

ABBREVIATIONS

AHD - Australian Height Datum	No - Number
Al - Aluminium	Nom - Nominal
AC - Air Conditioning	NTS - Not To Scale
AP - Access Panel	O - Oven
AS - Australian Standards	OF - Overflow
B - Basin	OFC - Off Form Concrete
BCA - Building Code of Australia	OG - Obscure Glass
Bhd - Bulkhead	OH - Over Head
Bid - Bidet	OSD - On Site Detention
BK - Brick	PB - Plasterboard
CB - Concrete Block	PC - Precast
CC - Construction Certificate	Pit - Stormwater Pit
CFC - Compressed Fibre Cement	PF - Paint Finish
CJ - Construction Joint	PFC - Parallel Flange Channel
CL - Centre Line	PGL - Proposed Ground Line
Col - Column	Ply - Plywood
Conc - Concrete	Poly - Polyurethane
CP - Chrome Plated	PP - Power Pole
CR - Cement Render	Prefab - Prefabricated
CT - Ceramic Tile	Prelim - Preliminary
D - Door (with no.)	Qty - Quantity
DA - Development Approval	R - Robe
DG - Double Glazed	Ref - Refridgerator
DH - Double Hung	RC - Reinforced Concrete
Dia - Diameter	Reqd - Required
Dist - Distance	RH - Robe Hook
DP - Downpipe	RHd - Range Hood
DPC - Damp Proof Course	RHS - Rectangular Hollow Section
DS - Door Stop	RL - Reduced Level
DW - Dishwasher	RM - Reference Mark
Dwg - Drawing	Rose - Shower Rose
EGL - Existing Ground Line	ROW - Right Of Way
Eng - Engineer	RWH - Rainwater Head
Ex - Existing	RWT - Rainwater Tank
F - Freezer	S - Skylight (with No)
FB - Face Brick	SC - Stop Cock
FE - Fire Extinguisher	Sect - Section
FCL - Finished Ceiling Level	Sew - Sewer
FFL - Finished Floor Level	SFL - Struct Floor Level
FG - Fixed Glazing	SK - Sketch
FH - Fire Hydrant	Shr - Shower
FHR - Fire Hose Reel	SHS - Square Hollow Section
FW - Floor Waste	Spec - Specification
G - Gate (with no.)	Spr - Sprinkler
GA - General Arrangement	SPF - Special Paint Finish
Gal - Galvanised	SS - Stainless Steel
Gas - Gas Cock	Std - Standard
GD - Grated Drain	SVP - Sewer Vent Pipe
GM - Gas Meter	TBS - To Be Selected
Gnd - Ground	Tol - Tolerance
Ht - Height	TPH - Toilet Paper Holder
Heat - Heater	TR - Towel Rail
HWU - Hot Water Unit	Tub - Laundry Tub
Hyd - Hydraulic	Typ - Typical
IP - Inspection Point	UB - Universal Beam
Incl - Include	UC - Universal Column
Inv - Invert	UNO - Unless Noted Otherwise
Lin - Linen Cupboard	VOS - Verify On Site
Lam - Laminated	Vac - Vacuum
Lvr - Louvre	WB - Weatherboard
Ldry - Laundry	WC - Water Closet
MB - Meter Box	WD - Working Drawing
MDF - Medium Density Fibreboard	W / D - Washer Dryer
Min - Minimum	WI - Wrought Iron
Misc - Miscellaneous	WPM - Waterproof Membrane
Mix - Mixer	WIR - Walk in Robe
MW - Microwave	

DRAWING LIST:

TITLE PAGE	DA.00
SITE ANALYSIS PLAN	DA.01
SITE / ROOF PLAN	DA.02
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GROUND FLOOR PLAN	DA.04
LEVEL 1 FLOOR PLAN	DA.05
NORTH / STREET ELEVATION	DA.06
SOUTH ELEVATION	DA.07
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FSR CALCULATION PLAN	DA.12
OPEN SPACE & LANDSCAPED AREA CALCULATION PLAN	DA.13
SHADOW DIAGRAM	DA.14
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FINISHES & MATERIAL SCHEDULE	DA.16
DEMOLITION PLAN	DA.17

ALSO REFER TO:

BASIX CERTIFICATE	A399351
STATEMENT OF ENVIRONMENTAL EFFECTS	FEB 2021
STORMWATER / EROSION AND SEDIMENT PLAN	20-1203-H01, H02
SITE / LEVELS SURVEY	10985/20
LANDSCAPE PLAN	DA.18

COUNCIL CONTROLS SUMMARY:

Summary of Areas	Required	Existing	Proposed	Complies
Site Area	250 sqm	396.8 sqm	existing	✓
Floor Space Ratio	0.6:1 (238.08 sqm)	0.34:1 (135.7 sqm)	0.6:1 (238.04 sqm)	✓
Total Open Space	55% (218.24 sqm) min.	36.63% (145.35 sqm)	37.2% (147.7 sqm)	More than ex.
Landscaped Area	35% of open space min. (51.7 sqm)	77% (113.9 sqm)	61.88% (91.4sqm)	✓
Private Open Space	18 sqm min.	18.66 sqm	27 sqm	✓
Building Height	8.5m max.	6.165m	8.185m	✓
Wall Height	6.5m max.	3.67m	6.5m	✓
Roof Height	2.5m max. above wall ht	3.311m	2m	✓
Front Setback	average of neighbours (3m)	1.445m	1.615m	More than ex.
Side Setbacks (east)	1/3m of wall height	6.24m	7.941m	✓
Side Setbacks (west)	1/3m of wall height	1.285m	1.285m (Ex. ground floor) 1.45m (1 floor)	Refer SEE
Rear Setback	8m	1.2m	1.2m (Ex. ground floor) 1.37m (1 floor)	Refer SEE

DRAWING LEGEND:

ALL LEVELS	ALL LEVELS SHOWN ARE TO FINISHED SURFACE UNLESS NOTED OTHERWISE. VERIFY ALL EXISTING & PROPOSED LEVELS ONSITE PRIOR TO ORDERING, FABRICATION OR CONSTRUCTION.
+ 26.810	EXISTING LEVEL: AS SURVEYED TO AHD AT SPECIFIC LOCATION AS SHOWN BY EITHER PLAN OR ELEVATION MARKER (m)
+ 26.810	PROPOSED FINISHED LEVEL: TO AHD AT SPECIFIC LOCATION AS SHOWN BY EITHER PLAN OR ELEVATION MARKER (m)
FFL 26.810	EXISTING: FINISHED FLOOR LEVEL TO AHD AT LOCATION GENERALLY (m)
FFL 26.750	PROPOSED: FINISHED FLOOR LEVEL TO AHD AT LOCATION GENERALLY (m)
	SET-OUT POINT FOR PROPOSED WORKS
	BOUNDARY, GRID OR SET-OUT LINE
	CENTRE LINE
	PROPOSED ITEM IS BLACK
	EXISTING ITEM IS BLUE / BLUE
	DEMOLISHED ITEM IS RED

AS 1100.301 - 1985 - PRESENTATION OF MATERIALS LIST

BRICK	METAL
CEMENT RENDER	TIMBER - SAWN / STUD WALL
CONCRETE	TIMBER - DRESSED
CONCRETE BLOCK	SANITARY FITTINGS
CUT STONE MASONRY / ROCK	WALL / FLOOR TILES
EARTH / HARDCORE	WOOD FLOOR
FILL	FIBROUS CEMENT (FC) SHEET
GLASS	HARD PLASTER / PLASTER BOARD

LOCALITY PLAN:
Not to Scale



BASIX UNDERTAKINGS:

Fixtures and systems

Hot water
The applicant must install the following hot water system in the development: gas instantaneous.

Construction

Insulation requirements
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
* suspended floor with enclosed subfloor: framed (R0.7) - R0.6 (down) (or R1.30 including construction)
* floor above existing dwelling or building - Nil
* external wall: cavity brick - Nil
* external wall: framed (weatherboard, fibro, metal clad) - R1.30 (or R1.70 including construction)
* flat ceiling, pitched roof - ceiling: R3.0 (up), roof: foil/sarking, medium (solar absorptance 0.475 - 0.70)

Glazing requirements

Windows and glazed doors
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the below.
Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the below.

Windows and glazed doors glazing requirements

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT
DA 2024/0198
D.02 (N) Area =1.67m², D.03 (N) Area =1.23m², D.07 (E) Area =7.12m²
Shading device: projection/height above sill ratio >=0.23
Frame and glass type: timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
D.04 (N) Area =0.45m², D.05 (E) Area =19.55m²
Shading device: projection/height above sill ratio >=0.29
Frame and glass type: timber or uPVC, single pyrolytic low-e, (or U-value: 3.99, SHGC: 0.4)
D.06 (S) Area =2.2m²
Shading device: projection/height above sill ratio >=0.23
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.01 (S) Area =0.71m², W.02 (S) Area =0.75m²
Shading device: projection/height above sill ratio >=0.29
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.04 (S) Area =1m²
Shading device: none
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.05 (S), W.06 (S) Area =1.2m² (each)
Shading device: projection/height above sill ratio >=0.23
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.07 (W) Area =0.45m²
Shading device: projection/height above sill ratio >=0.43
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.08 (N), W.09 (N), W.10 (E) Area =1m² (each)
Shading device: projection/height above sill ratio >=0.36
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.11 (N) Area =0.5m², W.12 (N) Area =3.25m², W.13 (E) Area =2.22m²
Shading device: projection/height above sill ratio >=0.36
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.14 (S), W.15 (S), W.17 (S)Area =0.87m² (each)
Shading device: projection/height above sill ratio >=0.36
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)
W.16 (W) Area =1.85m²
Shading device: projection/height above sill ratio >=0.23
Frame and glass type: timber or uPVC, single clear, (or U-value: 5.71, SHGC: 0.66)



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Project:
Alterations & Additions
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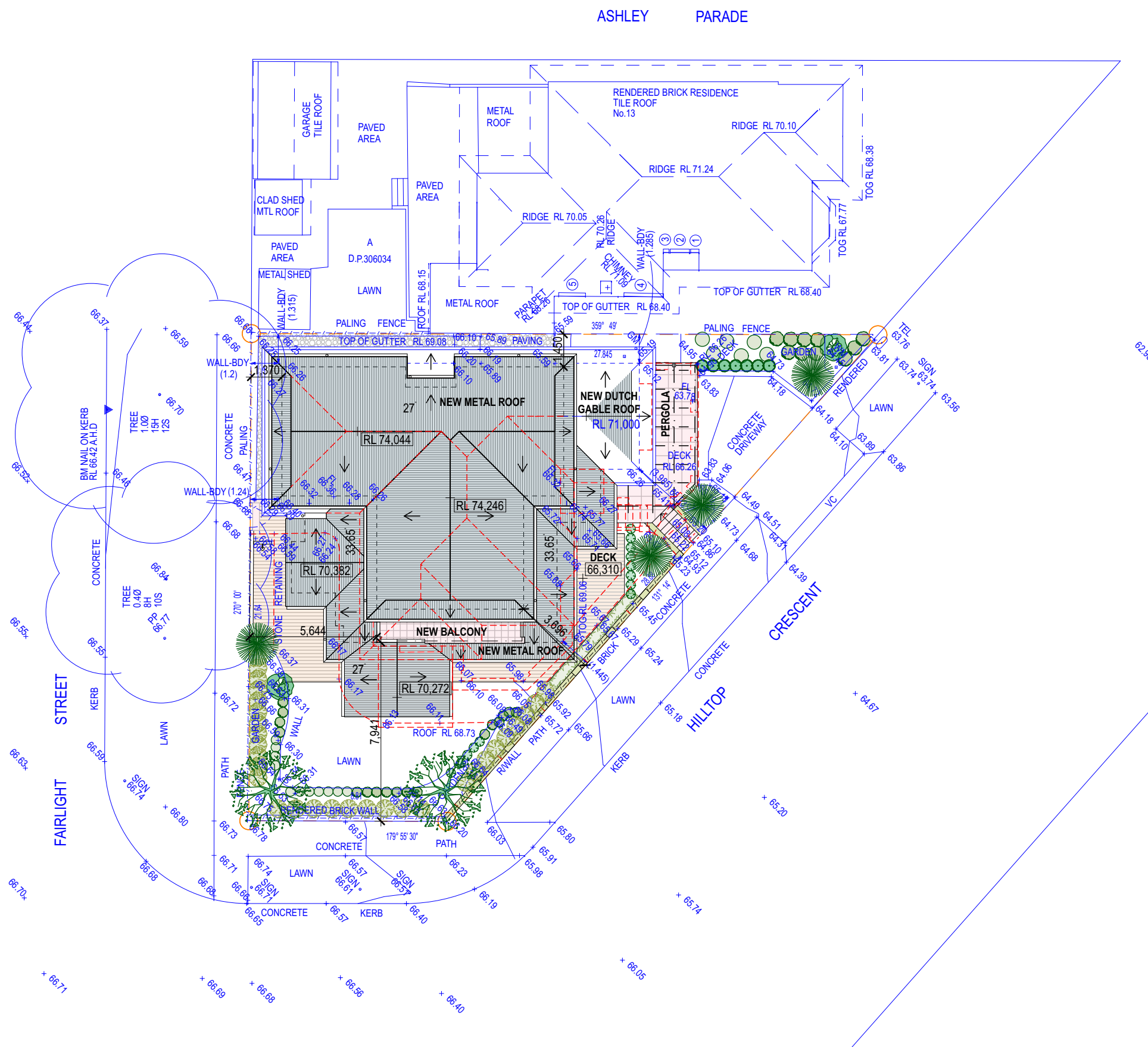
Client:
Andrew & Nicki McEncroe

11 Hilltop Crescent Fairlight NSW 2094
LOT B & D.P.306034

Title:
Title Page

11Hill
DA.00

Issue:
E



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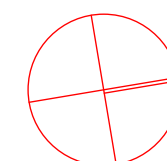
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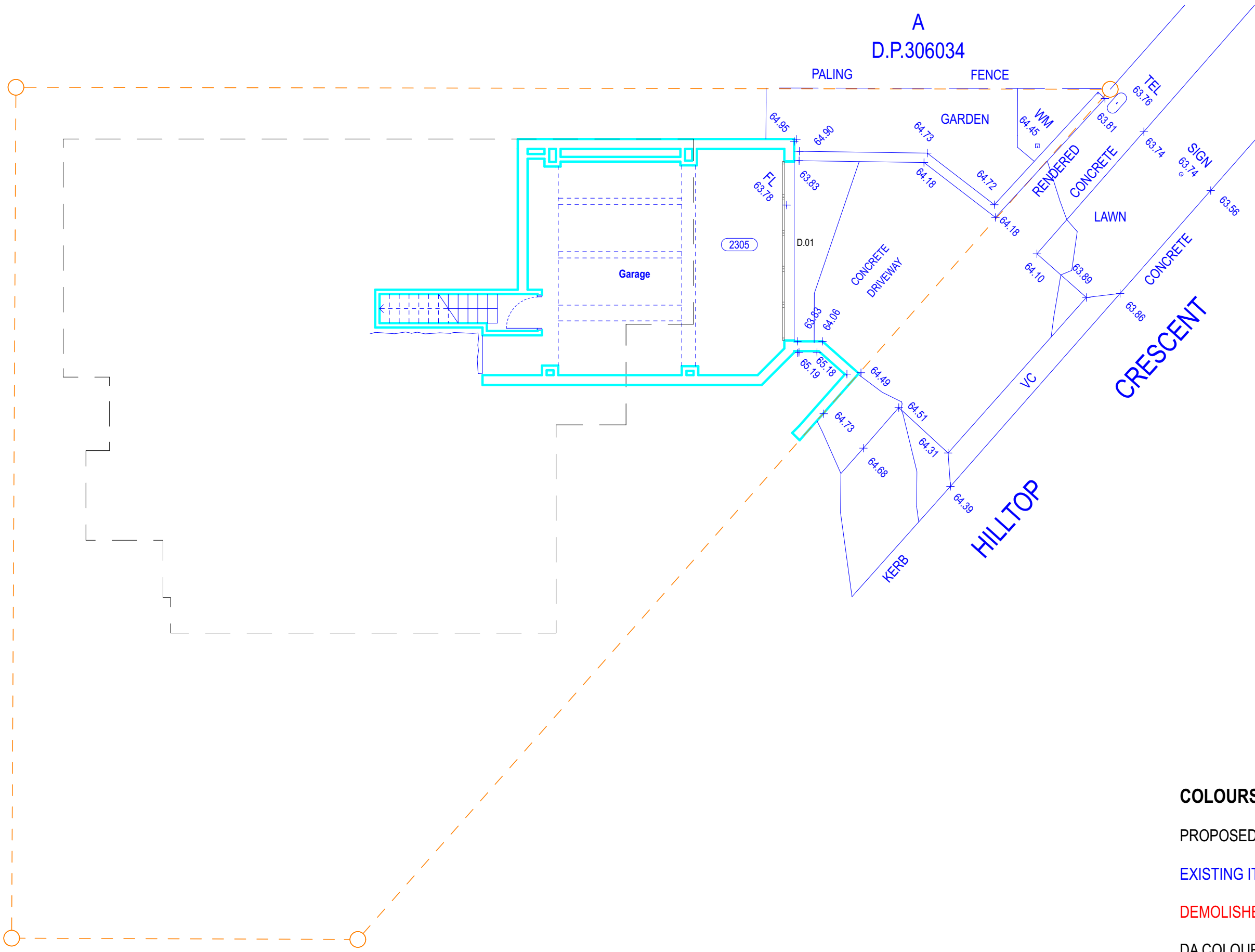
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DA COLOURS TO:

AS 1100.301-1985 & AS 2700S-1996



N



A
D.P.306034

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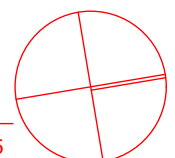
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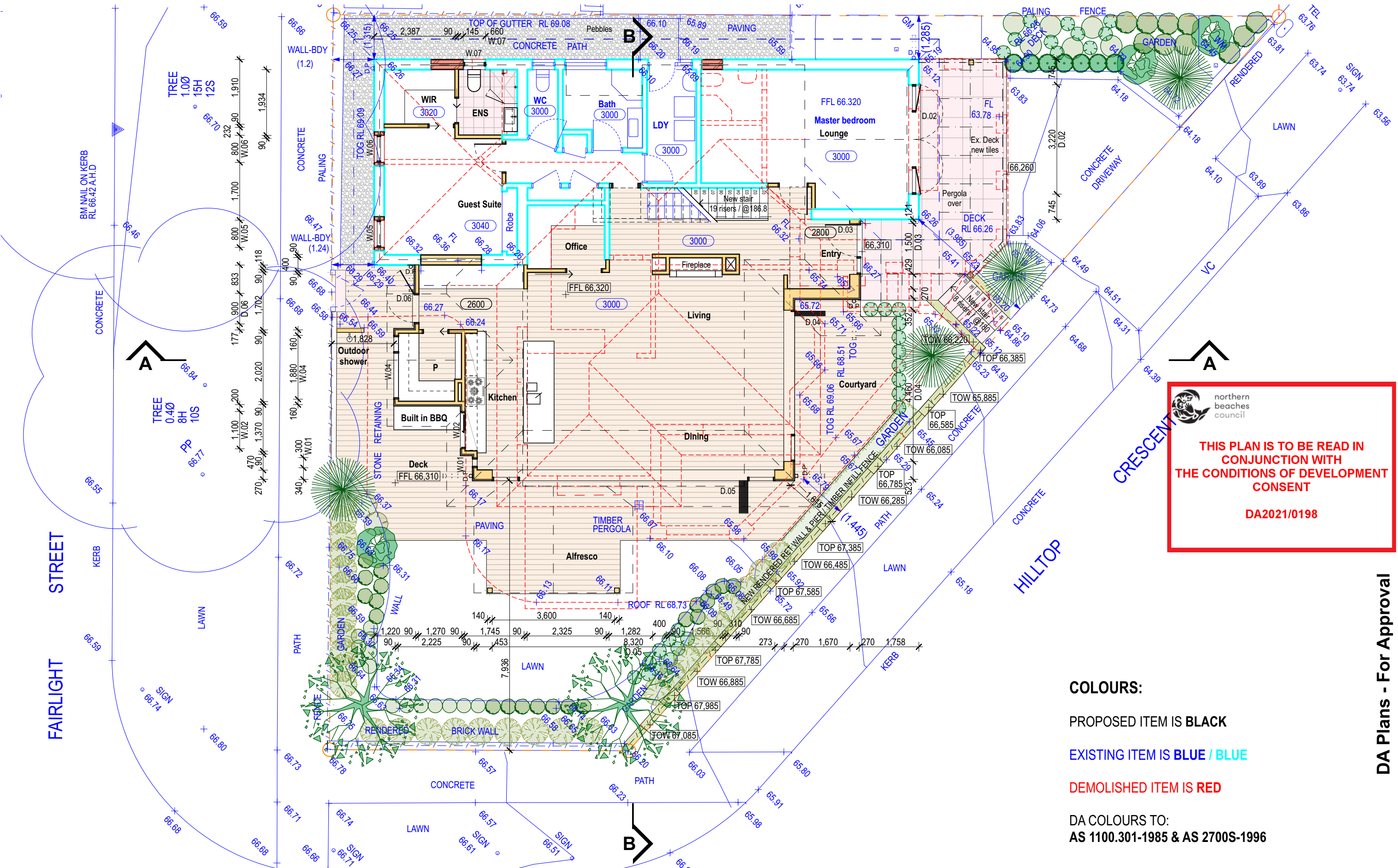
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Lower Ground Plan
Scale 1:100 @ A3

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 **N**

11Hill
DA.03

Issue:
E



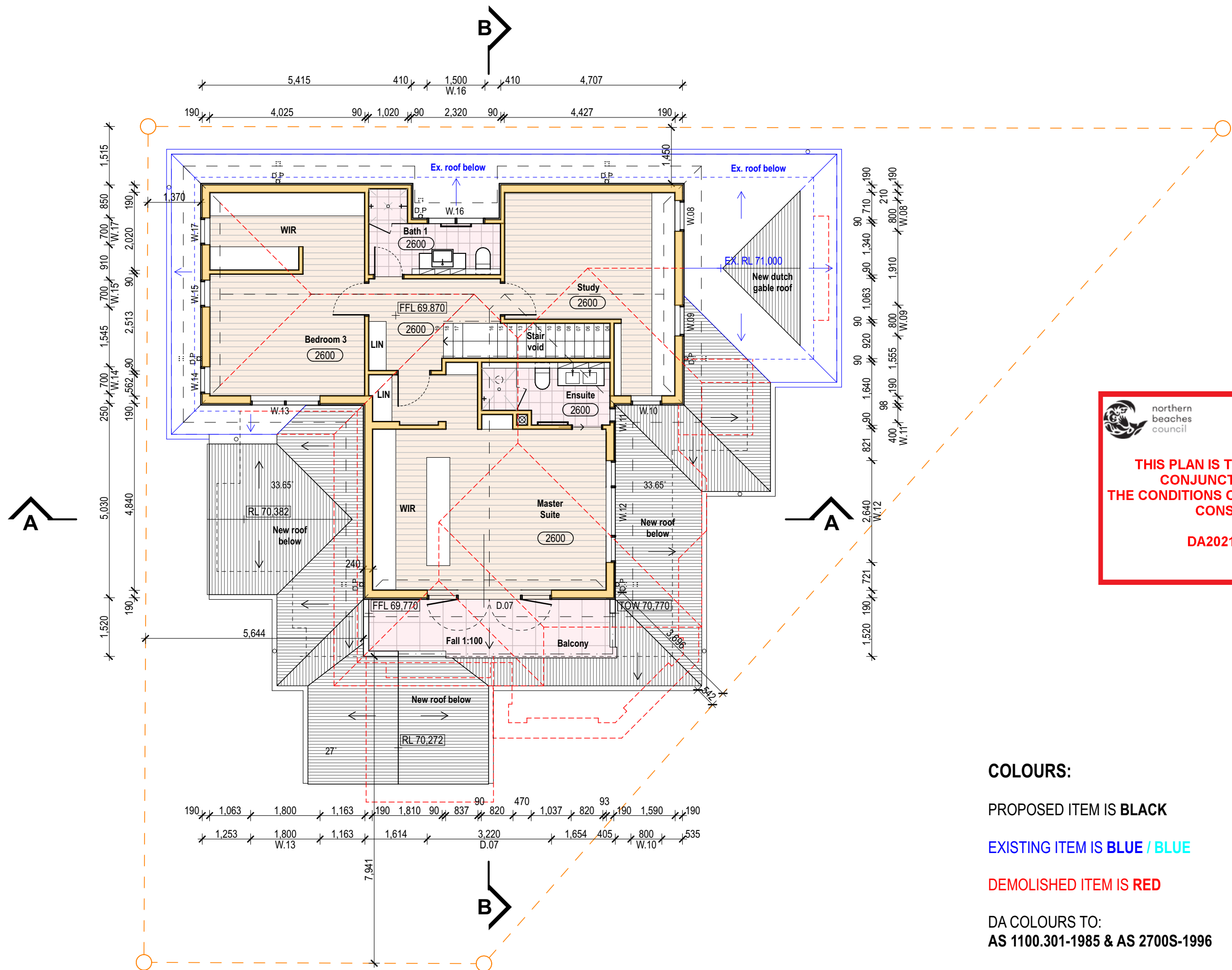
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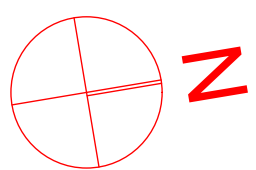
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Title:
North / Street Elevation
Scale 1:100 @ A3
0 1 2 3 4 5

11Hill
DA.06
Issue:
E

COLOURS:

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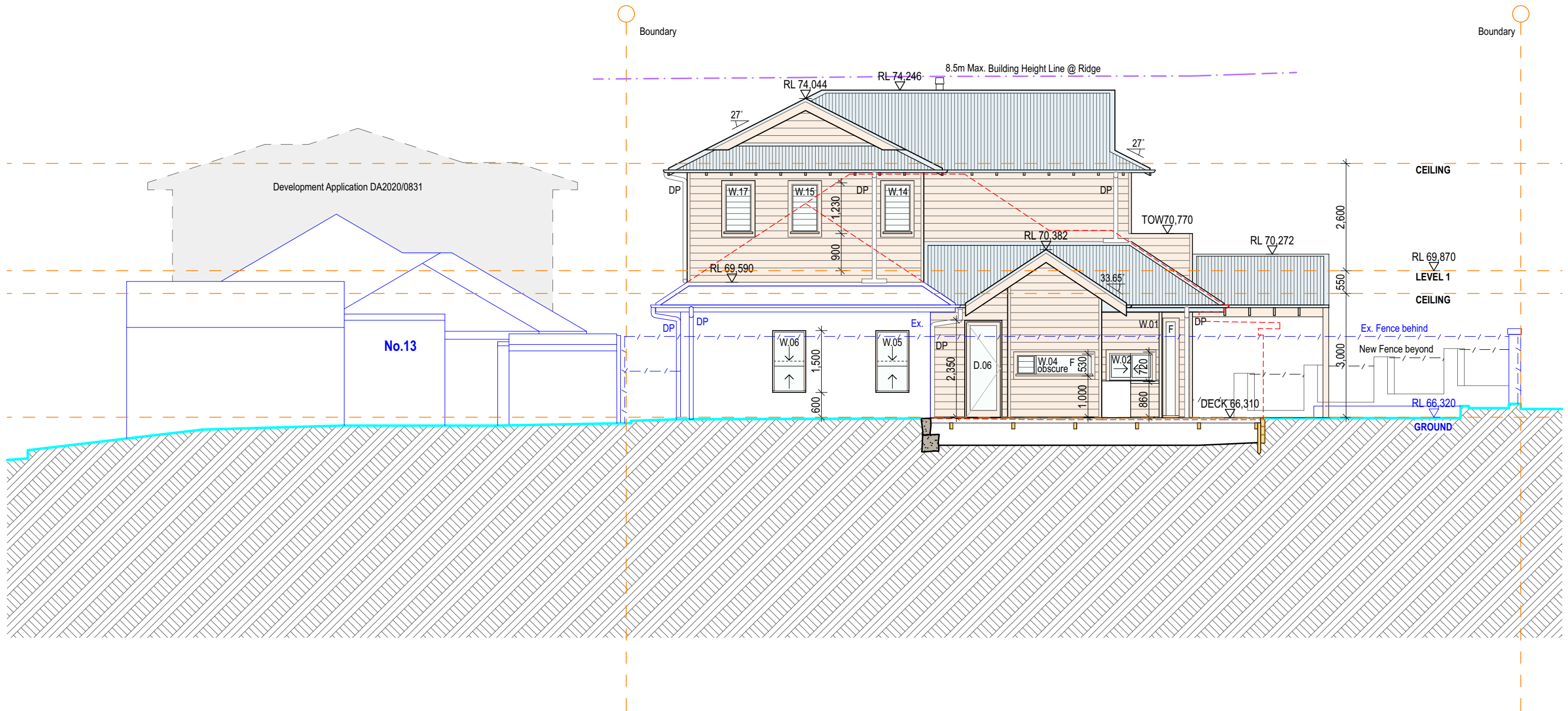
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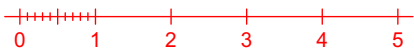
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Title:
South Elevation
Scale 1:100 @ A3



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DA.07

Issue:
E

COLOURS:

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DEMOLISHED ITEM IS **RED**

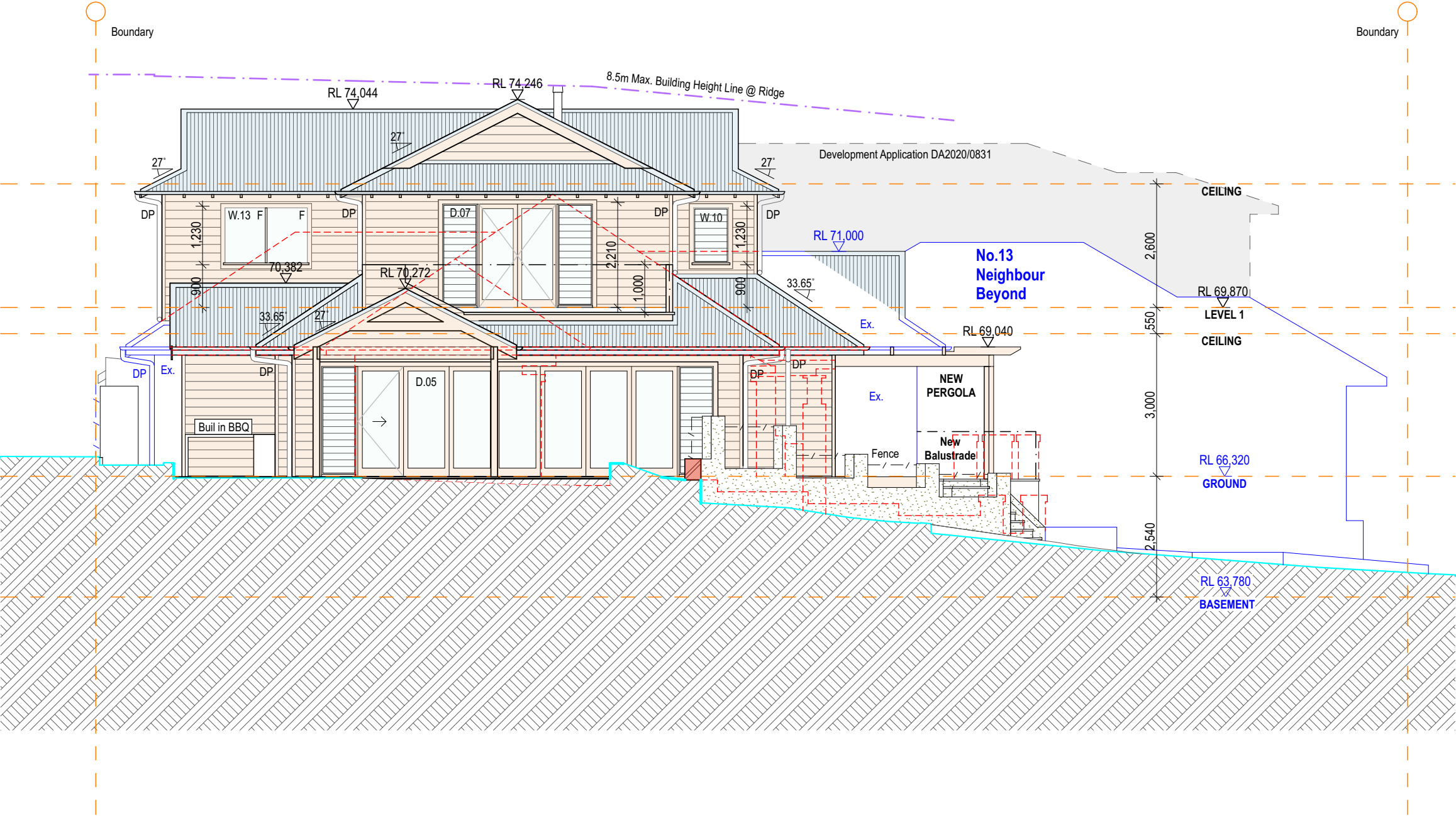
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Title:
East Elevation
Scale 1:100 @ A3



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DA.09

Issue:
E

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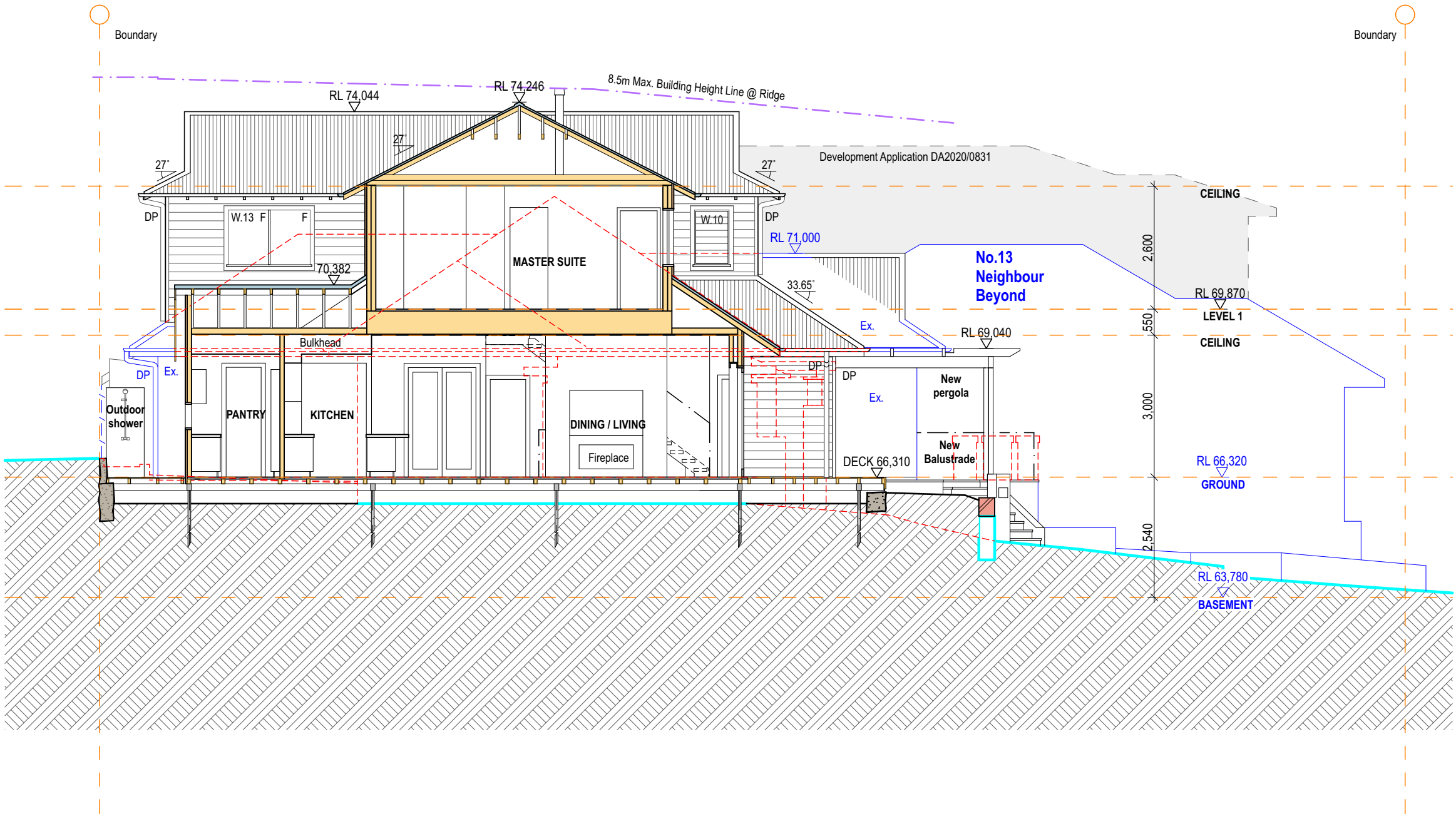
DEMOLISHED ITEM IS RED

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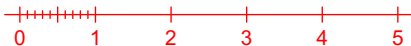
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LOT B & D.P.306034

Title:
Section AA
Scale 1:100 @ A3



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DA.10

Issue:
E

COLOURS:

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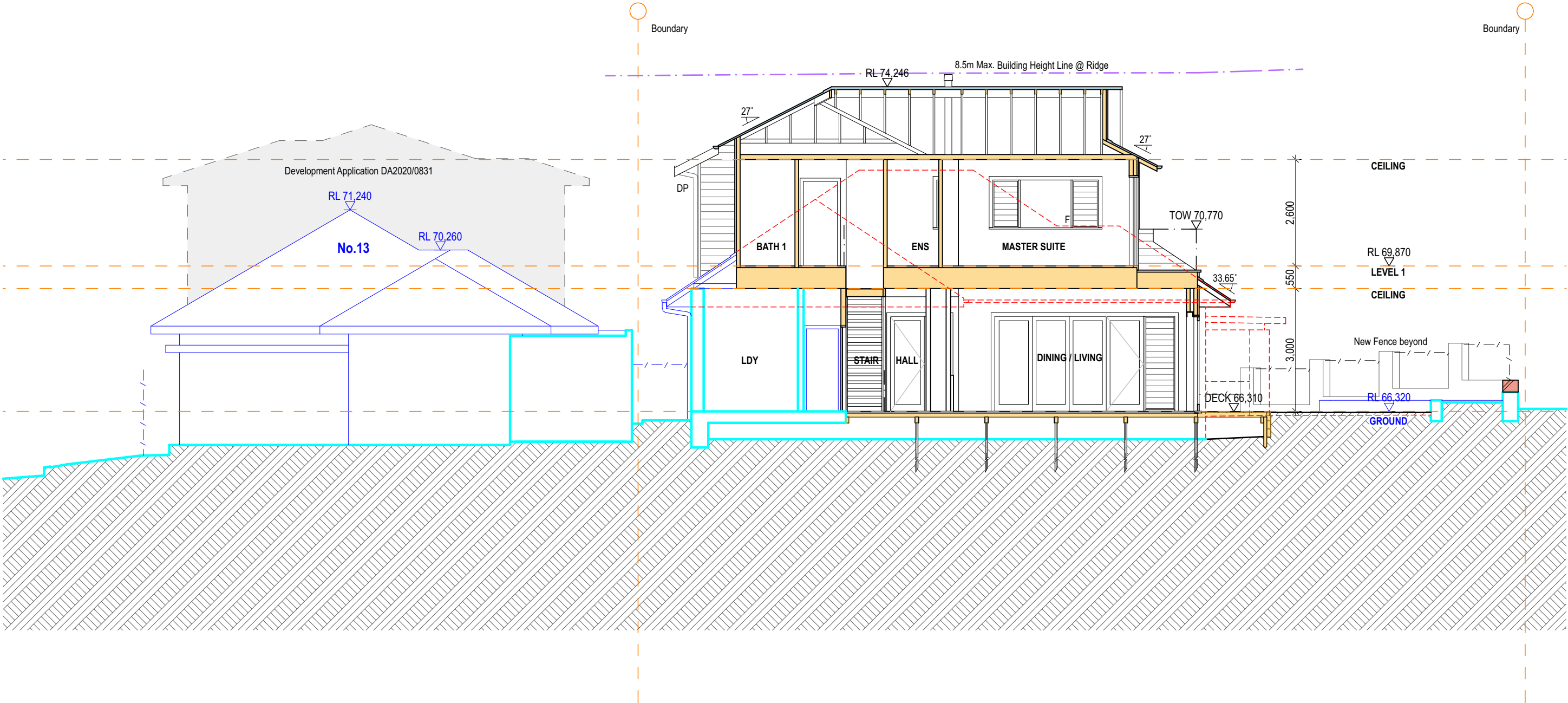
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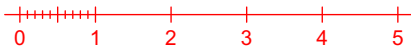
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LOT B & D.P.306034

Title:
Section BB
Scale 1:100 @ A3



11Hill
DA.11

Issue:
E

PROPOSED COLOUR & MATERIAL



TIMBER WINDOWS / DOORS
(DULUX LEXICON COLOUR)
OR SIMILAR

HALF ROUND GUTTERS
(COLORBOND SHALE GREY COLOUR)
OR SIMILAR

TIMBER TRIM - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

TIMBER TOP RAIL
HARDWOOD - SPOTTED GUM
OR SIMILAR

TIMBER BALUSTRADE FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

TIMBER POST & BEAM FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

RE-PAINT EXISTING TIMBER FENCE
(DULUX LEXICON COLOUR)
OR SIMILAR

NEW TIMBER FENCE
(DULUX LEXICON COLOUR)
OR SIMILAR

TIMBER WEATHERBOARD 150mm
OR SIMILAR
(DULUX TRANQUIL RETREAT COLOUR)
OR SIMILAR

COLORBOND ROOF SHEET
(COLORBOND SHALE GREY COLOUR)
OR SIMILAR

EXPOSED TIMBER RAFTERS
FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

PVC DOWNPIPE
(DULUX SHALE GREY COLOUR)
OR SIMILAR

PERGOLA (RAFTERS) - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

PERGOLA (POSTS & BEAMS)
HARDWOOD - SPOTTED GUM
OR SIMILAR

FASCIA - FOR PAINT FINISH
(DULUX LEXICON COLOUR)
OR SIMILAR

RENDERED WALL
(DULUX TRANQUIL RETREAT COLOUR)
OR SIMILAR

STAIR
HIMALAYAN SANDSTONE
OR SIMILAR

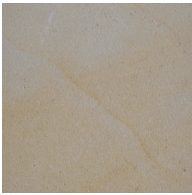
COLOUR & MATERIAL SELECTION



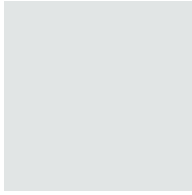
DULUX 'TRANQUIL RETREAT'
(OR SIMILAR)
WEATHERBOARD WALL AND FENCE
POSTS



COLORBOND 'SHALE GREY'
(OR SIMILAR)
ALL GUTTERS, FLASHING AND
DOWNPIPES



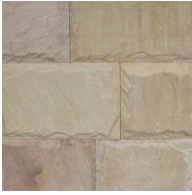
HIMALAYAN SANDSTONE TILING
(OR SIMILAR)
TERRACE & STAIR



DULUX 'LEXICON'
(OR SIMILAR)
TRIMS, ARCHITRAVES, EXPOSED
RAFTERS, TIMBER POST, BEAMS,
FASCIA



COLORBOND 'SHALE GREY' SHEETING
(OR SIMILAR)
ALL NEW ROOF



**HIMALAYAN ROCKFACE
SANDSTONE WALL CLADDING**
(OR SIMILAR)
TO FACE OF GARAGE WALL



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CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2021/0198



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Architect:
Adam Pressley FRAIA
Principal & Nominated Architect
NSW No.6007

ABN 95 492 673 232



Project:
Alterations & Additions

Printed: Wednesday, 24 February 2021
/Volumes/AAA Serv/01 Projects Active/11Hill/02 Models/
11Hill_Model.pln

Client:
Andrew & Nicki McEncroe

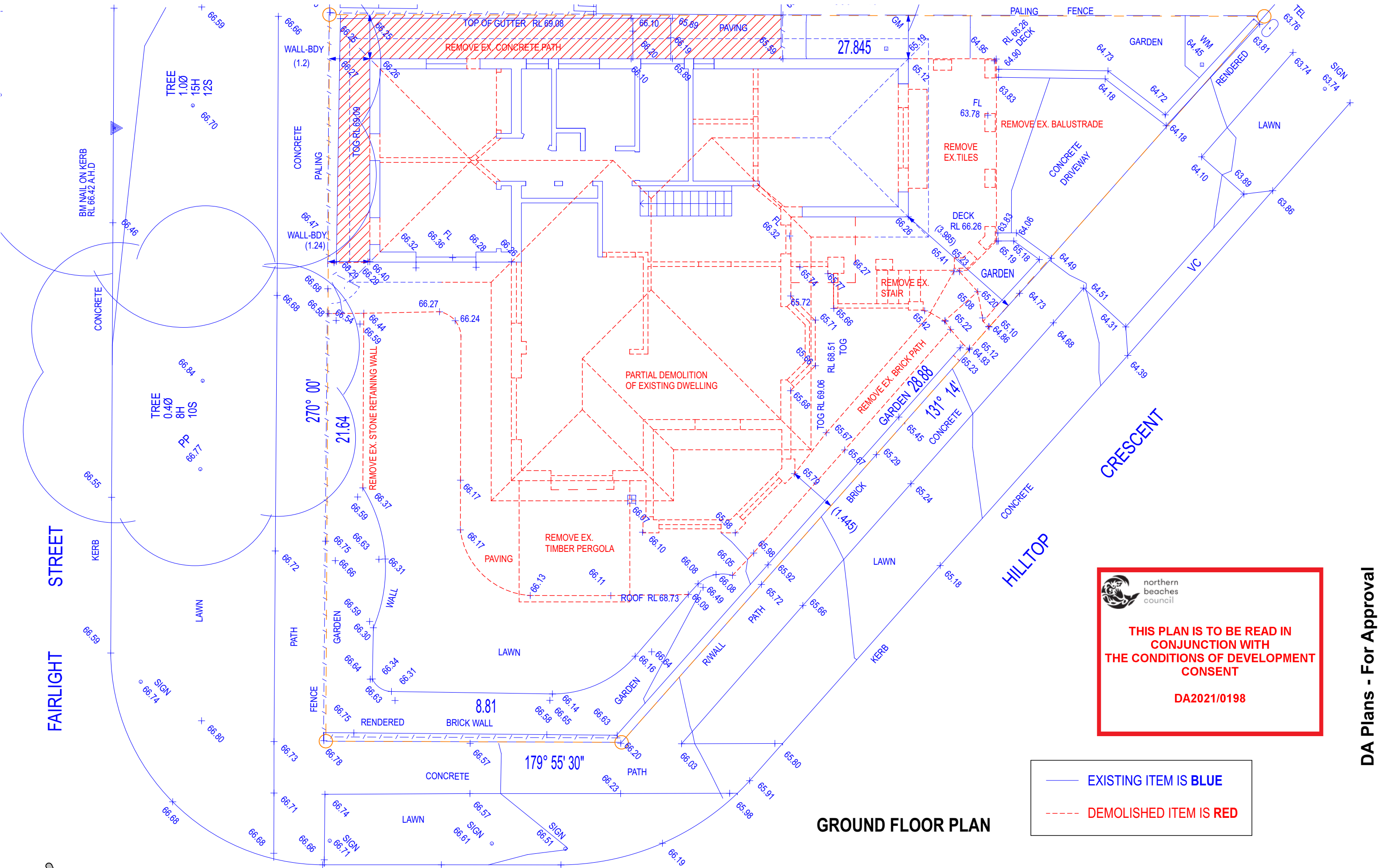
11 Hilltop Crescent Fairlight NSW 2094
LOT B & D.P.306034

Title:
Finishes & Material Schedule

11Hill
DA.16

Issue:
E

DA Plans - For Approval



GROUND FLOOR PLAN

— EXISTING ITEM IS BLUE
- - - DEMOLISHED ITEM IS RED

 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2021/0198

DA Plans - For Approval



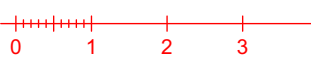
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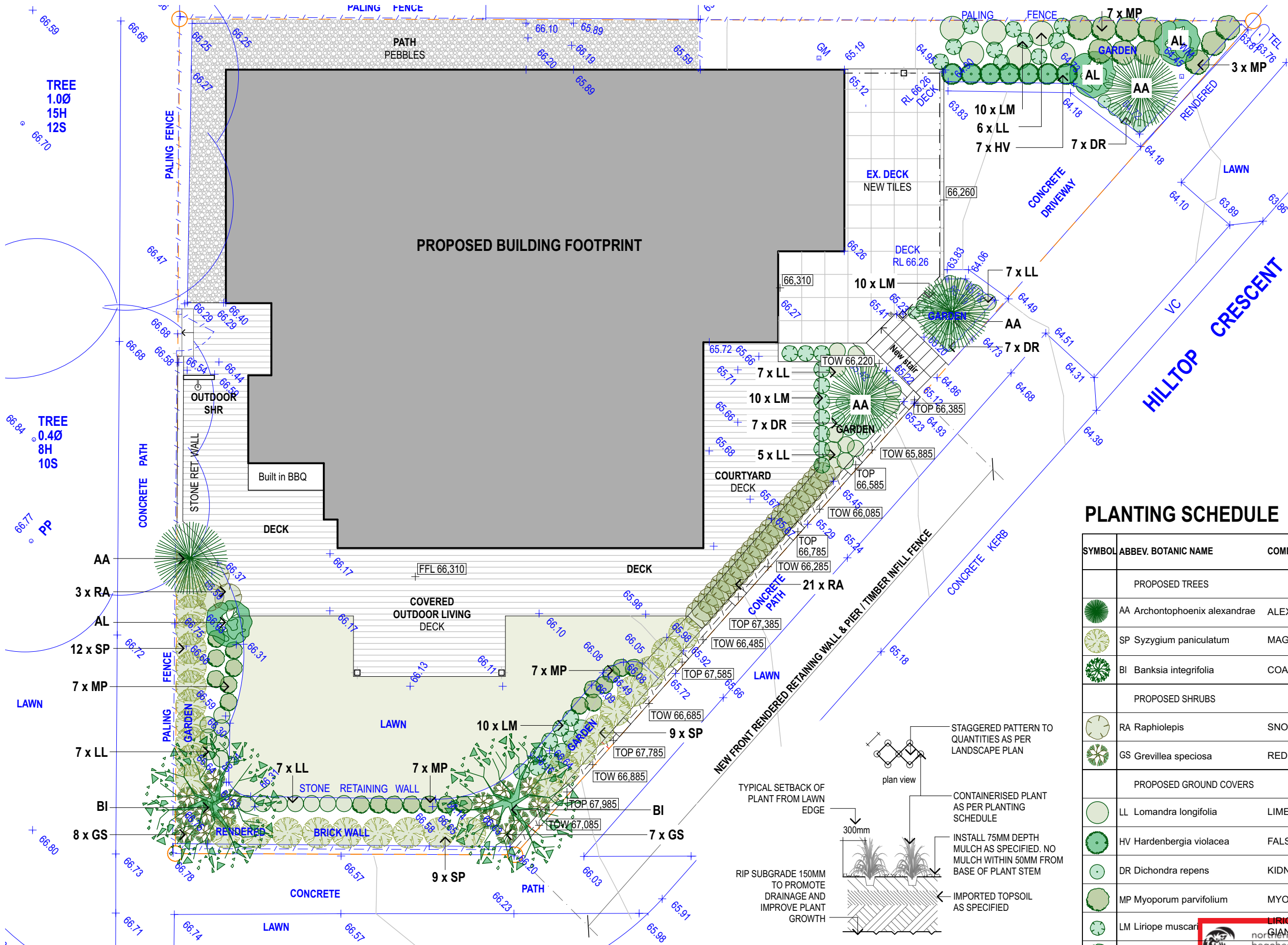


Project:
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Client:
Andrew & Nicki McEncroe
11 Hilltop Crescent Fairlight NSW 2094
LOT B & D.P.306034

Title:
Demolition Plan
Scale 1:100 @ A3


11Hill
DA.17
Issue:
E



COLOURS:

PROPOSED ITEM IS **BLACK**

EXISTING ITEM IS **BLUE / BLUE**

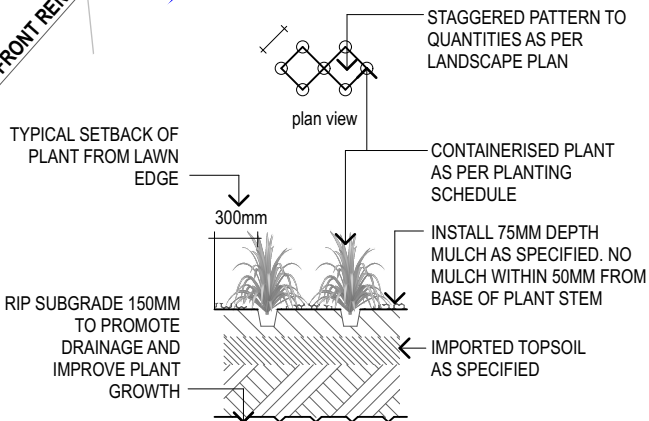
PLANTING NOTES

- The builder shall be responsible for subgrade excavation and preparation to allow for topsoil and mulch depths.
- A drainage layer of W.P.M Atlantis Drainage cell shall be placed on base of all on-structure planted areas and covered with geotextile fabric and agricultural drainage line as specified. The geotextile shall be protected by a 200mm layer of coarse sand as specified.
- All planting beds shall be mulched to a depth of 75mm with 15mm horticultural grade pinebark.
- A fully automatic drip irrigation system shall be installed to all planter boxes and planting beds. Irrigation shall conform to AS3500 and Sydney Water regulations.
- Refer to Architect's & engineer's Site Plans for precise information regarding paving, finished levels, roadworks, fences, lighting, structures & drainage details.

- LANDSCAPE LEGEND**
- EXISTING LAWN AREA
 - PROPOSED TILED OUTDOOR AREA
 - PROPOSED DECK OUTDOOR AREA

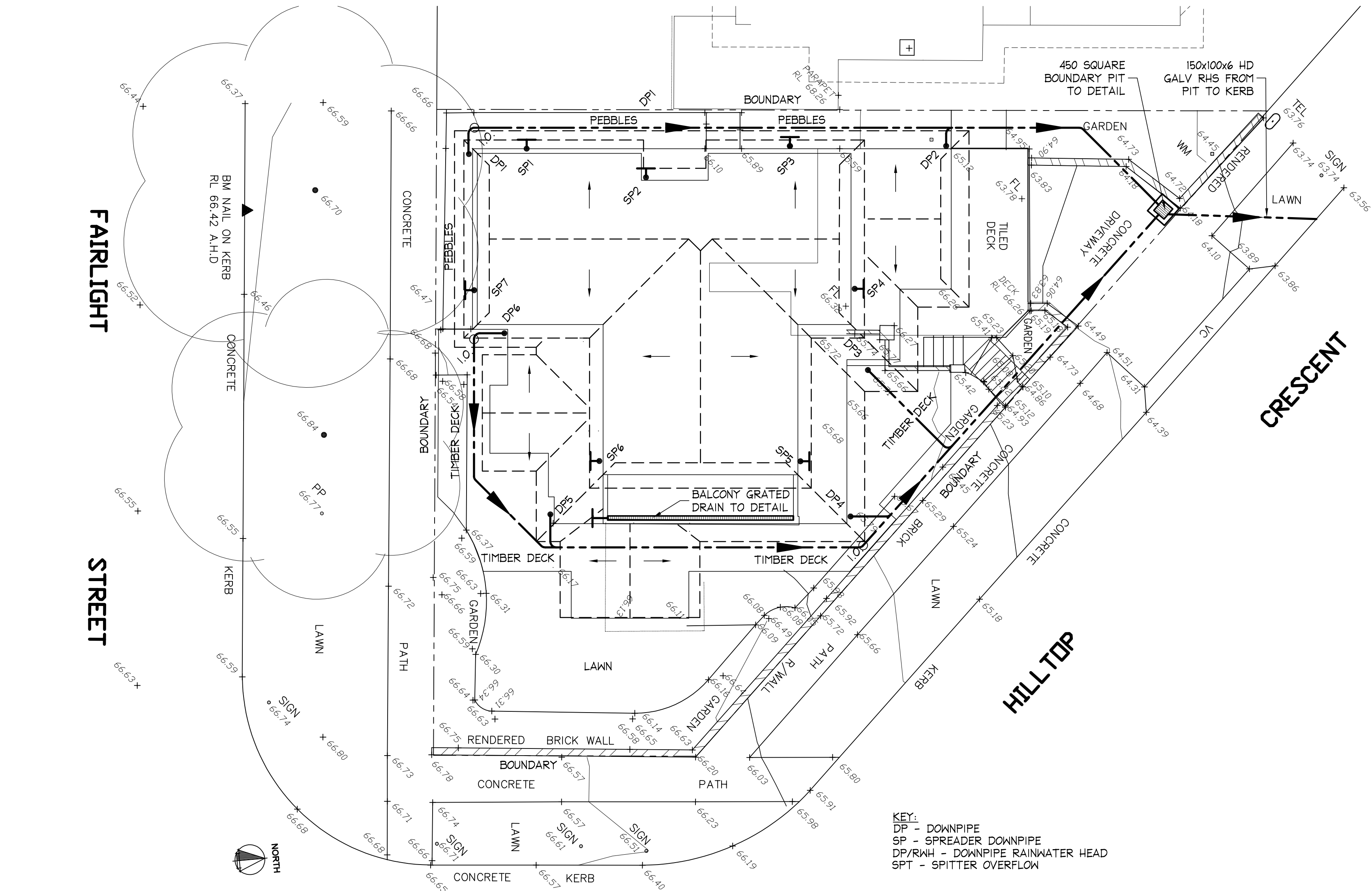
PLANTING SCHEDULE

SYMBOL	ABBEV. BOTANIC NAME	COMMON NAME	QTY	CONTAINER SIZE	MATURE HEIGHT	SPACING OF PLANTS
PROPOSED TREES						
AA	Archontophoenix alexandrae	ALEXANDER PALM	4	45 lt.	10-15m	As shown
SP	Syzygium paniculatum	MAGENTA LILLY PILLY	30	12 inch.	15m	As shown
BI	Banksia integrifolia	COAST BANKSIA	2	25 lt.	4-15m	As shown
PROPOSED SHRUBS						
RA	Raphiolepis	SNOW MAIDEN	25	8 inch.	0.75m	As shown
GS	Grevillea speciosa	RED SPIDER FLOWER	15	6 inch.	0.75m	As shown
PROPOSED GROUND COVERS						
LL	Lomandra longifolia	LIME TUFF	40	8 inch.	0.6m	As shown
HV	Hardenbergia violacea	FALSE SARSAPARILLA	20	8 inch.	0.3m	As shown
DR	Dichondra repens	KIDNEY WEED	30	6 inch.	0.1m	As shown
MP	Myoporum parvifolium	MYOPORUM	40	8 inch.	0.2m	As shown
LM	Liriope muscari	LIRIOPE EVERGREEN	30	8 inch.	0.6m	As shown
AL	Alcantarea	GIANT SILVER PLUM	3	12 inch.	0.8-1m	As shown



GROUNDCOVER & SHRUB PLANTING DETAIL

DA Plans - For Approval

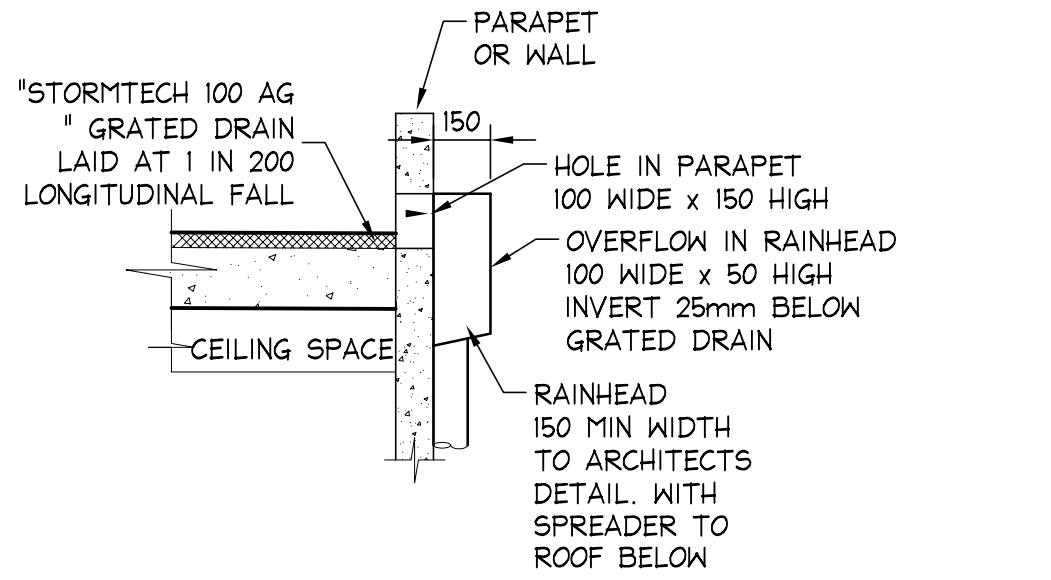


CONCEPT STORMWATER MANAGEMENT PLAN
SCALE = 1 : 100

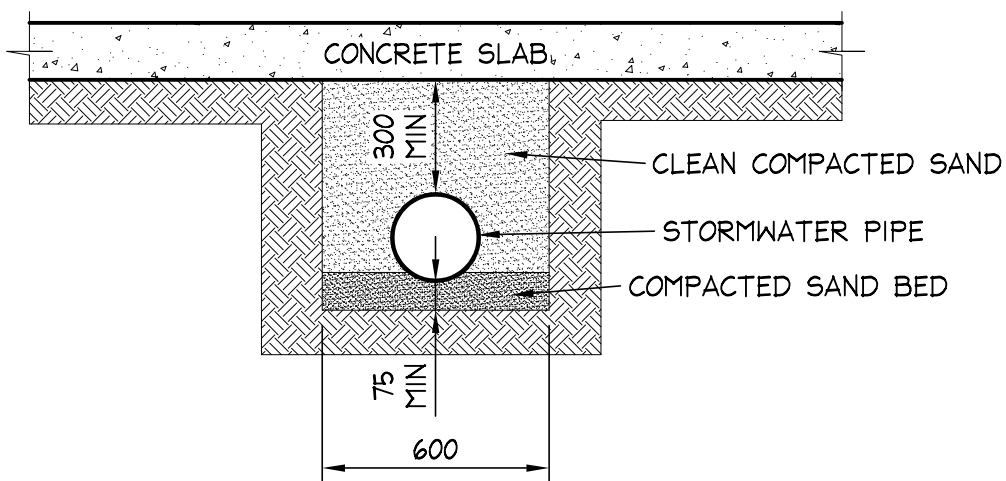
LEVELS TAKEN FROM SURVEY BY STUTCHBURY JAGUES SURVEYORS P/L, REF:10985, DATED 21-10-2020
ALL DRAINAGE LOCATIONS ARE INDICATIVE ONLY. LOCATION MAY VARY TO SUIT SITE CONSTRAINTS.
EXISTING PIPE LINES CAN BE REUSED IF FOUND TO BE SUITABLE AND TO MEET AS3500 BY THE PLUMBER.

STORMWATER NOTES:

- 1 - ALL PIPES TO BE 100mm ϕ SEWER GRADE uPVC UNLESS NOTED OTHERWISE.
- 2 - ALL PIPES TO BE uPVC TO AS 1254-2002 UNLESS NOTED OTHERWISE.
- 3 - ALL PIPES TO BE LAID AT 1 % MINIMUM GRADE UNLESS NOTED OTHERWISE.
- 4 - ALL PIPES SHALL BE LAID ON A 75mm SAND BED, COMPACTED TO 100% S.M.D.D. BELOW PAVEMENTS.
(NO COMPACTION REQUIRED BELOW LANDSCAPING)
COVER TO SURFACE FROM TOP OF PIPE TO BE AS PER AS3500.
BACKFILL TO BE ADEQUATELY CONSOLIDATED AROUND PIPES BY METHOD OF RAMMING AND WATERING IN. TRENCHES TO BE FILLED WITH GRANULAR MATERIAL AS SPECIFIED.
- 5 - DOWN PIPE LOCATIONS ARE INDICATIVE ONLY. LOCATIONS TO BE CONFIRMED WITH ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
- 6 - PROVIDE CLEANING EYES AT ALL DOWNPIPES.
- 7 - ALL PITS TO BE PRECAST, PREFORMED OR HDPE, IN ACCORDANCE WITH LOCAL COUNCIL SPECIFICATIONS.
- 8 - ALL PITS GREATER THAN 1000mm DEEP SHALL HAVE STEP IRONS AS PER COUNCIL STANDARDS.
- 9 - ALL WORK TO BE IN ACCORDANCE WITH LOCAL COUNCIL STANDARDS AND SPECIFICATIONS.
- 10 - PRIOR TO COMMENCING ANY SITE WORKS THE CONTRACTOR SHALL IMPLEMENT EROSION CONTROL MEASURES TO EPA GUIDELINES AND COUNCIL SPECIFICATIONS. ALL MEASURES TO REMAIN IN PLACE UNTIL COMPLETION AND STABILIZATION OF THE SITE TO COUNCIL SATISFACTION.
- 11 - ALL LEVELS SHOWN ARE TO AHD
- 12 - ENSURE THAT ALL PITS AND STORMWATER PIPES ARE LOCATED CLEAR FROM TREE ROOT SYSTEMS.
- 13 - ALL EXISTING EARTHENWARE PIPES TO BE UPGRADED TO uPVC.
- 14 - ALL WORKS TO BE IN ACCORDANCE WITH AS 3500-2015 NATIONAL PLUMBING DRAINAGE CODE PART 3 - STORMWATER DRAINAGE.
AND ALL WORKS TO BE IN ACCORDANCE WITH AS 3500-2012 NATIONAL PLUMBING DRAINAGE CODE PART 5 - HOUSING INSTALLATIONS.



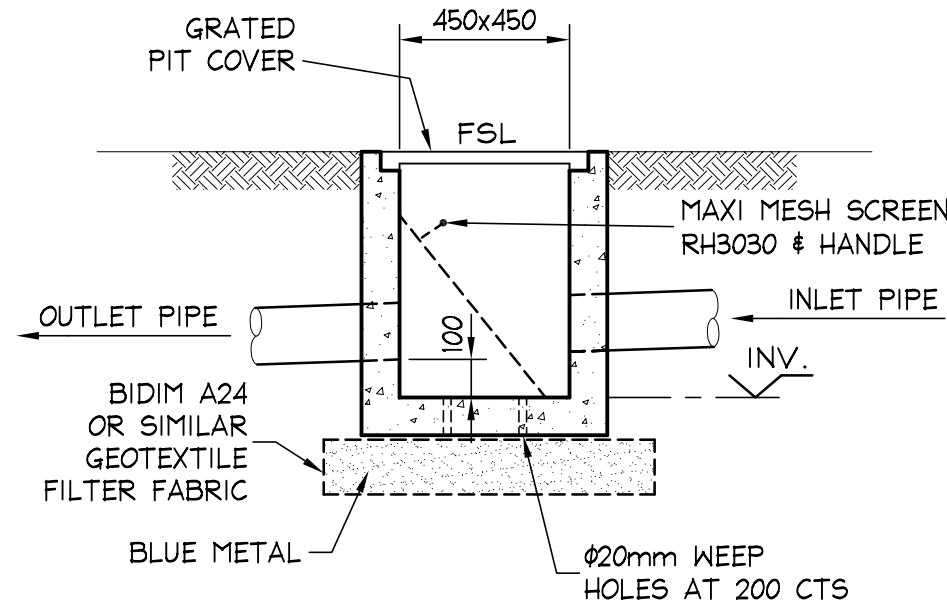
BALCONY DRAINAGE DETAIL
SCALE = 1 : 20



TYPICAL TRENCHING DETAIL
SCALE = 1 : 20

ONSITE DETENTION SYSTEM - SUMMARY NOTES
NORTHERN BEACHES [MANLY] COUNCIL [REGION 3]

REFER COUNCIL "WATER MANAGEMENT FOR DEVELOPMENT POLICY" FOR REGION 3
SECTION 9.3.3.2 & SECTION 5.1 APPLIES
STORMWATER CONTROL ZONE
TOTAL SITE AREA 396.8 m²
PRE DEVELOPMENT IMPERVIOUS AREA 287.9 m² (72.5% IMP)
POST DEVELOPMENT IMPERVIOUS AREA 254.7 m² (64.0% IMP)
(DECKS WITHOUT ROOFS ARE TREATED AS PERVIOUS SURFACES AS THEY CANT COLLECT WATER)
INCREASE (DECREASE) IN IMPERVIOUS AREA - 133.21 m²
REFER 9.3.3 "ON SITE STORMWATER DISPOSAL FOR REGION 3"
SINCE THERE IS A MARKED DECREASE IN IMPERVIOUS AREA & THE SITE DRAINS TO THE STREET KERB & GUTTER, IT IS CONSIDERED THAT THERE WILL BE NO DETRIMENTAL EFFECTS ON DOWNSTREAM PROPERTIES BY MAINTAINING THE CURRENT STORMWATER DISPOSAL REGIME.
APPROPRIATE POLLUTION CONTROL PROTECTION (BOUNDARY PIT) WILL BE INSTALLED.



PRECAST OR HDPE PIT
REFER STORMWATER NOTES
450x450 PIT DETAIL
SCALE = 1 : 20

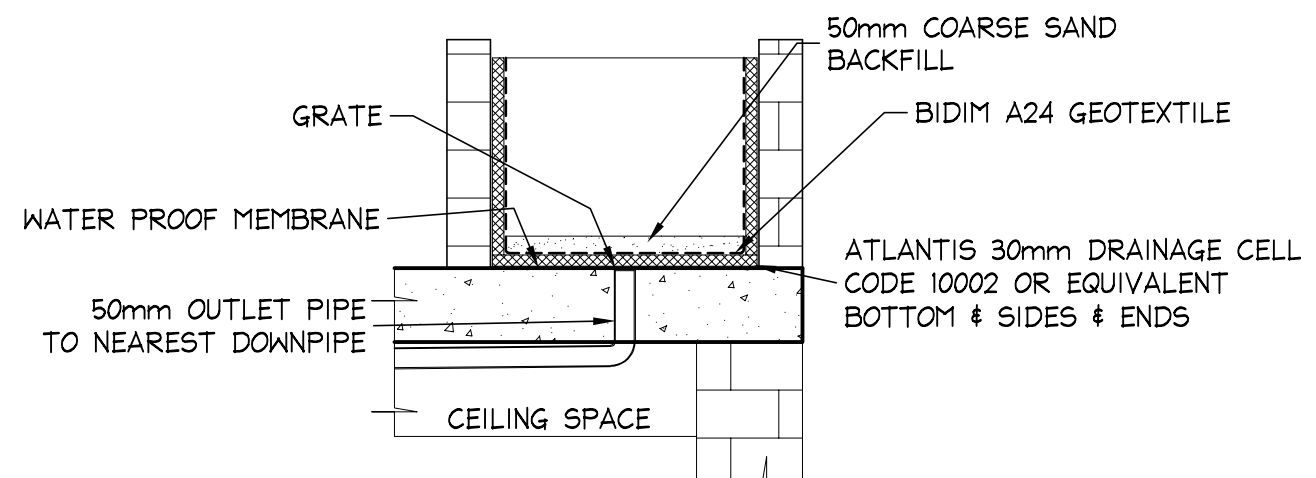
Northern Beaches [Manly] Council
On Site Detention Assumptions
Alterations & Additions at
11 Hilltop Crescent Fairlight

As property is in Region 3 - Section 9.3.3.2 & Section 5.1 applies

Area Calculation - Existing	m ²	Area Calculation -Proposed	m ²
Block	396.8		
Roofs	195	New Roof	216.5
Driveway & Deck	37.6	Driveway & Balcony	38.7
NE Paving	19.6	NE Timber Deck - 50% Impervious	7.4
Timber Deck Roof Area	9.5	SE Timber Deck - 50% Impervious	8.3
South Paving	12.2		
SW Paving	14		
All Impervious	287.9	All Impervious	270.9
Pervious	108.9	Pervious	125.9
Percent Impervious Existing	72.6	Percent Impervious Proposed	68.3
Reduction in Impervious Area	17.0		

As Property has a significant reduction in Impervious Area, and all runoff flows to street, there will be a reduction in runoff due to the development, therefore OSD is not required

ON SITE DETENTION ASSUMPTIONS



PLANTER BOX CROSS SECTION
NOT TO SCALE

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DA2021/0198

Gutter Calculations -20 yr ARI Storm

Northern Beaches [Manly] Council
Alterations & Additions to Residence at
11 Hilltop Crescent Fairlight

to AS 3500 - 2015 & AS 3500.5 2012 & BCA 2016						
	Horizontal	Slope	Area A _c	Gutter	From	Downpipe
Eaves	Area A _h	Factor		Slope	from	From
Gutters	From	From		steeper	Appendix A1	gutter
		Fig 5.6.3.2		than	Page 25	Table 5.6.4.7.1
	m ²		m ²	1 in	area reqd	size reqd
				mm/hr	mm ²	mm
DP1	36.1	1.15	41.5	500	207	8200
DP2	36.1	1.15	41.5	500	207	8200
DP3	36.1	1.15	41.5	500	207	8200
DP4	36.1	1.15	41.5	500	207	8200
DP5	36.1	1.15	41.5	500	207	8200
DP6	36.1	1.15	41.5	500	207	8200
total	216.6					
New Gutters to be - Half Round 150 -Area					9200	mm ²
Replace Existing Downpipes with new to size as shown in table above as necessary						
All Spreader Downpipes to be 100x50 or 90 dia						

GUTTER CALCULATIONS

NOTES:

1. ALL DIMENSIONS TO BE VERIFIED ON SITE BEFORE COMMENCING WITH WORK.
2. FOR GENERAL NOTES AND DRAWING SCHEDULE REFER TO DRAWING NUMBER: S01.



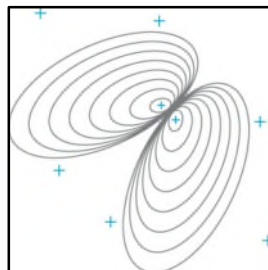
DOCUMENT CERTIFICATION

Date : DEC 2020
Bruce Lewis
(Principal : Peninsula Consulting Engineers)
BE(Civil), CPEng, MIEAust., NPER
Institute of Engineers Membership No. 879131

18-12-2020	A	FOR COUNCIL SUBMISSION
15-12-2020	PI	DRAFT
Date:	Rev:	Amendment:

Peninsula Consulting Engineers

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Project:

PROPOSED WORKS
at: 11 HILLTOP CRESCENT
FAIRLIGHT
for: MR & MRS McENCROE

Drawing Title:

CONCEPT STORMWATER
MANAGEMENT PLAN & DETAILS

Job No:

20-1203

Drawing No:

H01

Rev:

A