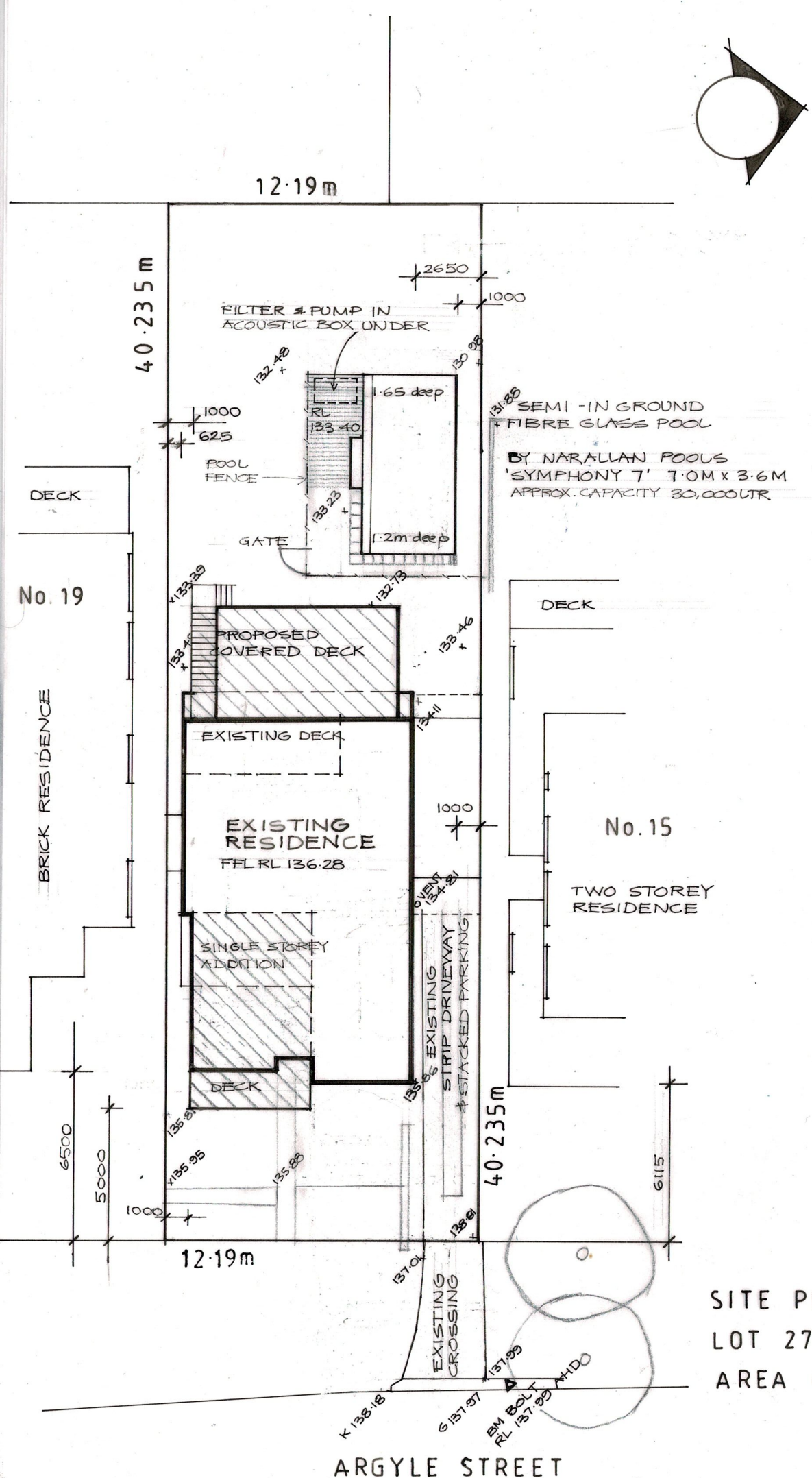




SITE PLAN 1:200
 LOT 279 DP 16327
 AREA 490.5m

NOTES

ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB
 ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT BUILDING CODES AND LOCAL COUNCIL REQUIREMENTS
 ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY
 ROOF WATER AND SUBSOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED
 DOWN PIPE LOCATION TO BE DETERMINED BY THE ROOF PLUMBER
 ELECTRICAL, POWER AND LIGHT OUTLETS TO BE DETERMINED BY THE OWNER
 STRUCTURAL DETAIL AND DESIGN TO BE APPROVED BY A STRUCTURAL ENGINEER
 ANY ADDITIONAL DETAILING SHALL BE RESOLVED BETWEEN THE OWNER AND THE BUILDER
 ALL LEVELS TO AUSTRALIAN HEIGHT DATUM

BASIX NOTES

FLAT CEILINGS TO HAVE MINIMUM R3.0 INSULATION
 ROOF WITH DARK SOLAR ABSORPTANCE TO HAVE FOIL SARKING
 EXTERNAL FRAMED WALLS TO HAVE MIN. R1.3 INSULATION (R1.7 INCLUDING CONSTRUCTION)
 SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR TO HAVE MIN. R0.6 INSULATION, R1.3 INC. CONSTRUCTION

BATHROOM AND SHOWER TAPS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM FLOW 9LTRS PER MINUTE.
 TOILETS TO HAVE MINIMUM 3 STAR RATING, MAXIMUM 4 LTR FLUSH

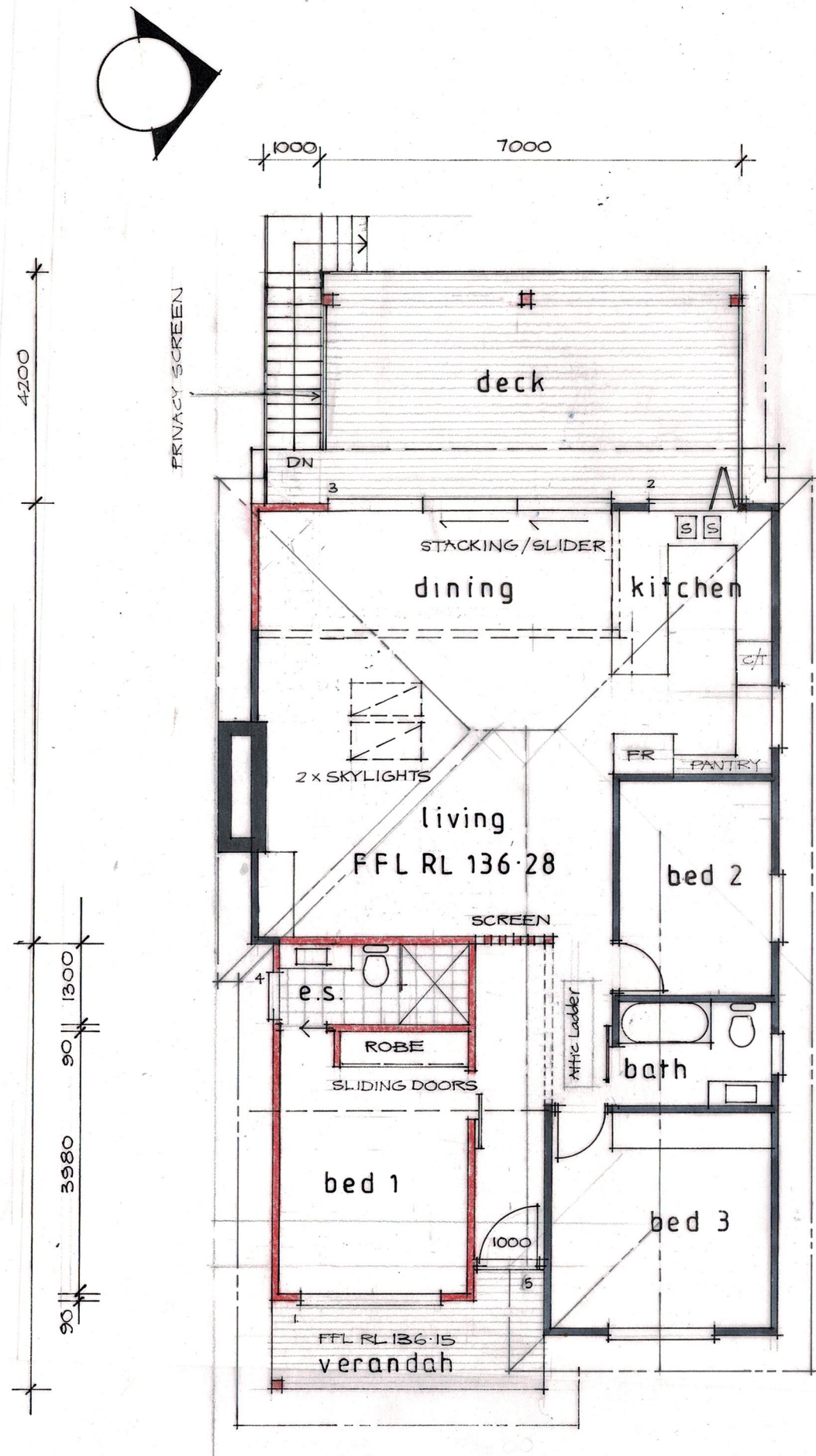
MINIMUM 40% NEW OR ALTERED LIGHT FITTINGS TO BE FLUORESCENT, COMPACT FLURO OR LED LAMPS.

WINDOWS 1-7 AND 4 SKYLIGHTS IN ACCORDANCE WITH BASIX CERTIFICATE A344623

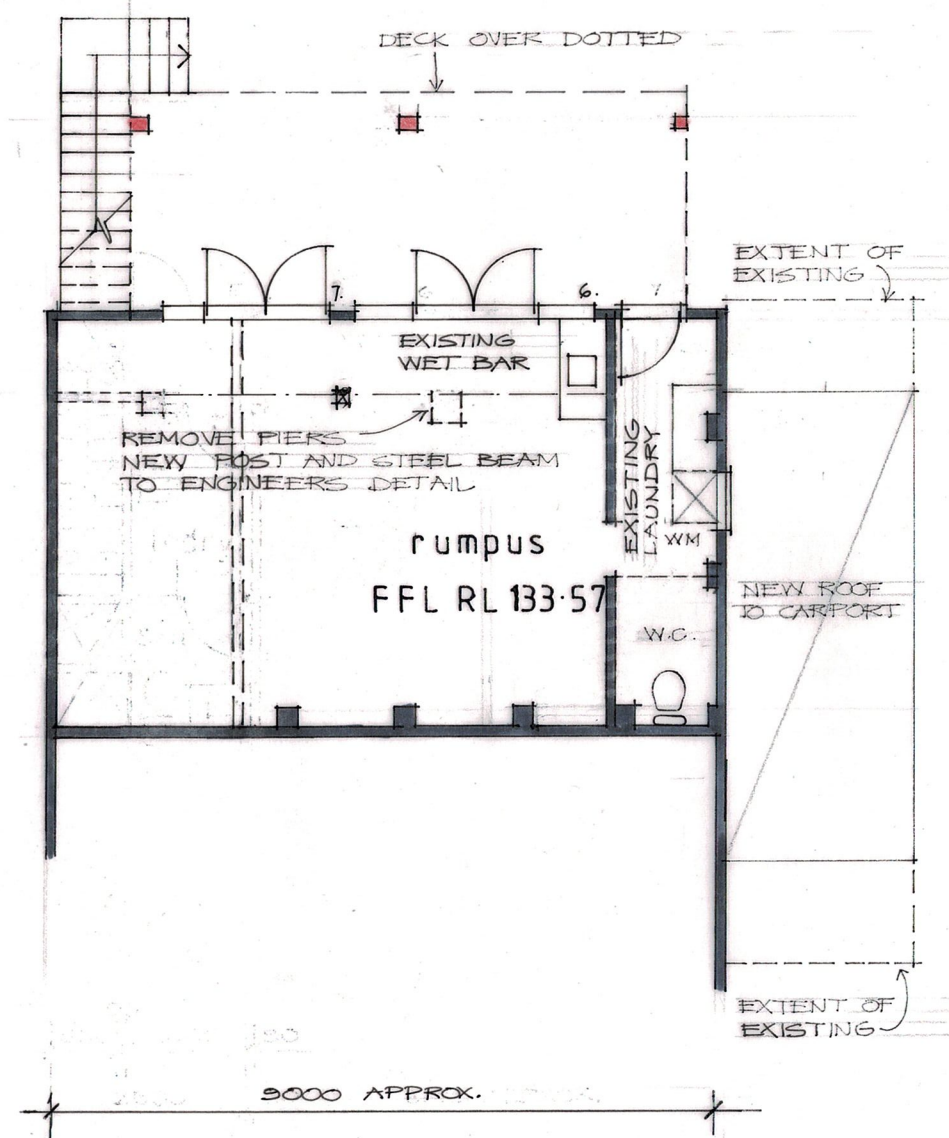
27.9.19

25.9.19 SINGLE STOREY C.
 28.8.19 DOUBLE CARPORT DELETED B.
 6.8.19 POOL DETAILS A.
 22.7.19 ISSUE FOR DA.

PROPOSED ALTERATIONS AND ADDITIONS
BIRD RESIDENCE 17 ARGYLE STREET BILGOLA PLATEAU
 JULY 2019 DWG 0719 - 1/4 SHIMDESIGN design and drafting 0400 898 744

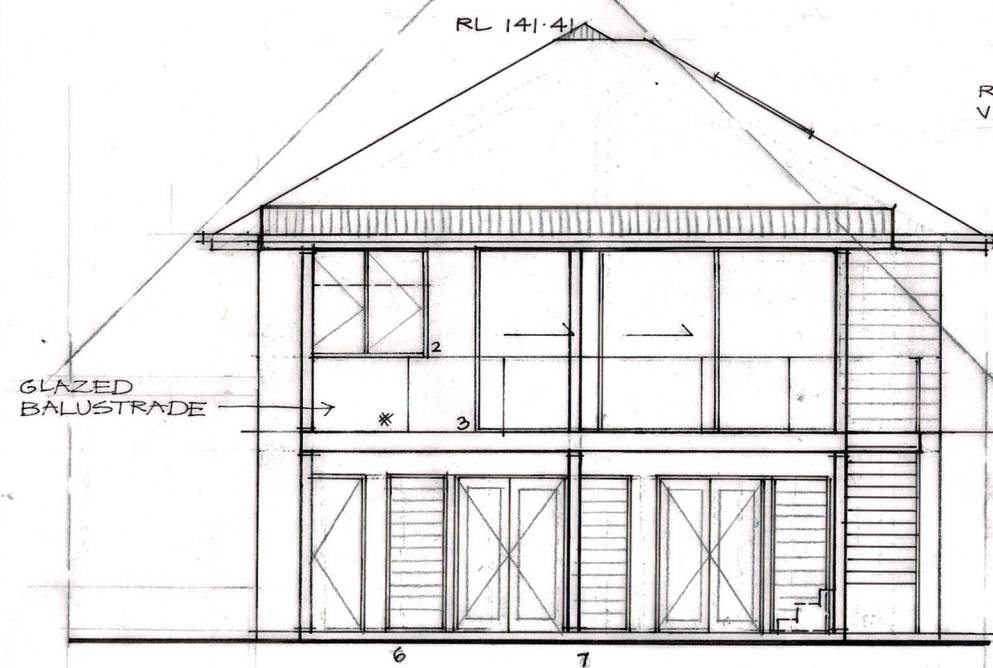


FLOOR PLAN 1:100



LOWER FLOOR PLAN

C. SINGLE STOREY 25.9.19



WEST ELEVATION

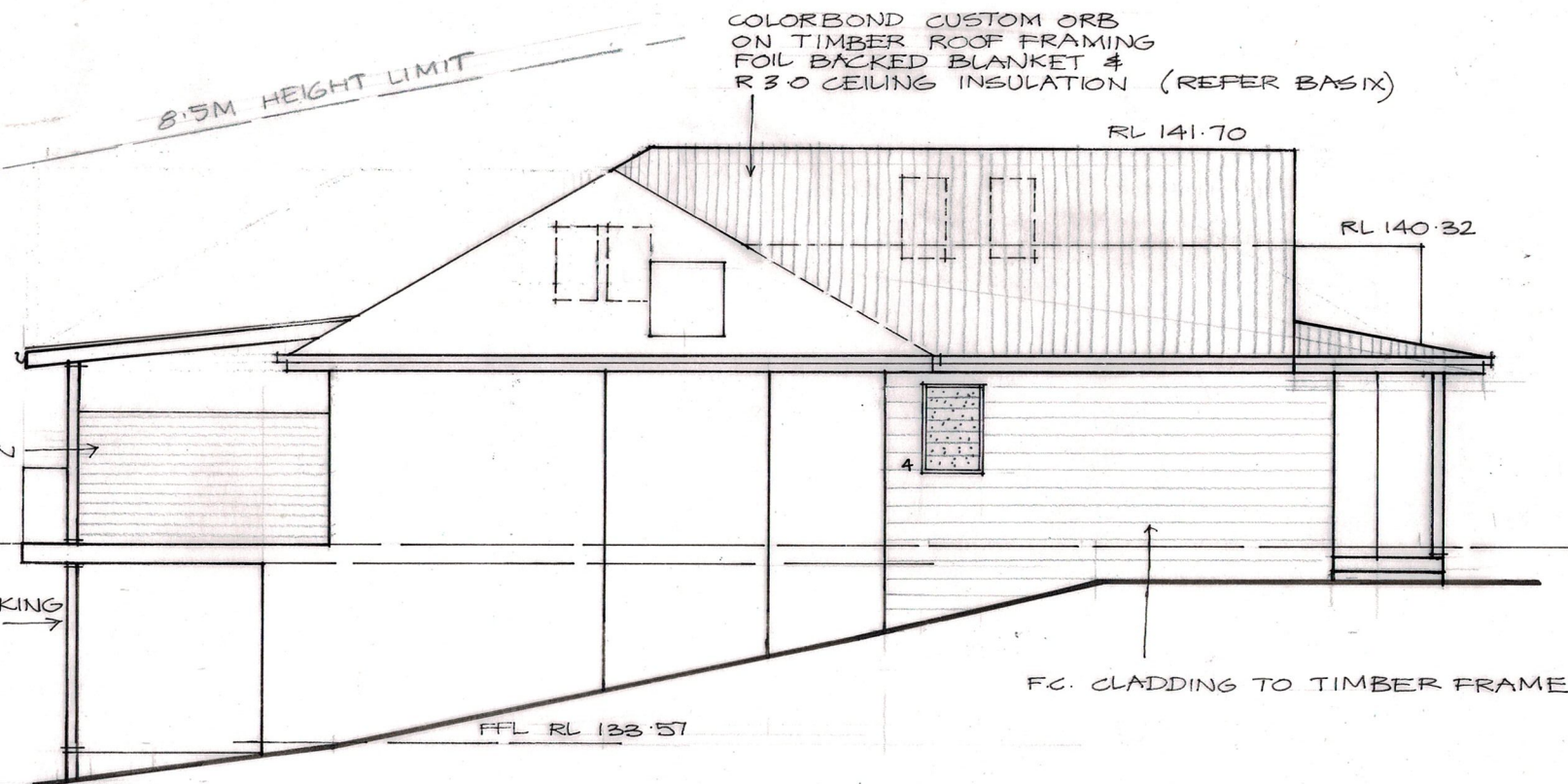
RAKED EAVE WITH
V-JOINT LINING

TIMBER BATTEN
PRIVACY SCREEN
TO 1.8M

HARDWOOD DECKING
AND POSTS

PFL 136.28

RL 141.41



SOUTH ELEVATION

COLORBOND CUSTOM ORB
ON TIMBER ROOF FRAMING
FOIL BACKED BLANKET &
R 3.0 CEILING INSULATION (REFER BASIX)

RL 141.70

RL 140.32

PFL RL 133.57

FG. CLADDING TO TIMBER FRAME

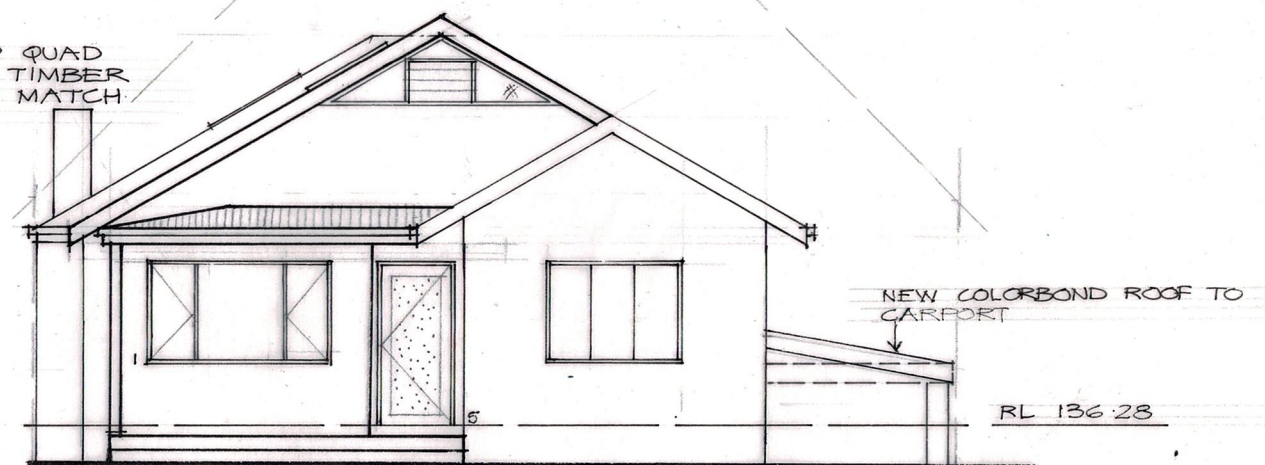
8.5M HEIGHT LIMIT

COLORBOND CUSTOM ORB
R 3.0 CEILING INSULATION

RL 141.70

8.5M HEIGHT LIMIT

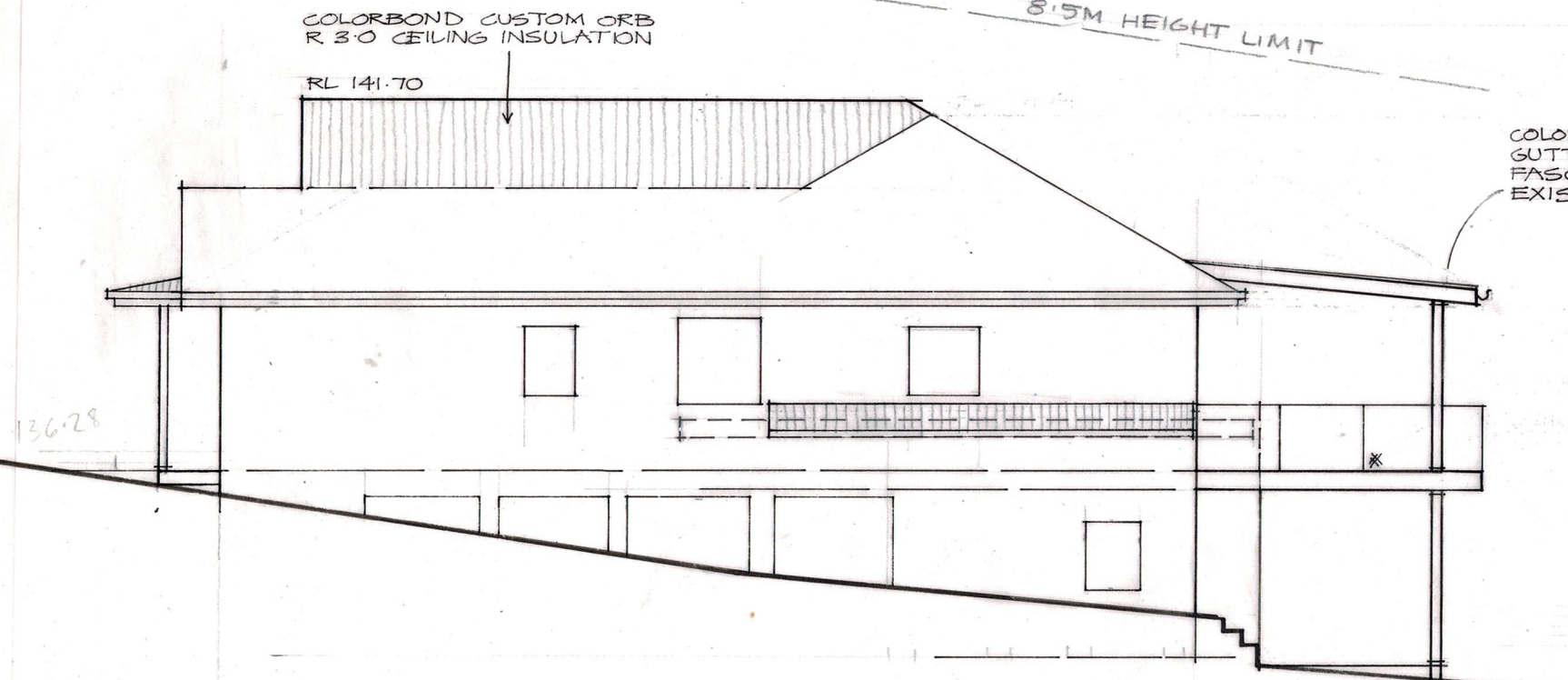
COLORBOND QUAD
GUTTER & TIMBER
FASCIA TO MATCH
EXISTING



EAST ELEVATION

NEW COLORBOND ROOF TO
CARPORT

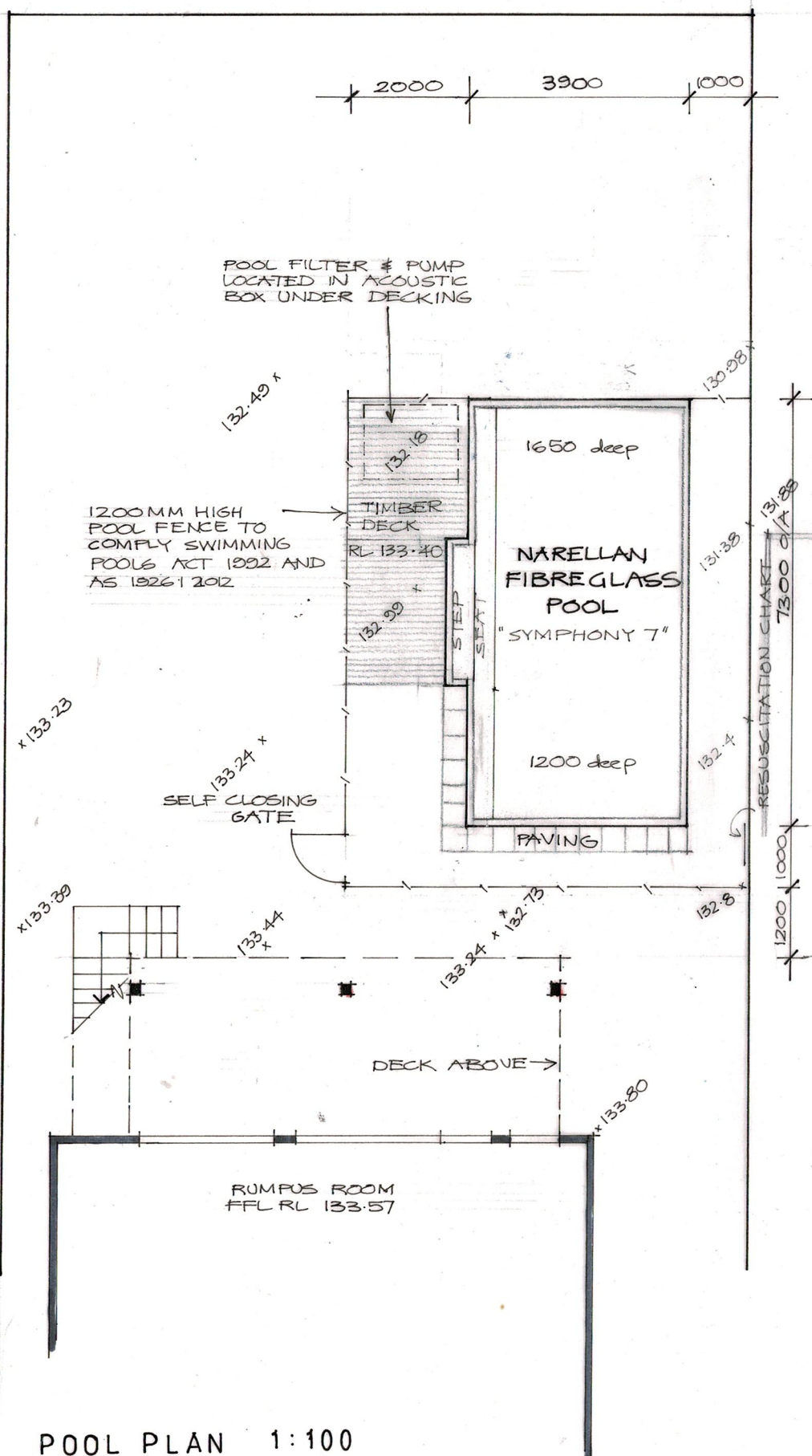
RL 136.28



NORTH ELEVATION

25.9.19 SINGLE STOREY

PROPOSED ALTERATIONS AND ADDITIONS
BIRD RESIDENCE 17 ARGYLE STREET BILGOLA PLATEAU
JULY 2019 DWG 0719 - 3/4 SHIMDESIGN design and drafting 0400 898 744



No. 15

[illegible]

SOUTH ELEVATION

EAST

Hand-drawn elevation sketch of a building facade. The sketch shows a structure with a sloped roof and a vertical section. Dimensions are marked: 1000, 3900 o/a, and 2000 along the top; 1000 along the right side. Labels include 'TIMBER DECKING', 'TIMBER FRAME', 'FILTER', and 'BATTEN SCREEN'. A note on the left reads 'RL 133.40'.

REAR

Hand-drawn architectural elevation drawing of the North Elevation of a building. The drawing shows a deck at RL 136.28 and a coping at RL 133.40. The ground profile is shown with elevations ranging from 130.25 to 133.24. The drawing includes dimensions for horizontal distances (2200, 7300) and vertical heights (1200). The ground is labeled "CUT APPROX 500MM" and "FILL MAX. 700MM". The word "NORTH ELEVATION" is written at the bottom left, and "REAR" is written at the top right.

NORTH ELEVATION

25.9.19 DECKING REDUCED

PROPOSED SWIMMING POOL
17 ARGYLE STREET BILGOLA PLATEAU
JULY 2019 SHIMDESIGN design & drafting:0400 898 744

17 ARGYLE STREET BILGOLA PLATEAU
JULY 2019 SHIMDESIGN design & drafting:0400 898 744

JULY 2019 SHIMDESIGN design & drafting: 0400 898 744

DWG 4/4