

## SITE PLAN SCALE 1:200

### SITE INFORMATION

EXISTING SITE AREA = 937.4 m<sup>2</sup>

EXISTING LANDSCAPED AREA = 634.6 m<sup>2</sup> = 67.56% OF SITE

POST DEVELOPMENT LANDSCAPED AREA = 630.2 m<sup>2</sup> = 67.08% OF SITE

EXISTING PRIVATE OPEN SPACE = 566.6 m<sup>2</sup> = 60.37% OF SITE (NO CHANGE)

EXISTING FLOOR SPACE = 167.34 m<sup>2</sup> (FSR = 0.18:1)

POST DEVELOPMENT FLOOR SPACE = 180.94 m<sup>2</sup> (FSR = 0.19:1)

**NOTE: THE PROPOSED WORKS HAVE BEEN DESIGNED SO THAT WHEN CONSTRUCTED THEY CAN COMPLY WITH THE BUILDING CODE OF AUSTRALIA**

**NO WORK IS TO COMMENCE UNTIL A CONSTRUCTION CERTIFICATE HAS BEEN ISSUED**

### NOTES:

- Please note that all building work must be carried out fully in accordance with the development consent and conditions of approval and it is an offence to carry out unauthorised building work or building work that is not in accordance with Council's approval.
- All building work must be carried out in accordance with the provisions of the Building Code of Australia, Local Government codes and all current Australian standards.
- All balustrading required to be 1000mm high by the B.C.A. shall be measured from FINISHED floor level.
- No investigation of underground services has been made. All relevant authorities should be notified prior to any excavation on or near the site.
- Developers & excavators may be held financially responsible by the asset owner should they damage underground networks. Minimise your risk and dial before you dig - Tel. 1100
- All dimensions shall be checked and verified by the builder prior to commencement of work.
- All concrete and structural steelwork is to be designed and certified by a structural engineer.
- All dimensions to boundaries shall be set out and verified by a registered survey.

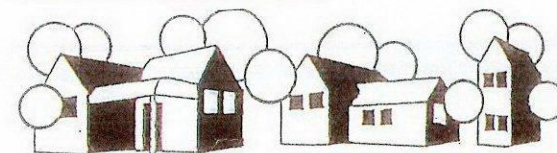
## PROPOSED CARPORT 101 BUNGAN HEAD ROAD NEWPORT FOR MS S GARNETT & MR S McLACHLAN

DRAWING NO. 01616-01 DATE: APRIL 2016

SHEET 1 OF 8

DRAWN: Ken Yardley LOT 25 DP 10423

SHEET SIZE A3



**North Shore Building Design Group**

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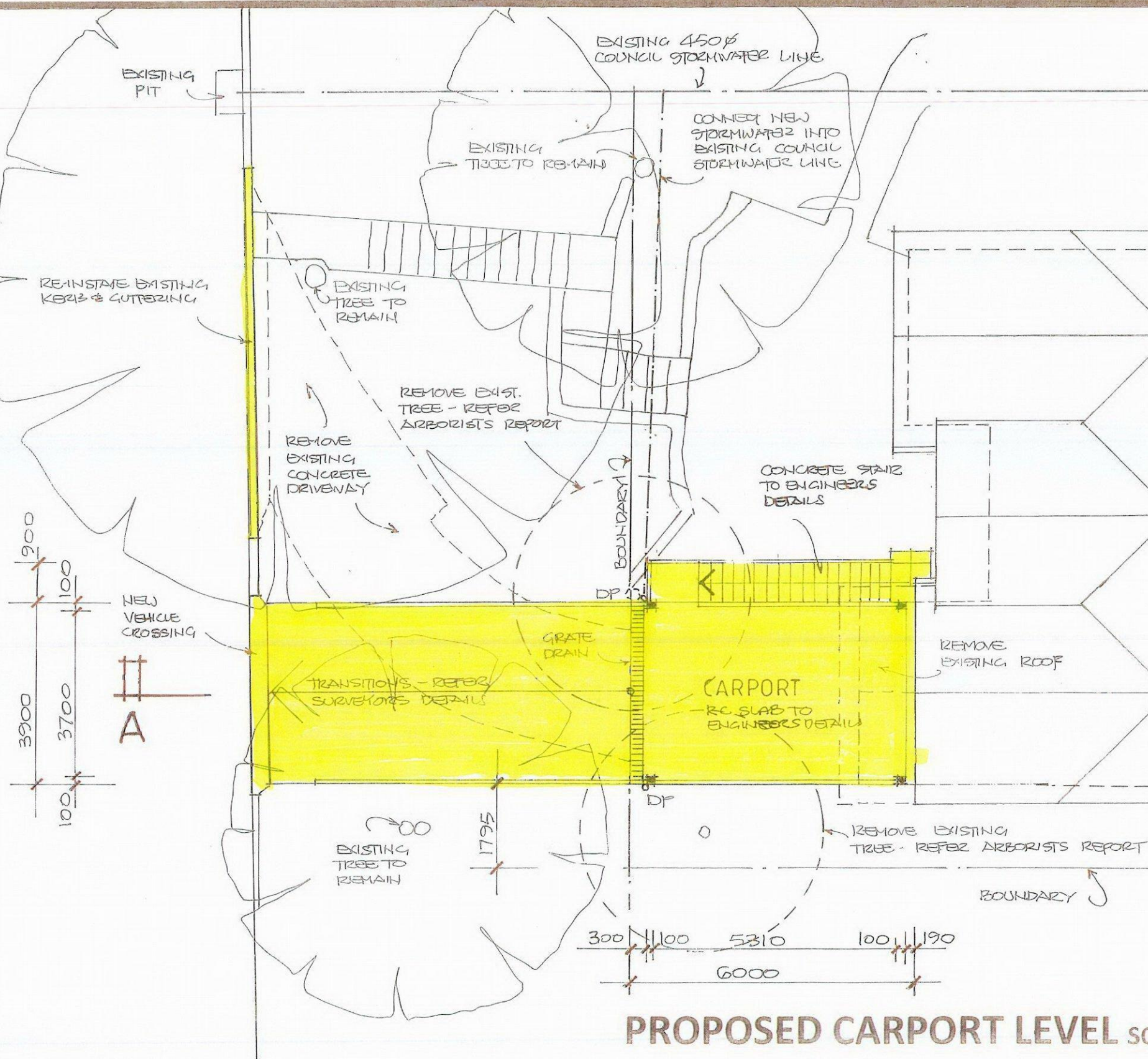
Accreditation No. 6014  
ABN: 24 569 794 584

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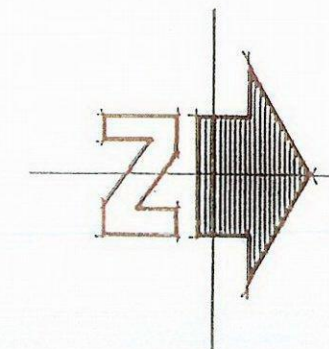
BUNGAN HEAD ROAD



APPROVED DEVELOPMENT  
CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANY  
WORKS ON THE ADJACENT ROAD RESERVE  
OR ANY COUNCIL RESERVE.

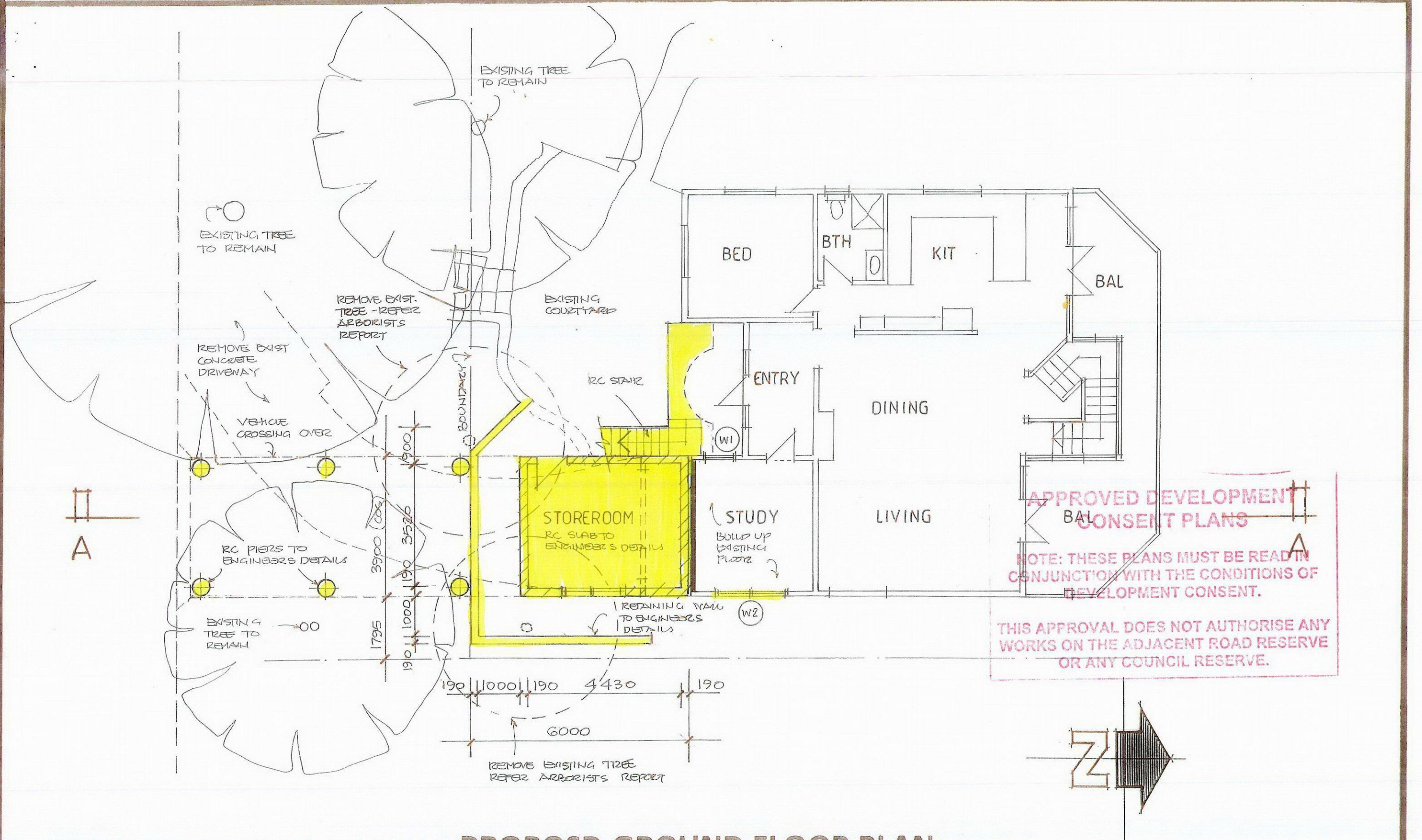


SHEET SIZE A3

Drawing No. 01616-03 Date: April 2016

101 Bungan head Road Newport Lot 25 DP 10423



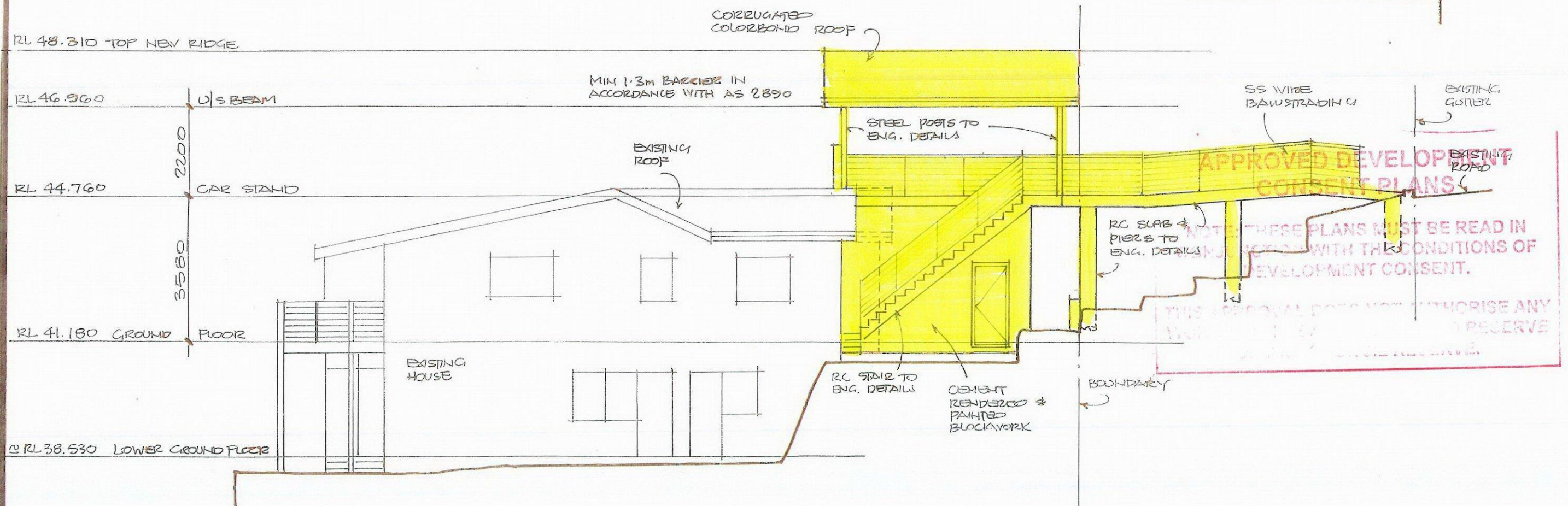
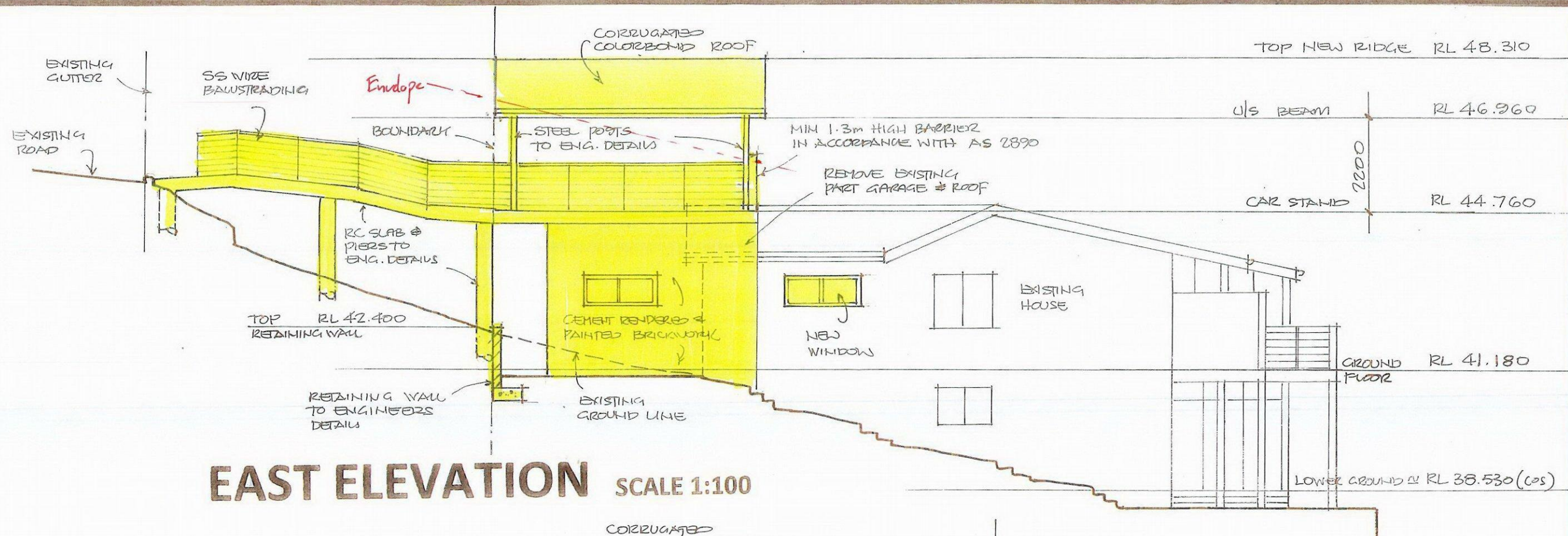


**PROPOSED GROUND FLOOR PLAN** SCALE 1:100

**SHEET SIZE A3**

Drawing No. 01616-04 Date: April 2016  
 101 Bungan head Road Newport Lot 25 DP 10423



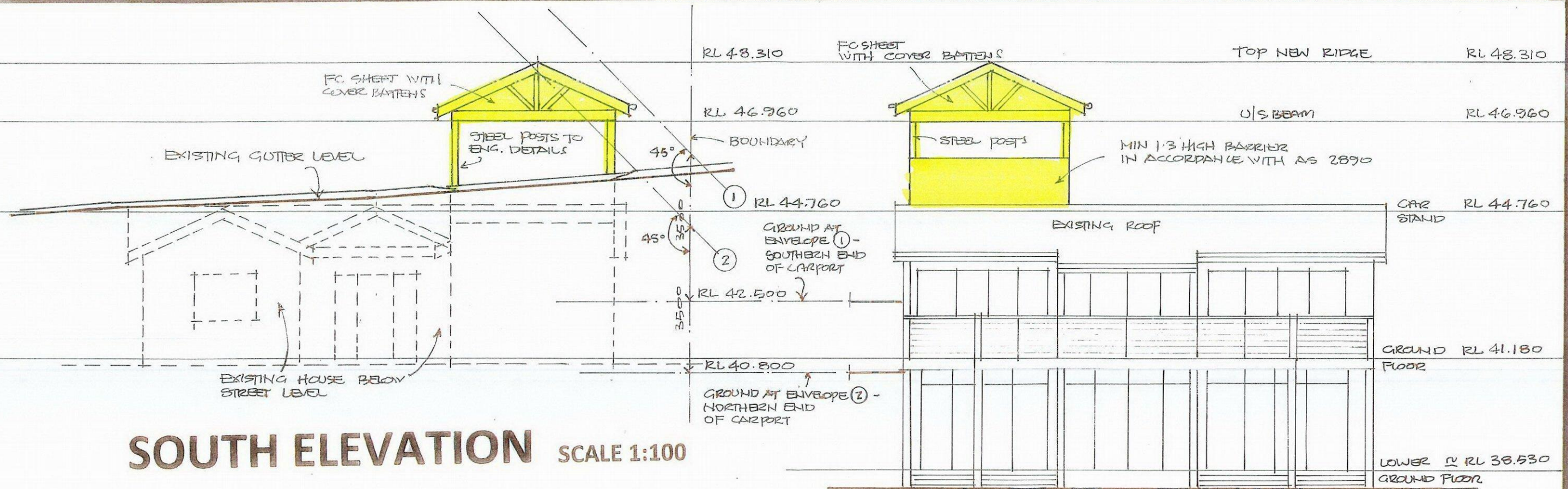


**WEST ELEVATION** SCALE 1:100

**SHEET SIZE A3**

Drawing No. 01616-05 Date: April 2016  
101 Bungan head Road Newport Lot 25 DP 10423





**SECTION A-A** SCALE 1:100

**SHEET SIZE A3**



# SAFETY REPORT

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, DEMOLISHERS, CERTIFIERS, COUNCIL EMPLOYEES

## 1. FALLS, SLIPS, TRIPS

### a) WORKING AT HEIGHTS

#### DURING CONSTRUCTION

Wherever possible, components for this building project should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two metres. If construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

#### DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: If cleaning and maintenance of windows, walls, roofs or other components of this building project requires persons to be situated where a fall from a height in excess of two metres is possible, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations and/or legislation.

Where scaffolding, ladders or trestles are not appropriate, for cleaning and maintenance of windows, walls, roof or other components of this building project where a fall from a height in excess of two metres is possible, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations and/or legislation.

### b) SLIPPERY OR UNEVEN SURFACES

#### FLOOR FINISHES Specified

If finishes have been specified by the designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

#### FLOOR FINISHES by Owner

If the designer has not been involved in the selection of surface finishes, the person responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. The surfaces should be selected in accordance with the current relevant Australian Standards.

#### STEPS, LOOSE OBJECT AND UNEVEN SURFACES

If steps and/or ramps are included in the building works which may be a hazard to workers carrying objects or otherwise occupied, they should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

## 2. FALLING OBJECTS

### LOOSE MATERIALS OR SMALL OBJECTS

If construction, maintenance or demolition work on or around this building project is likely to involve persons working above ground level or above floor levels, one or more of the following measures should be taken as required to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out
2. Provide toe boards to scaffolding or work platforms
3. Provide protective structure below the work area
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

### BUILDING COMPONENTS

During construction, renovation or demolition of this building project, if the structure, including fabricated steelwork, heavy panes and other components remain standing prior to or after supporting parts are in place, contractors should ensure that temporary bracing or other required support is in place at all times where collapse may injure persons in the area is a possibility.

If mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects, contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

## 3. TRAFFIC MANAGEMENT

If the building project is on a major road, narrow road or steeply sloping road:

Parking of vehicles of loading/unloading of vehicles on this roadway may cause a traffic hazard during construction, maintenance or demolition of this building project, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas. For building vehicles where on-site loading/unloading is restricted and will require loading and unloading of materials on the roadway, deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted, if required.

## 4. SERVICES

### GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous materials. Existing services have not been

located for this building project. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

If overhead power lines are near or on this site and pose a risk or electrocution if struck or approached by lifting devices or other plant and persons working above ground level, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used and a protective barrier provided in accordance with the supply authority requirements.

## 5. MANUAL TASKS

Components of this building project with a mass in excess of 25kg should be lifted by two or more workers or mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimizes bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. If construction, maintenance and demolition of this building project requires the use of portable tools and equipment, these should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

## 6. HAZARDOUS SUBSTANCES

### ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building in this building project was constructed prior to:

1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain asbestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

All asbestos is to be removed by a licensed person.

### POWDERED MATERIALS

If materials used in the construction of this building project can cause harm if inhaled in powdered form, persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

### TREATED TIMBER

If the design of this building project includes provision for the inclusion of treated timber within the structure, dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

### VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emission. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

### SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

### TIMBER FLOORS

If this building project contains timber floors which have an applied finish, areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

## 7. CONFINED SPACES

### EXCAVATION

If construction of this building and some maintenance on the building requires excavation and installation of items within excavations, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorized access to all excavations should be provided.

### ENCLOSED SPACES

If enclosed spaces within this building project present a risk to persons entering for construction, maintenance or any other purpose, warning signs and barriers for unauthorized access shall be installed. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

### SMALL SPACES

If small spaces within this building project require access by construction or maintenance workers, warning signs and barriers for unauthorized access shall be installed. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

## 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorized access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

## 9. OPERATIONAL USE OF BUILDING RESIDENTIAL BUILDINGS

This building project has been designed as a residential building. If at a later date, it is used or intended to be used as a workplace, the provisions of the Work health and Safety Act 2011 or subsequent replacement Act should be applied to the new use and all upgrading required to be carried out prior to occupation.

## 10. GENERAL

The building shall not be occupied until it is safe to do so. The builder is to notify the new occupants of any potential danger prior to occupation.

The building project site and all construction work shall comply with all Work Cover NSW rules and regulations, all relevant Australian Standards and Codes of Practice and by other statutory authority requirements.

All builders and sub-contractors are to possess appropriate current licenses as required.

PLANS MUST BE IN ACCORDANCE WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

THIS APPROVAL DOES NOT AUTHORISE ANYTHING ON THE ADJACENT ROAD RESERVE. ANY COUNCIL RESERVE.

SHEET SIZE A3

Drawing No. 01616-08 Date: April 2016

101 Bungan head Road Newport Lot 25 DP 10423