEGEND:  
EXISTING BUILDING OUTLINE

SMOKE ALARMS TO COMPLY WITH AS 3786

**NEW WORKS:**  
NEW TIMBER CARPORT  
NEW TILTING CARPORT DOOR  
NEW PRIVACY SCREEN  
NEW PICKET FENCE



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ADDITONS AND ALTERATIONS		Sheet
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Project Name and Address  
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44A GRIFFITH ST  
FAIRLIGHT  
NSW 2094

**A2 SHEET**

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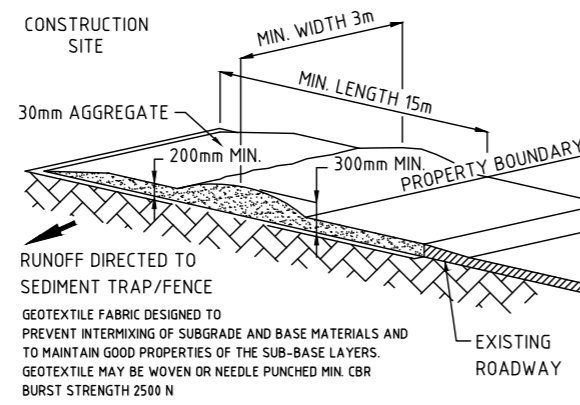
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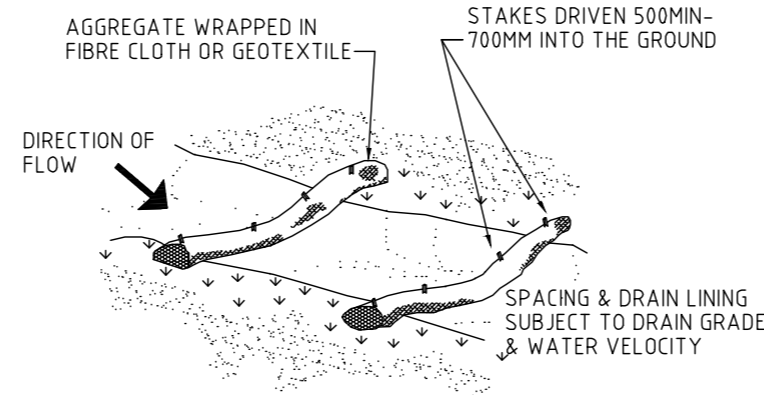
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**NEW PICKET FENCE**

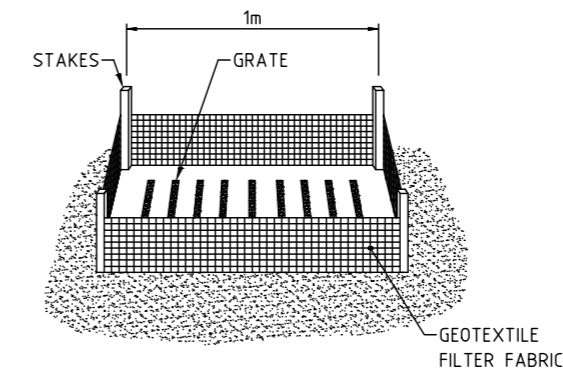
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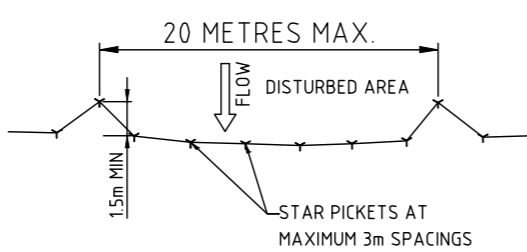
**STABILISED SITE ACCESS**



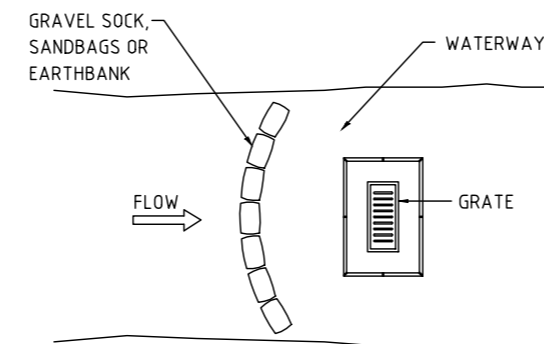
**GRAVEL SOCK CHECK DAM**



**GEOTEXTILE STORMWATER INLET FILTER**



**SEDIMENT FENCE PLAN**



**STORMWATER INLET FILTER**

**CONTROLLING CONTAMINATION ON SITE**

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodable areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

**POST-CONSTRUCTION AND EROSION CONTROL**

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf.

Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spread to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas.

Temporary, quick germinating grasses such as rye and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure.

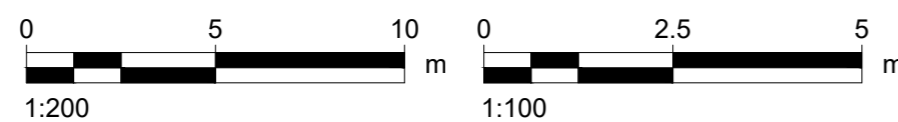
Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes.

Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

**SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS**

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**FAIRLIGHT**  
**NSW 2094**



LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes

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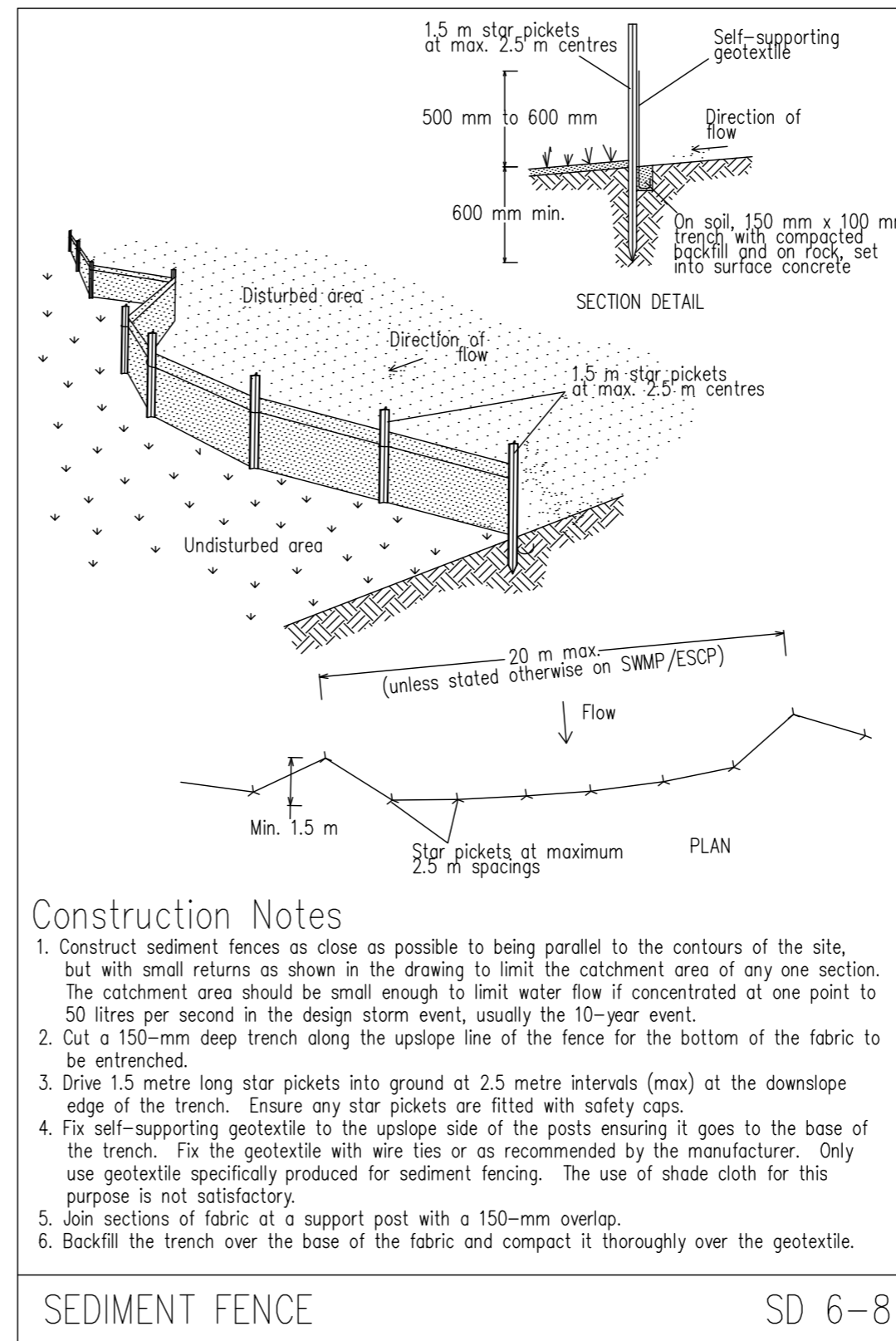
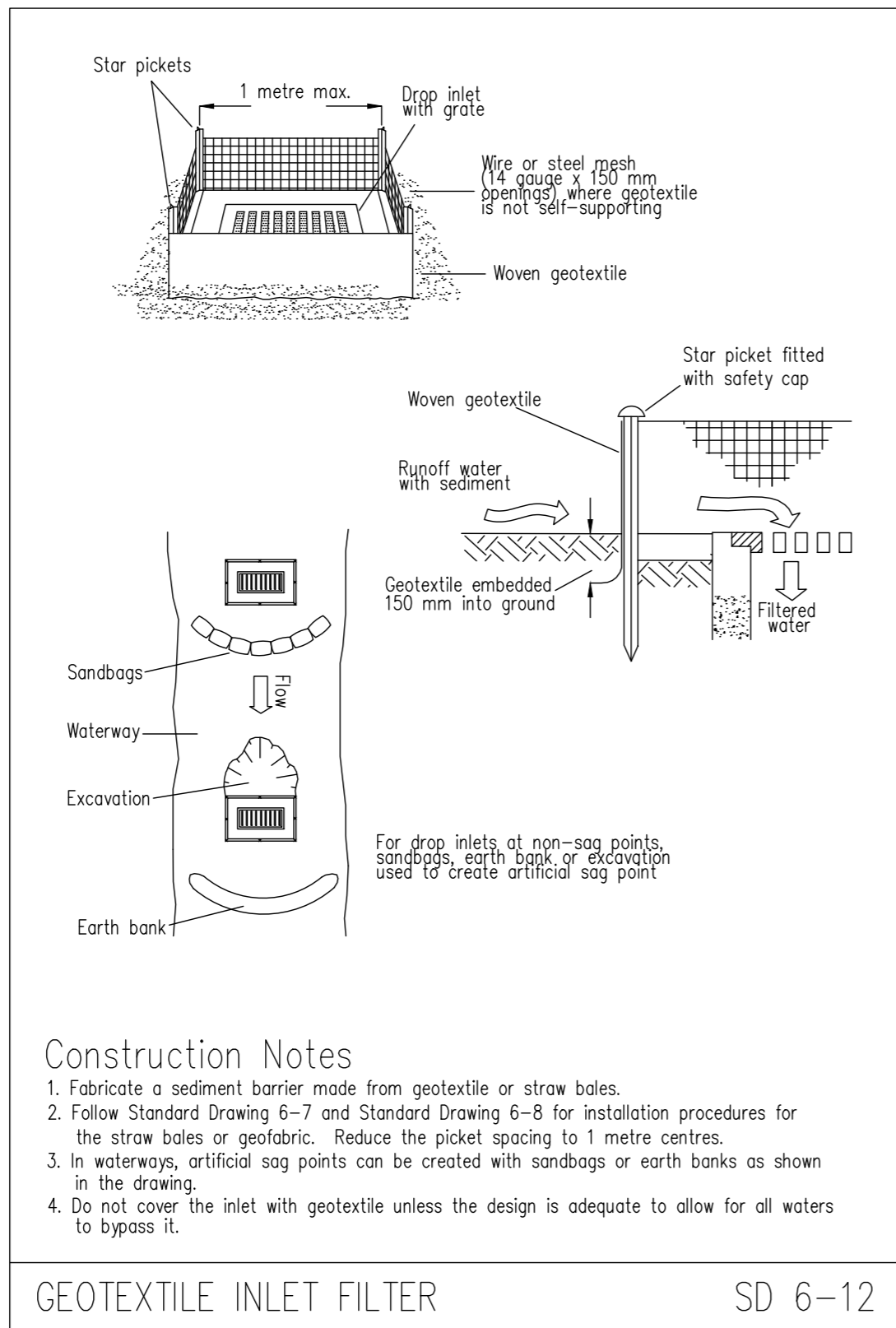
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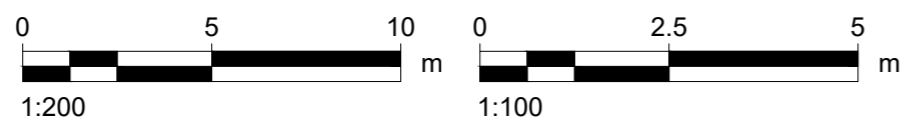
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
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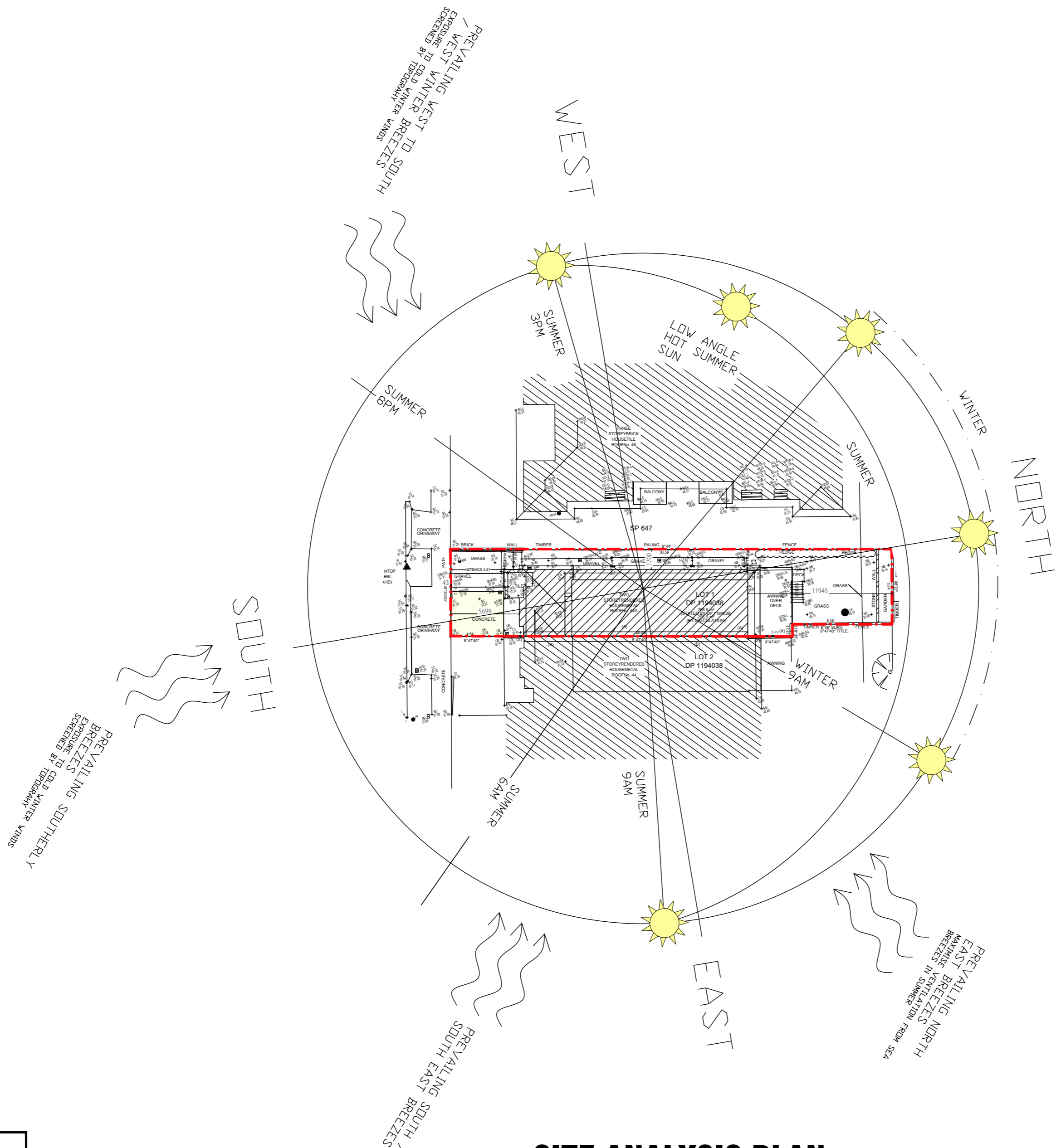
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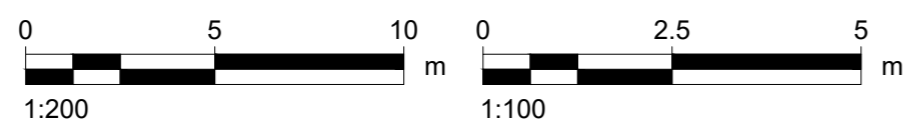
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**SITE ANALYSIS PLAN**

SCALE NTS

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
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**PRELIMINARIES**

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietary products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout  
 Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

**TERMITE PROTECTION**

Termite protection to AS3660.1.  
 Use a physical barrier system installed by licensed installers to manufacturer's specification.  
 Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

**SITE PREPARATION**

Groundworks for slabs and footings to AS2870.  
 Demolition to AS2601.  
 Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

**EXCAVATION**

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

**VAPOUR BARRIERS**

All vapour barriers to AS2870.  
 Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.  
 Provide anti-caps between any brick or stone piers and sub walls and timber bearers.

**SERVICE TRENCHES**

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

**CONCRETE CONSTRUCTION**

Concrete structures generally to AS3600.  
 Ground slabs and footings to AS2870.  
 Ready-mixed concrete to AS1379.  
 All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

**TIMBER AND STEEL CONSTRUCTION**

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
 Structural steelwork to AS4100.  
 Preparation of metal surfaces to AS1627.  
 Flashing and damp-proof courses to AS2904.

**DOORS AND WINDOWS**

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

**LININGS**

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.  
 All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.  
 All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable. Provide recessed edge sheets and finish flush with perforated reinforcing tape. Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

**WATERPROOFING AND WET AREAS**

All waterproofing to AS3740. All liquid and sheet membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

**TLING**

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sills, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points...

**FLOOR COATINGS AND COVERINGS**

Polished concrete slab to be heliocopiered burnish finish to Proprietor's specification.  
 Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m<sup>2</sup> / litre should be observed. Application to manufacturers specification.

**PAINTING**

All painting AS2311 and paint manufacturer's specifications.  
 Clean off marks, paint spots and stains progressively.  
 Touch up damaged paintwork with original paint batch where possible.  
 Refer to finishes schedule for details of painted finishes.

**Steelwork**

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All propriety fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

**Flooring and Decking**

Strip flooring to AS1684.  
 Particleboard sheet flooring to AS1859.1, installed to AS1860.  
 Fibre-cement flooring to AS2908.2.  
 New timber decking to AS2796.  
 Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

**Decking**

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

**Wall framing**

All framing to AS1684.  
 Provide additional noggings etc., where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

**MASONRY CONSTRUCTION**

Masonry generally to AS3700 and masonry units to AS4455.  
 Provide anti-caps between any brick or stone piers sub walls and timber bearers.

**INSULATION AND SARKING**

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.  
 All bulk insulation to AS3742, installed to AS3999.  
 All sarking material to AS4200.1.  
 Fit all batts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent waterproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking at least 50mm clear of ridges.

**ROOFING GUTTERING DOWNPIPES**

new 150mm half-round guttering throughout with matching support brackets as selected  
 new 90mm dia downpipes as shown  
 new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications  
 existing roof tiles to be carefully removed for reuse to front extended roof

**ROOF PLUMBING**

All roof plumbing to AS2179.1 and AS2180.  
 All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

**CABINETRY**

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.  
 Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

**ARCHITECTURAL METALWORK**

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

**PLUMBING DRAINAGE AND GAS INSTALLATIONS**

All plumbing and drainage work strictly in accordance with AS3500.  
 All gas installations to AS5601.  
 Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

**Stormwater and Wastewater**

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

**Rainwater Storage**

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.  
 First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

**Gas**

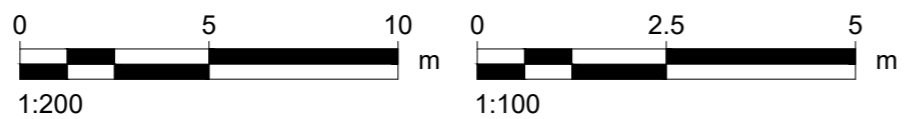
Gas supply to be installed to Local Authority Requirements. On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

**DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS**

All domestic electrical works to AS3018.  
 All mechanical installations to AS1668.  
 All telecommunications installations to AS1501.8.  
 Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.  
 Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.

**GENERAL NOTES**

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- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS




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**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

**LEGEND:**  


**General Notes**

**LEGEND:**  


**SMOKE ALARMS TO  
COMPLY WITH AS 3786**  


**NEW WORKS:**

**NEW TIMBER CARPORT**

**NEW TILTING CARPORT DOOR**

**NEW PRIVACY SCREEN**

**NEW PICKET FENCE**

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<b>ADDITIONS AND ALTERATIONS</b>	<b>Sheet</b>
<b>Date</b> 28/03/2022	<b>N2</b>
<b>Scale</b> AS SHOWN	

**NBC**

**DP No. 1194038**

**LOT No. 1**


**A ISSUED FOR DA 09.06.2022**

No.	Revision/Issue	Date
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 02 87763474

**Project Name and Address**

**SAM BIBER + DEBBIE CUELL**  
**44A GRIFFITH ST**  
**FAIRLIGHT**  
**NSW 2094**

**A2 SHEET**

**Drafting Help Terms and Conditions**

In these terms and conditions (Terms), Drafting Help means Drafting Help ACN: 621 017 007 and You means the person listed in the Quote (being the quote to which this document is attached) as the client of Drafting Help (and Your has a similar meaning).

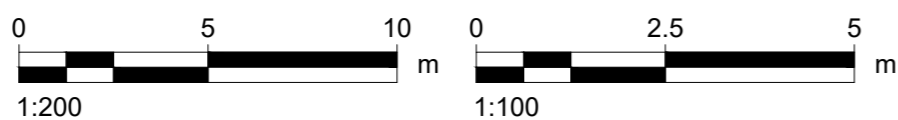
You agree to, and will be bound by, these Terms upon the earlier of Your written or oral confirmation to Drafting Help to commence the Services (being the services specifically set out in the Quote, subject to any exclusions or assumptions in the Quote); and You making any payment to Drafting Help in connection with the Services. You agree that you have been given the opportunity to read and understand these Terms.

- You have engaged Drafting Help to perform the Services and agree to pay Drafting Help the Fee (being the fee set out in, or calculated in accordance with, the Quote and these Terms) in accordance with these Terms. If, at any time, You seek to end or cancel these Terms prior to the completion of the Services, without limiting Drafting Help's rights, Drafting Help may suspend the performance of the Services, and You must pay Drafting Help the balance of the Fee, immediately.
- Subject to these Terms, Drafting Help will perform the Services with due care and skill.
- You will pay the Fee in the manner, and at the times, set out in the Quote. If You do not comply with this paragraph, Drafting Help may immediately suspend the performance of the Services until such time as You have complied with this paragraph.
- You will pay a default interest rate on any overdue payments at the rate of 18% per annum (calculated and compounding daily). This paragraph 4 survives termination of these Terms.
- You will provide Drafting Help with all assistance, documentation, information and instructions requested by Drafting Help to enable Drafting Help to perform the Services (Input). If You do not comply with this paragraph, Drafting Help may itself carry out those activities at Your cost (calculated in accordance with the rates and prices set out in the Quote).
- Drafting Help will not be held responsible for any error, defect, omission, fault, inconsistency, discrepancy or ambiguity in or between the designs or documents prepared by or on behalf of Drafting Help in (or incidental to) the performance of the Services (Deliverables), to the extent caused by Your failure to comply with, or any Input provided by or on behalf of You for the purpose of, paragraph 5. This paragraph 6 survives termination of these Terms.
- If Drafting Help is asked to, or is required to perform:
  - services or activities which are different, or in addition, to the Services, You will pay Drafting Help for those services and activities; and
  - the Services in an order or sequence, or within a period of time, which is different to what Drafting Help had originally planned to perform those Services, You will pay Drafting Help the additional costs it suffers or incurs as a result of complying with the revised order, sequence or timing, in accordance with the rates and prices set out in the Quote (or, where those rates or prices are not applicable, in accordance with reasonable rates and prices determined by Drafting Help).
- You acknowledge and agree that the Fee is subject to change (and may be increased) where any fee, contribution, charge or third party cost increases (or a new fee, contribution, charge or third party cost is introduced) after the date Drafting Help issued the Quote.
- Despite anything to the contrary (to the maximum extent permitted by law):
  - Drafting Help excludes all terms implied by statute, in fact, at law or on any other basis;
  - You acknowledge and agree that Drafting Help and its employees and consultants are not registered architects, engineers or surveyors;
  - You acknowledge and agree that the Services are performed solely for Your benefit, and that no

- third party will be permitted to use or rely upon the Deliverables, and Drafting Help will not be liable or responsible for any use, reliance or adaptation of the Deliverables;
- You acknowledge and agree that the Services and the Deliverables are subject to inherent limitations having regard to the nature and the scope of the Services, and the circumstances in which they have been commissioned and are to be delivered (and, specifically, the Deliverables are not, and are not intended to be, plans or drawings for construction and should not be used or relied upon for this purpose);
- You acknowledge and agree that Drafting Help is not liable or responsible for any work or services carried out or performed by any third party, including in relation to any survey, report, plan or drawing which Drafting Help relied upon, used, adopted or modified (directly or indirectly) in the performance of the Services;
- Drafting Help is entitled to include limitation and disclaimer wording in all of the Deliverables to the foregoing effect;
- in no event will Drafting Help be liable or responsible for any claim (or cost, expense, liability, loss or damage) caused or contributed to by any act or omission of You or any third party;
- in no event will Drafting Help be liable or responsible for economic loss, loss of contract or goodwill, loss of profit or revenue, loss of business opportunity, loss of use, loss of reputation, loss of data, loss of production or production stoppage, financing or holding costs, increased expenses of operation or any indirect or consequential loss; and
- Drafting Help's total liability arising out of or in connection with the Quote, these Terms, the Services and the Deliverables will not exceed the Fee (in aggregate), and these limitations and exclusions will apply whether the claim is based on breach of contract, tort (including negligence), under any warranty, under any indemnity, under statute, in equity or otherwise. This paragraph 9 survives termination of these Terms.
- Drafting Help will retain ownership in all intellectual property rights (including moral rights and copyright) in or arising from the Services and the Deliverables, and You (and any of Your contractors or consultants) must not do anything which may infringe any of those intellectual property rights or the intellectual property rights of third parties (and, if any infringement does arise, You will indemnify Drafting Help for any loss or liability it suffers or incurs as a result). This paragraph 10 survives termination of these Terms.
- If
  - You are in breach of these Terms, and You fail to rectify the breach within 14 days after being notified by Drafting Help; or
  - the Services are not completed by [insert date] as a result or consequence of (directly or indirectly) any event or circumstance which is beyond Drafting Help's reasonable control,
 Drafting Help may (without limiting its rights at law) terminate these Terms and You will be obliged to pay the balance of the Fee to Drafting Help immediately. This paragraph 11 survives termination of these Terms.
- If You have any issue or concern in relation to the Services or Deliverables, You must raise those issues or concerns to Drafting Help in writing within 7 days of first becoming aware of the issue or concern. If You do not comply with this paragraph, to the maximum extent permitted by law, You will have no claim against Drafting Help (and You release and discharge Drafting Help from any such claim). This paragraph 12 survives termination of these Terms.
- No provision of these Terms will be construed adversely to Drafting Help because Drafting Help was responsible for the preparation of these Terms.
- The Quote and these Terms constitute the entire agreement between Drafting Help and You in connection with the Services and the Deliverables, and prevail over and supersede all other communications or documentation entered into or exchanged between the parties.
- These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.

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
# BASIX CERTIFICATE

ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes

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 EXISTING BUILDING OUTLINE

SMOKE ALARMS TO  
COMPLY WITH AS 3786  


**NEW WORKS:**  
**NEW TIMBER CARPORT**  
**NEW TILTING CARPORT DOOR**  
**NEW PRIVACY SCREEN**  
**NEW PICKET FENCE**  
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ADDITIONS AND ALTERATIONS	Sheet
Date 28/03/2022	<b>B1</b>
Scale AS SHOWN	

NBC  
 DP No. **1194038**

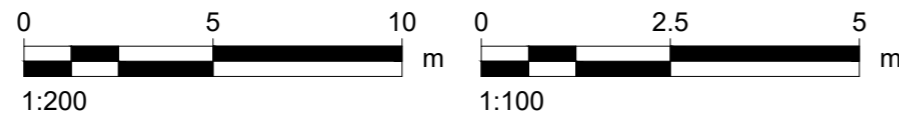
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