

MGA
DP 270907

- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP 1206507)
- (E) RIGHT OF CARRIAGEWAY 7.7 WIDE (VIDE DP 1206507)
- (H) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390860)
- (I) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790)
- (L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE DP 1206507)
- (M) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES 2.5 WIDE (VIDE DP 1206507)
- (N) EASEMENT FOR ELECTRICITY PURPOSES VARIABLE WIDTH (VIDE DP 1206507)
- (O) EASEMENT FOR ACCESS, CONSTRUCTION AND MAINTENANCE 0.9 WIDE
- (P) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 4.5 WIDE (VIDE DP 1206507)
- (V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP 1206507)
- (W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP 1206507)
- (X) RIGHT OF CARRIAGE WAY VARIABLE WIDTH No.8

LOT 16
D.P: 270907
L.G.A: NORTHERN BEACHES

**SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16**

| | |
|--|---------------------------------|
| SITE AREA | 305.90 m ² |
| ROOF AREA | 163.13 m ² |
| LANDSCAPED AREA | |
| TOTAL LANDSCAPE AREA: (MIN. DIMENSION OF 4.0m) | 76.56 m ² 25.02 % |
| MIN. REQUIRED BY COUNCIL: | 35 % |
| PRIVATE OPEN SPACE | |
| TOTAL OPEN SPACE AREA: (MIN. DIMENSION OF 4.0m) | 89.60 m ² |
| MIN. REQUIRED BY COUNCIL: | 24 m ² |
| HEIGHT RESTRICTION | |
| MAXIMUM RIDGE HEIGHT (F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS) | 10.5 m |

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "H1"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

| | |
|---|---------------------------------|
| SITE COVERAGE STORMWATER CALCULATION | |
| ROOF FOOTPRINT: | 163.13m ² |
| DRIVEWAY/ PAVED AREAS: | 23.83m ² |
| TOTAL: | 186.96m ² 61.11 % |
| MAX SITE COVERAGE FOR OSD: | 65% |

**STORMWATER TO
STREET VIA
RAINWATER TANK**
REFER TO HYDRAULIC DETAILS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

AREA TO BE KEPT CLEAR OF
SERVICES FOR FUTURE USE
BY OWNER

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOCATION OF AIR
CONDITIONING UNIT

PROVIDE CONCRETE LANDING
AND STEPS BY CLARENDON

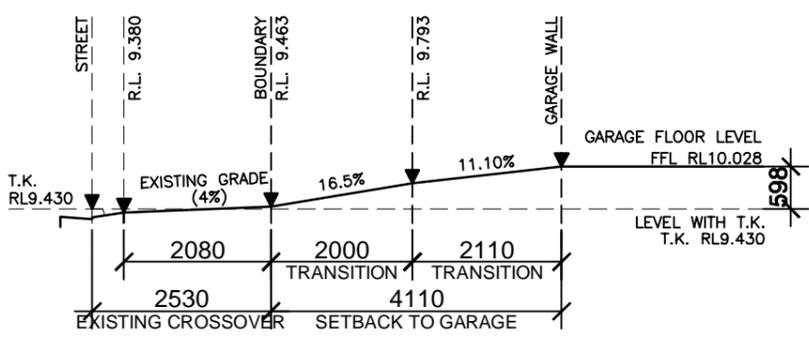
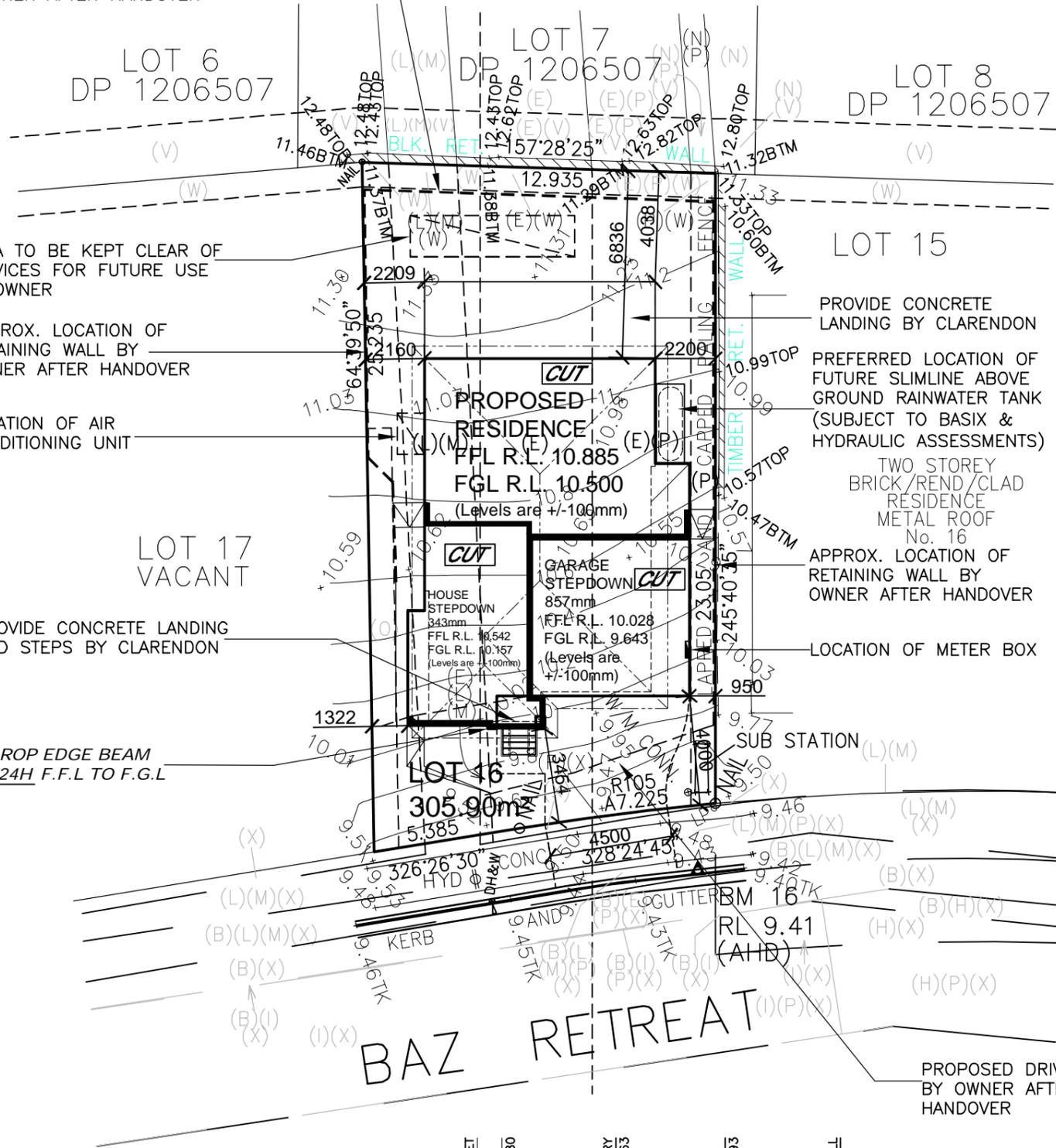
DROP EDGE BEAM
824H F.F.L TO F.G.L

PROVIDE CONCRETE
LANDING BY CLARENDON

PREFERRED LOCATION OF
FUTURE SLIMLINE ABOVE
GROUND RAINWATER TANK
(SUBJECT TO BASIX &
HYDRAULIC ASSESSMENTS)

APPROX. LOCATION OF
RETAINING WALL BY
OWNER AFTER HANDOVER

LOCATION OF METER BOX



DRIVEWAY GRADIENT PROFILE
SCALE - N.T.S

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0665

SITE PLAN
SCALE 1:200

GENERAL NOTES
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.



| | | | | | | |
|--|--|--|--|--------------------|-------------------|-----------|
| BL No. 2298C ABN 18 003 892 706 Clarendon Homes (NSW) P/L 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300 | © ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) P/L Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) P/L # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING. | PRODUCT: BRONTE 25 MKII Classic R/H Garage Sapphire Specification | CLIENT: Mr. HERBERT Ms. GRIMSHAW SITE ADDRESS: Lot 16 No. 18 Baz Retreat WARRIEWOOD, 2102 | DA DRAWINGS | | |
| | | | | DRAWN: SM | DATE: 28.02.21 | Rev: D |
| | | SHEET: 2 | JOB No: 29914965 | NSW | | |

⊙ SMOKE ALARM

● AIR CONDITIONING DUCT

- DP ○ DOWN PIPE LOCATION
- TAP ⚡ GARDEN TAP LOCATION
- ☐ LIFT OFF HINGES
- SP ○ STEEL POST
- TSP ○ TELESCOPIC STEEL POST
- ⊖ EXHAUST FAN

NOTE:
 PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
 * EXPOSURE GRADE BRICKS,
 * STAINLESS STEEL WALL TIES,
 * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
 * COLORBOND VALLEY GUTTERS,
 * EXPOSURE GRADE MORTAR

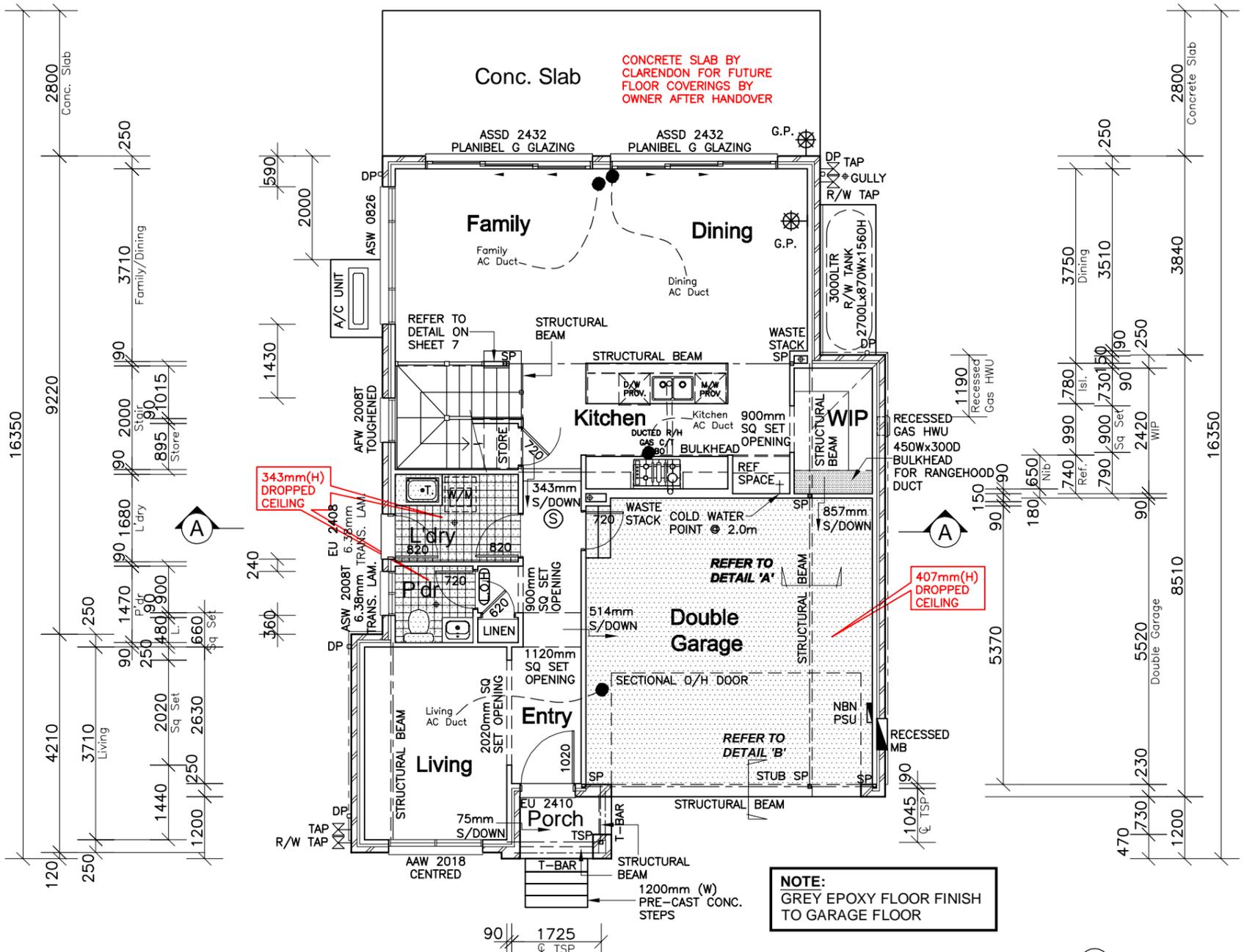
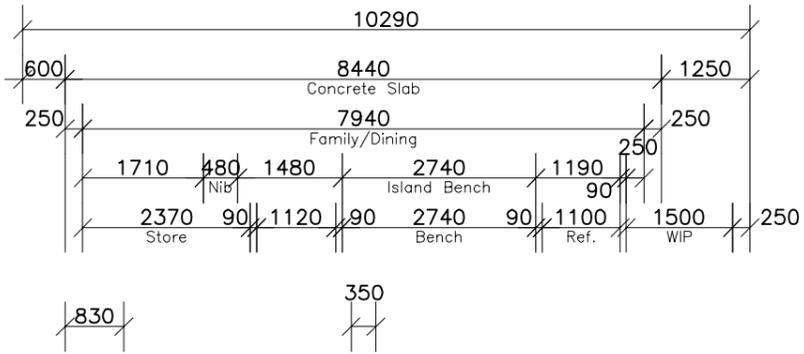
NOTE:
 ALL INTERNAL DRAINAGE POINTS INDICATIVE ONLY. POSITION TO BE DETERMINED ON SITE

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

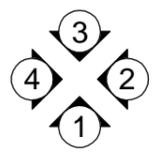
NOTE:
 PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE:
 INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

NOTE:
 (UNLESS NOTED OTHERWISE)
 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS



NOTE:
 GREY EPOXY FLOOR FINISH TO GARAGE FLOOR

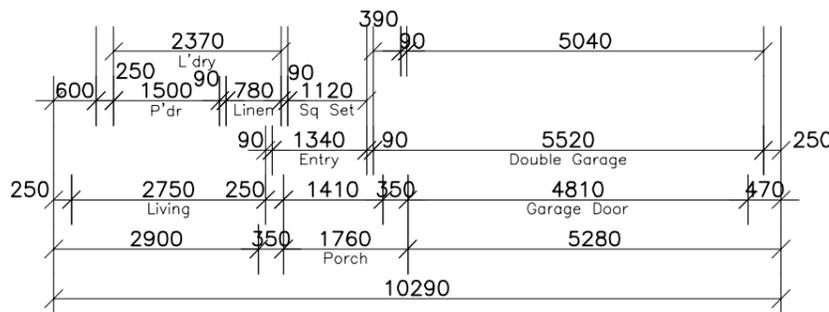


GROUND FLOOR PLAN

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0665



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|---------------------------------------|------------------|--|--|---|--|--|--|--|--|------------|----------------|--------|-------------------|--------------|--|----------|------------------|-----|
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| SHEET: 3 | JOB No: 29914965 | NSW | | | | | | | | | | | | | | | | |

5.4
 NATIONWIDE HOUSE ENERGY RATING SCHEME
 59.3
 www.nathert.gov.au

0005891510 21 Apr 2021
 Assessor Daniel Warda
 Accreditation No. 101182
 Address Baz Retreat, Warriewood, NSW, 2102
 hstar.com.au

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

Ⓢ SMOKE ALARM ● AIR CONDITIONING DUCT

DP ○ DOWN PIPE LOCATION

ⓁⓄⓅ LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

⊖ EXHAUST FAN

⌈⌋ 400x200mm EAVE VENT

NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:
 * EXPOSURE GRADE BRICKS,
 * STAINLESS STEEL WALL TIES,
 * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
 * COLORBOND VALLEY GUTTERS,
 * EXPOSURE GRADE MORTAR

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

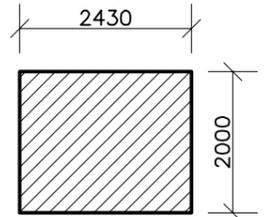


NOTE:
 ALL INTERNAL DRAINAGE POINTS INDICATIVE ONLY. POSITION TO BE DETERMINED ON SITE

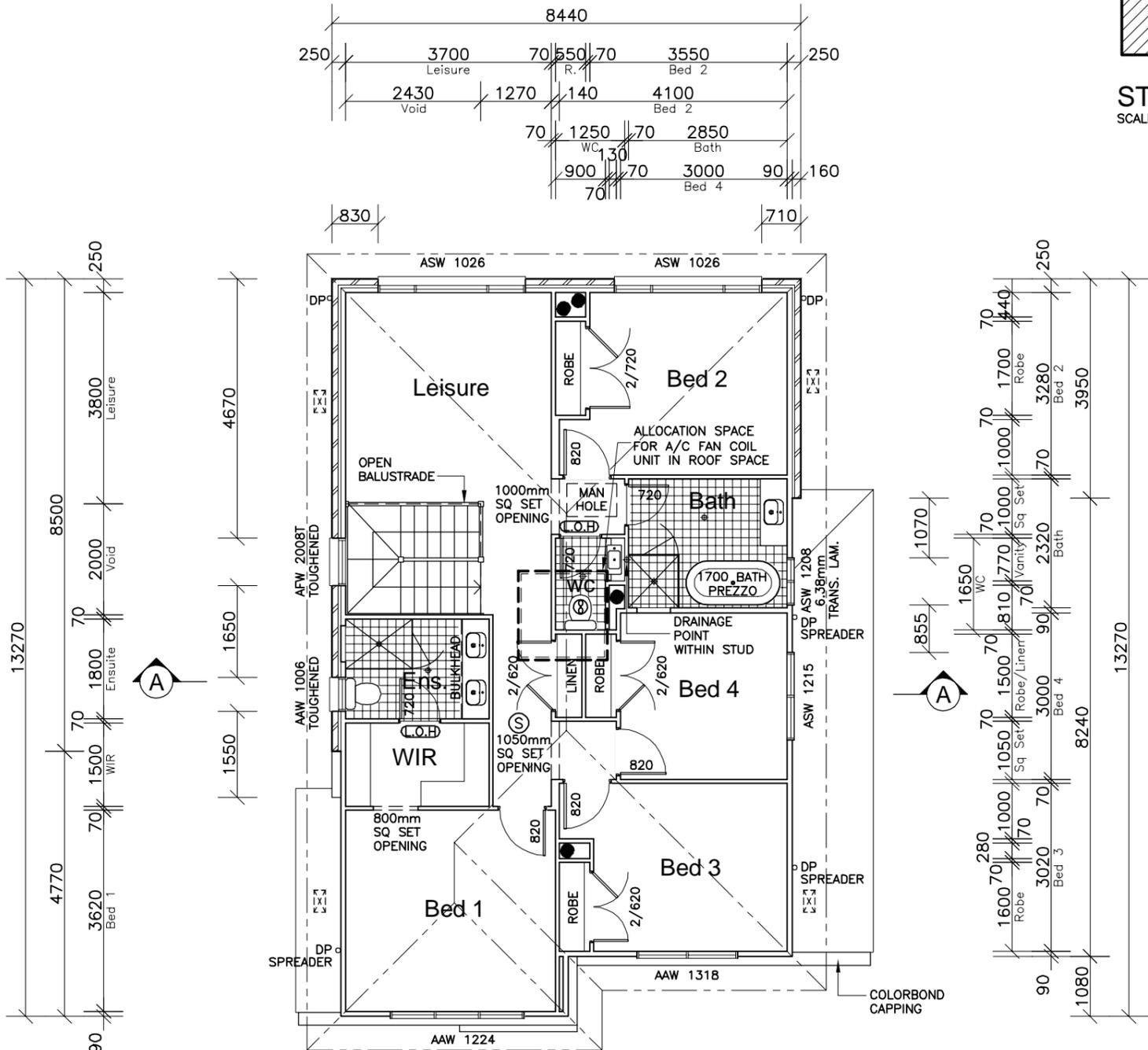
NOTE:
 (UNLESS NOTED OTHERWISE)
 300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

NOTE:
 ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:
 SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS



STAIR CUTOUT
 SCALE 1:100

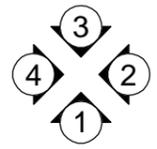
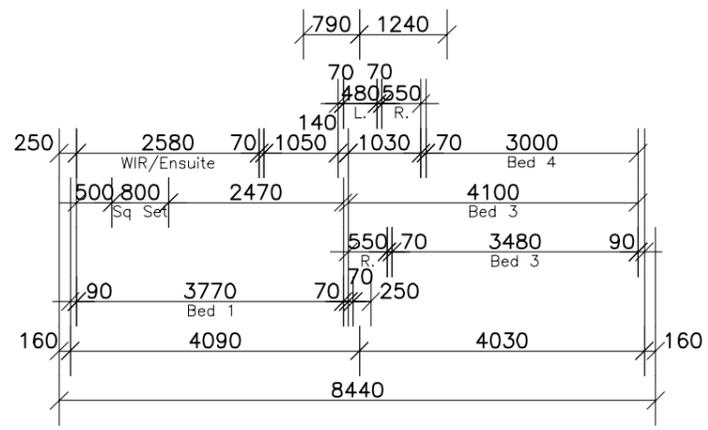


FIRST FLOOR PLAN

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0665



5.4 NATIONWIDE HOUSE

Assessor Daniel Warda
 Accreditation No. 101182
 Address Baz Retreat, Warriewood, NSW, 2102

59.3 Mins
 www.nathers.gov.au

0005891510 21 Apr 2021
 hstar.com.au

| | | | | | | | | | | | | | | | | | | |
|---------------------------------------|------------------|--|--|--|--|--|--|--|--|------------|----------------|--------|-------------------|--------------|--|----------|------------------|-----|
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| SHEET: 4 | JOB No: 29914965 | NSW | | | | | | | | | | | | | | | | |

ClarendonHomes

BL No. 2298C
 ABN 18 003 892 706

Clarendon Homes (NSW) P/L
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

NOTE:
ALL WINDOWS WITH BRICKWORK OVER TO HAVE MINIMUM OF 3 COURSES ABOVE LINTEL. EXTEND BRICKWORK ABOVE EAVE SOFFIT LINING IF REQUIRED

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



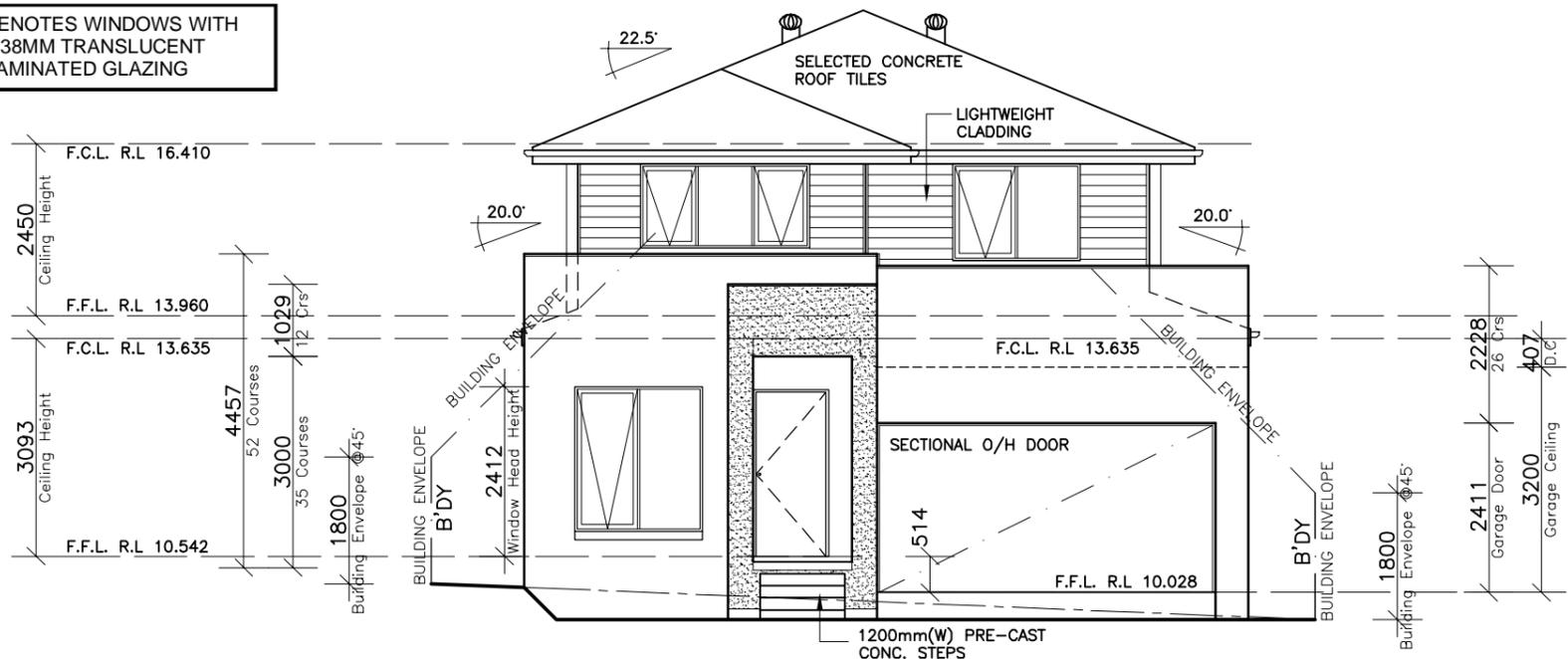
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* EXPOSURE GRADE MORTAR

NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS
CDN 21.010-21.080

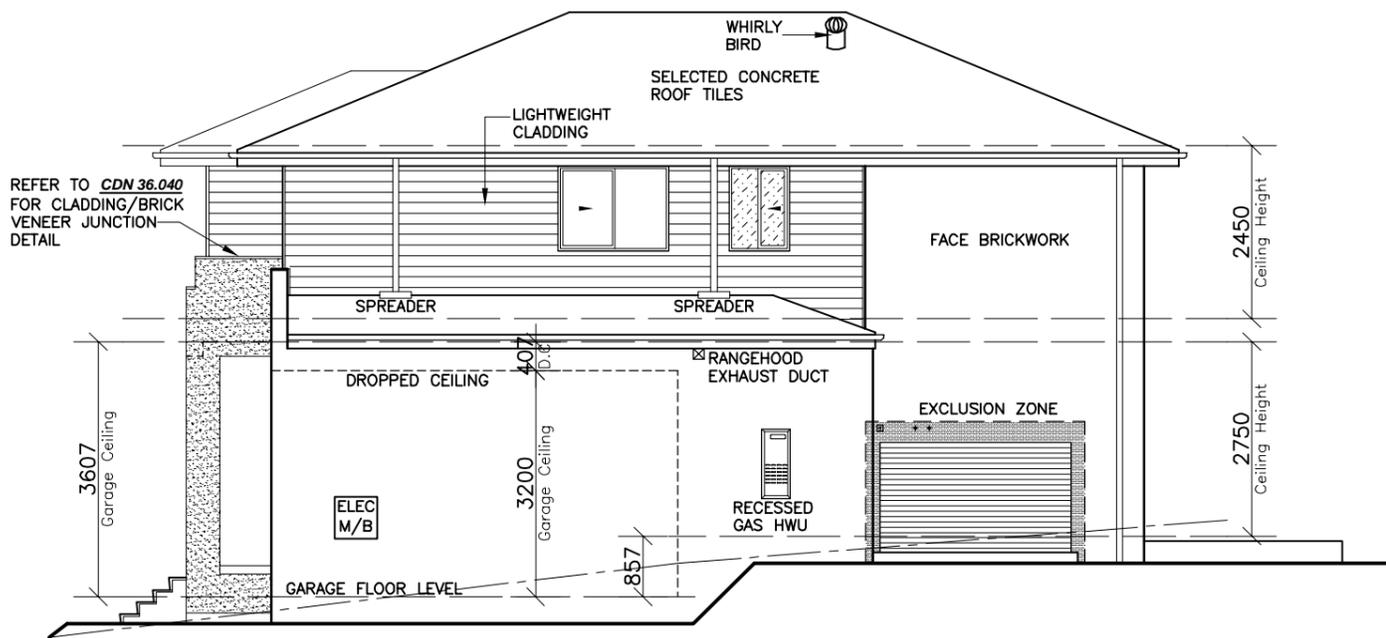
 Applied Render Finish #1

 DENOTES WINDOWS WITH PLANIBEL G GLAZING

 DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING



**ELEVATION 1
-WEST-**



**ELEVATION 2
-SOUTH-**

 northern beaches council

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DA2021/0665

5.4
NATIONWIDE HOUSE
www.nathes.gov.au

0005891510 21 Apr 2021
Assessor Daniel Warda
Accreditation No. 101182
Address
Baz Retreat, Warriewood, NSW, 2102

59.3 M²
www.nathes.gov.au

hstar.com.au

CLIENT'S SIGNATURE: _____ DATE: _____

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ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.

PRODUCT:
BRONTE 25 MKII
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mr. HERBERT
Ms. GRIMSHAW

SITE ADDRESS:
Lot 16 No. 18
Baz Retreat
WARRIEWOOD, 2102

| DA DRAWINGS | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 29.03.21 | Rev: D |
| RATIO @ A3: 1:100 | CHECKED: MCA | |
| SHEET: 5 | JOB No: 29914965 | NSW |

NOTE:
ALL WINDOWS WITH BRICKWORK OVER TO HAVE MINIMUM OF 3 COURSES ABOVE LINTEL. EXTEND BRICKWORK ABOVE EAVE SOFFIT LINING IF REQUIRED

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



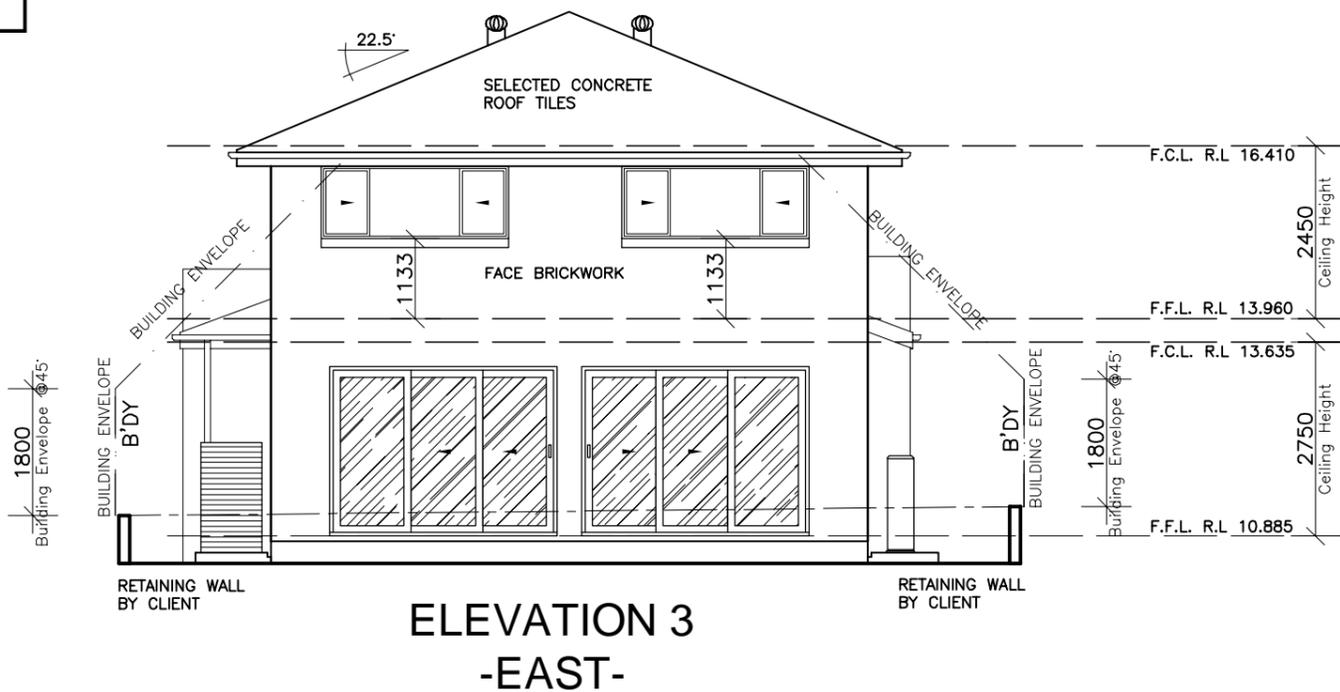
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* EXPOSURE GRADE MORTAR

NOTES:
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CDN 21.010-21.080

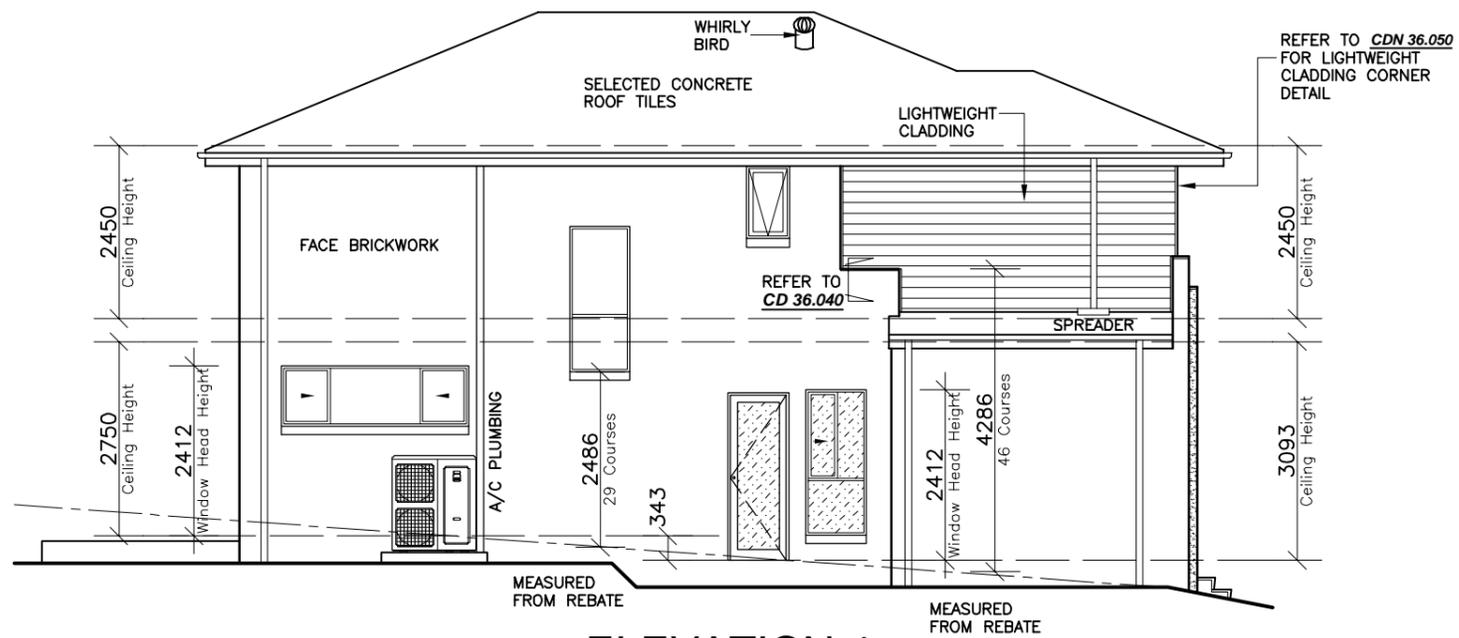
 Applied Render Finish #1

 DENOTES WINDOWS WITH PLANIBEL G GLAZING

 DENOTES WINDOWS WITH 6.38MM TRANSLUCENT LAMINATED GLAZING



**ELEVATION 3
-EAST-**



**ELEVATION 4
-NORTH-**

 northern beaches council

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DA2021/0665

0005891510 21 Apr 2021

5.4
NATIONWIDE HOUSE
www.nathers.gov.au

Assessor Daniel Warda
Accreditation No. 101182
Address
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59.3
M²

hstar.com.au

CLIENT'S SIGNATURE: _____ DATE: _____

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PRODUCT:
BRONTE 25 MKII
Classic
R/H Garage
Sapphire Specification

CLIENT:
Mr. HERBERT
Ms. GRIMSHAW

SITE ADDRESS:
Lot 16 No. 18
Baz Retreat
WARRIEWOOD, 2102

| DA DRAWINGS | | |
|-------------------|------------------|--------|
| DRAWN: PG. | DATE: 29.03.21 | Rev: D |
| RATIO @ A3: 1:100 | CHECKED: MCA | |
| SHEET: 6 | JOB No: 29914965 | NSW |

NOTE:
ALL WINDOWS WITH BRICKWORK OVER TO HAVE MINIMUM OF 3 COURSES ABOVE LINTEL. EXTEND BRICKWORK ABOVE EAVE SOFFIT LINING IF REQUIRED

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO GROUND FLOOR TO BE 2340mm(H)

NOTE:
HEIGHT OF DROP EDGE BEAM MAY VARY DUE TO SITE CONDITIONS UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY VARY DEPENDING ON SITE CONDITIONS

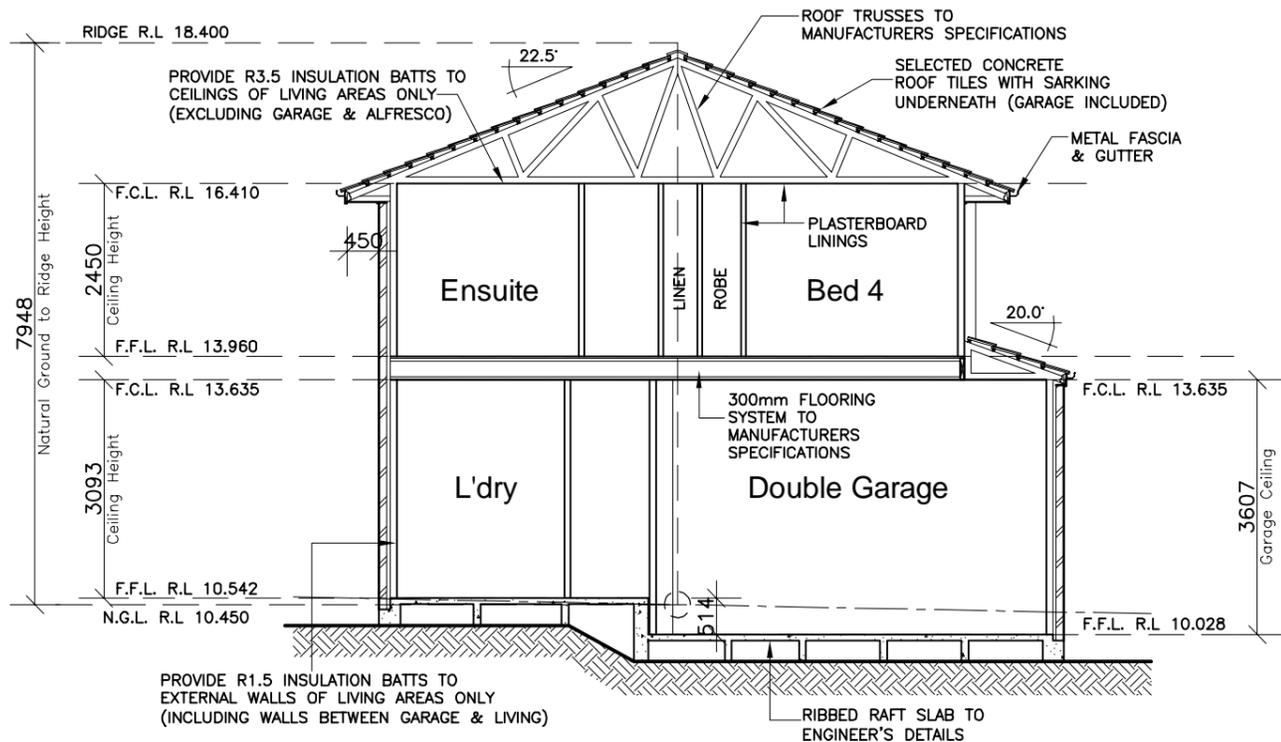
PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD



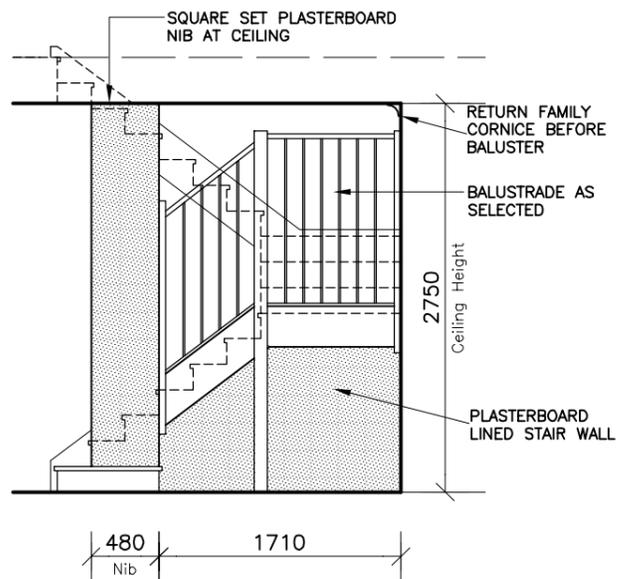
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NOTES:
FOR DROP-OFF'S REFER TO FRAMING DETAILS **CDN 21.010-21.080**



SECTION A-A.



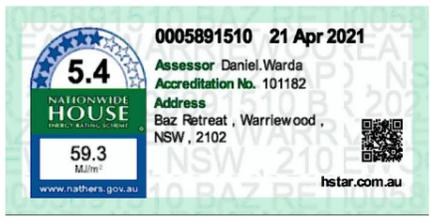
STAIR ELEVATION

VIEWED FROM FAMILY
SCALE 1:50

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0665



CLIENT'S SIGNATURE: _____ DATE: _____

| | | | | | | |
|--|---|--|--|--------------------------|-----------------------|-----------------|
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| | | | | <p>JOB No: 29914965</p> | <p>NSW</p> | |