

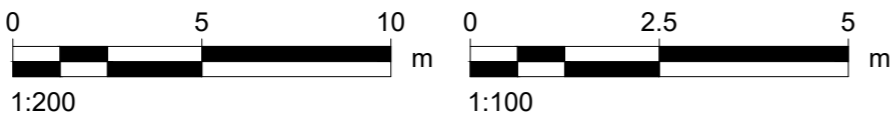
# DEVELOPMENT PROPOSAL

ADDRESS: 42 BEACON HILL RD, BROOKVALE, NSW. 2100  
WORK: ADDITIONS & ALTERNATIONS TO EXISTING DWELLING.  
PROPOSED WORKS: 1ST STOREY ADDTION  
DP:1035344 LOT: 1.  
BUILDING CLASS 1A.



**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DPs TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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NOTE: IMAGES ARE FOR VISUALISATION PURPOSES ONLY. REFER TO DRAWINGS FOR ACTUAL DETAILS.

**BASIX** Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Alterations and Additions

Certificate number: A392837\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Secretary  
Date of issue: Thursday, 04, February 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	42 Beacon Hill rd Brookvale_02
Street address	42 Beacon Hill Road Brookvale 2100
Local Government Area	Northern Beaches Council
Plan type and number	Deposited Plan 1035344
Lot number	1
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)

Name / Company Name: tim woods

ABN (if applicable): N/A

## LOCATION

42 BEACON HILL RD,  
BROOKVALE RD  
NSW 2100



ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 25/09/20	<b>CV</b>
Scale NTS	
NTS	

DP No. 1035344

LOT No. 1

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

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Project Name and Address  
**SIMON DUCKWORTH**  
**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**

G1	THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCY SHALL BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
G2	ALL DIMENSIONS RELATIVE TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE GIVEN BY THE BUILDING SURVEYOR. DIMENSIONING SHALL BE COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
G3	DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION. ALL WORKSMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
G4	ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
G5	FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRACTICES WHEN SHOWN ON THE DETAILS OR NOT.
G6	THIS DRAWING TO BE READ IN CONJUNCTION WITH HIS GENERAL HOUSING SPECIFICATION.
G7	

F1.	UNDERFLOOR SHALL BE IN ACCORDANCE WITH AS 2870.
F2.	TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
F3.	THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
F4.	REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
F5.	STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
F6.	PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
F7.	ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION (WEEP HOLES) SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN  
C2. ACCORDANCE WITH AS 3740.  
ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS  
TO BE WATER  
PROOFED TO AS 3740.

J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.

J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.

R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.

R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.

R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



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proudly supporting

**bear cottage**

an integral part of the **children's hospital** at Westminster

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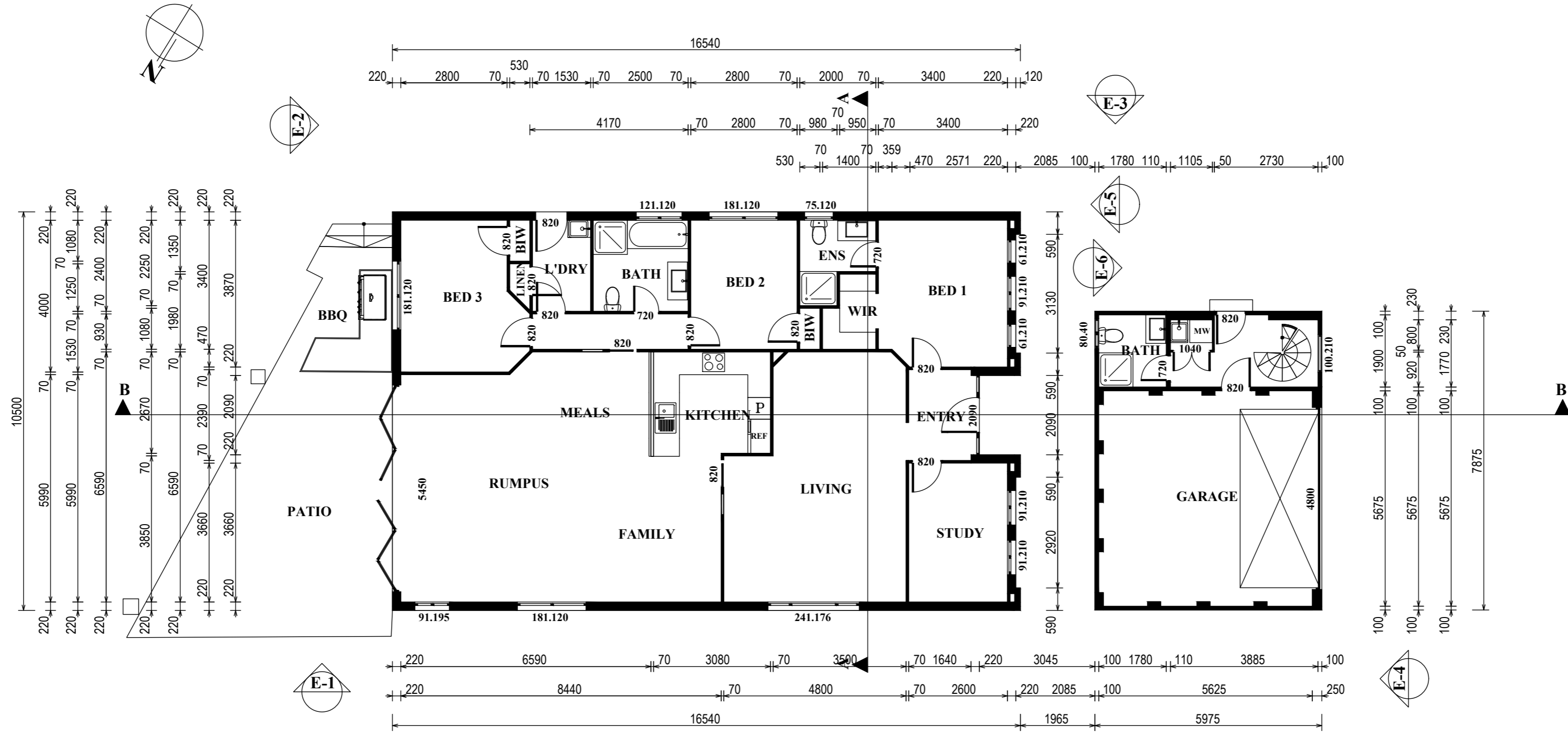
<b>Project</b> <b>ADDITIONS AND</b> <b>ALTERATIONS</b> <b>Date</b> 23/09/20 <b>Scale</b> 1/200		<b>Sheet</b>  <div style="font-size: 48pt; font-weight: bold; text-align: center;">SP</div>
<b>DP No.</b> <b>1035344</b>		
<b>LOT No.</b> <b>1</b>		
<b>A</b>	<b>ISSUED FOR DA</b>	<b>XXXX</b>
<b>No.</b>	<b>Revision/Issue</b>	<b>Date</b>

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**Project Name and Address**

**SIMON DUCKWORTH**  
**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**

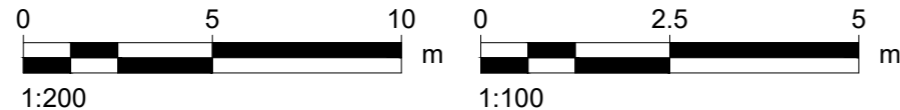
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1 GROUND FLOORPLAN – EXISTING  
Scale 1:100

**GENERAL NOTES**

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LEGEND:  
 EXISTING BUILDING OUTLINE  
 PROPOSED WORK

General Notes



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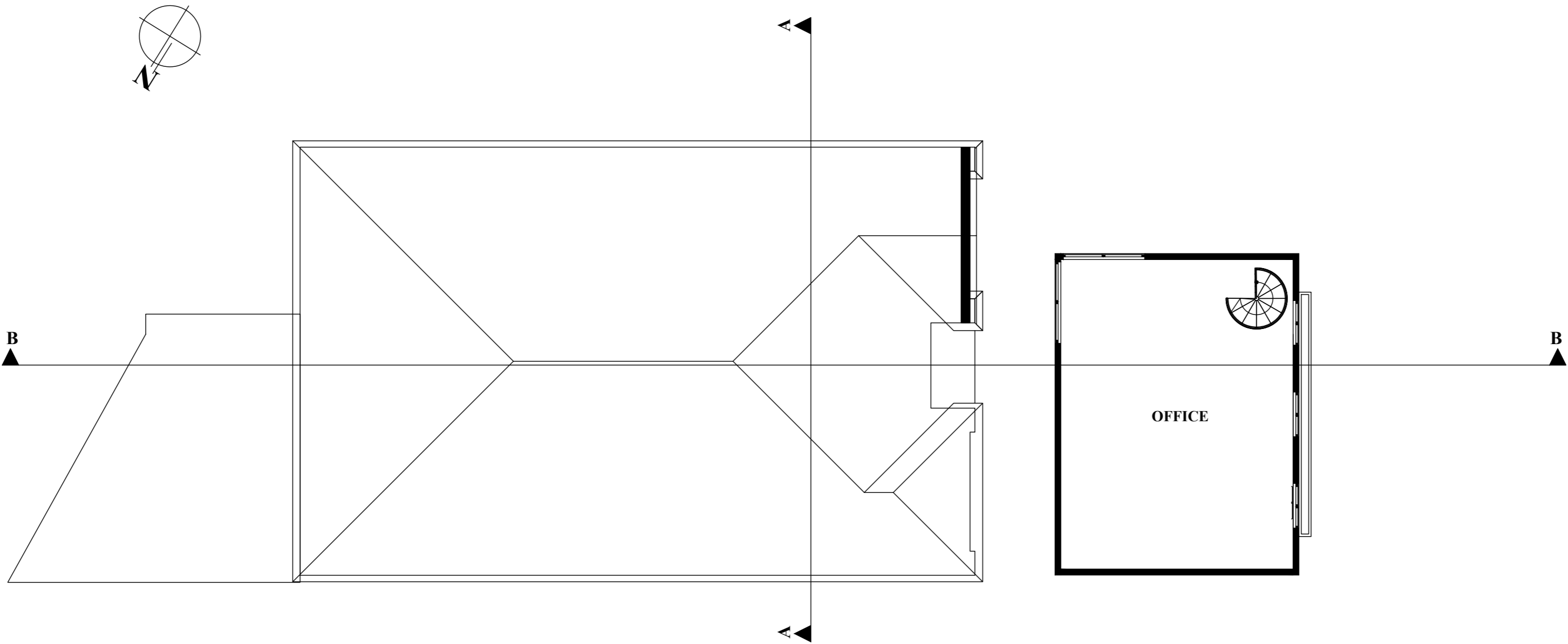
Project ADDITIONS AND ALTERATIONS	Sheet <b>1</b>
Date 23/09/20	
Scale 1:100	

DP No. **1035344**

LOT No. <b>1</b>		
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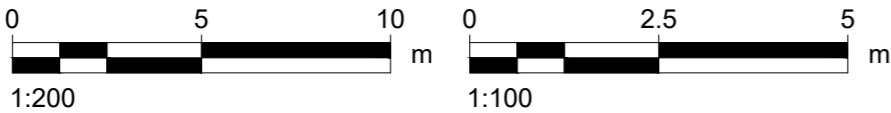
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42 BEACON HILL RD  
BROOKVALE  
NSW 2100**



**1** 1ST FLOORPLAN – EXISTING  
Scale 1:100

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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

in support of

the children's hospital at manero

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Project AUDITONS AND ALTERATIONS

Date

Scale

23/09/20

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Sheet

2

DP No.

1035344

LOT No.

1

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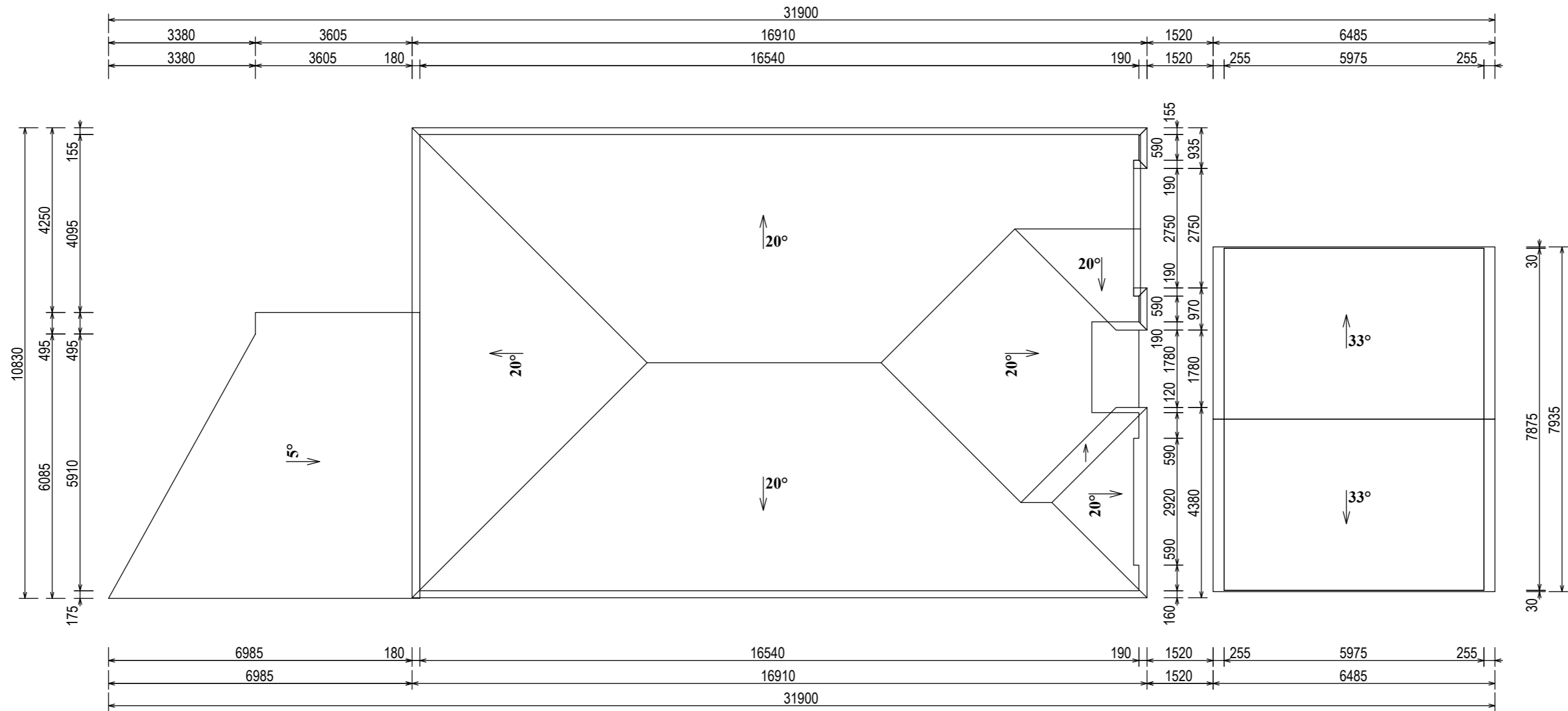
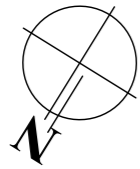
Project Name and Address

SIMON DUCKWORTH

42 BEACON HILL RD

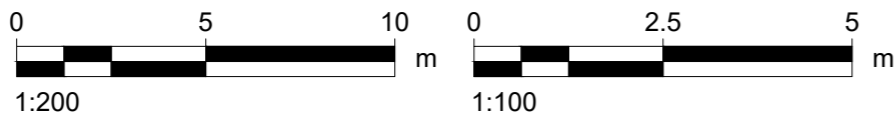
BROOKVALE

NSW 2100



1 ROOF PLAN – EXISTING  
Scale 1:100

- GENERAL NOTES**
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COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

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Project  
ADDITIONS AND ALTERATIONS

Date  
23/09/20

Scale  
1:100

Sheet  
**3**

DP No.  
**1035344**

LOT No.  
**1**

<b>A</b>	<b>ISSUED FOR DA</b>	<b>XXXX</b>
No.	Revision/Issue	Date

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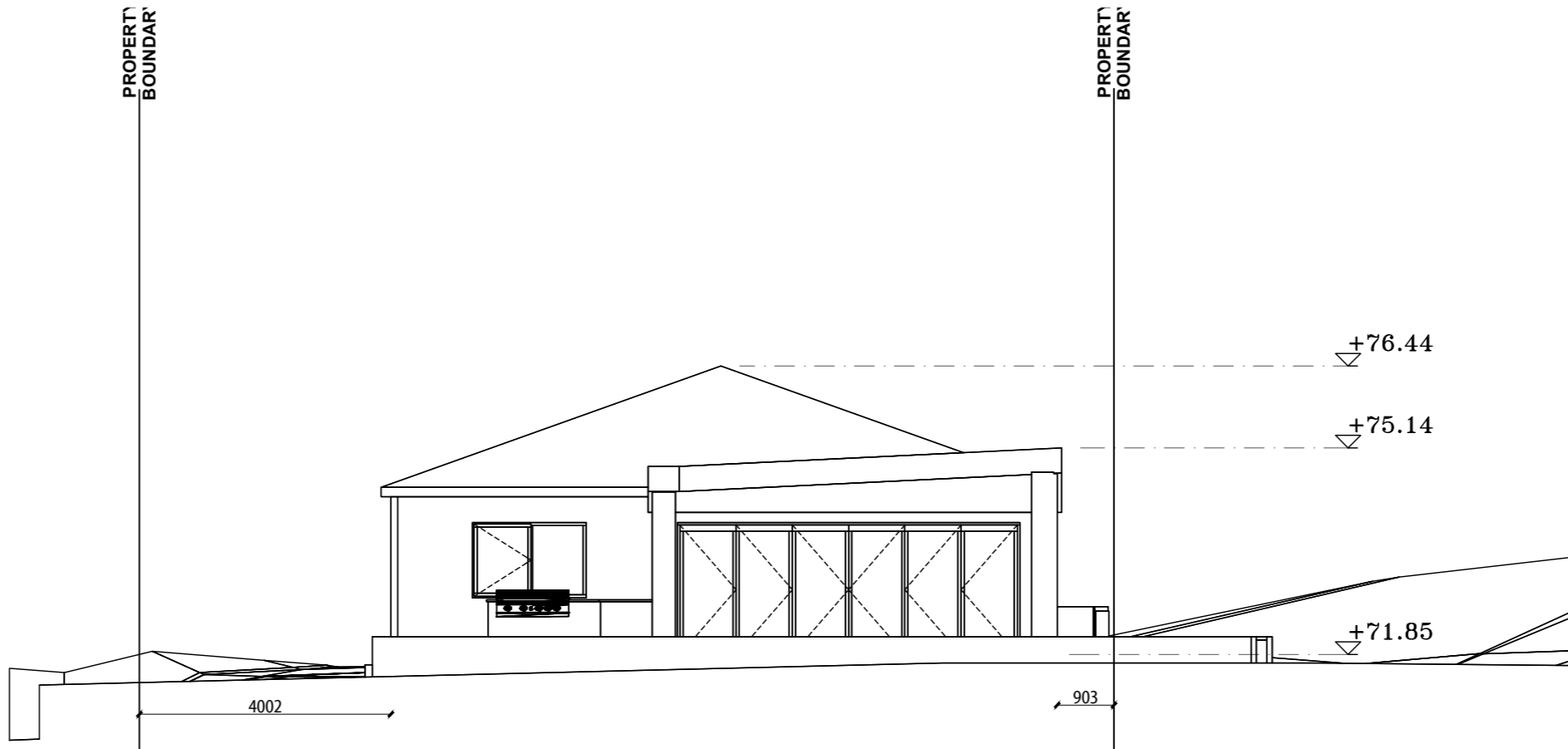
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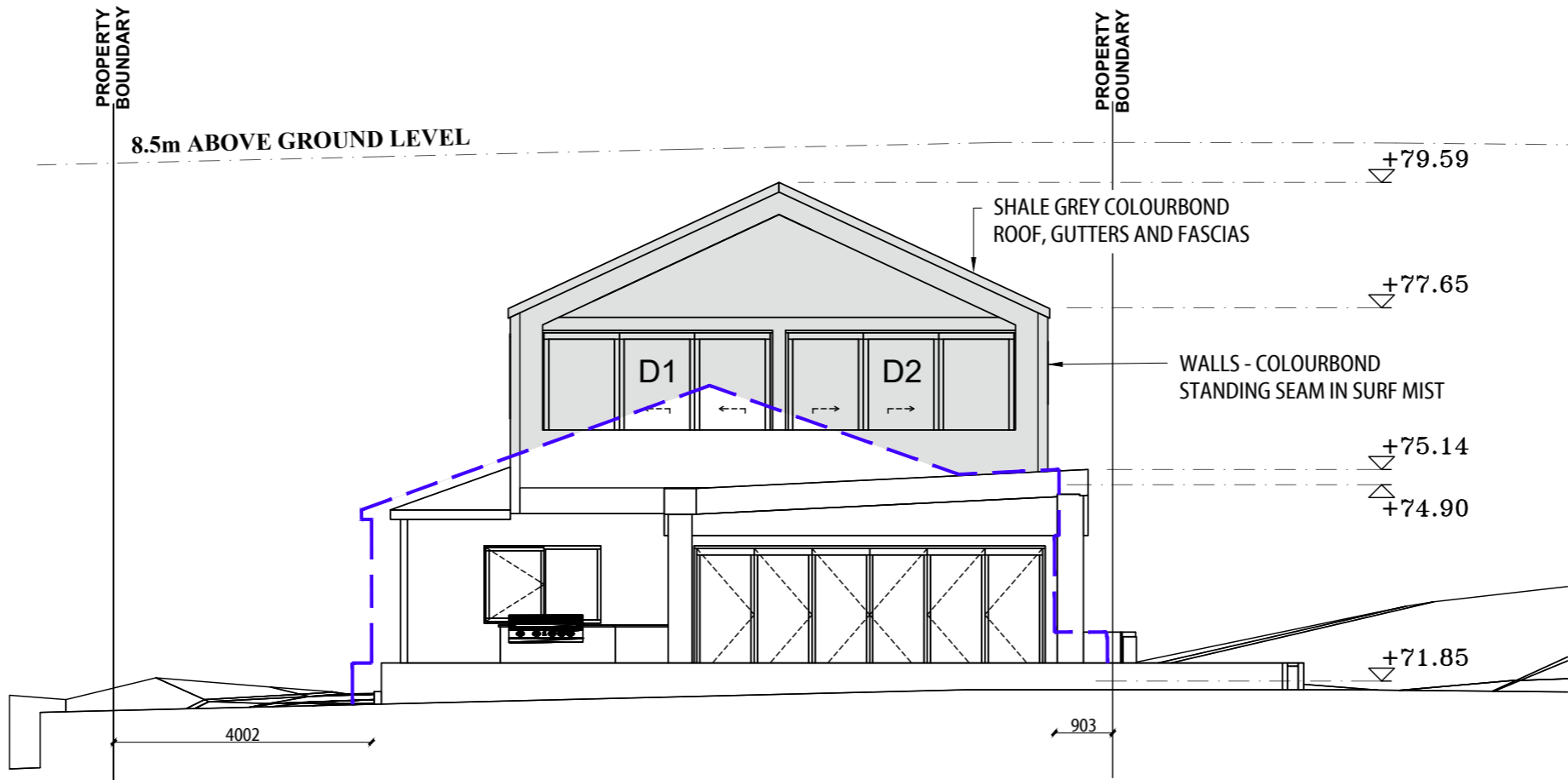
Project Name and Address

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**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**





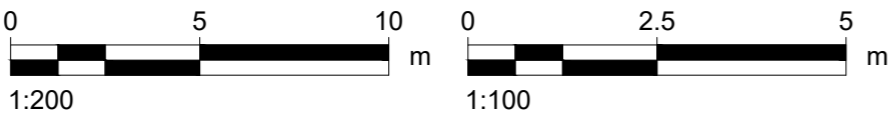
1 EAST ELEVATION – EXISTING  
Scale 1:100



1 EAST ELEVATION – PROPOSED  
Scale 1:100

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- LEGEND:
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  - PROPOSED WORK

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Project AUDITS AND ALTERATIONS	Sheet
Date 23/09/20	5
Scale 1:100	

DP No. 1035344

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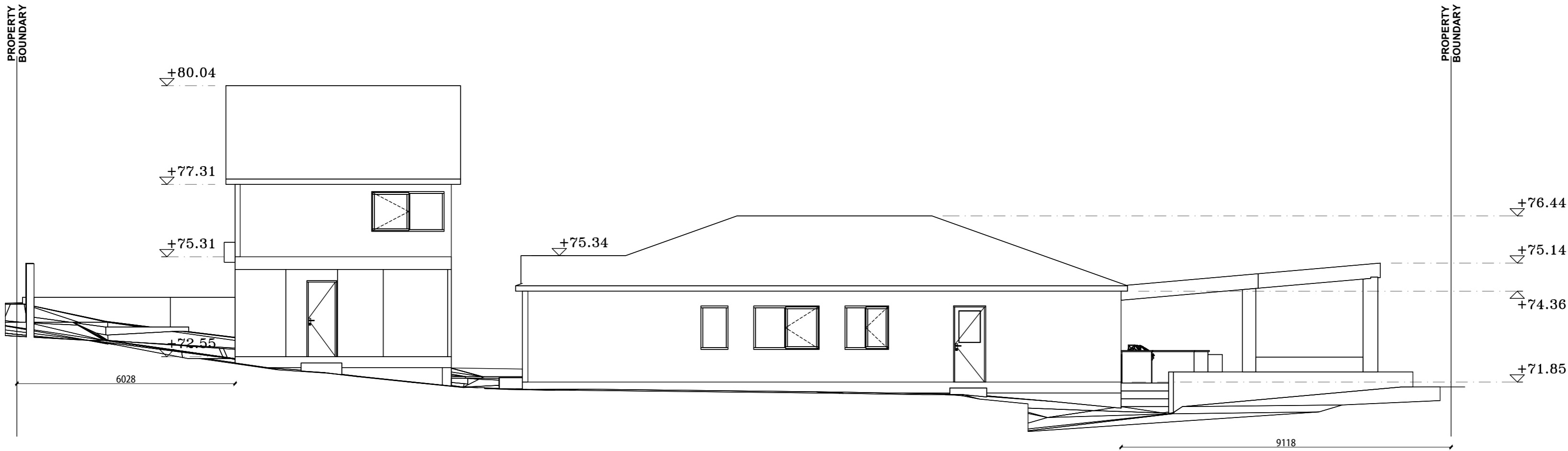
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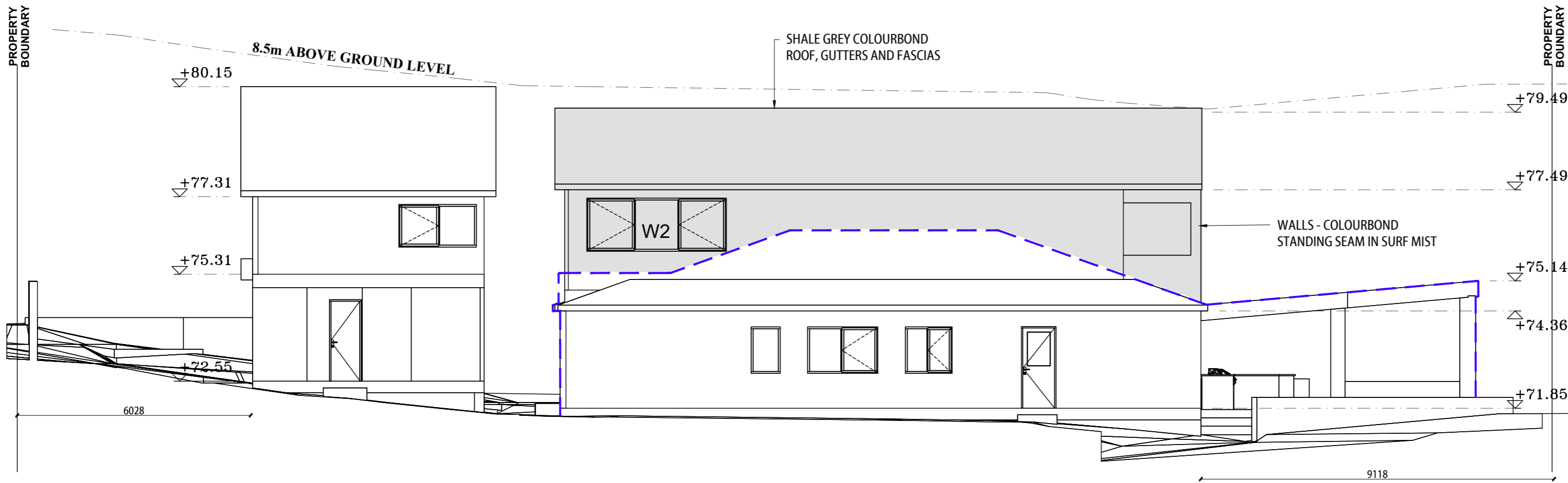
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USER

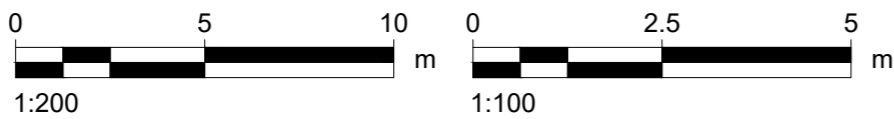


1 SOUTH ELEVATION — EXISTING  
Scale 1:100



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 23/09/20	6
Scale 1:100	

DP No. 1035344

LOT No. 1

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No.	Revision/Issue	Date

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Project Name and Address  
**SIMON DUCKWORTH**  
**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**

NOTES:

PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

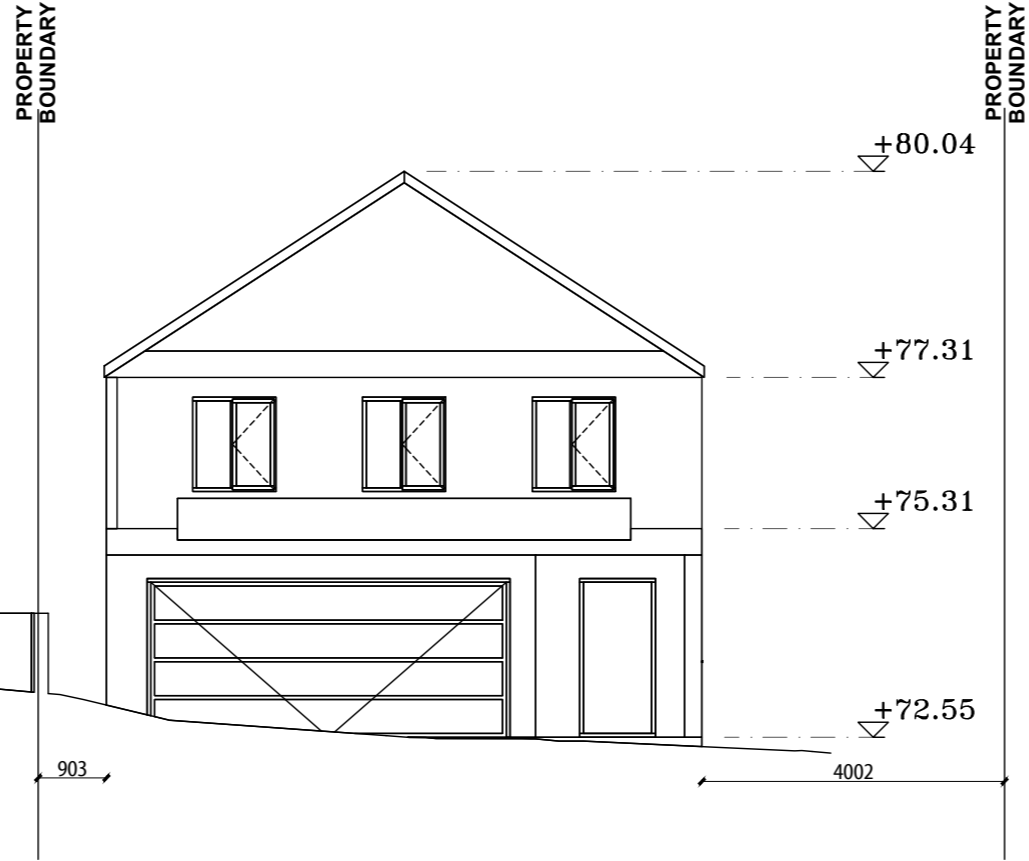
CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.

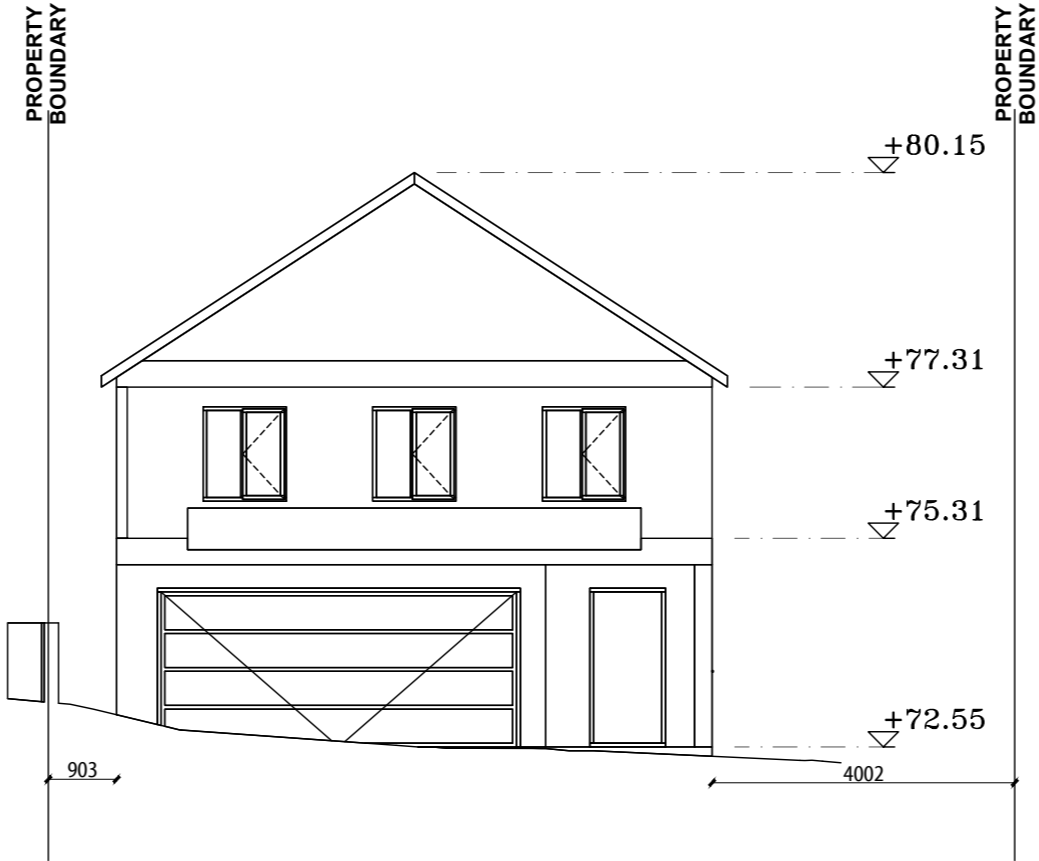
Ground slabs and footings to AS2870.

Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.



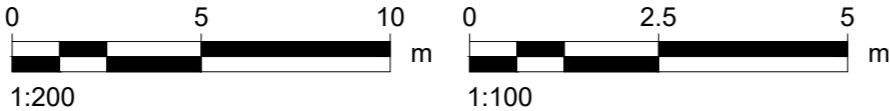
1 WEST ELEVATION – EXISTING  
Scale 1:100



1 WEST ELEVATION – PROPOSED – NO CHANGE  
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT D.P'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUP:PORTING SUPPLEMENTS RELEVANT TOT HE APPLCABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER,

ARCHITECTURAL DRAFTING  
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ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

General Notes



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Scale 1:100	

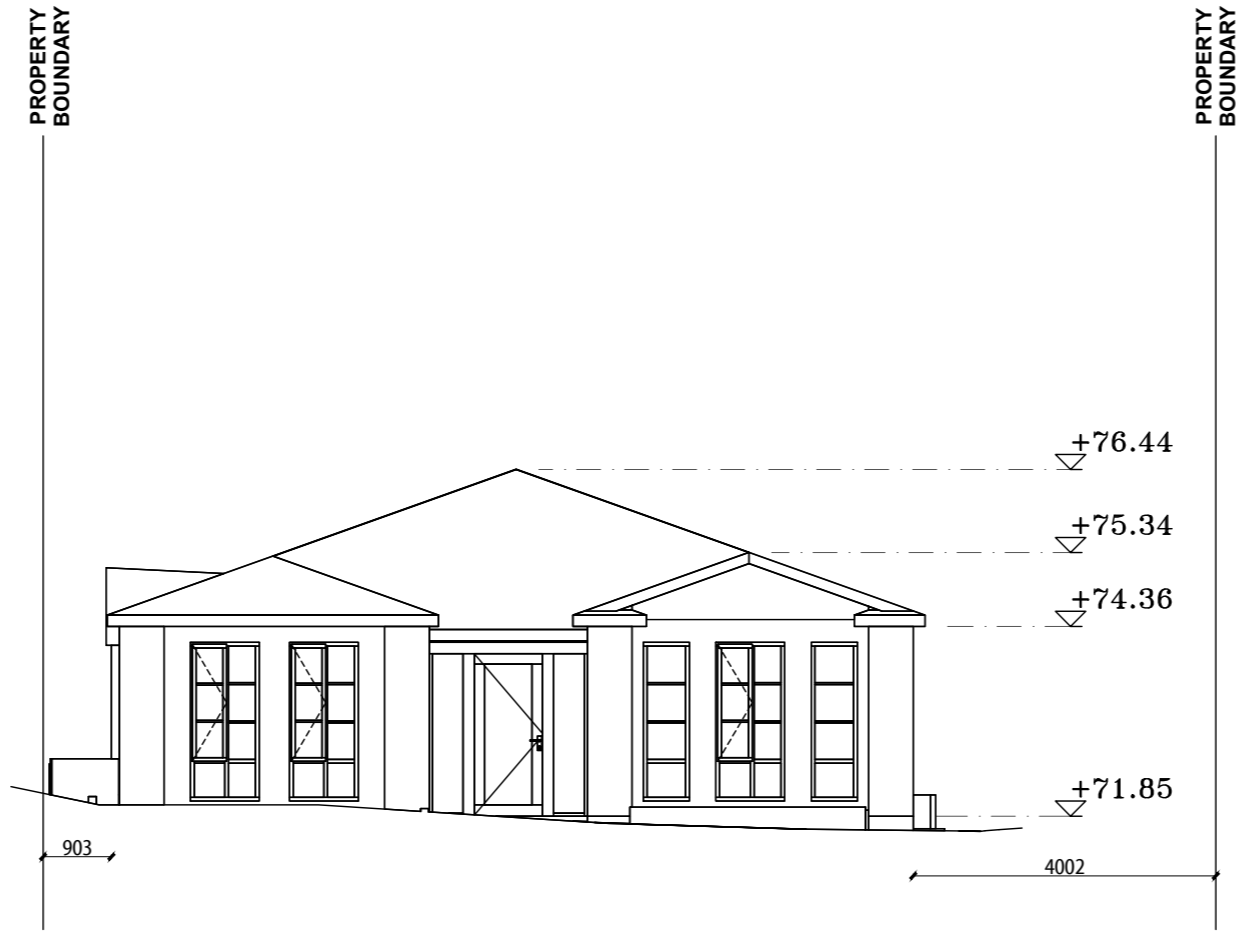
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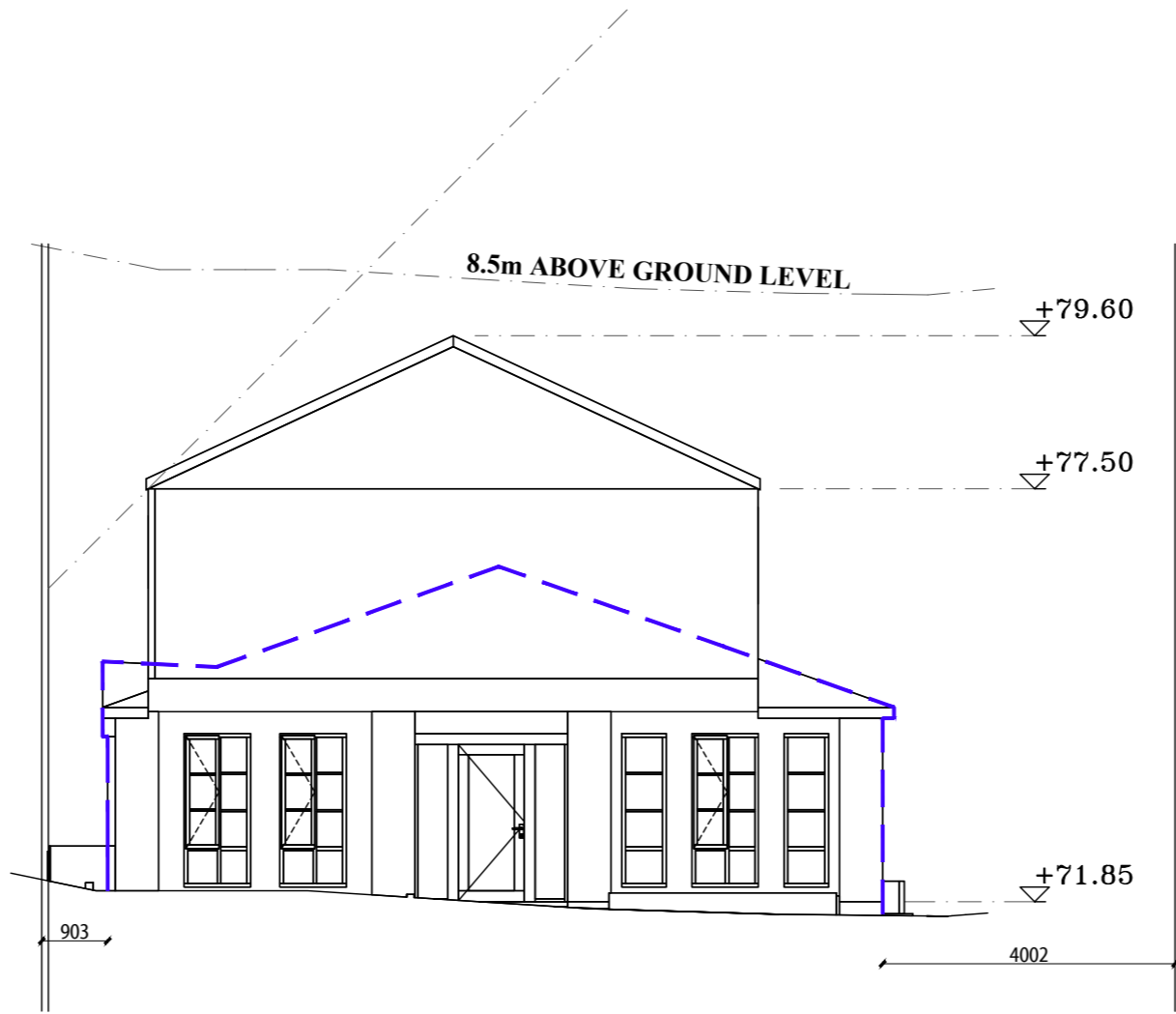
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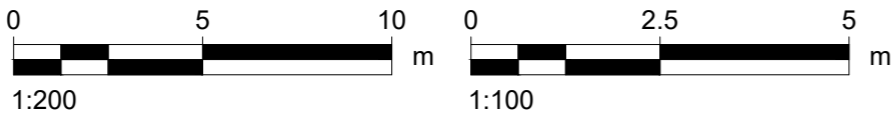
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1 WEST ELEVATION – PROPOSED  
Scale 1:100

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COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

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NOTES:

TIMBER AND STEEL CONSTRUCTION

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
Structural steelwork to AS4100.  
Preparation of metal surfaces to AS1627.  
Flashing and damp-proof courses to AS2904.

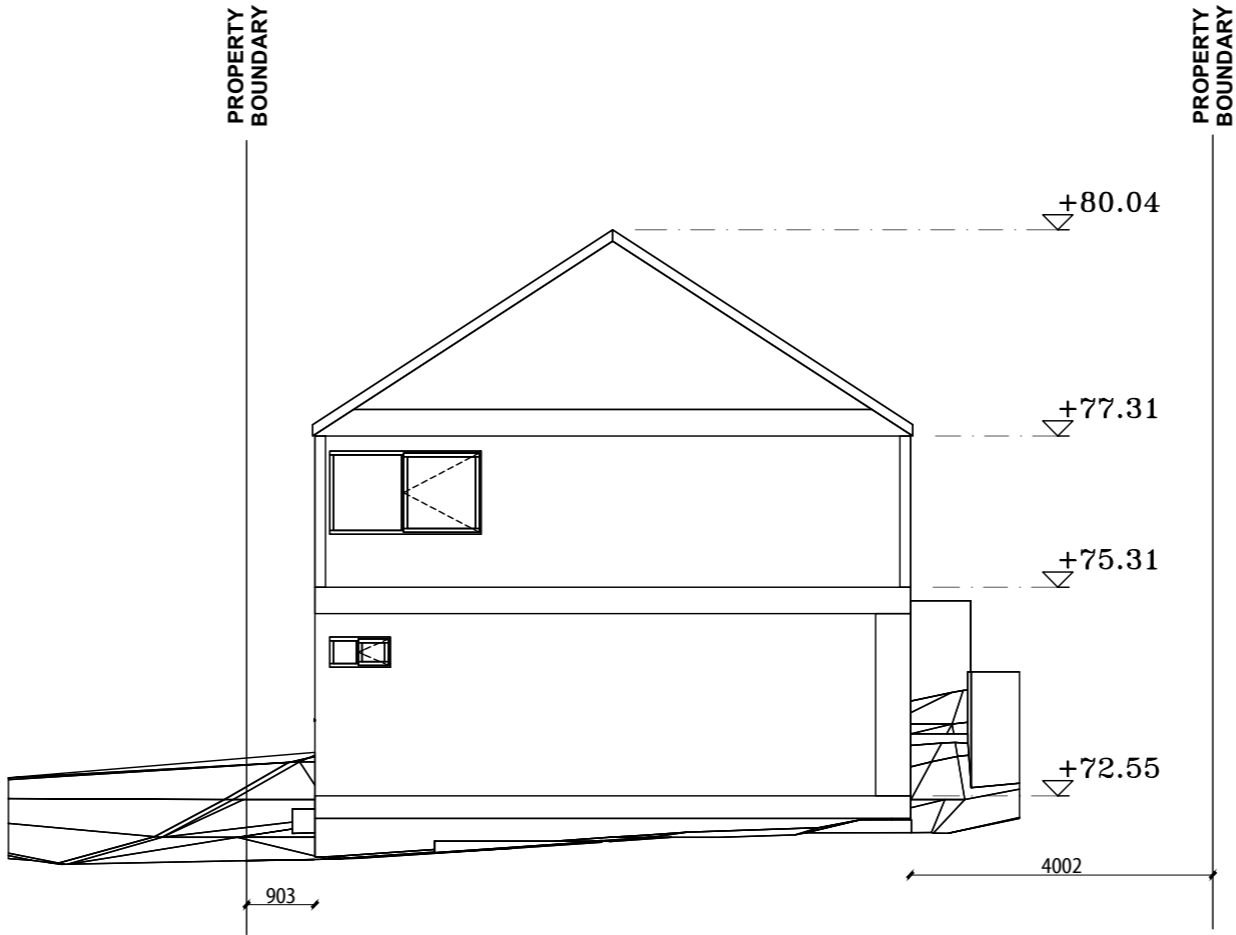
TERMITE PROTECTION

Termite protection to AS3660.1.  
Use a physical barrier system installed by licensed installers to manufacturer's specification.  
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

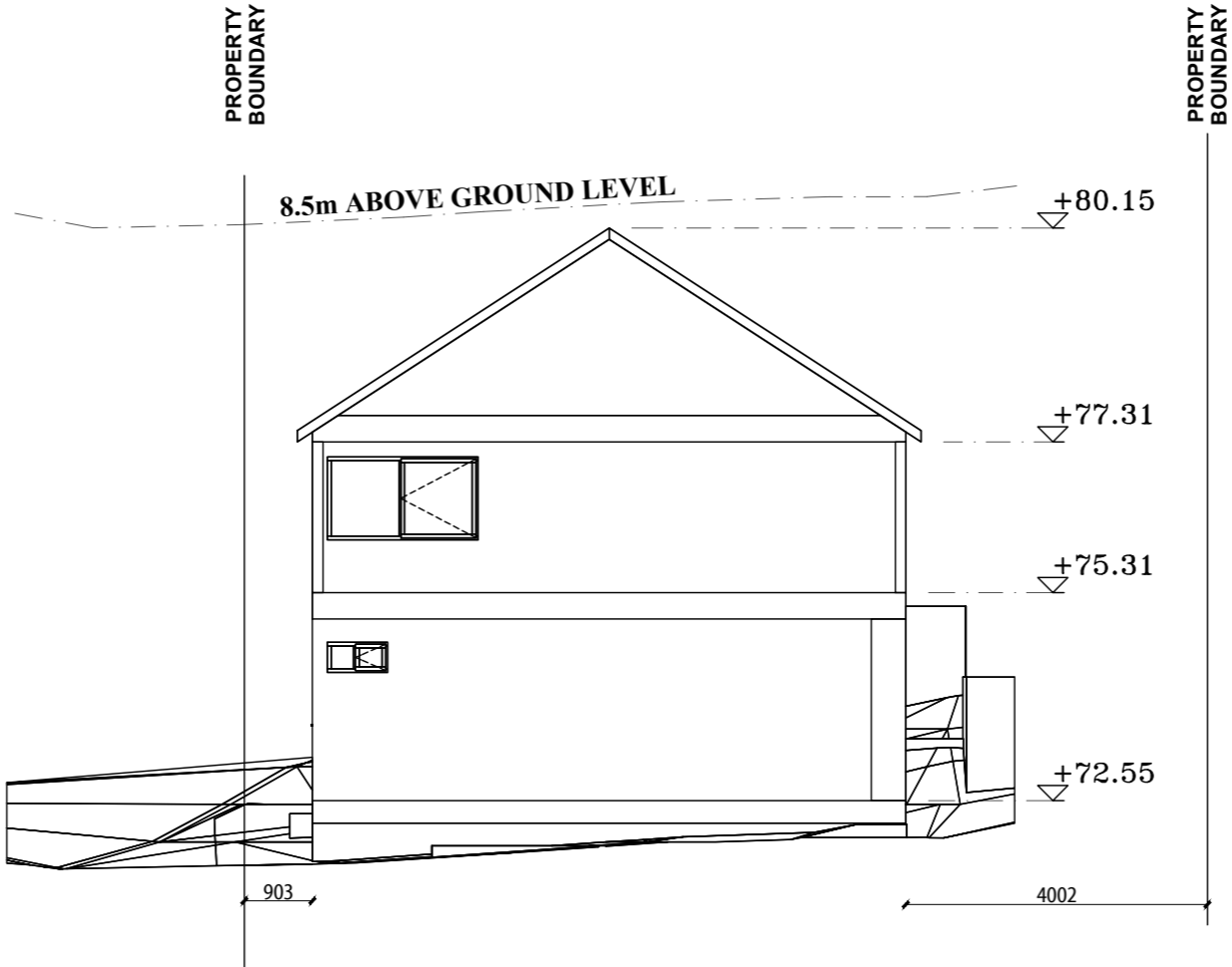
Decking

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.  
New timber decking to AS2796.

- GUTTERS AND DOWNPIPES TO TO COMPLY WITH PART 3.5.2 OF THE BCA.  
GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.
- SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA AND COMPLY WITH AS 3786.
- ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH AS/NZS5033 AND AS3000.
- FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED, RECOMMENDED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.
- SANITARY PLUMBING AND DRAINAGE: SHALL BE UNDERTAKEN IN ACCORDANCE WITH LOCAL PCA AND REQUIREMENTS OF REGULATORY AUTHORITY. TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSON.



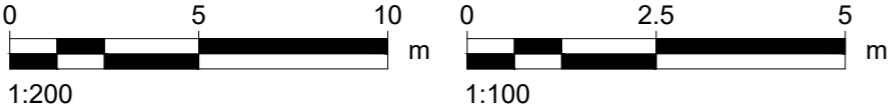
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LEGEND:  
EXISTING BUILDING OUTLINE  
PROPOSED WORK

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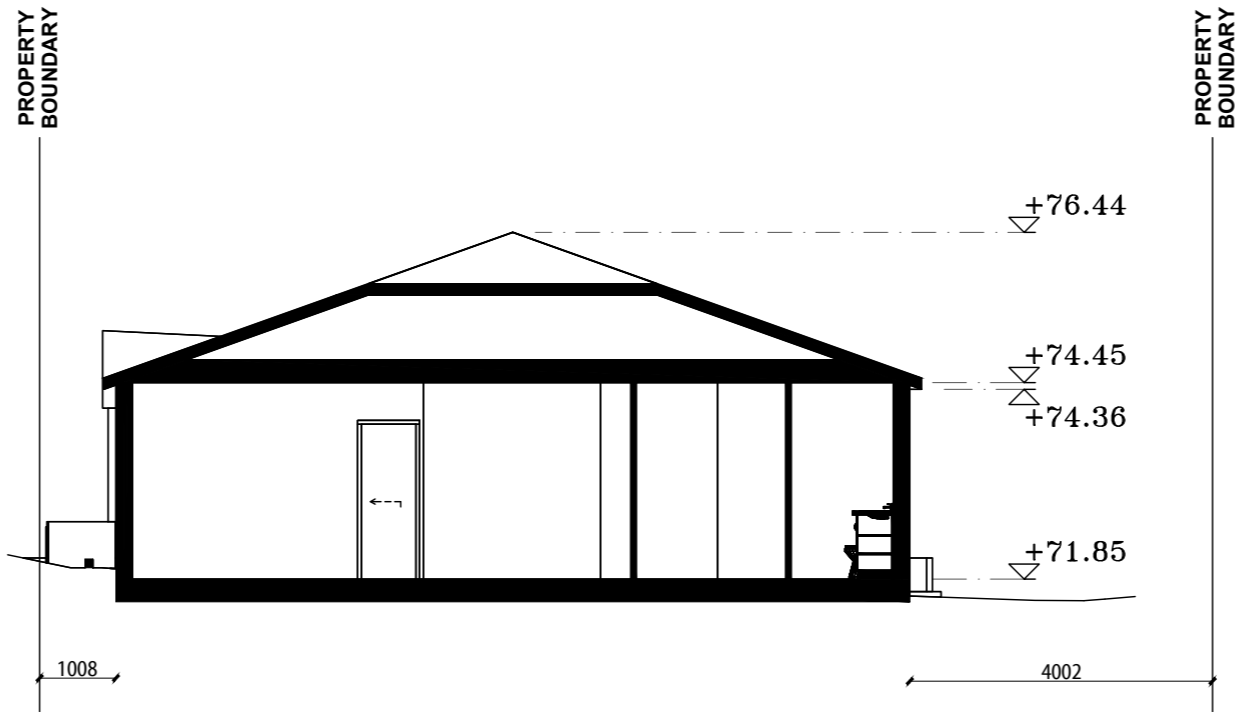
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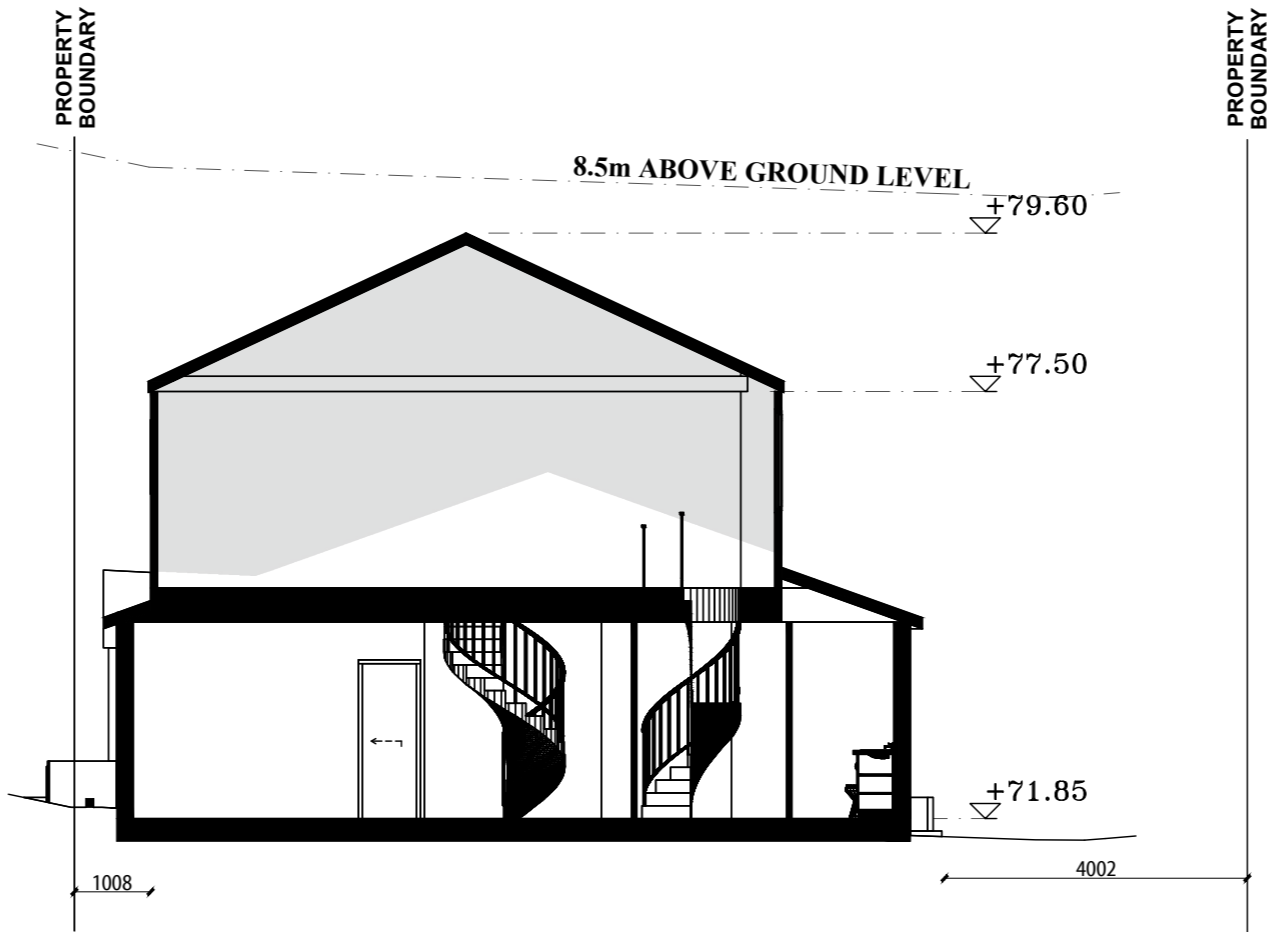
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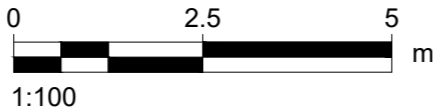
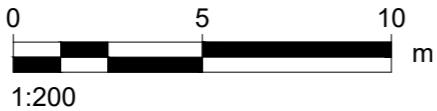
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1 SECTION – PROPOSED  
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#### ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION ASSISTANCE COUNCIL COMPLIANT PLANS

LEGEND:  
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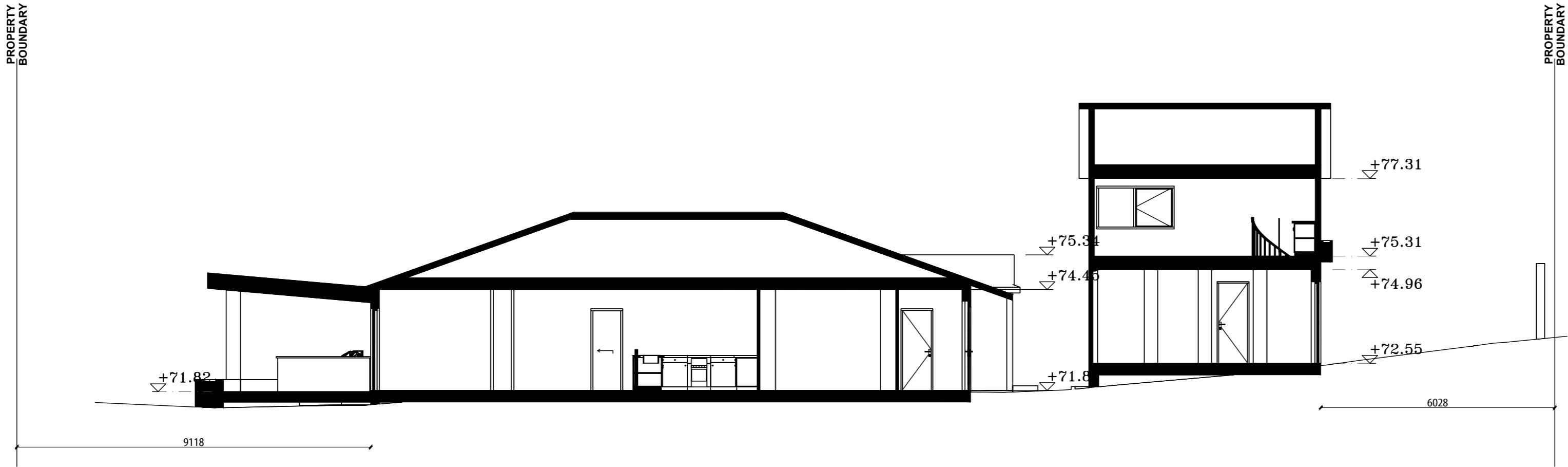
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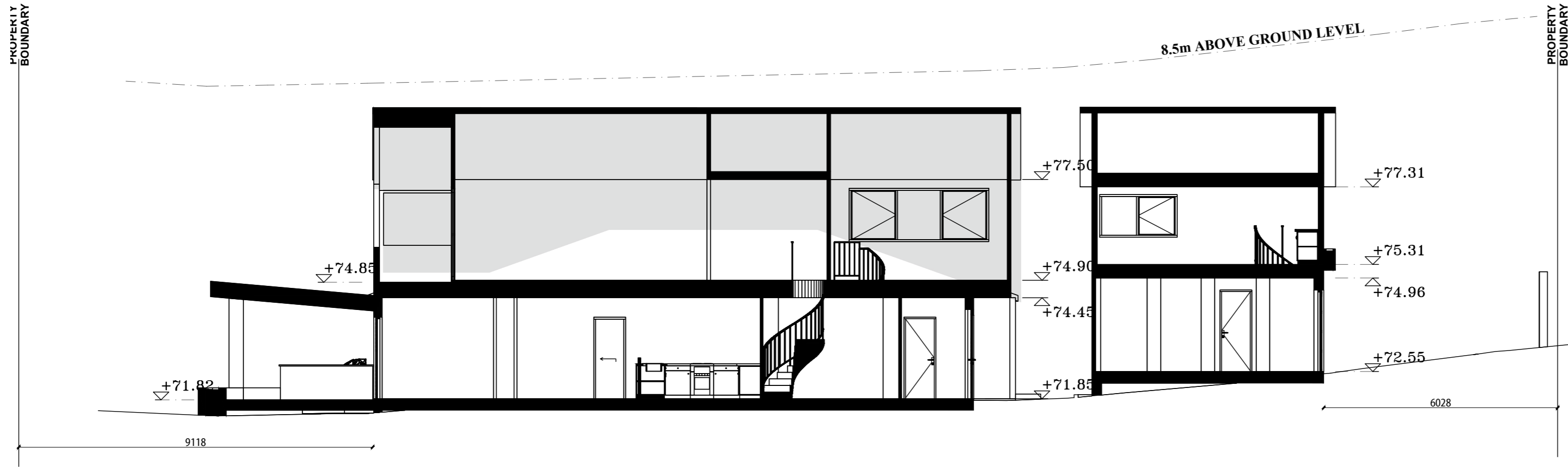
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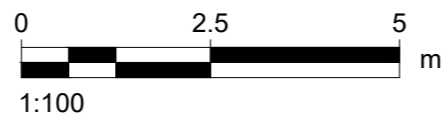
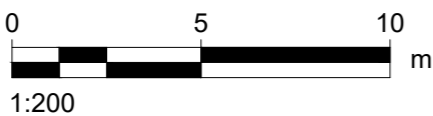
1 SECTION – EXISTING  
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1 SECTION – PROPOSED  
Scale 1:100

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Project ADDITIONS AND ALTERATIONS	Sheet
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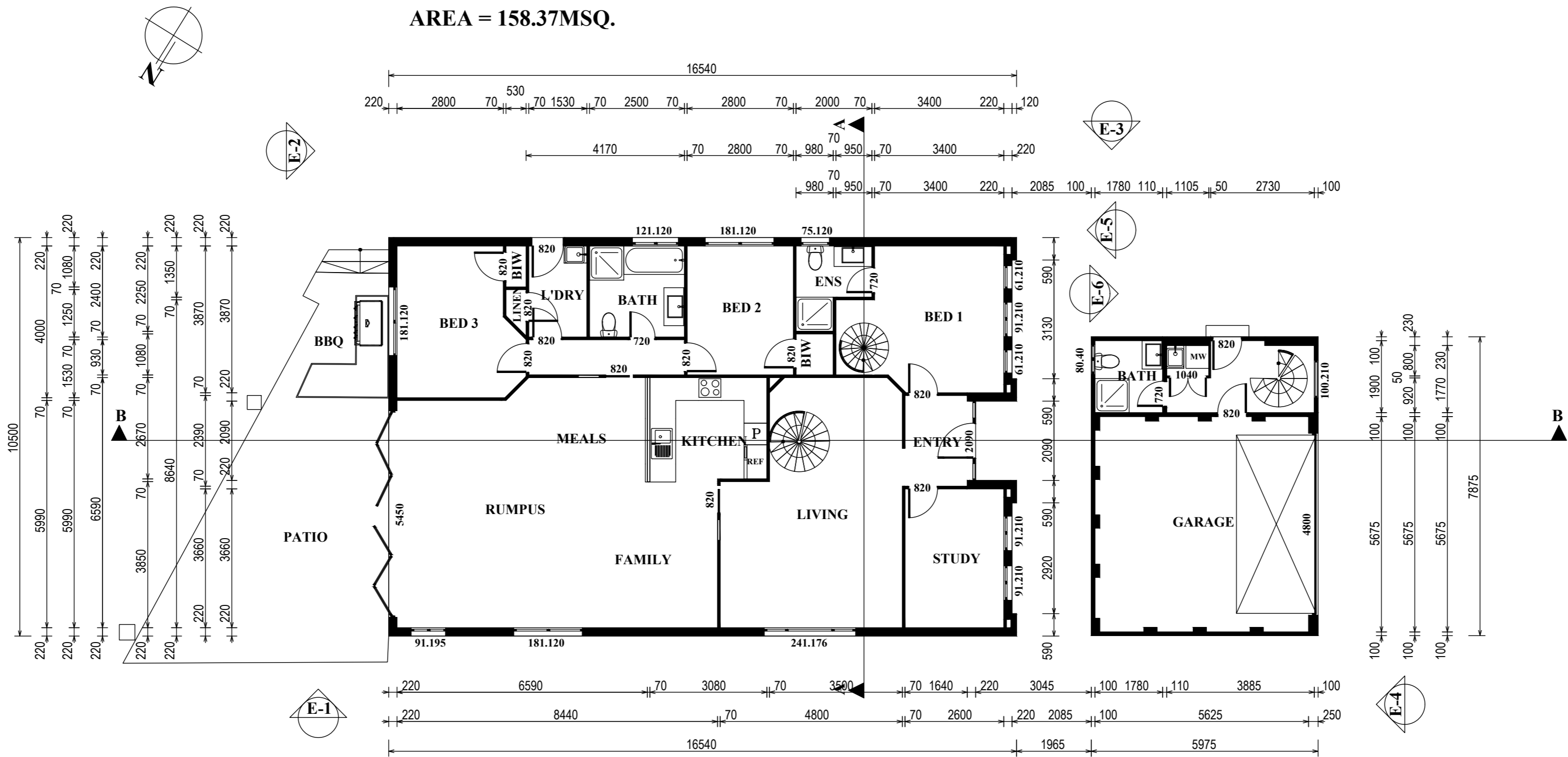
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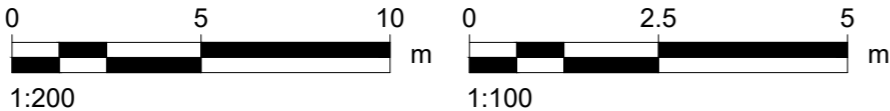
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1 GROUND FLOORPLAN – PROPOSED  
Scale 1:100

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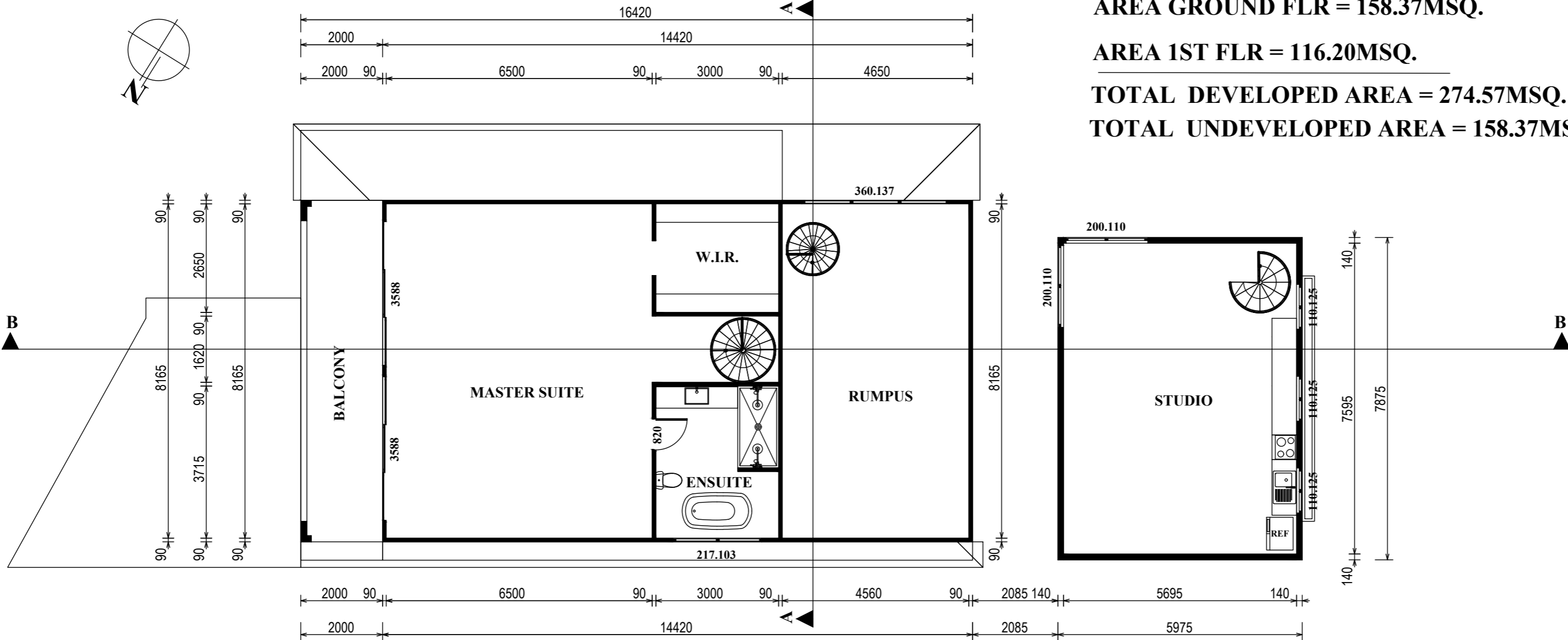
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**1** 1ST FLOORPLAN – PROPOSED  
Scale 1:100

AREA GROUND FLR = 158.37MSQ.

AREA 1ST FLR = 116.20MSQ.

TOTAL DEVELOPED AREA = 274.57MSQ.

TOTAL UNDEVELOPED AREA = 158.37MSQ.

ARCHITECTURAL DRAFTING  
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Project ADDITIONS AND ALTERATIONS	Sheet
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DP No. 1035344

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Project Name and Address  
**SIMON DUCKWORTH**  
**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**

**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS**

### General Notes



**proudly  
supporting**

**bear  
cottage**

an initiative of  
the children's hospital at westmead

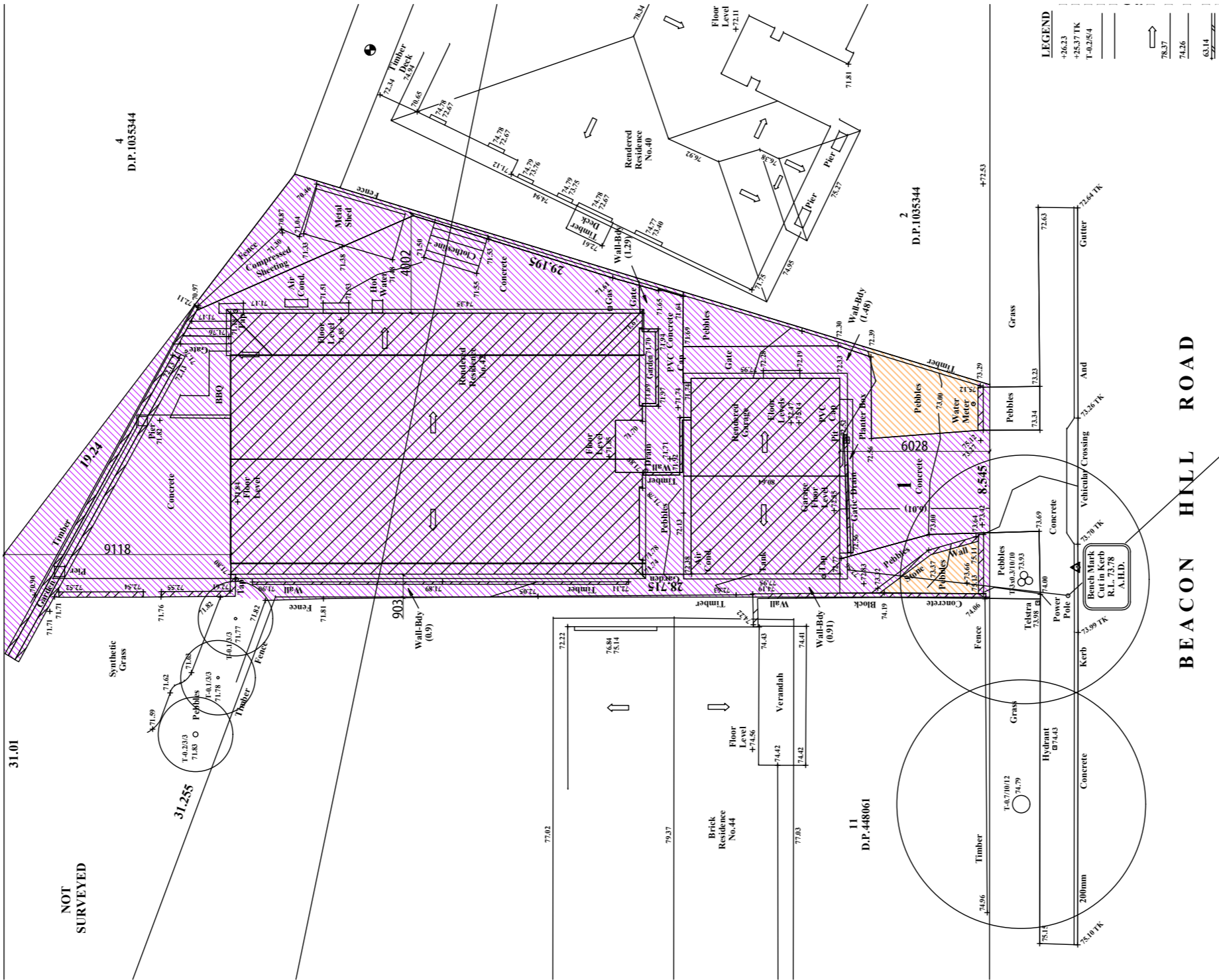
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**42 BEACON HILL RD**  
**BROOKVALE**  
**NSW 2100**

PROPOSED LAND USE



**GENERAL NOTES**

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 23/09/20	15
Scale 1:200	

DP No. 1035344

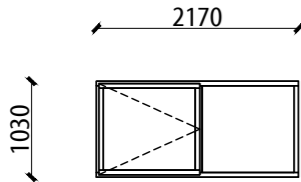
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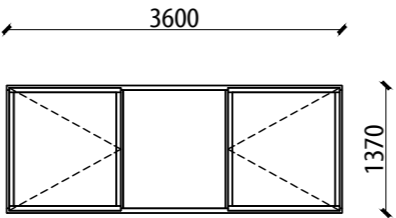
NORTH ELEVATION



W1

TYPE:  
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AREA : 2.2MSQ.  
FROSTED GLASS

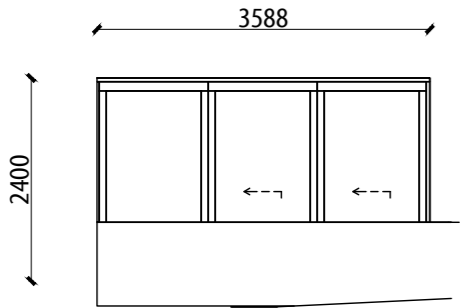
SOUTH ELEVATION



W2

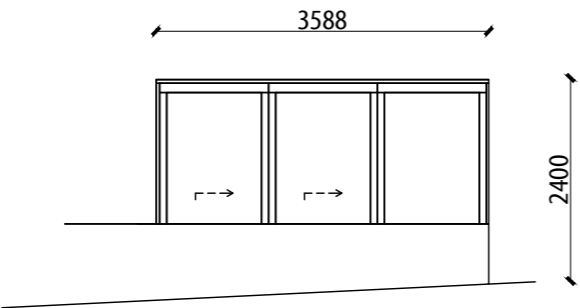
TYPE: SLIDING  
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AREA : 4.9MSQ.

EAST ELEVATION



D1

TYPE: SLIDING  
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AREA : 7.50MSQ.

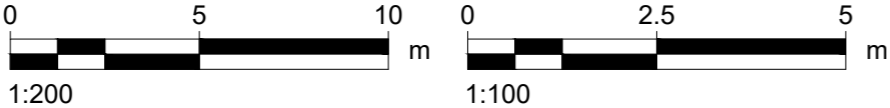


D2

TYPE: SLIDING  
ORIENTATION : EAST  
AREA : 7.5MSQ.

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Project ADDITIONS AND ALTERATIONS	Sheet
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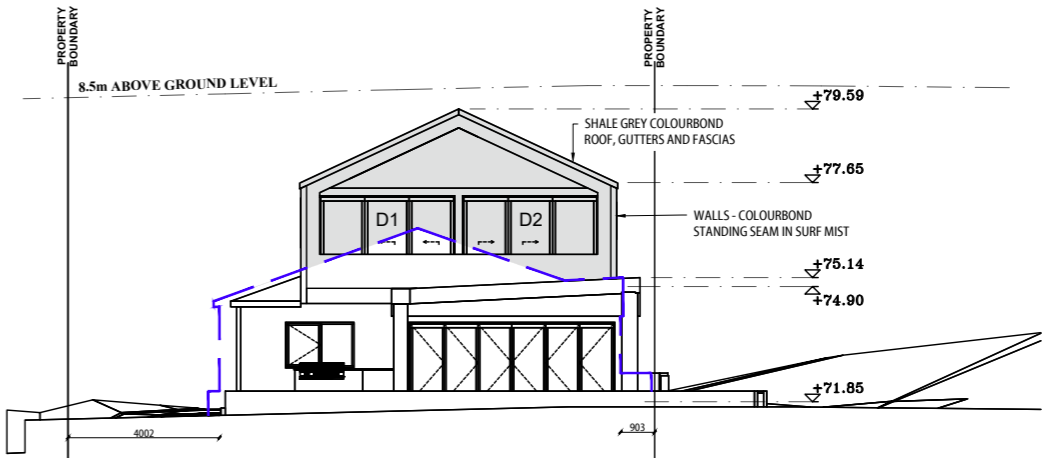
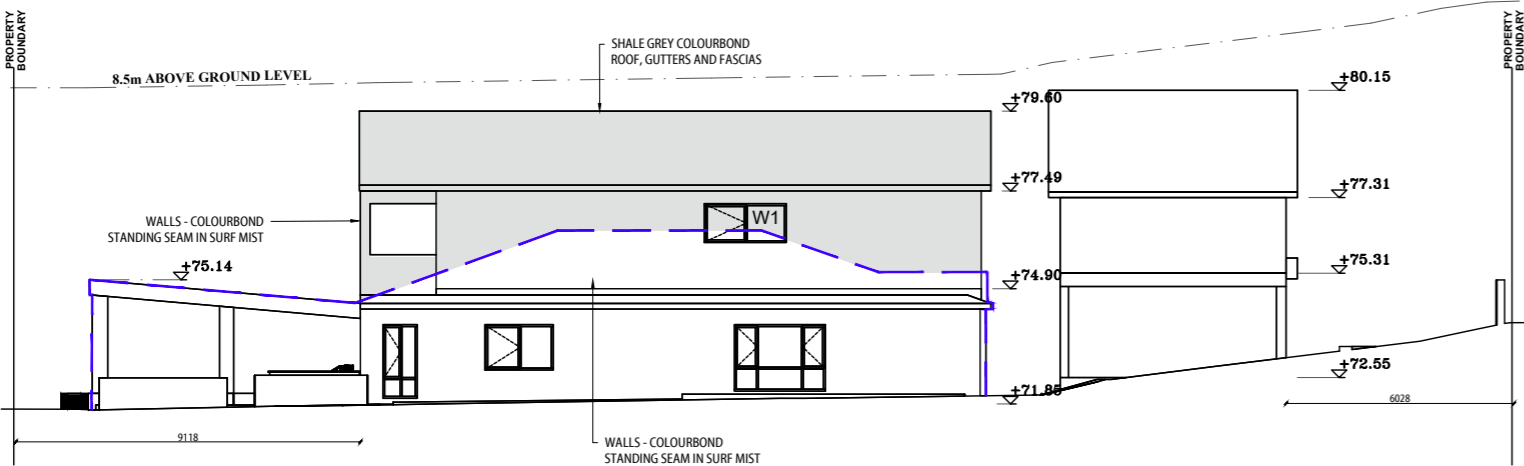
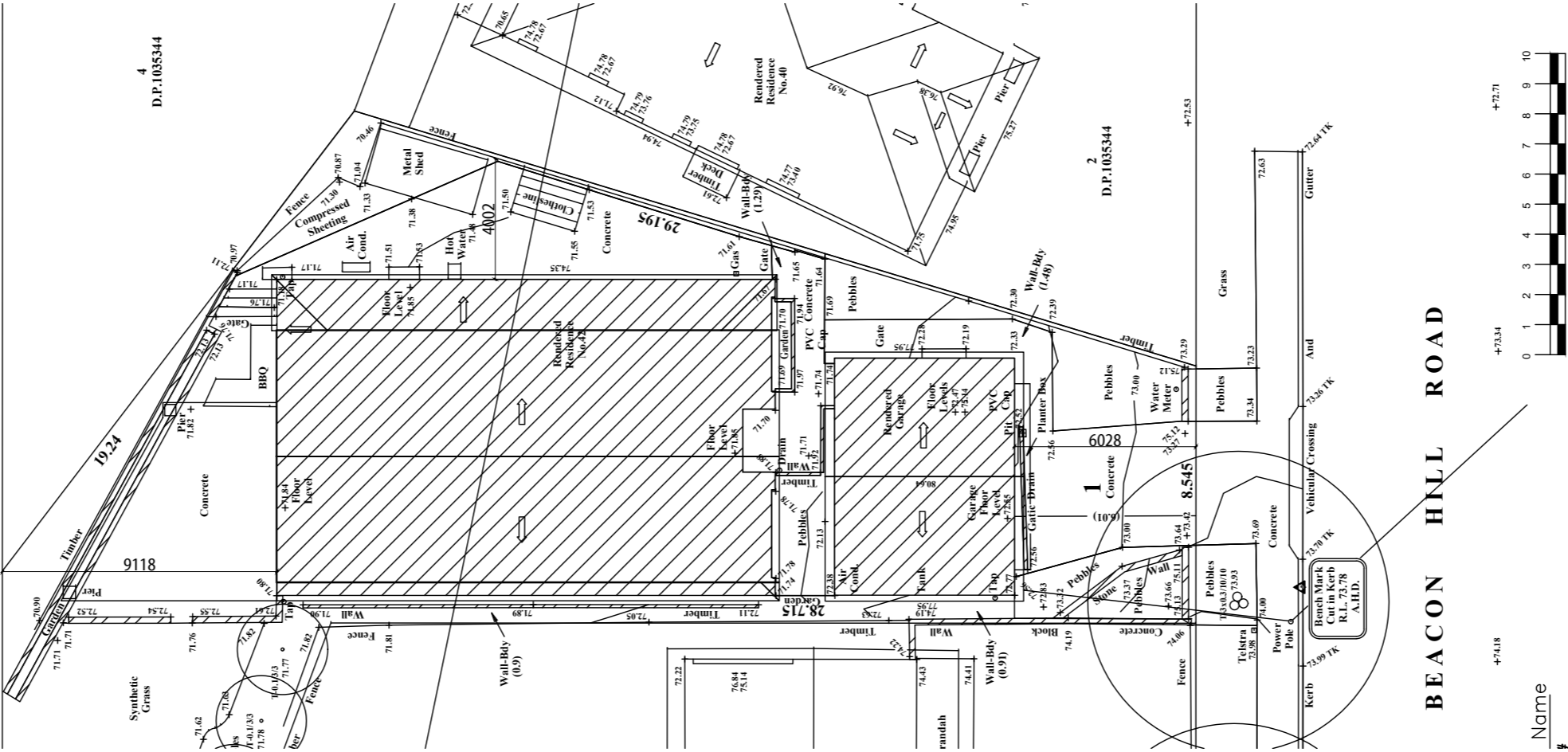
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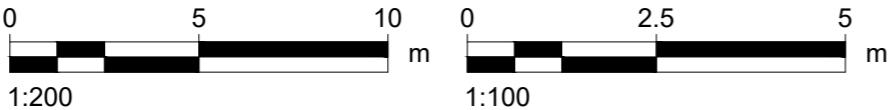
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NSW 2100

NOTIFICATION PLAN



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Project ADDITIONS AND ALTERATIONS	Sheet
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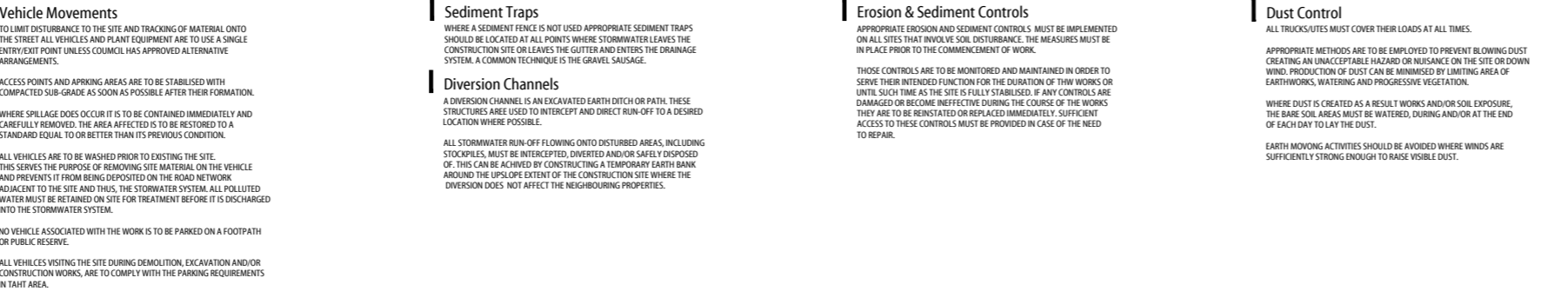
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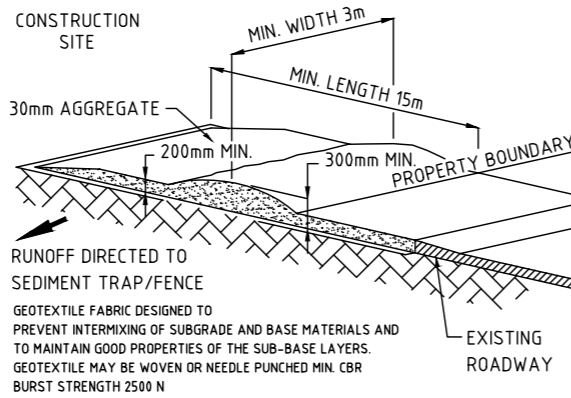
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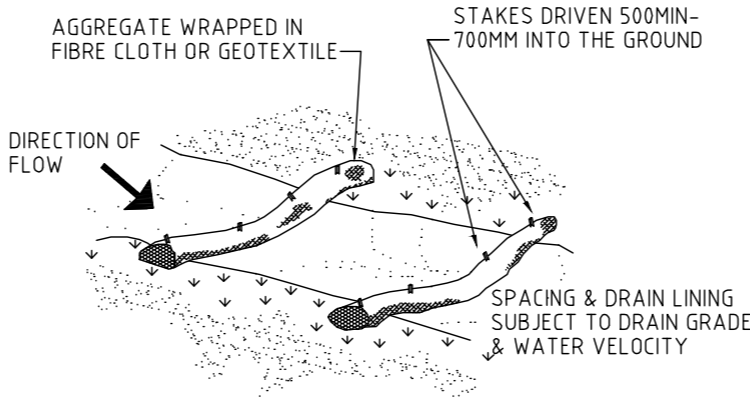


A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

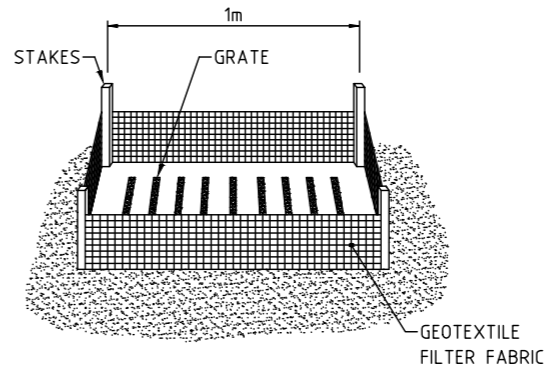
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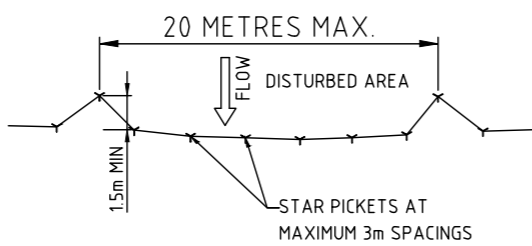
STABILISED SITE ACCESS



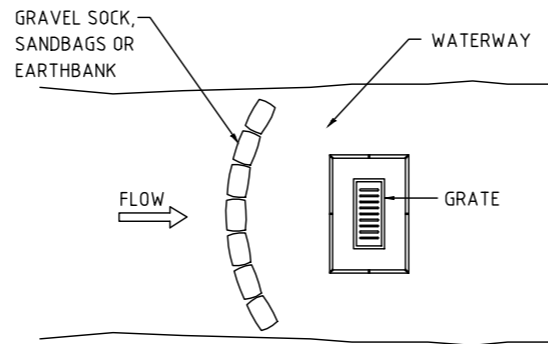
GRAVEL SOCK CHECK DAM



GEOTEXTILE STORMWATER INLET FILTER



SEDIMENT FENCE PLAN



STORMWATER INLET FILTER

CONTROLLING CONTAMINATION ON SITE

Avoid contamination of stormwater with sediment. Use diversion devices to reduce the volume of stormwater reaching the disturbed area. On compact urban sites avoid overland flow through the work area by installing the final stormwater drainage system as early as possible in the construction process. Before installation of the final stormwater system, install an up-slope perimeter bank and catch drain connected to a temporary drop pipe, to take uncontaminated stormwater directly to the stormwater system. On steep sites, line catch drains with turf or geotextile fabric.

Uncontaminated stormwater from the channel should discharge to the stormwater system. In some cases discharge onto non-erodible areas of land is permissible. Check with your local council. Do not allow discharge into neighbouring properties. Roof drainage must discharge to the stormwater system, unless rainwater is being harvested. Complete the final stormwater drainage system before the roof is installed. Connect using either temporary or permanent downpipes

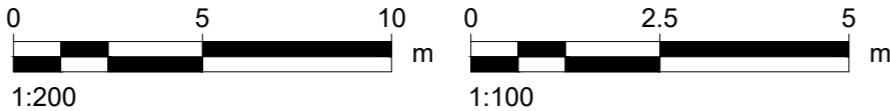
POST-CONSTRUCTION AND EROSION CONTROL

Stabilise the site as soon as possible after construction, or while the last trades are finishing, to minimise the potential for ongoing soil erosion. Turf lawns are commonly used to stabilise soil but their high water consumption can be an environmental burden. Native ground cover plants do the same thing with considerably lower water use. Avoid replacing native vegetation with turf. Mulch (straw or other material) can be used on open garden beds to protect soil and support plant growth. Mulch spread to a depth of 75-100mm minimises soil and water loss and controls weed growth. Mulch may be less suitable on steep sites and in high wind areas. Temporary, quick germinating grasses such as rye and oats can be used to stabilise soil until slower growing plants can be established. This method is only effective after the grass seeds have germinated and established a root structure. Semi permeable paving can be used to stabilise areas of the site. Avoid excessive use of hard surfaces that prevent stormwater being absorbed. Biodegradable erosion control mats are useful when revegetating steep slopes. Integrate landscaping strategy with sediment control. For example, diversion channels and trenches that filter sediment can be used with rubble in the base to create a deep root planting opportunity.

SEDIMENT & EROSION CONTROL - ADDITIONAL DETAILS TO BE FOLLOWED BY SITE MANAGER / CONSTRUCTION WORKERS

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Project ADDITIONS AND ALTERATIONS	Sheet <b>S2</b>
Date	
23/09/20	
Scale NTS	

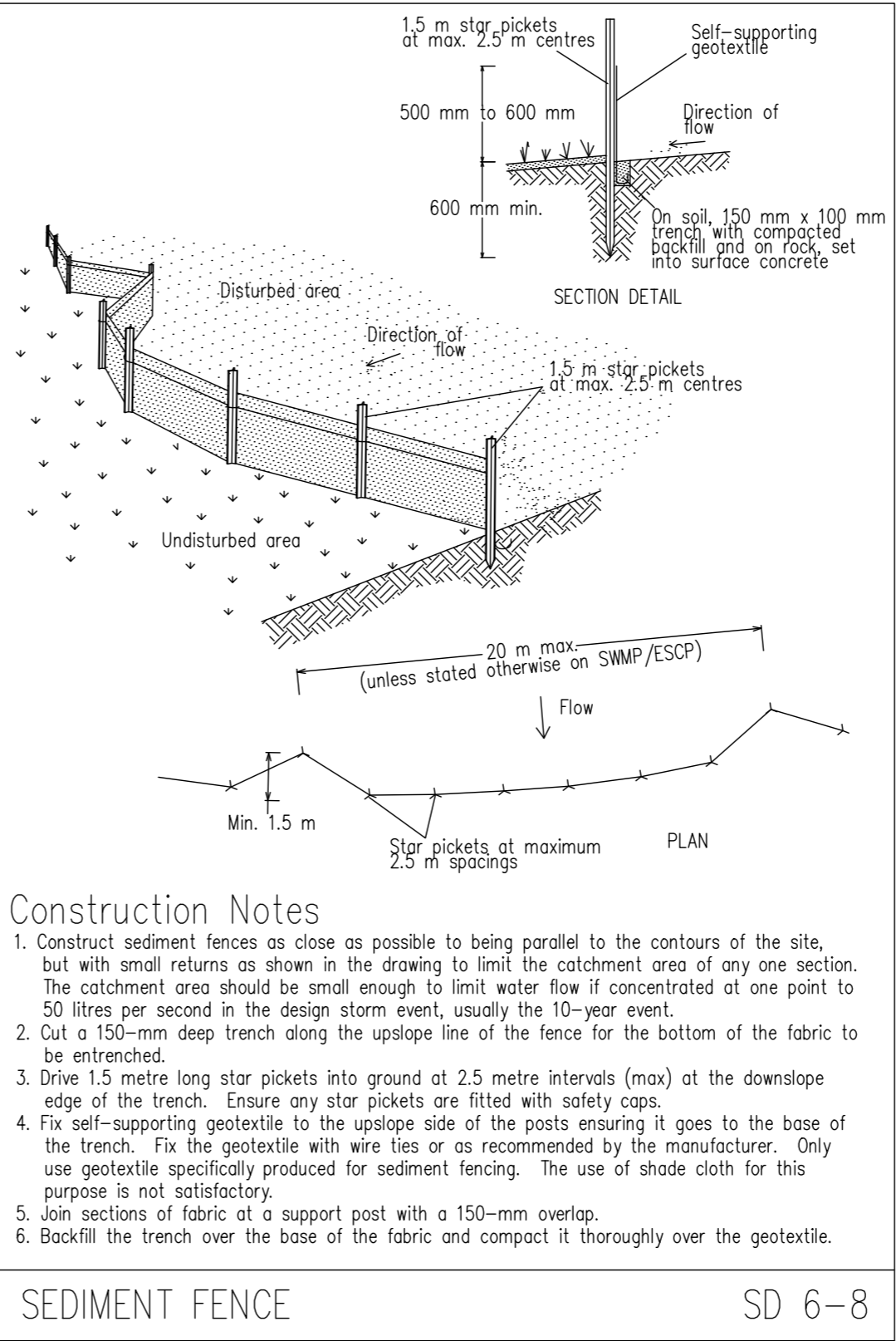
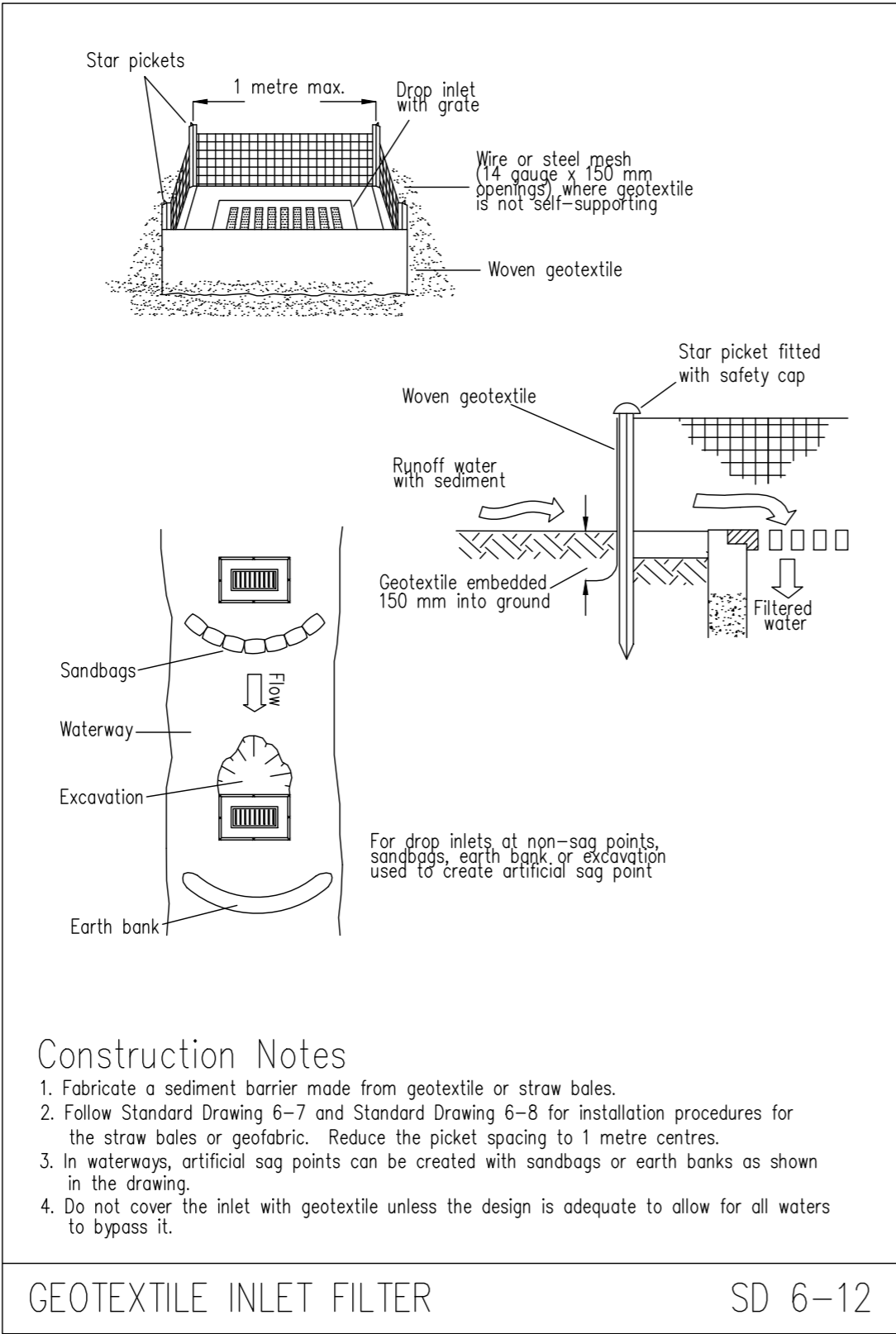
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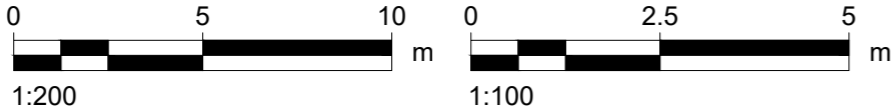
Project Name and Address  
**SIMON DUCKWORTH**  
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proudly supporting  
bear cottage  
— a name of  
the children's hospital & museum

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Project ADDITIONS AND ALTERATIONS	Sheet <b>S3</b>
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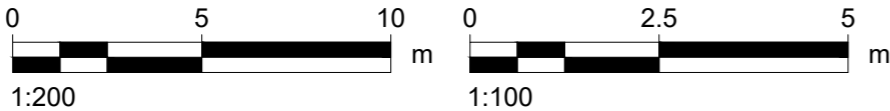
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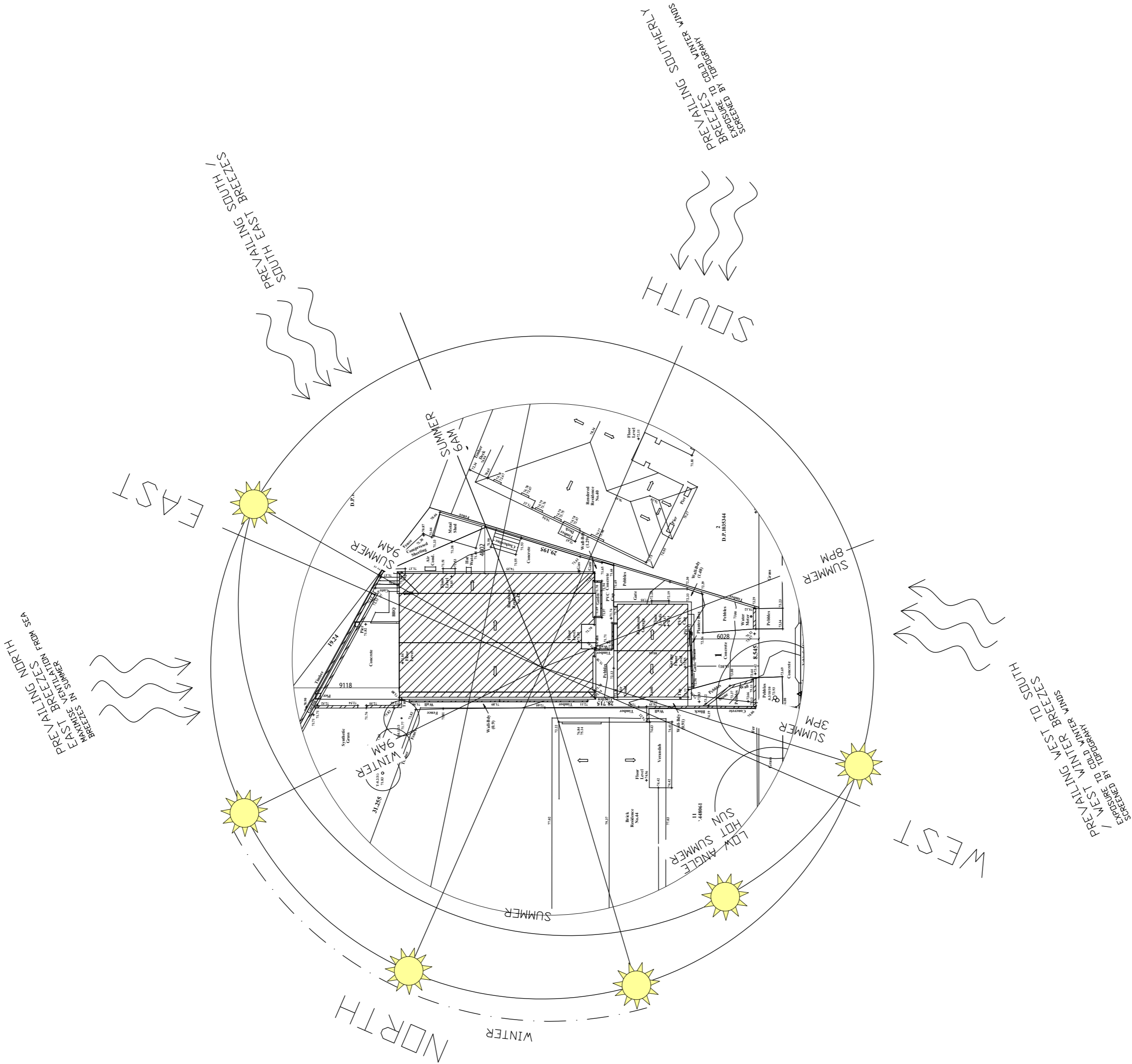
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Project ADDITIONS AND ALTERATIONS	Sheet
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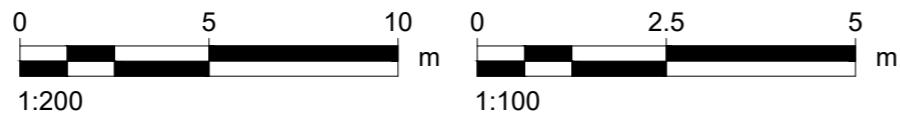
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#### PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install propriety products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout  
Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

#### TERMITE PROTECTION

Termite protection to AS3660.1.  
Use a physical barrier system installed by licensed installers to manufacturer's specification.  
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

#### SITE PREPARATION

Groundworks for slabs and footings to AS2870.  
Demolition to AS2601.  
Avoid erosion, contamination and sedimentation of the site, surrounding areas and drainage systems. Limit clearing of the Site to areas to be occupied by the Works, paving and landscaping. Grub out or grind stumps of all trees to be removed from the site.

#### EXCAVATION

Excavate to give the levels and profiles required for construction, site services, paving and landscaping. Allow for compaction and settlement. Confirm bearing capacity for foundations is adequate. Provide even bearing surfaces for load-bearing elements including footings. Grade to ground surface externally to drain ground or surface water away from the buildings without ponding. Remove all loose material, debris and organic matter prior to placing fill, ground slabs and load-bearing elements. Compact the ground to achieve required density.

#### VAPOUR BARRIERS

All vapour barriers to AS2870.  
Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film.  
Provide anti-caps between any brick or stone piers and sub walls and timber beams.

#### SERVICE TRENCHES

Excavate trenches as required to bring all services to the Works. Trenches to be straight between manholes, inspection points and junctions where practicable, of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling. Backfilling to be compacted to prevent subsidence.

#### CONCRETE CONSTRUCTION

Concrete structures generally to AS3600.  
Ground slabs and footings to AS2870.  
Ready-mixed concrete to AS1379.  
All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required.  
Compaction, curing and formwork stripping to comply with Aust. Stds and codes of practice.

#### TIMBER AND STEEL CONSTRUCTION

All timber framing and flooring to AS1684, AS1720.1 where relevant.  
Structural steelwork to AS4100.  
Preparation of metal surfaces to AS1627.  
Flashing and damp-proof courses to AS2904.

#### DOORS AND WINDOWS

All doors and windows generally to AS2047.1 as per door and window schedule.

To match existing upvc system throughout. Reuse existing doors and windows as denoted on the drawings

Install flashings, weather-bars, drips, storm moulds etc. to prevent water entering building between frames and the building structure. Install all door and window sets plumb, level, straight and true, adequately anchored and free of building loads and structural deflection.

#### LININGS

All plasterboard linings to AS2588, 13mm thick sheets to ceilings, 10mm thick sheets to walls. Moisture resistant plasterboard to be used in all wet areas.  
All fibre cement linings to AS2908.2, walls - 9mm-thick sheets, suspended soffits - 9mm-thick sheets, floors - 18mm thick sheets.  
All installation to AS2589.1. Linings to be fixed to framing at recommended spacing. Ensure all linings are level, plumb, straight and true as applicable.  
Provide recessed edge sheets and finish flush with perforated reinforcing tape.  
Provide flashings, trim and sealants to effectively waterproof wet areas. Provide timber trim as detailed and where necessary to make neat junctions between components and finishes. Provide Rondo stopping bead profile to ceiling planes.

#### WATERPROOFING AND WET AREAS

All waterproofing to AS3740. All liquid and steel membrane systems to be specific for their intended purpose, installed to manufacturer's specification, properly and effectively terminated at perimeters and drainage outlets. Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

#### TILING

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters. Drill holes with damaging tile faces. Return tiles into sils, reveals, and opening. Butt up to returns, frames, fittings and other finishes. Distribute variations in hue, colour and pattern uniformly by mixing tiles or tile batches before laying. Allow beddings to set and attain working strength before opening areas to traffic. Set out tiles from the centre of floors and walls. Align joints between floors and walls where possible. Grade floor tiling even falls to floor wastes. Ensure level junctions to walls. Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes. Junctions between tiled floors and other materials to be finished with corrosion-resistant metal dividing strip fixed to the substrate. Do not compromise waterproof membrane. Bath cavities to be ventilated with min. 2 ventilation points...

#### FLOOR COATINGS AND COVERINGS

Polished concrete slab to be helicoptered burnish finish to Proprietor's specification.  
Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator. A coverage rate of 8 10m<sup>2</sup> / litre should be observed. Application to manufacturers specification.

#### PAINTING

All painting AS2311 and paint manufacturer's specifications.  
Clean off marks, paint spots and stains progressively.  
Touch up damaged paintwork with original paint batch where possible.  
Refer to finishes schedule for details of painted finishes.

#### Steelwork

Fabricate and erect all structural steelwork in accordance with Structural Engineer's drawings and specifications. Submit shop drawings to Designer and Engineer for approval before commencing fabrication. All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited. All propriety fixings to be compatible with steelwork finish. Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily.

#### Flooring and Decking

Strip flooring to AS1684.  
Particleboard sheet flooring to AS1859.1, installed to AS1860.  
Fibre-cement flooring to AS2908.2.  
New timber decking to AS2796.  
Ensure building is sufficiently protected from weather prior to installing all strip- and sheet-flooring.

#### Decking

Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.

#### Wall framing

All framing to AS1684.  
Provide additional noggings etc., where required to fix linings, cladding, hardware, fixtures, fittings and accessories.

Provide damp proof courses under bottom plate of external clad-frame walls on slabs or dwarf masonry walls. Provide flashings to all external openings sufficient to prevent entry of moisture and wind-driven rain and other precipitation.

#### MASONRY CONSTRUCTION

Masonry generally to AS3700 and masonry units to AS4455.  
Provide anti-caps between any brick or stone piers sub walls and timber beams.

#### INSULATION AND SARKING

Provide flexible membrane material normally used for waterproofing, vapour retarding or thermal reflective insulation.  
All bulk insulation to AS3742, installed to AS3999.  
All sarking material to AS4200.1.  
Fit all batts tightly between framing members, and support securely. Provide vapour-permeable sarking under cladding which does not provide a permanent weatherproof seal, including boards or planks fixed in exposed locations where wind-driven rain can penetrate the joints. Apply to the outer face of external studs from top plate down over bottom plate and flashing. Run across studs and lap min. 150mm at joints. Provide roof sarking as part of roof insulation. Finish sarking at least 50mm clear of ridges.

#### ROOFING GUTTERING DOWNPIPES

new 150mm half-round guttering throughout with matching support brackets as selected  
new 90mm dia downpipes as shown  
new roof tiles (as required to rear extended roof only) to match existing installed in acc with manufacturers specifications  
existing roof tiles to be carefully removed for reuse to front extended roof

#### ROOF PLUMBING

All roof plumbing to AS2179.1 and AS2180.  
All fasteners and mechanically fastened joints to be sealed with silicone sealant. Flashing projections above and through roofing with 2-part apron flashing and over-flashing, min. 100mm overlap. Allow for independent movement between roofing and projection. All cover and under-flashing materials to be electrolytically compatible with roof sheeting and rainwater goods. Provide minimum 0.48 BxI steel steel cappings and fascias pre-formed to profiles indicated on details prior to delivery. All cappings and flashings to be in single, continuous lengths. All accessories and fixings as per sheet metal fabricator's recommendation. All guttering and roof sheeting to achieve minimum falls as per Aust. Stds and sheet metal manufacturer's recommendation.

#### CABINETRY

Allow to build in and fit off all sinks and tubs, and other plumbing fixtures to be supplied by Proprietor.  
Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry.

#### ARCHITECTURAL METALWORK

All metalwork strictly to Structural Engineers specification where applicable and to Designer's details. Confirm all measurements on site before fabrication. Prefabricate components off-site where possible for on-site fixing. All work to be set into position truly plumb, square and level and secured to suit loadings in vertical and horizontal alignment.

#### PLUMBING DRAINAGE AND GAS INSTALLATIONS

All plumbing and drainage work strictly in accordance with AS3500.  
All gas installations to AS3601.  
Install piping in straight lines and to minimum uniform grades where required. Ensure all piping is installed to prevent vibration and water-hammer whilst permitting thermal movement. Prevent direct contact with incompatible metals. Lines in sub-floor spaces to be min. 150mm clear of ground level. Ensure adequate access for inspection and maintenance where required.

#### Stormwater and Wastewater

Use temporary covers during construction to openings and keep system free of debris. Flush system clean upon completion. Connect subsoil drains to groundwater drainage system. Laundry tub, washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste. Do not plumb through floor waste.

#### Rainwater Storage

All plumbing and drainage work strictly in accordance with AS1273 / AS2179 / AS3500.  
First flush devices to be fitted to all downpipes. All inlets and outlets to be protected with suitable mosquito barrier.

#### Gas

Gas supply to be installed to Local Authority Requirements. On completion of installation and testing, turn on isolation and control valves and purge and charge the installation.

#### DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS

All domestic electrical works to AS3018.  
All mechanical installations to AS1668.  
All telecommunications installations to AS1501.8.  
Provide switches, outlets and plates generally in accordance with wiring diagrams. Provide control switchgear, circuit breakers and earth leakage protection devices as required. Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated. Connect and duct ceiling grilles to suitable, rainproof exterior outlets. Install smoke alarms as required by Aust. Stds and BCA.  
Test all electrical installations, smoke alarms and mechanical ventilation prior to completion.

#### ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION ASSISTANCE COUNCIL COMPLIANT PLANS

#### LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

#### General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet	
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Scale		
NTS		

DP No. 1035344

LOT No. 1


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No.	Revision/Issue	Date

**dh** DRAFTING HELP  
ARCHITECTURAL DRAFTING & DESIGN SERVICES  
5/470 Sydney Rd  
Belgowish 2093 NSW  
www.draftinghelp.com.au  
02 97763474

Project Name and Address  
**SIMON DUCKWORTH  
42 BEACON HILL RD  
BROOKVALE  
NSW 2100**

**LEGEND:**

 **EXISTING BUILDING OUTLINE**

 **PROPOSED WORK**

<p><b>proudly supporting</b></p>		 <p><b>bearcottage</b> a division of the children's hospital at monash</p>													
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<p><b>Project Name and Address</b></p> <p><b>SIMON DUCKWORTH</b> <b>42 BEACON HILL RD</b> <b>BROOKVALE</b> <b>NSW 2100</b></p>															

In these terms and conditions (**Terms**), **Drafting Help** means Drafting Help ACN: 621 017 007 and **You** means the person listed in the **Quote** (being the quote to which this document is attached) as the client of Drafting Help (and **Your** has a similar meaning).

1. You have engaged Drafting Help to perform the Services and agree to pay Drafting Help the **Fee** (being the fee set out in, or calculated in accordance with, the Quote and these Terms) in accordance with these Terms. If, at any time, You seek to end or cancel these Terms prior to the completion of the Services, without limiting Drafting Help's rights, Drafting Help may suspend the performance of the Services, and You must pay Drafting Help the balance of the Fee, immediately.

2. Subject to these Terms, Drafting Help will perform the Services with due care and skill.

3. You will pay the Fee in the manner, and at the times, set out in the Quote. If You do not comply with this paragraph, Drafting Help may immediately suspend the performance of the Services until such time as You have complied with this paragraph.

4. You will pay a default interest rate on any overdue payments at the rate of 18% per annum (calculated and compounding daily).  
This paragraph 4 survives termination of these Terms.

5. You will provide Drafting Help with all assistance, documentation, information and instructions requested by Drafting Help to enable Drafting Help to perform the Services (**Input**). If You do not comply with this paragraph, Drafting Help may itself carry out those activities at Your cost (calculated in accordance with the rates and prices set out in the Quote).

6. Drafting Help will not be held responsible for any error, defect, omission, fault, inconsistency, discrepancy or ambiguity in or between the designs or documents prepared by or on behalf of Drafting Help in (or incidental to) the performance of the Services (**Deliverables**), to the extent caused by Your failure to comply with, or any input provided by or on behalf of You for the purpose of, paragraph 5. This paragraph 6 survives termination of these Terms.

7. If Drafting Help is asked to, or is required to perform:

- a. services or activities which are different, or in addition, to the Services, You will pay Drafting Help for those services and activities; and
- b. the Services in an order or sequence, or within a period of time, which is different to what Drafting Help had originally planned to perform those Services, You will pay Drafting Help the additional costs it suffers or incurs as a result of complying with the revised order, sequence or timing,

in accordance with the rates and prices set out in the Quote (or, where those rates or prices are not applicable, in accordance with reasonable rates and prices determined by Drafting Help).

8. You acknowledge and agree that the Fee is subject to change (and may be increased) where any fee, contribution, charge or third party cost increases (or a new fee, contribution, charge or third party cost is introduced) after the date Drafting Help issued the Quote.

9. Despite anything to the contrary (to the maximum extent permitted by law):

- a. Drafting Help excludes all terms implied by statute, in fact, at law or on any other basis;
- b. You acknowledge and agree that Drafting Help and its employees and consultants are not registered architects, engineers or surveyors;
- c. You acknowledge and agree that the Services are performed solely for Your benefit, and that no third party will be permitted to use or rely upon the Deliverables, and Drafting Help will not be liable or responsible for any use, reliance or adaptation of the Deliverables;
- d. You acknowledge and agree that the Services and the Deliverables are subject to inherent limitations having regard to the nature and the scope of the Services, and the circumstances in which they have been commissioned and are to be delivered (and, specifically, the Deliverables are not, and are not intended to be, plans or drawings for construction and should not be used or

relied upon for this purpose);

e. You acknowledge and agree that Drafting Help is not liable or responsible for any work or services carried out or performed by any third party, including in relation to any survey, report, plan or drawing which Drafting Help relied upon, used, adopted or modified (directly or indirectly) in the performance of the Services;

f. Drafting Help is entitled to include limitation and disclaimer wording in all of the Deliverables to the foregoing effect;

g. in no event will Drafting Help be liable or responsible for any claim (or cost, expense, liability, loss or damage) caused or contributed to by any act or omission of You or any third party;

h. in no event will Drafting Help be liable or responsible for economic loss, loss of contract or goodwill, loss of profit or revenue, loss of business opportunity, loss of use, loss of reputation, loss of data, loss of production or production stoppage, financing or holding costs, increased expenses of operation or any indirect or consequential loss; and

i. Drafting Help's total liability arising out of or in connection with the Quote, these Terms, the Services and the Deliverables will not exceed the Fee (in aggregate),

and these limitations and exclusions will apply whether the claim is based on breach of contract, tort (including negligence), under any warranty, under any indemnity, under statute, in equity or otherwise. This paragraph 9 survives termination of these Terms.

10. Drafting Help will retain ownership in all intellectual property rights (including moral rights and copyright) in or arising from the Services and the Deliverables, and You (and any of Your contractors or consultants) must not do anything which may infringe any of those intellectual property rights or the intellectual property rights of third parties (and, if any infringement does arise, You will indemnify Drafting Help for any loss or liability it suffers or incurs as a result). This paragraph 10 survives termination of these Terms.

11. If:

- a. You are in breach of these Terms, and You fail to rectify the breach within 14 days after being notified by Drafting Help; or
- b. the Services are not completed by [insert date] as a result or consequence of (directly or indirectly) any event or circumstance which is beyond Drafting Help's reasonable control,

Drafting Help may (without limiting its rights at law) terminate these Terms and You will be obliged to pay the balance of the Fee to Drafting Help immediately. This paragraph 11 survives termination of these Terms.

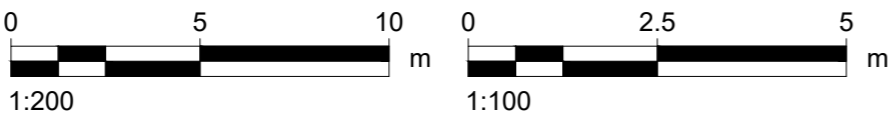
12. If You have any issue or concern in relation to the Services or Deliverables, You must raise those issues or concerns to Drafting Help in writing within 7 days of first becoming aware of the issue or concern. If You do not comply with this paragraph, to the maximum extent permitted by law, You will have no claim against Drafting Help (and You release and discharge Drafting Help from any such claim). This paragraph 12 survives termination of these Terms.

13. No provision of these Terms will be construed adversely to Drafting Help because Drafting Help was responsible for the preparation of these Terms.

14. The Quote and these Terms constitute the entire agreement between Drafting Help and You in connection with the Services and the Deliverables, and prevail over and supersede all other communications or documentation entered into or exchanged between the parties.

15. These Terms are governed by the law in New South Wales, and each party irrevocably submits to the non-exclusive jurisdiction of courts exercising jurisdiction in New South Wales.

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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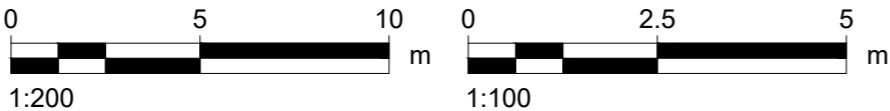
Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check	
Insulation requirements				
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓	✓
Construction	Additional insulation required (R-value)	Other specifications		
floor above existing dwelling or building.	nil			
external wall: cavity brick	nil			
external wall: cavity brick	nil			
external wall: cavity brick	nil			
external wall: cavity brick	nil			
raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)		

Glazing requirements							Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Windows and glazed doors									
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.							✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:								✓	✓
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.								✓	✓
External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.								✓	✓
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.							✓	✓	✓
Windows and glazed doors glazing requirements									
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing		Shading device	Frame and glass type			
			Height (m)	Distance (m)					
W1	N	2.2	3	1.75	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D1	E	7.5	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D2	E	7.5	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
D3	S	2.2	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
ASSISTANCE  
COUNCIL COMPLIANT PLANS

LEGEND:

EXISTING BUILDING OUTLINE

PROPOSED WORK

General Notes

proudly supporting

bear cottage

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Project ADDITIONS AND ALTERATIONS

Date 23/09/20

Scale NTS

Sheet **B1**

DP No. 1035344

LOT No. 1

A	ISSUED FOR DA	XXXX
No.	Revision/Issue	Date

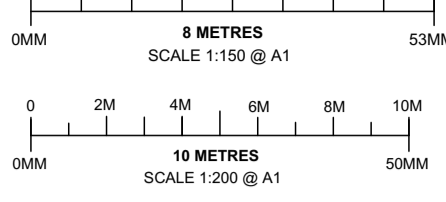
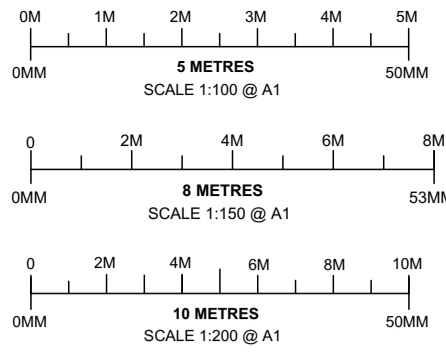
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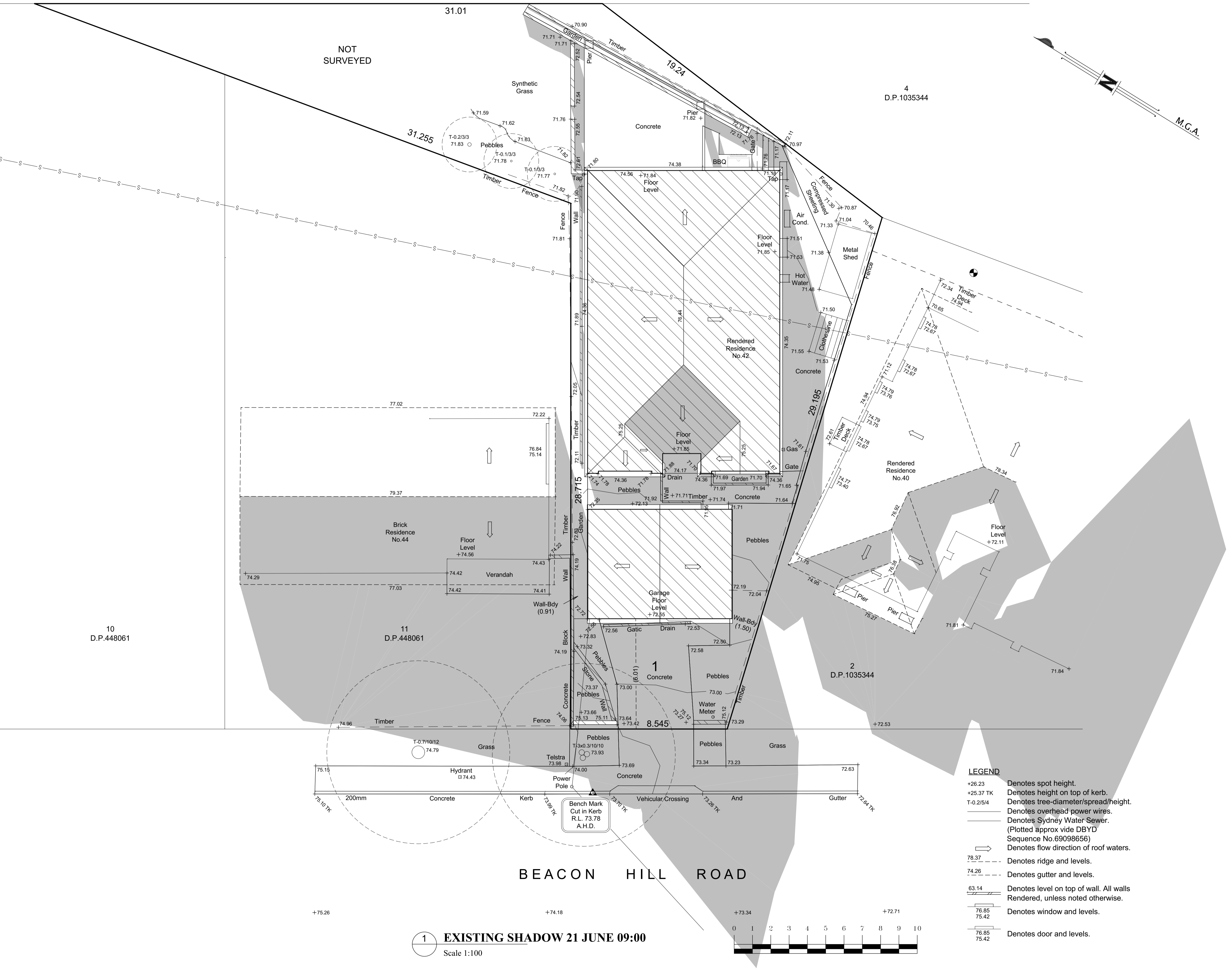
Project Name and Address

SIMON DUCKWORTH  
42 BEACON HILL RD  
BROOKVALE  
NSW 2100



**GENERAL NOTES**

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND N.C.A. REQUIREMENTS
- CONNECT D.P.'S TO EXISTING STORMWATER SYSTEM
- ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



- LEGEND**
- +26.23 Denotes spot height.
  - +25.37 TK Denotes height on top of kerb.
  - T-0.2/5/4 Denotes tree-diameter/spread/height.
  - Denotes overhead power wires.
  - Denotes Sydney Water Sewer. (Plotted approx vide DBYD Sequence No.69098656)
  - Denotes flow direction of roof waters.
  - 78.37 --- Denotes ridge and levels.
  - 74.26 --- Denotes gutter and levels.
  - 63.14 --- Denotes level on top of wall. All walls Rendered, unless noted otherwise.
  - 76.85 75.42 Denotes window and levels.
  - 76.85 75.42 Denotes door and levels.

**1 EXISTING SHADOW 21 JUNE 09:00**  
Scale 1:100



**ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
MANAGEMENT  
COUNCIL COMPLIANT PLANS**

**General Notes**

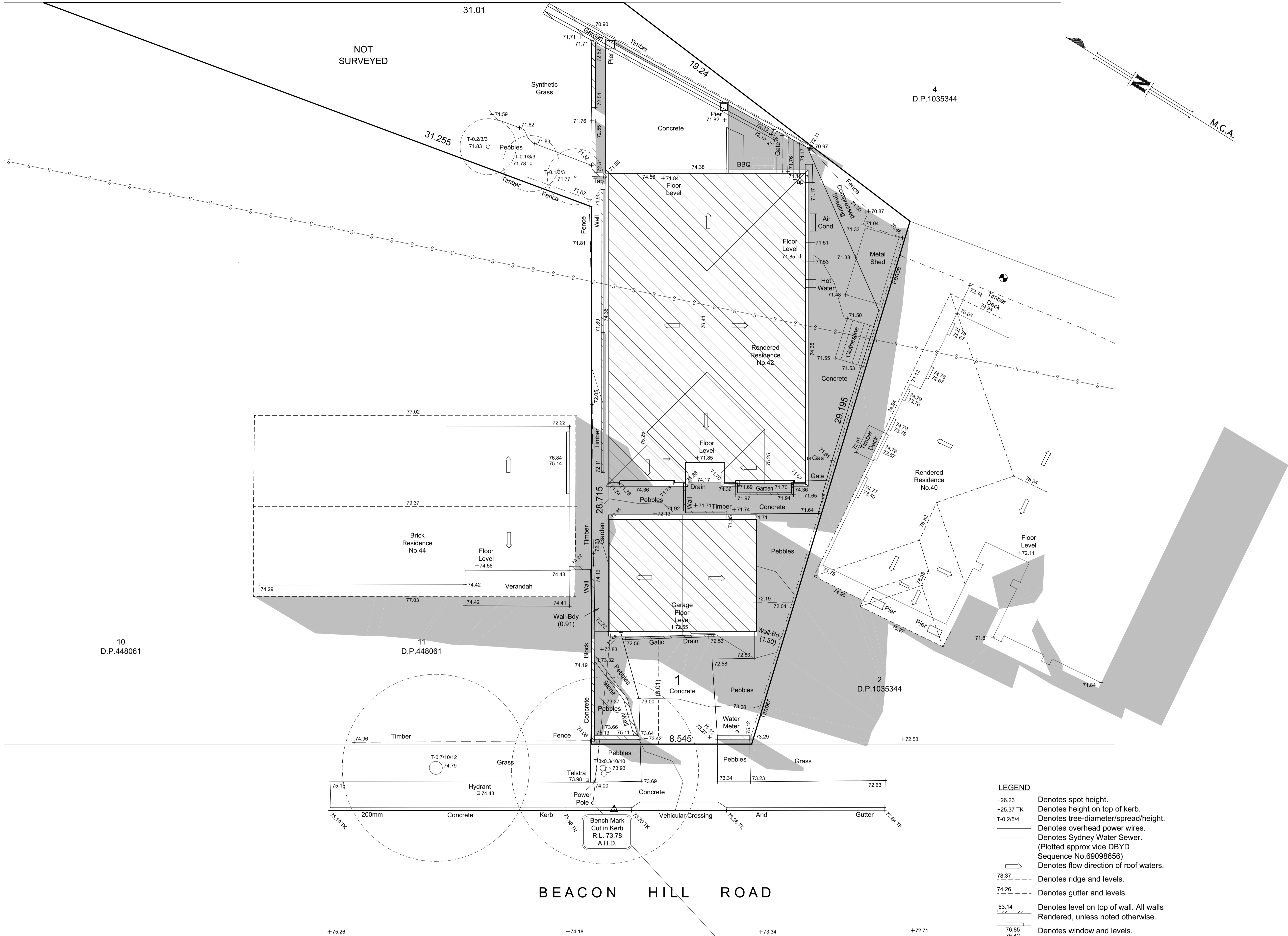
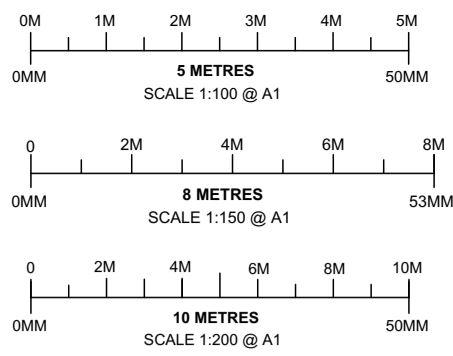
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DP No.	1035344	
LOT No.	1	
No.	Revision/Issue	Date

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ARCHITECTURAL DRAFTING & DESIGN SERVICES

Project Name and Address  
**42 BEACON HILL RD,  
BROOKVALE, NSW  
2100**

Project	N42B	Sheet
Date	23/09/2020	<b>S.01</b>
Scale	1:100	



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1 **EXISTING SHADOW 21 JUNE 12:00**  
Scale 1:100



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
MANAGEMENT  
COUNCIL COMPLIANT PLANS

General Notes

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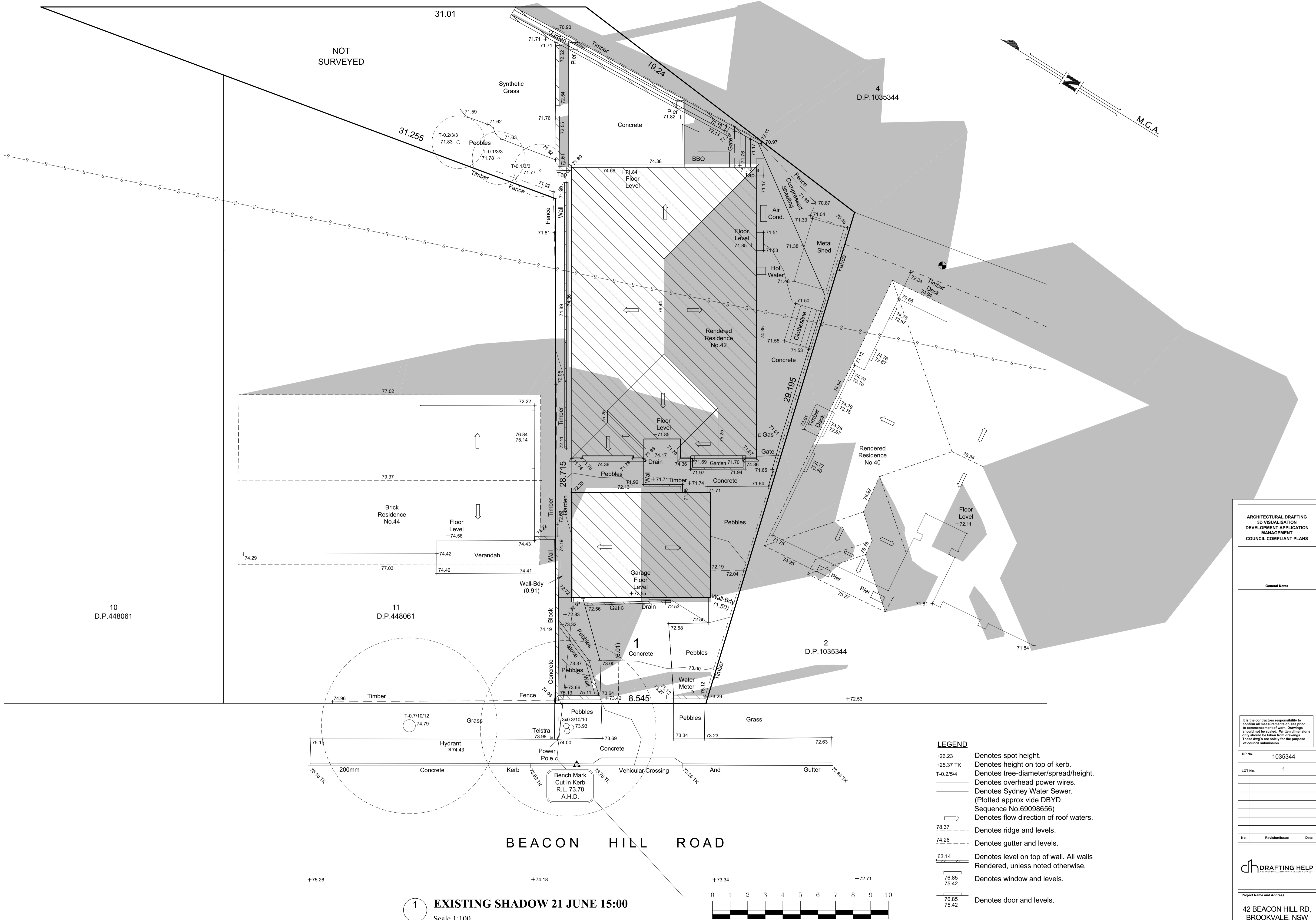
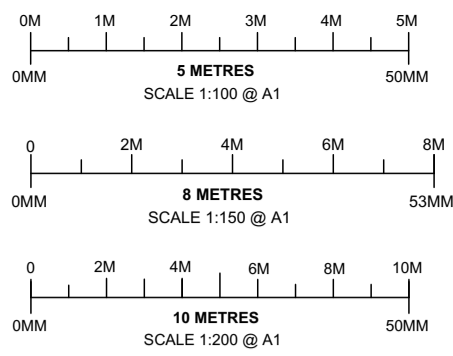
DP No.	1035344	
LOT No.	1	
No.	Revision/Issue	Date

dh DRAFTING HELP  
ARCHITECTURAL DRAFTING & 3D VISUALISATION

Project Name and Address

42 BEACON HILL RD,  
BROOKVALE, NSW  
2100

Project	N42B	Sheet
Date	23/09/2020	S.02
Scale	1:100	



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**ARCHITECTURAL DRAFTING 3D VISUALISATION DEVELOPMENT APPLICATION MANAGEMENT COUNCIL COMPLIANT PLANS**

**General Notes**

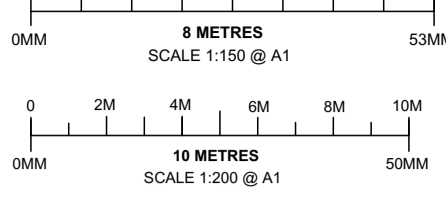
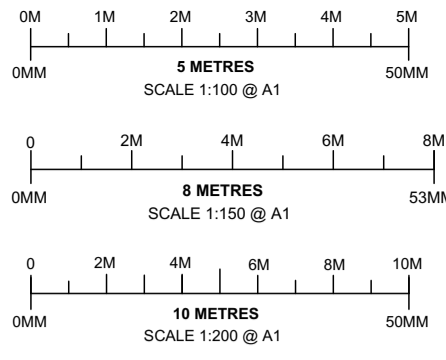
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DP No.	1035344	
LOT No.	1	
No.	Revision/Issue	Date

Project Name and Address

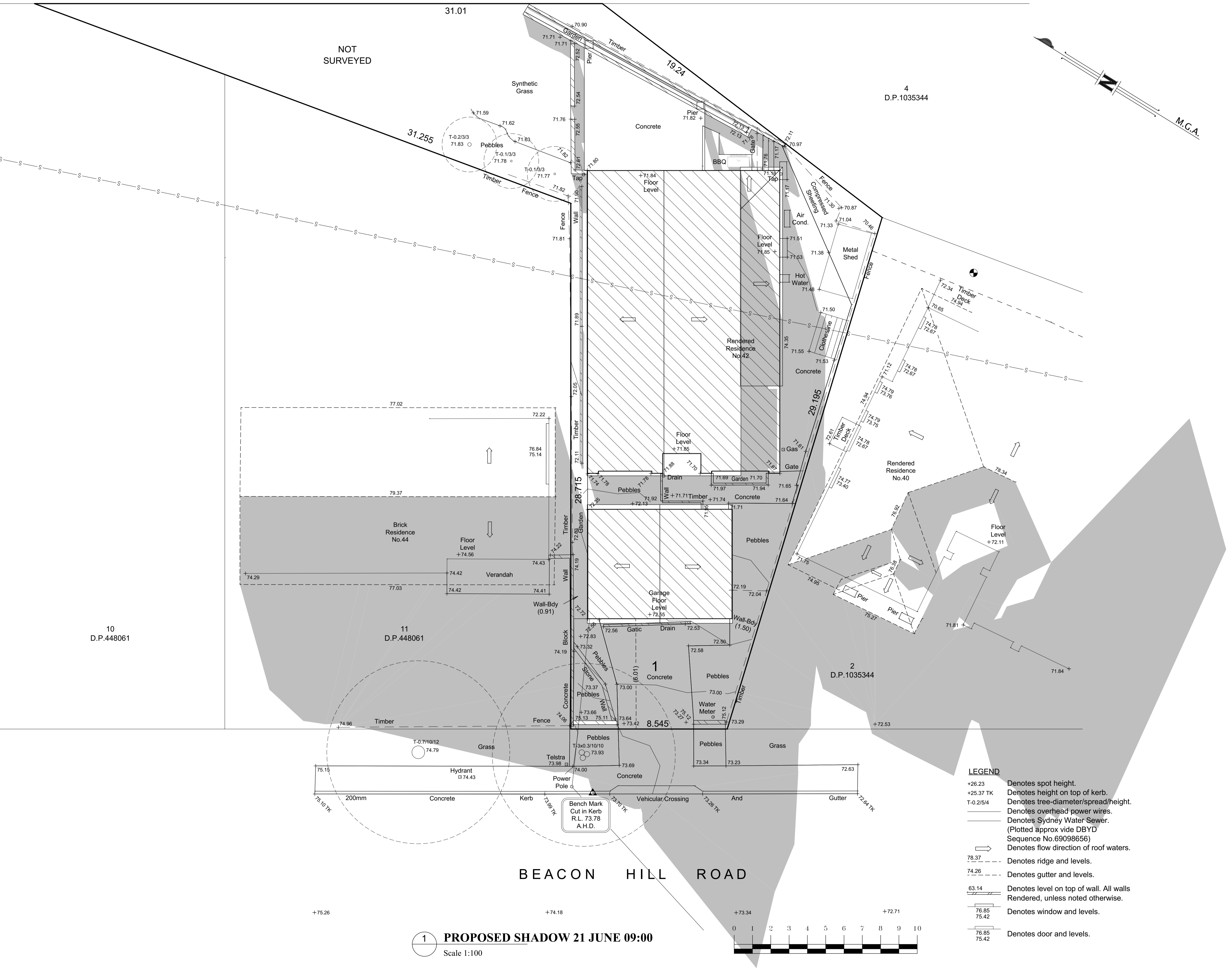
42 BEACON HILL RD, BROOKVALE, NSW 2100

Project	N42B	Sheet
Date	23/09/2020	S.03
Scale	1:100	

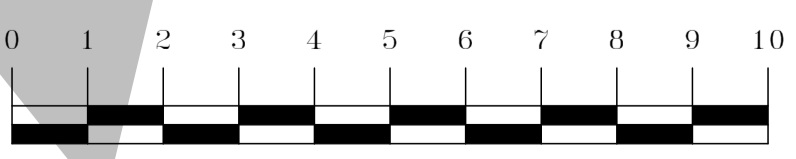


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**1 PROPOSED SHADOW 21 JUNE 09:00**  
Scale 1:100



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ARCHITECTURAL DRAFTING  
3D VISUALISATION  
DEVELOPMENT APPLICATION  
MANAGEMENT  
COUNCIL COMPLIANT PLANS

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DP No. 1035344

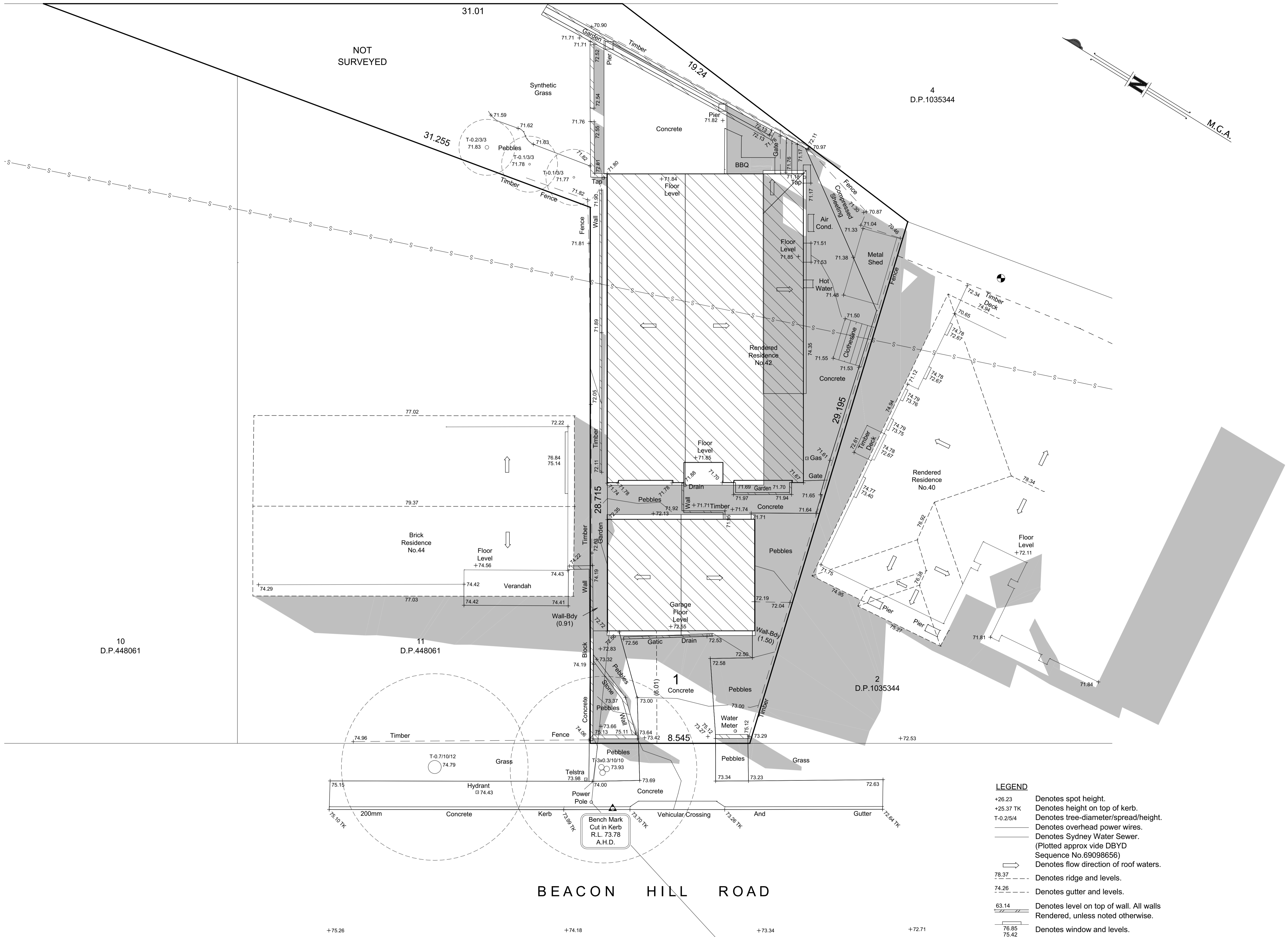
LOT No. 1

No. Revision/Issue Date

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Project Name and Address  
42 BEACON HILL RD,  
BROOKVALE, NSW  
2100







Project N42B Sheet  
Date 23/09/2020 S.04  
Scale 1:100



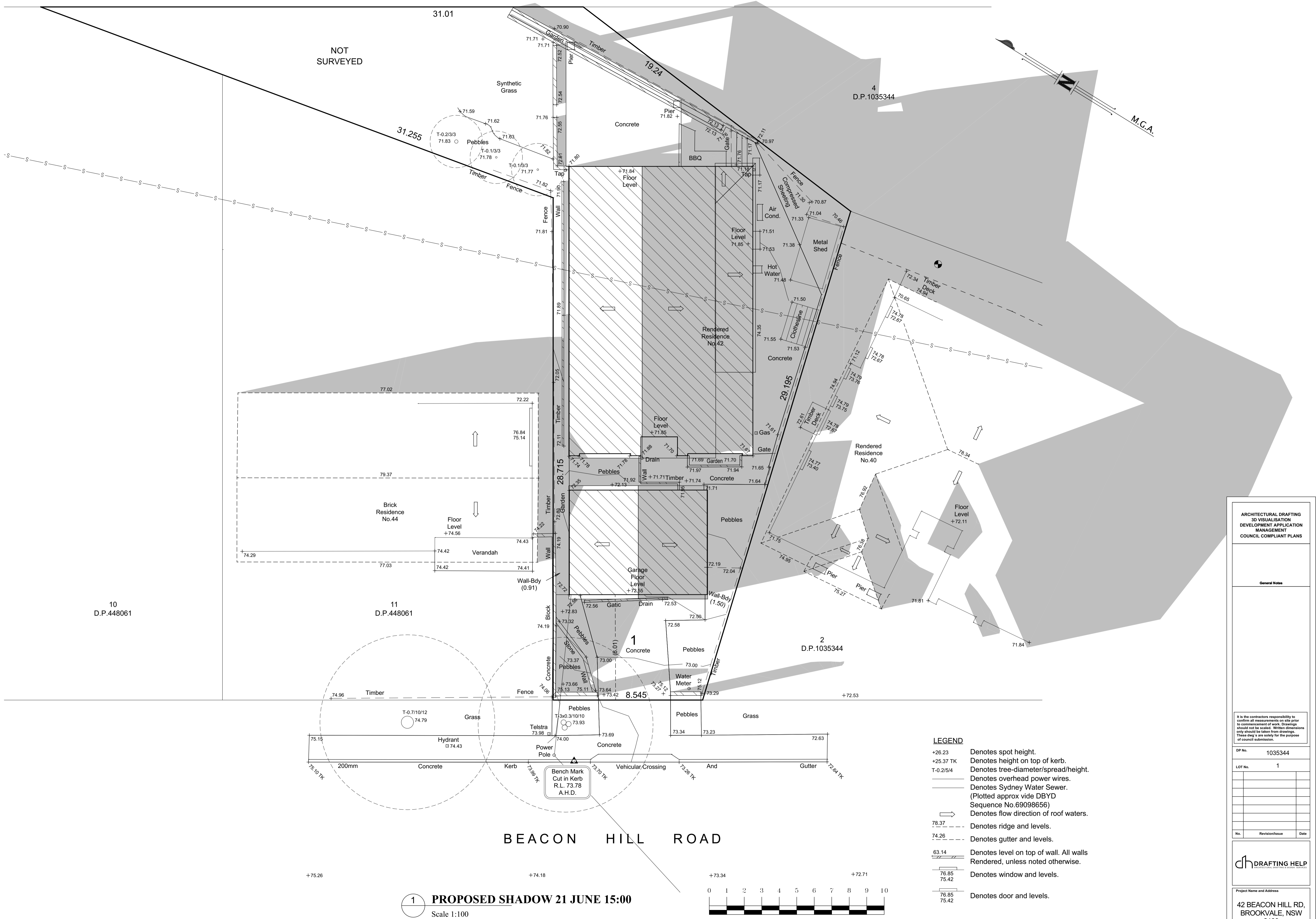
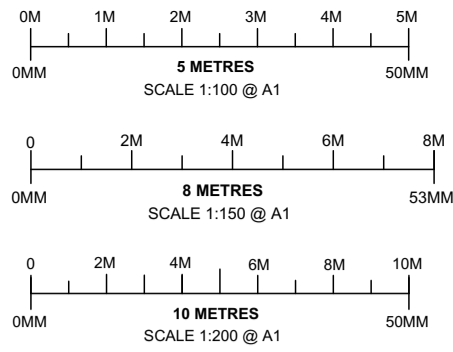
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$+73.34$ 
 $+72.71$

0 1 2 3 4 5 6 7 8 9 10

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Scale	0.00
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# 42 Beacon Hill Rd Brookvale

## Landscaping Plan

The proposed 1st floor addition does not alter the current landscaping.

Current landscaping map & images illustrated here:



Image 1



Image 2



Image 3



Image 4



Image 5



Image 6



Image 7



Image 8



Image 9



Image 10



Image 11



Image 12



Image 13



Image 14



Image 15

