

ABBREVIATIONS

AHD - Australian Height Datum	No - Number
Al - Aluminium	Nom - Nominal
AC - Air Conditioning	NTS - Not To Scale
AP - Access Panel	O - Oven
AS - Australian Standards	OF - Overflow
B - Basin	OFC - Off Form Concrete
BCA - Building Code of Australia	OG - Obscure Glass
Bhd - Bulkhead	OH - Over Head
Bid - Bidet	OSD - On Site Detention
BK - Brick	PB - Plasterboard
CB - Concrete Block	PC - Precast
CC - Construction Certificate	Pit - Stormwater Pit
CFC - Compressed Fibre Cement	PF - Paint Finish
CJ - Construction Joint	PFC - Parallel Flange Channel
CL - Centre Line	PGL - Proposed Ground Line
Col - Column	Ply - Plywood
Conc - Concrete	Poly - Polyurethane
CP - Chrome Plated	PP - Power Pole
CR - Cement Render	Prefab - Prefabricated
CT - Ceramic Tile	Prelim - Preliminary
D - Door (with no.)	Qty - Quantity
DA - Development Approval	R - Robe
DG - Double Glazed	Ref - Refridgerator
DH - Double Hung	RC - Reinforced Concrete
Dia - Diameter	Reqd - Required
Dist - Distance	RH - Robe Hook
DP - Downpipe	RHd - Range Hood
DPC - Damp Proof Course	RHS - Rectangular Hollow Section
DS - Door Stop	RL - Reduced Level
DW - Dishwasher	RM - Reference Mark
Dwg - Drawing	Rose - Shower Rose
EGL - Existing Ground Line	ROW - Right Of Way
Eng - Engineer	RWH - Rainwater Head
Ex - Existing	RWT - Rainwater Tank
F - Freezer	S - Skylight (with No)
FB - Face Brick	SC - Stop Cock
FE - Fire Extinguisher	Sect - Section
FCL - Finished Ceiling Level	Sew - Sewer
FFL - Finished Floor Level	SFL - Struct Floor Level
FG - Fixed Glazing	SK - Sketch
FH - Fire Hydrant	Shr - Shower
FHR - Fire Hose Reel	SHS - Square Hollow Section
FW - Floor Waste	Spec - Specification
G - Gate (with no.)	Spr - Sprinkler
GA - General Arrangement	SPF - Special Paint Finish
Gal - Galvanised	SS - Stainless Steel
Gas - Gas Cock	Std - Standard
GD - Grated Drain	SVP - Sewer Vent Pipe
GM - Gas Meter	TBS - To Be Selected
Gnd - Ground	Tol - Tolerance
Ht - Height	TPH - Toilet Paper Holder
Heat - Heater	TR - Towel Rail
HWU - Hot Water Unit	Tub - Laundry Tub
Hyd - Hydraulic	Typ - Typical
IP - Inspection Point	UB - Universal Beam
Incl - Include	UC - Universal Column
Inv - Invert	UNO - Unless Noted Otherwise
Lin - Linen Cupboard	VOS - Verify On Site
Lam - Laminated	Vac - Vacuum
Lvr - Louvre	WB - Weatherboard
Ldry - Laundry	WC - Water Closet
MB - Meter Box	WD - Working Drawing
MDF - Medium Density Fibreboard	W / D - Washer Dryer
Min - Minimum	WI - Wrought Iron
Misc - Miscellaneous	WPM - Waterproof Membrane
Mix - Mixer	WIR - Walk in Robe
MW - Microwave	

DRAWING LIST:

TITLE PAGE	DA.00
SITE ANALYSIS PLAN	DA.01
SITE / ROOF PLAN	DA.02
LOWER GROUND PLAN	DA.03
GROUND FLOOR PLAN	DA.04
LEVEL 1 FLOOR PLAN	DA.05
NORTH / STREET ELEVATION	DA.06
SOUTH ELEVATION	DA.07
WEST ELEVATION	DA.08
EAST ELEVATION	DA.09
FSR CALCULATION PLAN	DA.12
OPEN SPACE & LANDSCAPED AREA CALCULATION PLAN	DA.13
SHADOW DIAGRAM	DA.14
ELEVATIONAL SHADOW DIAGRAM	DA.15
FINISHES & MATERIAL SCHEDULE	DA.16
DEMOLITION PLAN	DA.17

DRAWING LEGEND:

ALL LEVELS	ALL LEVELS SHOWN ARE TO FINISHED SURFACE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING & PROPOSED LEVELS ONSITE PRIOR TO ORDERING, FABRICATION OR CONSTRUCTION.
+ 26.810	EXISTING LEVEL: AS SURVEYED TO AHD AT SPECIFIC LOCATION AS SHOWN BY EITHER PLAN OR ELEVATION MARKER (m)
+ 26.810	PROPOSED FINISHED LEVEL: TO AHD AT SPECIFIC LOCATION AS SHOWN BY EITHER PLAN OR ELEVATION MARKER (m)
FFL 26.810	EXISTING: FINISHED FLOOR LEVEL TO AHD AT LOCATION GENERALLY (m)
FFL 26.750	PROPOSED: FINISHED FLOOR LEVEL TO AHD AT LOCATION GENERALLY (m)
	SET-OUT POINT FOR PROPOSED WORKS
	BOUNDARY, GRID OR SET-OUT LINE
	CENTRE LINE
	PROPOSED ITEM IS BLACK
	EXISTING ITEM IS BLUE / BLUE
	DEMOLISHED ITEM IS RED

AS 1100.301 - 1985 - PRESENTATION OF MATERIALS LIST

	BRICK		METAL
	CEMENT RENDER		TIMBER - SAWN / STUD WALL
	CONCRETE		TIMBER - DRESSED
	CONCRETE BLOCK		SANITARY FITTINGS
	CUT STONE MASONRY / ROCK		WALL / FLOOR TILES
	EARTH / HARDCORE		WOOD FLOOR
	FILL		FIBROUS CEMENT (FC) SHEET
	GLASS		HARD PLASTER / PLASTER BOARD

ALSO REFER TO:

BASIX CERTIFICATE	A399351
STATEMENT OF ENVIRONMENTAL EFFECTS	FEB 2021
STORMWATER / EROSION AND SEDIMENT PLAN	20-1203-H01, H02
SITE / LEVELS SURVEY	10985/20
LANDSCAPE PLAN	DA.18

COUNCIL CONTROLS SUMMARY:

Summary of Areas	Required	Existing	Proposed	Complies
Site Area	250 sqm	396.8 sqm	existing	✓
Floor Space Ratio	0.6:1 (238.08 sqm)	0.34:1 (135.7 sqm)	0.6:1 (238.04 sqm)	✓
Total Open Space	55% (218.24 sqm) min.	36.63% (145.35 sqm)	37.2% (147.7 sqm)	More than ex.
Landscaped Area	35% of open space min. (51.7 sqm)	77% (113.9 sqm)	61.88% (91.4sqm)	✓
Private Open Space	18 sqm min.	18.66 sqm	27 sqm	✓
Building Height	8.5m max.	6.165m	8.185m	✓
Wall Height	6.5m max.	3.67m	6.5m	✓
Roof Height	2.5m max. above wall ht	3.311m	2m	✓
Front Setback	average of neighbours (3m)	1.445m	1.615m	More than ex.
Side Setbacks (east)	1/3m of wall height	6.24m	7.941m	✓
Side Setbacks (west)	1/3m of wall height	1.285m	1.285m (Ex. ground floor) 1.45m (1 floor)	Refer SEE
Rear Setback	8m	1.2m	1.2m (Ex. ground floor) 1.37m (1 floor)	Refer SEE

LOCALITY PLAN: Not to Scale



BASIX UNDERTAKINGS:

Fixtures and systems

Hot water
The applicant must install the following hot water system in the development: gas instantaneous.

Construction

Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
* suspended floor with enclosed subfloor: framed (R0.7) - R0.6 (down) (or R1.30 including construction)
* floor above existing dwelling or building - Nil
* external wall: cavity brick - Nil
* external wall: framed (weatherboard, fibro, metal clad) - R1.30 (or R1.70 including construction)
* flat ceiling, pitched roof - ceiling: R3.0 (up), roof: foil/sarking, medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the below.
Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
* For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the below.

Windows and glazed doors glazing requirements

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D.02 (N) Area = 0.71m ²	D.03 (W) Area = 1.23m ²	D.07 (E) Area = 7.12m ²
Shading device: projection/height above sill ratio >=0.23		
Frame and glass type: timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)		
D.04 (N) Area = 0.05m ²	D.05 (E) Area = 19.55m ²	
Shading device: projection/height above sill ratio >=0.29		
Frame and glass type: timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)		
D.06 (S) Area = 0.21m ²	D.07 (S) Area = 0.75m ²	
Shading device: projection/height above sill ratio >=0.23		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.01 (S) Area = 0.71m ²	W.02 (S) Area = 0.75m ²	
Shading device: projection/height above sill ratio >=0.29		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.04 (S) Area = 1m ²		
Shading device: none		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.05 (S), W.06 (S) Area = 1.2m ² (each)		
Shading device: projection/height above sill ratio >=0.23		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.07 (W) Area = 0.45m ²		
Shading device: projection/height above sill ratio >=0.43		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.08 (N), W.09 (N), W.10 (E) Area = 1m ² (each)		
Shading device: projection/height above sill ratio >=0.36		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.11 (N) Area = 0.5m ² , W.12 (N) Area = 3.25m ² , W.13 (E) Area = 2.22m ²		
Shading device: projection/height above sill ratio >=0.36		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.14 (S), W.15 (S), W.17 (S) Area = 0.87m ² (each)		
Shading device: projection/height above sill ratio >=0.36		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		
W.16 (W) Area = 1.85m ²		
Shading device: projection/height above sill ratio >=0.23		
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)		

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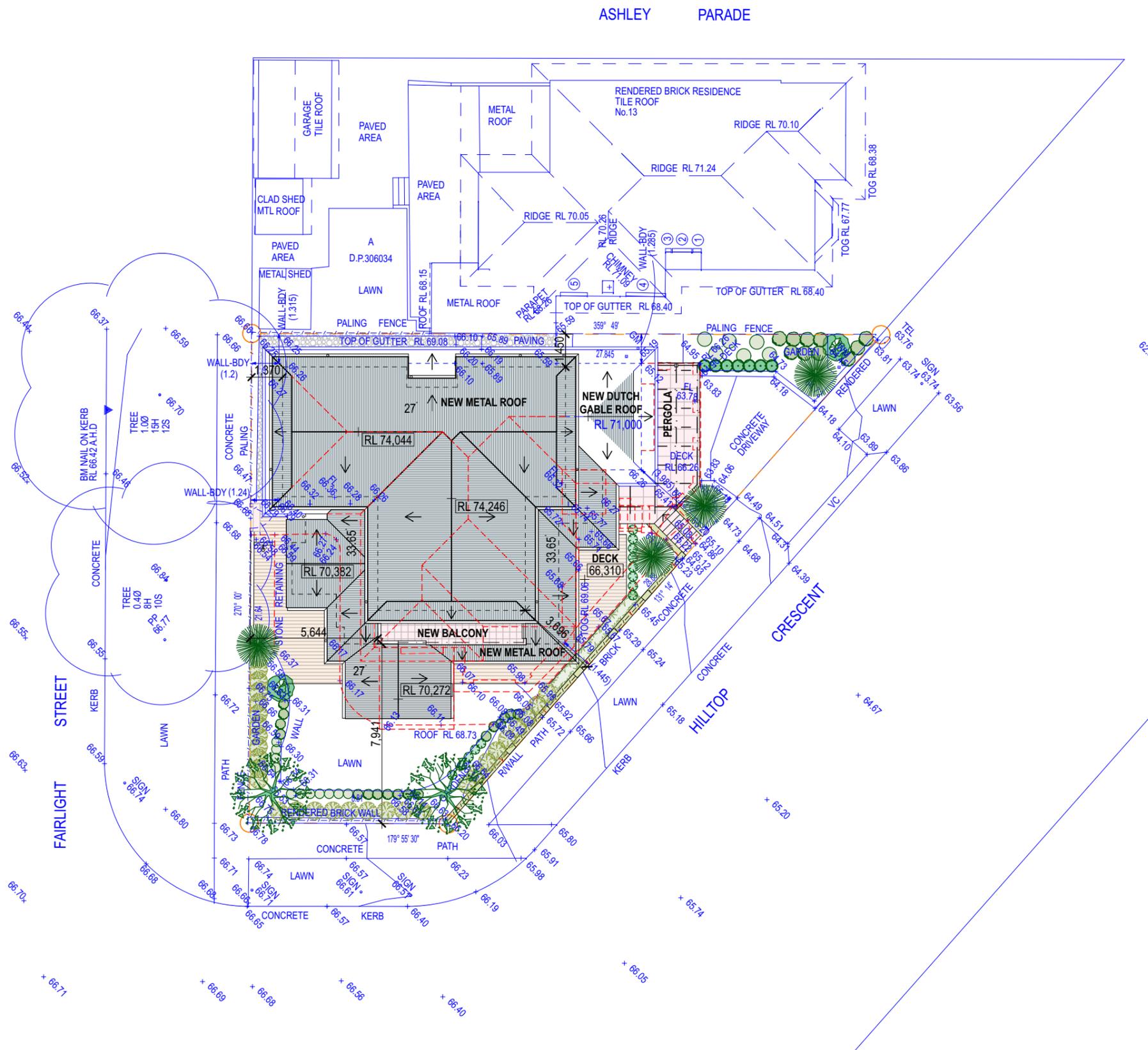
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Client:
Andrew & Nicki McEncroe
11 Hilltop Crescent Fairlight NSW 2094
LOT B & D.P.306034

Title:
Title Page

11Hill
DA.00
Issue:
E

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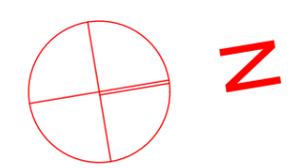
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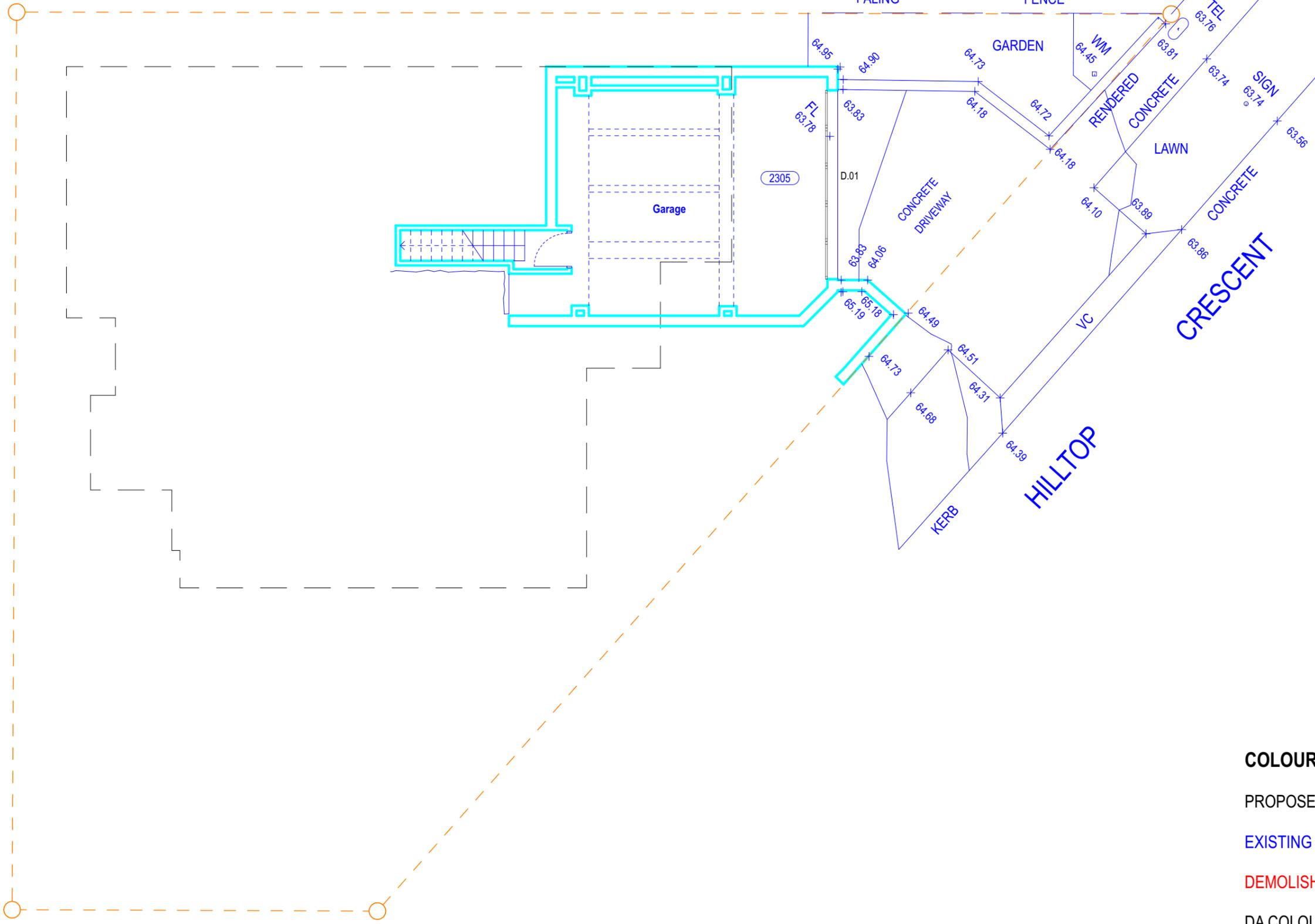
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Title:
Site / Roof Plan
Scale 1:200 @ A3
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A
D.P.306034



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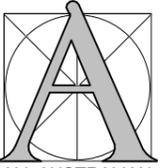
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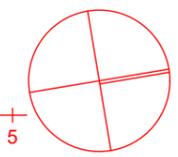
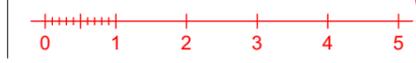
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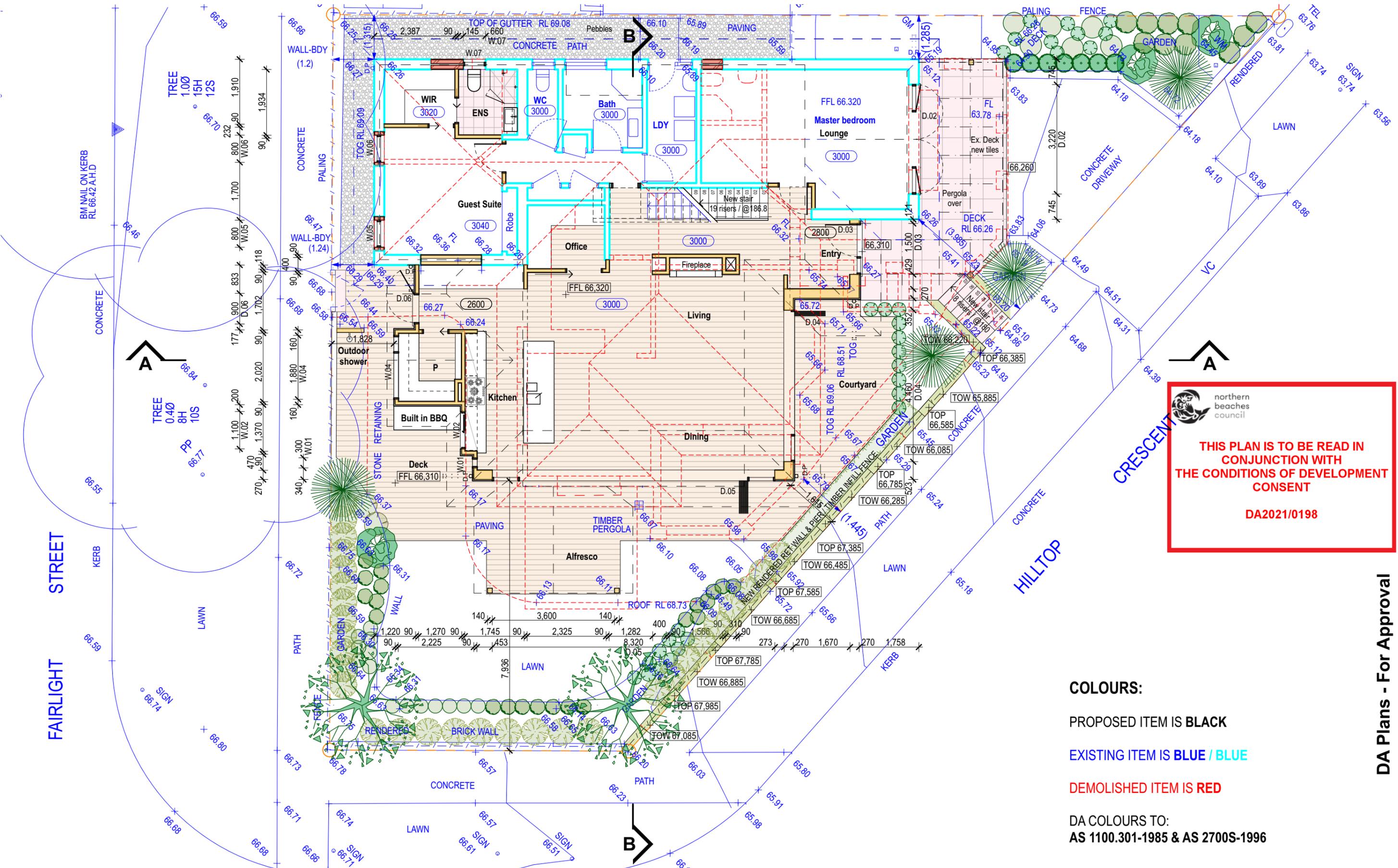
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Lower Ground Plan
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DA.03

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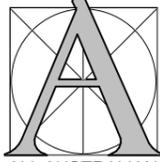
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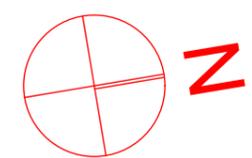
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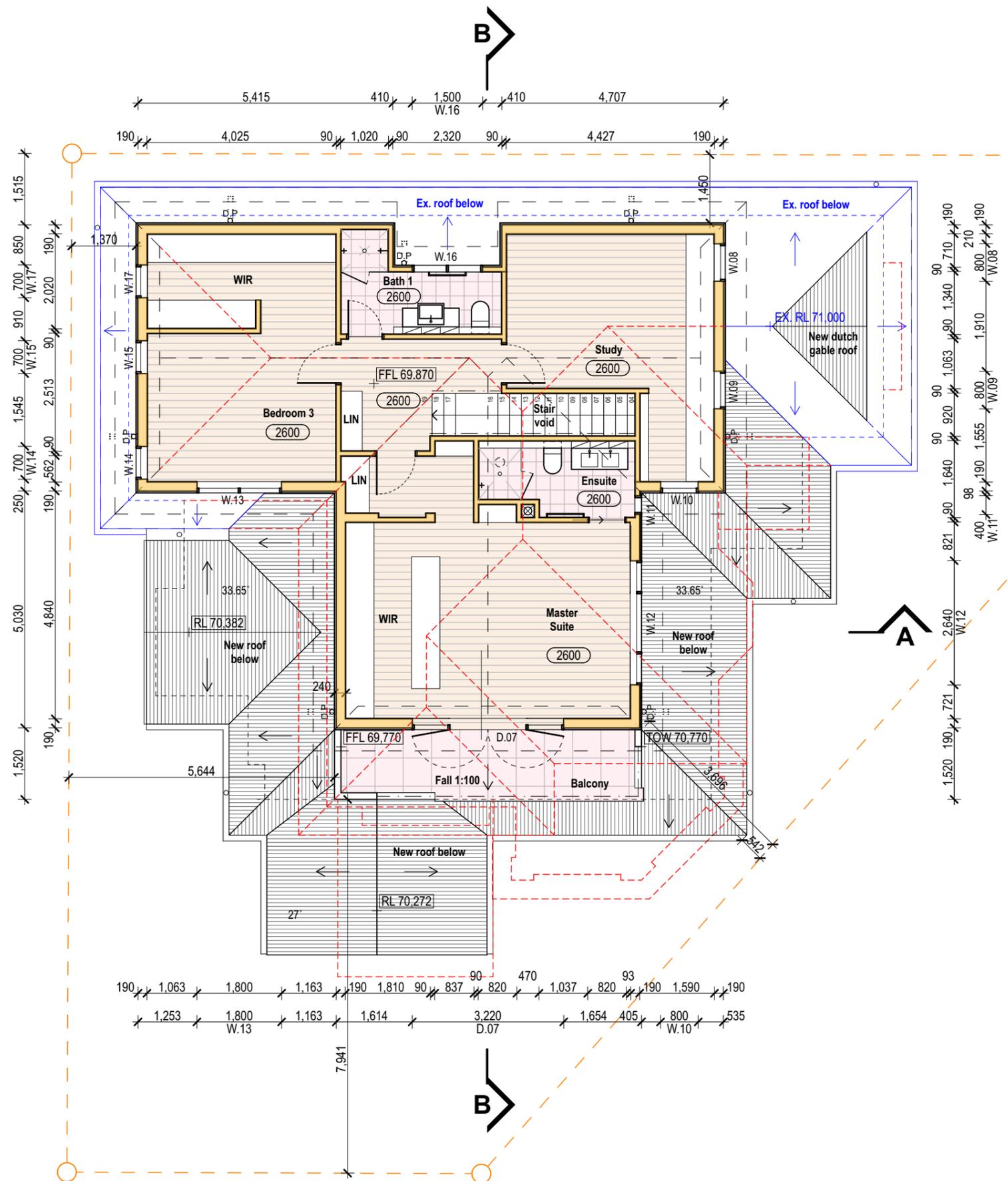
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Title:
Ground Floor Plan
 Scale 1:100 @ A3

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DA.04
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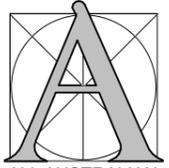
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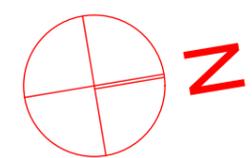
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Title:
Level 1 Floor Plan
 Scale 1:100 @ A3

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Title:
North / Street Elevation

Scale 1:100 @ A3



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DA.06

Issue:
E

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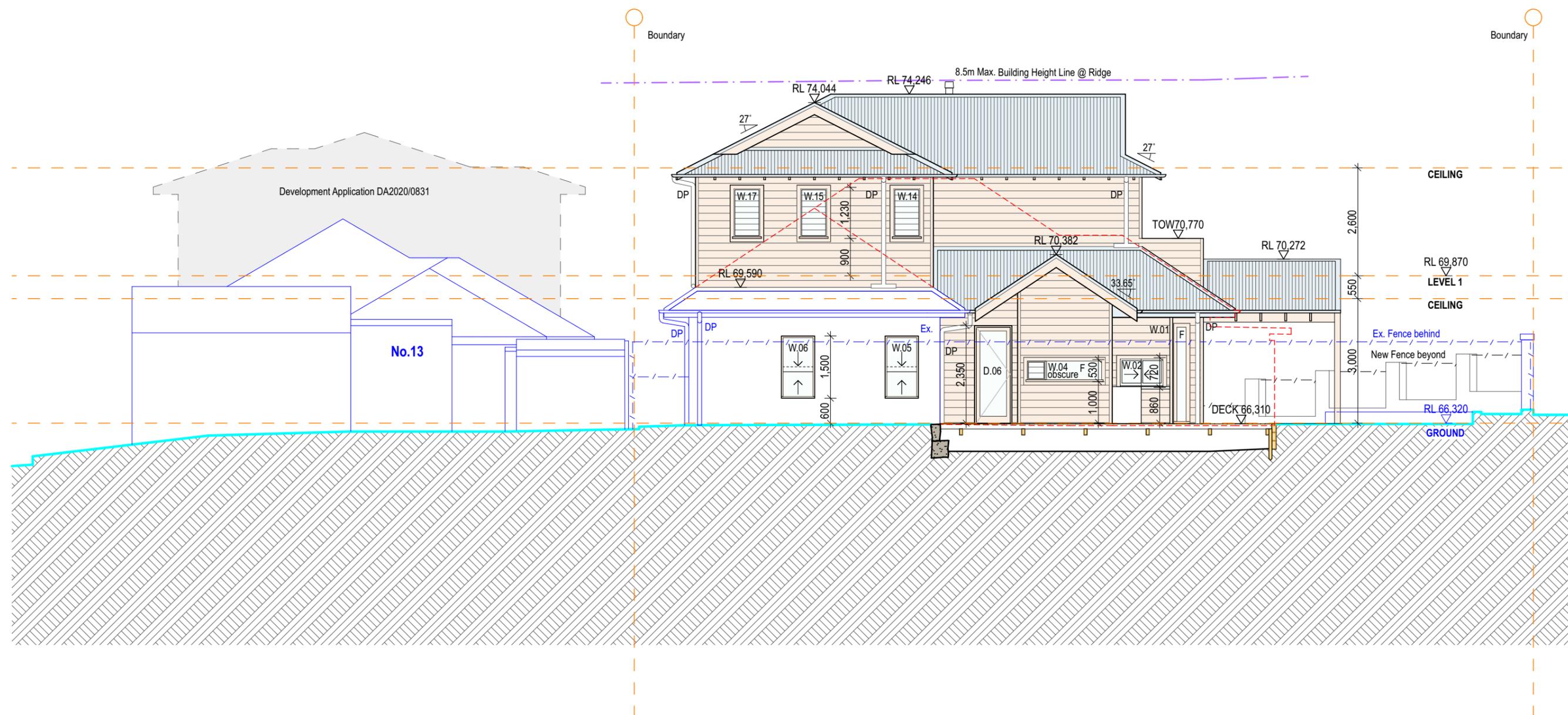
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Title:
South Elevation
Scale 1:100 @ A3
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DA.07
Issue:
E

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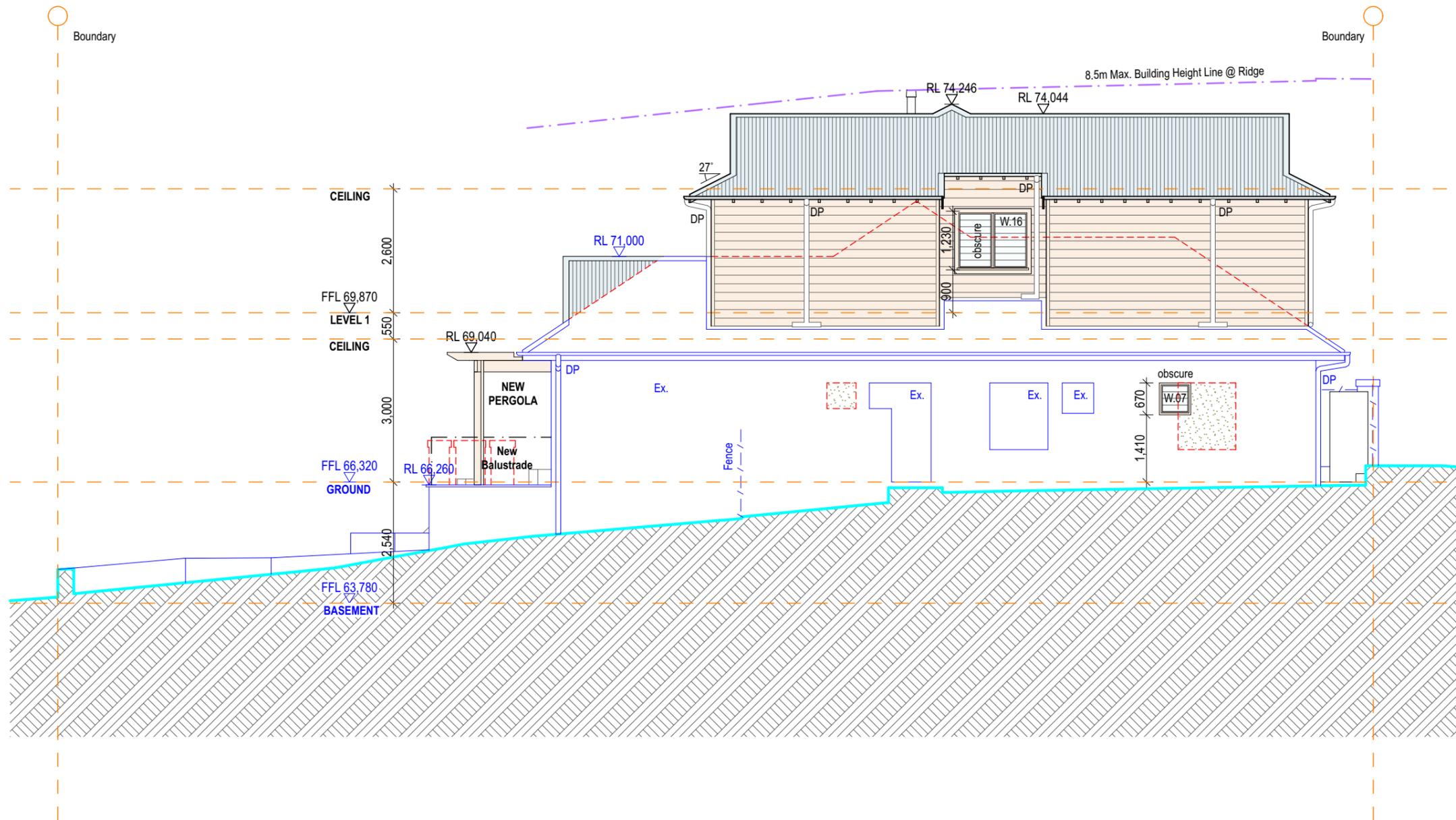
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Title:
West Elevation

Scale 1:100 @ A3



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DA.08

Issue:
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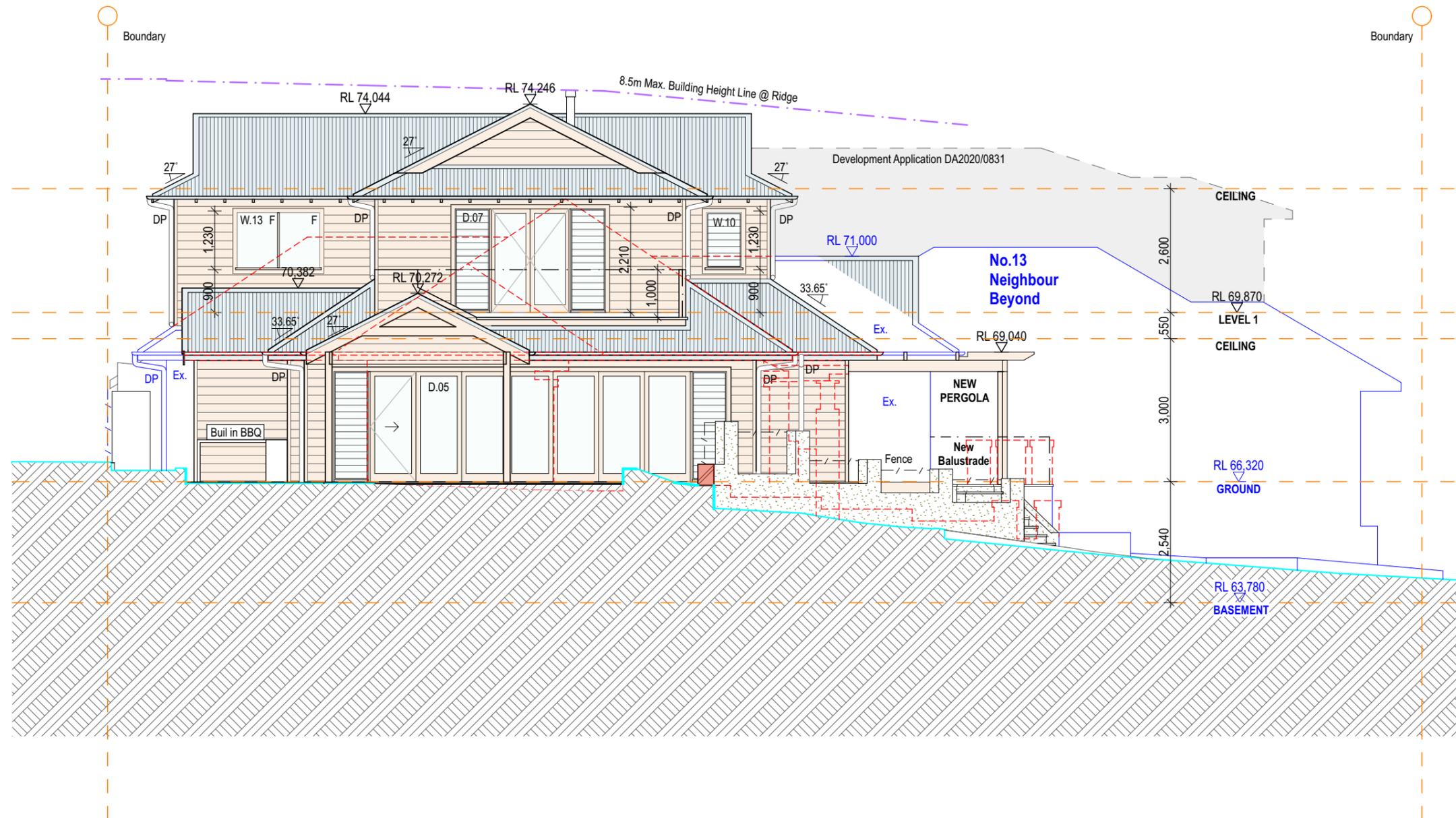
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Title:
East Elevation

Scale 1:100 @ A3



11Hill
DA.09

Issue:
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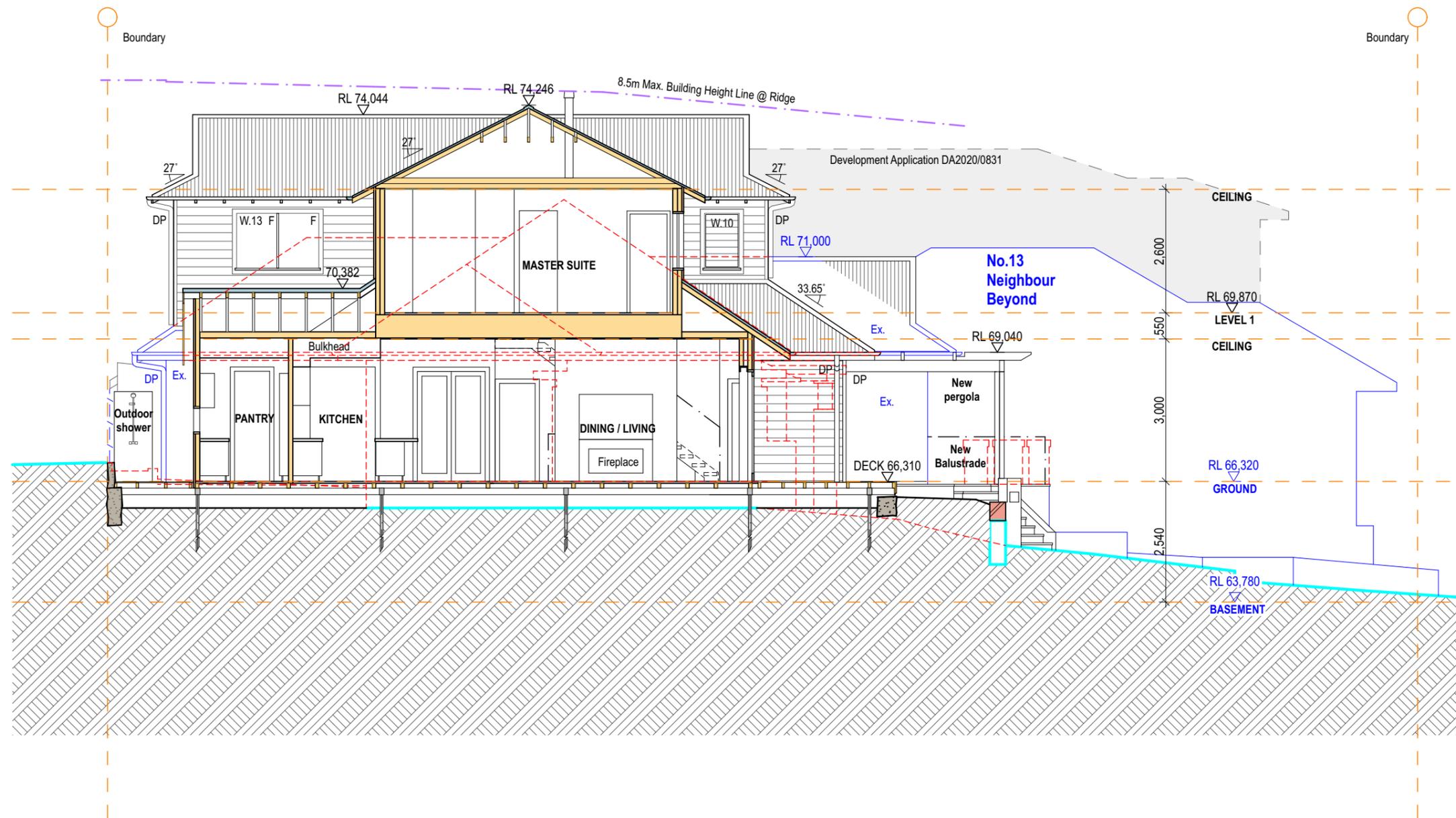
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Title:
Section AA
Scale 1:100 @ A3



11Hill
DA.10

Issue:
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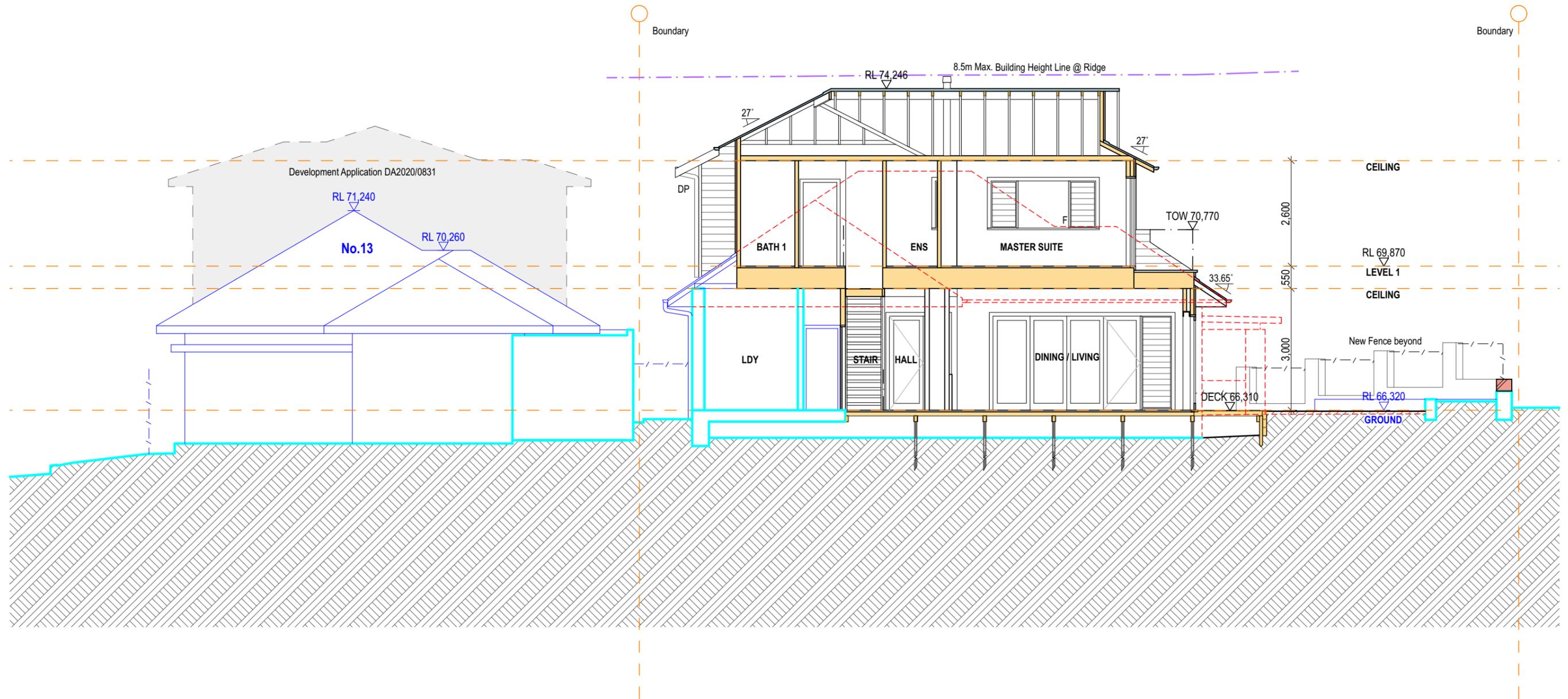
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11Hill_Model.pln

Client:
Andrew & Nicki McEncroe

11 Hilltop Crescent Fairlight NSW 2094
LOT B & D.P.306034

Title:
Section BB
Scale 1:100 @ A3



11Hill
DA.11

Issue:
E

PROPOSED COLOUR & MATERIAL

- TIMBER WINDOWS / DOORS
(DULUX LEXICON COLOUR)
OR SIMILAR
- HALF ROUND GUTTERS
(COLORBOND SHALE GREY COLOUR)
OR SIMILAR
- TIMBER TRIM - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- TIMBER TOP RAIL
HARDWOOD - SPOTTED GUM
OR SIMILAR
- TIMBER BALUSTRADE FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- TIMBER POST & BEAM FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- RE-PAINT EXISTING TIMBER FENCE
(DULUX LEXICON COLOUR)
OR SIMILAR
- NEW TIMBER FENCE
(DULUX LEXICON COLOUR)
OR SIMILAR



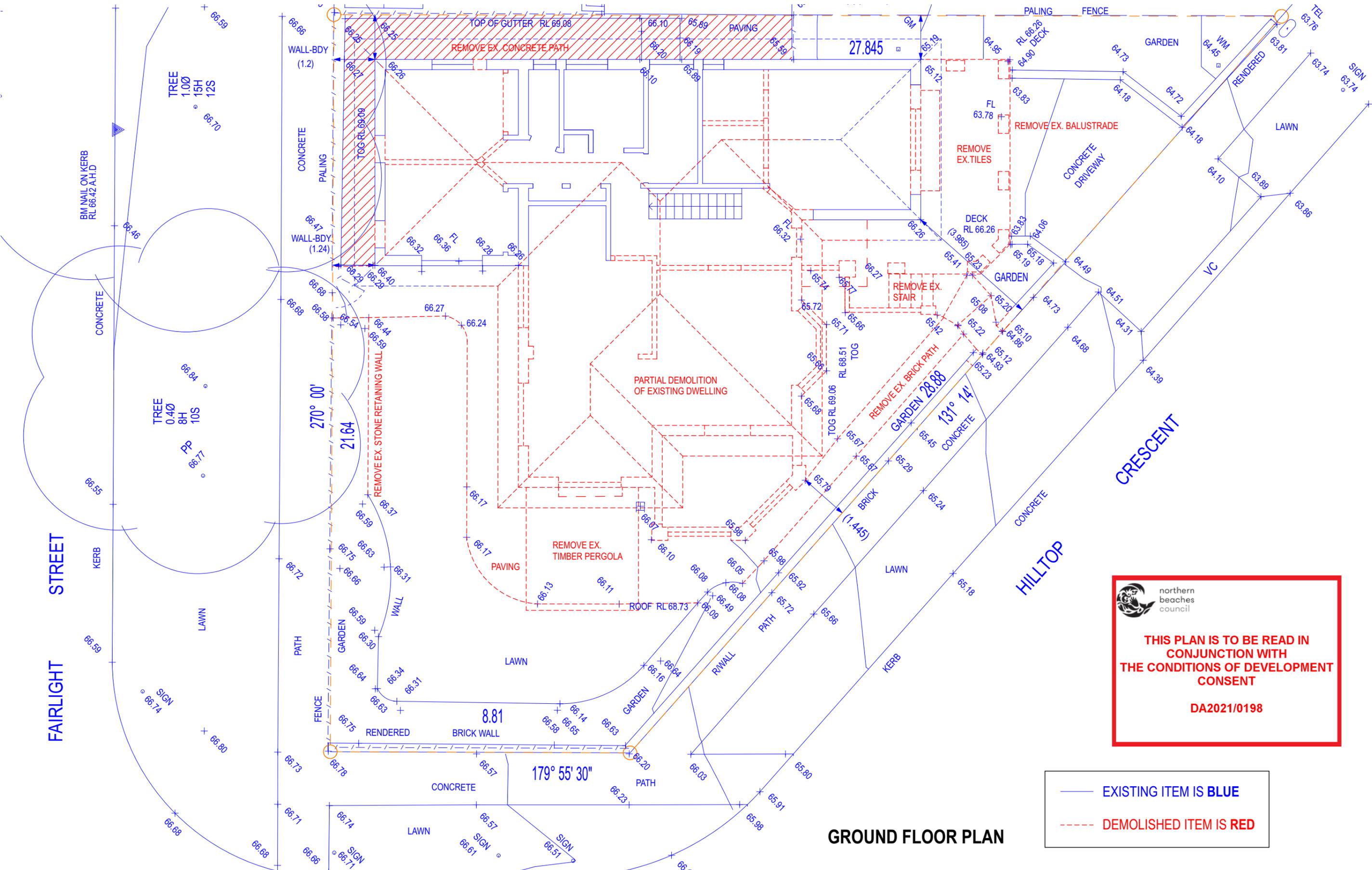
- TIMBER WEATHERBOARD 150mm
OR SIMILAR
(DULUX TRANQUIL RETREAT COLOUR)
OR SIMILAR
- COLORBOND ROOF SHEET
(COLORBOND SHALE GREY COLOUR)
OR SIMILAR
- EXPOSED TIMBER RAFTERS
FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- PVC DOWNPIPE
(DULUX SHALE GREY COLOUR)
OR SIMILAR
- PERGOLA (RAFTERS) - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- PERGOLA (POSTS & BEAMS)
HARDWOOD - SPOTTED GUM
OR SIMILAR
- FASCIA - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR
- RENDERED WALL
(DULUX TRANQUIL RETREAT COLOUR)
OR SIMILAR
- STAIR
HIMALAYAN SANDSTONE
OR SIMILAR

COLOUR & MATERIAL SELECTION

	<p>DULUX 'TRANQUIL RETREAT' (OR SIMILAR) WEATHERBOARD WALL AND FENCE POSTS</p>		<p>COLORBOND 'SHALE GREY' (OR SIMILAR) ALL GUTTERS, FLASHING AND DOWNPIPES</p>		<p>HIMALAYAN SANDSTONE TILING (OR SIMILAR) TERRACE & STAIR</p>
	<p>DULUX 'LEXICON' (OR SIMILAR) TRIMS, ARCHITRAVES, EXPOSED RAFTERS, TIMBER POST, BEAMS, FASCIA</p>		<p>COLORBOND 'SHALE GREY' SHEETING (OR SIMILAR) ALL NEW ROOF</p>		<p>HIMALAYAN ROCKFACE SANDSTONE WALL CLADDING (OR SIMILAR) TO FACE OF GARAGE WALL</p>

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2021/0198



GROUND FLOOR PLAN

— EXISTING ITEM IS BLUE
 - - - DEMOLISHED ITEM IS RED

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0198

DA Plans - For Approval

ALL AUSTRALIAN ARCHITECTURE

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 Principal & Nominated Architect
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Project:
 Alterations & Additions

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Client:
 Andrew & Nicki McEncroe

11 Hilltop Crescent Fairlight NSW 2094
 LOT B & D.P.306034

Title:
Demolition Plan
 Scale 1:100 @ A3

11Hill
DA.17

Issue:
E

