

General Notes

- G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS AND WITH SUCH DURING THE COURSE OF THE PROJECT. ANY DISCREPANCIES ARE TO BE REFERRED TO THE PRINCIPAL FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- G2. ALL DIMENSIONS RELEVANT TO SETTING OUT AND OFF-SITE FABRICATION WORK SHALL BE VERIFIED BY THE BUILDER BEFORE CONSTRUCTION AND FABRICATION IS COMMENCED. DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- G3. DURING CONSTRUCTION THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
- G4. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SAA CODES AND THE BY-LAWS AND ORDINANCES OF THE RELEVANT BUILDING AUTHORITY.
- G5. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS STATED OTHERWISE. ALL LEVELS ARE EXPRESSED IN METRES.
- G6. FLASHINGS AND DAMPROOF COURSE TO BE PLACED IN ACCORDANCE WITH GOOD BUILDING PRINCIPLES WHETHER SHOWN ON THE DETAILS OR NOT.
- G7. THIS DRAWING TO BE READ IN CONJUNCTION WITH HIA GENERAL HOUSING SPECIFICATION.

Foundations

- F1. UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH AS 2870.
- F2. TERMITE TREATMENT SHALL BE IN ACCORDANCE WITH AS 3660.1
- F3. THE UNDERFLOOR VAPOUR BARRIER SHALL BE IN ACCORDANCE WITH AS 2870
- F4. REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH AS 3600, AS 2870 AND THE ENGINEERS RECOMMENDATIONS.
- F5. STRUCTURAL CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. PRE MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379.
- F6. PROVIDE ADEQUATE CROSS FLOOR VENTILATION TO THE SPACE UNDER SUSPENDED GROUND FLOOR.
- F7. ALL SLABS SHALL BE CURED IN ACCORDANCE WITH AS 3600.

Masonry

- M1. ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS/NZS 4455, AS/NZS 4456 AND AS 3700.
- M2. CONCRETE BLOCKS ARE TO BE IN ACCORDANCE WITH AS 2733.
- M3. ALL DAMP PROOF COURSES SHALL COMPLY WITH AS 3700 AND AS 2904.
- M4. CAVITY VENTILATION (WEEP HOLES) SHALL BE IN ACCORDANCE WITH AS 3700.
- M5. MORTAR SHALL COMPLY WITH AS 3700, JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS 3700.
- M6. ALL WALL TIES SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2699 AND BE INSTALLED IN ACCORDANCE WITH AS 3700.

Timber Framing

- T1. ALL TIMBER FRAMEWORK SHALL COMPLY WITH AS 1684.
- T2. ROOF FRAMING TO BE IN ACCORDANCE WITH AS 1684.
- T3. TIMBER ROOF TRUSSES TO MANUFACTURERS DETAILS AND SPECIFICATIONS.
- T4. TIMBER BRACING TO BE IN ACCORDANCE WITH AS 1684.

Tiling

- T1. CEMENT MORTAR AND OTHER ADHESIVES SHALL COMPLY WITH AS 3958.1
- T2. INSTALLATION OF TILES SHALL BE IN ACCORDANCE WITH AS 3958.

Claddings & Linings

- C1. THE LINING OF WET AREA WALLS SHALL BE CONSTRUCTED IN
- C2. ACCORDANCE WITH AS 3740.
- ALL INTERNAL WET AREAS AND BALCONIES OVER INHABITABLE ROOMS TO BE WATER PROOFED TO AS 3740.

Joinery

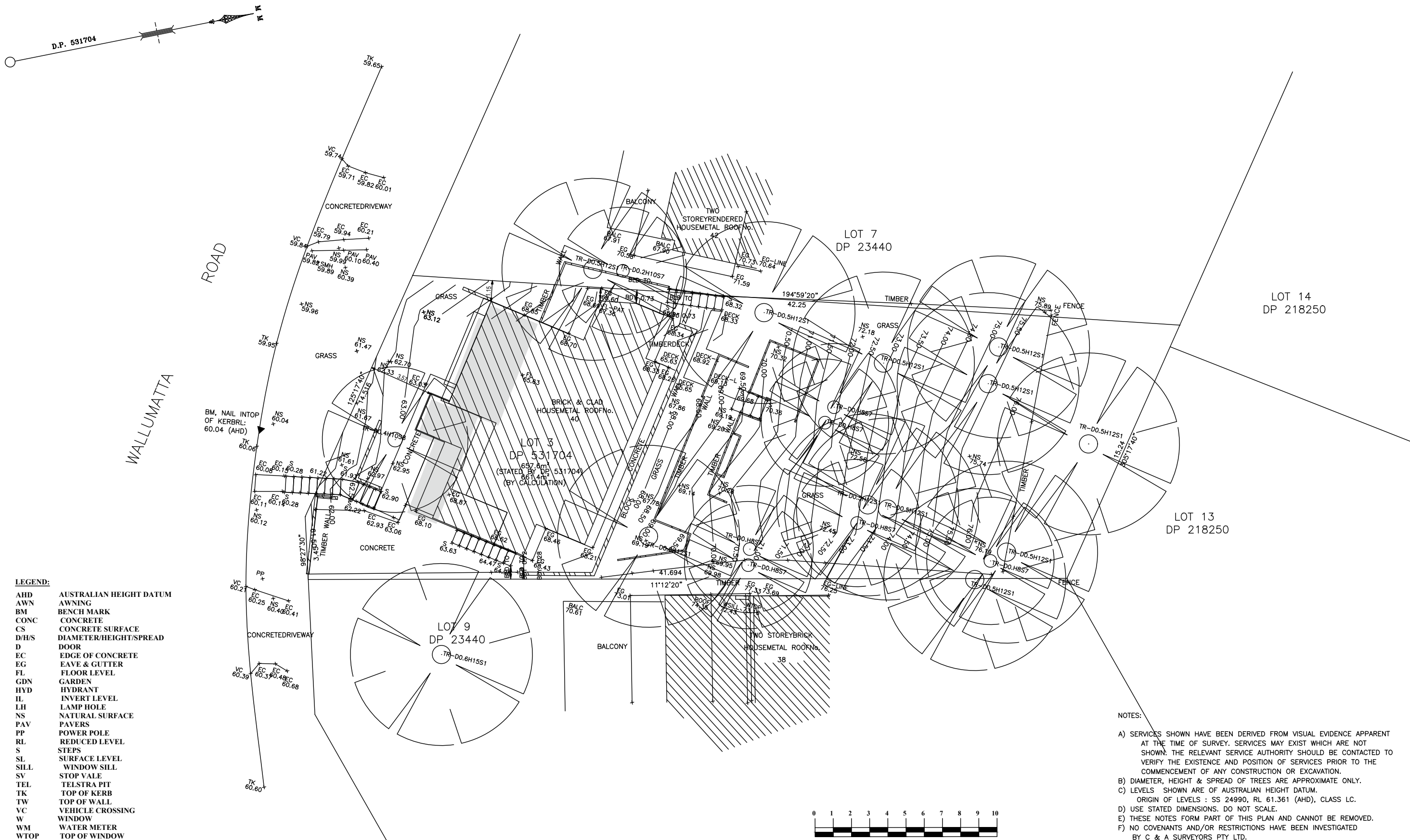
- J1. ALL INTERNAL AND EXTERNAL TIMBER DOOR AND DOOR SETS SHALL BE IN ACCORDANCE WITH AS 1909. TIMBER DOORS AND DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2688 AND AS 2689.
- J2. ALL GLAZING SHALL COMPLY WITH AS 1288.

Steel Framing

ALL STEEL FRAMING INCLUDING FLOORS, WALLS AND ROOF FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND AS 3623.

Roofing

- R1. CONCRETE AND TERRACOTTA TILES SHALL COMPLY WITH AS 2049 AND BE INSTALLED IN ACCORDANCE WITH AS 2050.
- R2. METAL RAINWATER GOODS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 2179 AND INSTALLED IN ACCORDANCE WITH AS 2180.
- R3. SARKING TO COMPLY AND BE FIXED IN ACCORDANCE WITH AS/NZS 4200.1 & AS/NZS 4200.2.
- R4. WEATHERPROOFINGS AND FLASHINGS SHALL COMPLY WITH AS 2904, AS 1804 AND AS 3700.



1 SITE PLAN – PROPOSED
Scale 1:200

GENERAL NOTES

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- CONNECT DP'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS

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ARCHITECTURAL DRAFTING
3D VISUALISATION
DEVELOPMENT APPLICATION
ASSISTANCE
COUNCIL COMPLIANT PLANS

LEGEND:

- EXISTING BUILDING OUTLINE
- PROPOSED WORK

General Notes



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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/08/2020	SP
Scale 1:200	

DP No. 531704

LOT No. 3

A	ISSUED FOR CDC	26.08.2020
No.	Revision/Issue	Date

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DA2020/1158



LEGEND:

EXISTING BUILDING OUTLINE — — — —

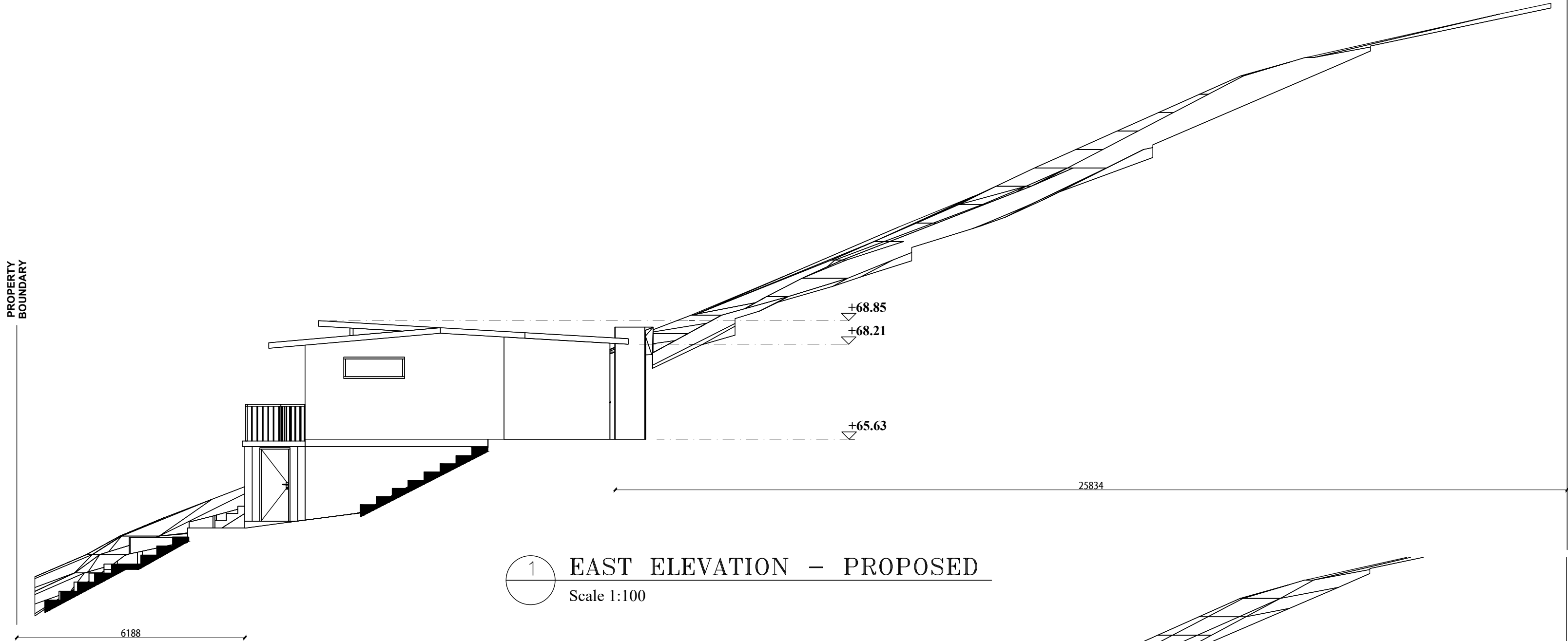
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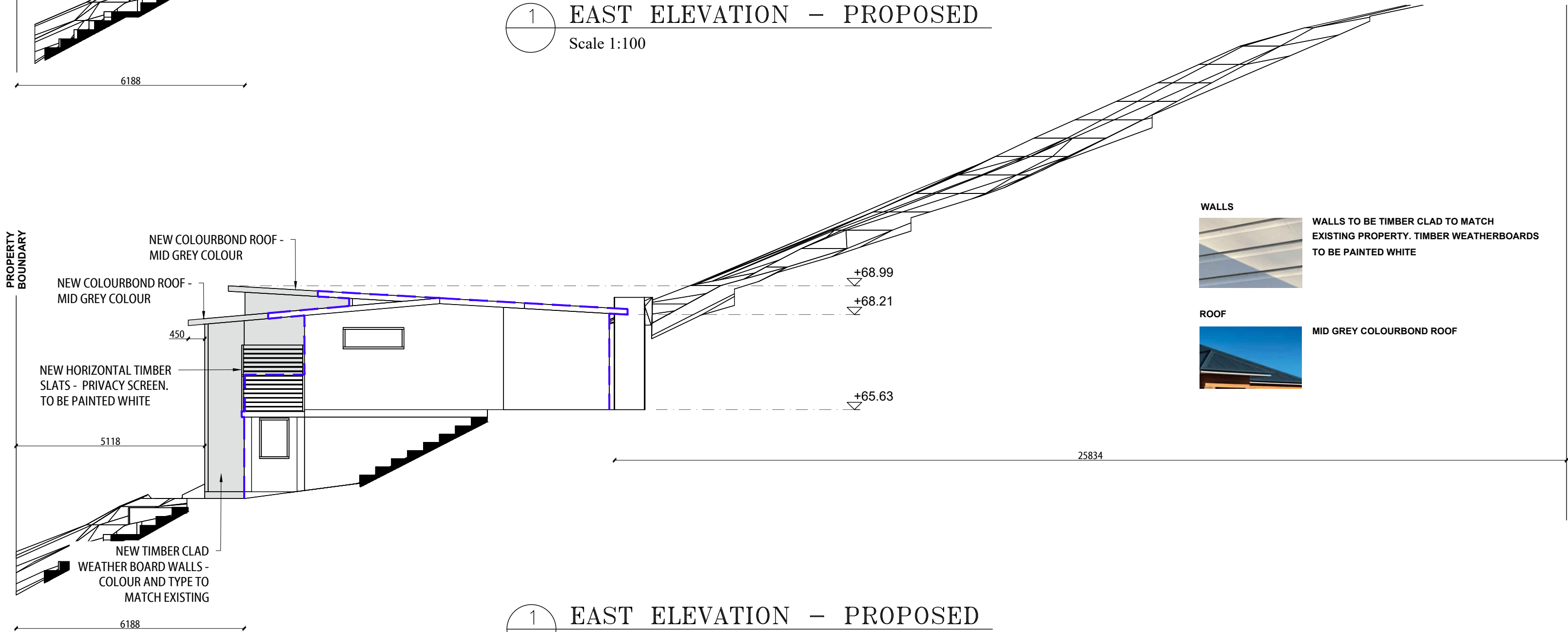
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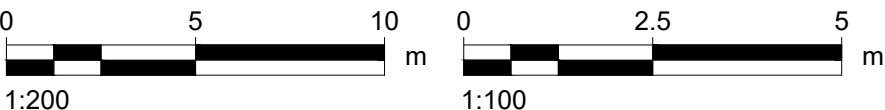
1 EAST ELEVATION – PROPOSED
Scale 1:100



1 EAST ELEVATION – PROPOSED
Scale 1:100

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Project AUDITORS AND ALTERATIONS Date 11/08/2020 Scale 1:100	Sheet 5
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DP No. 531704

LOT No. 3

A	ISSUED FOR CDC	20.08.2020
No.	Revision/Issue	Date

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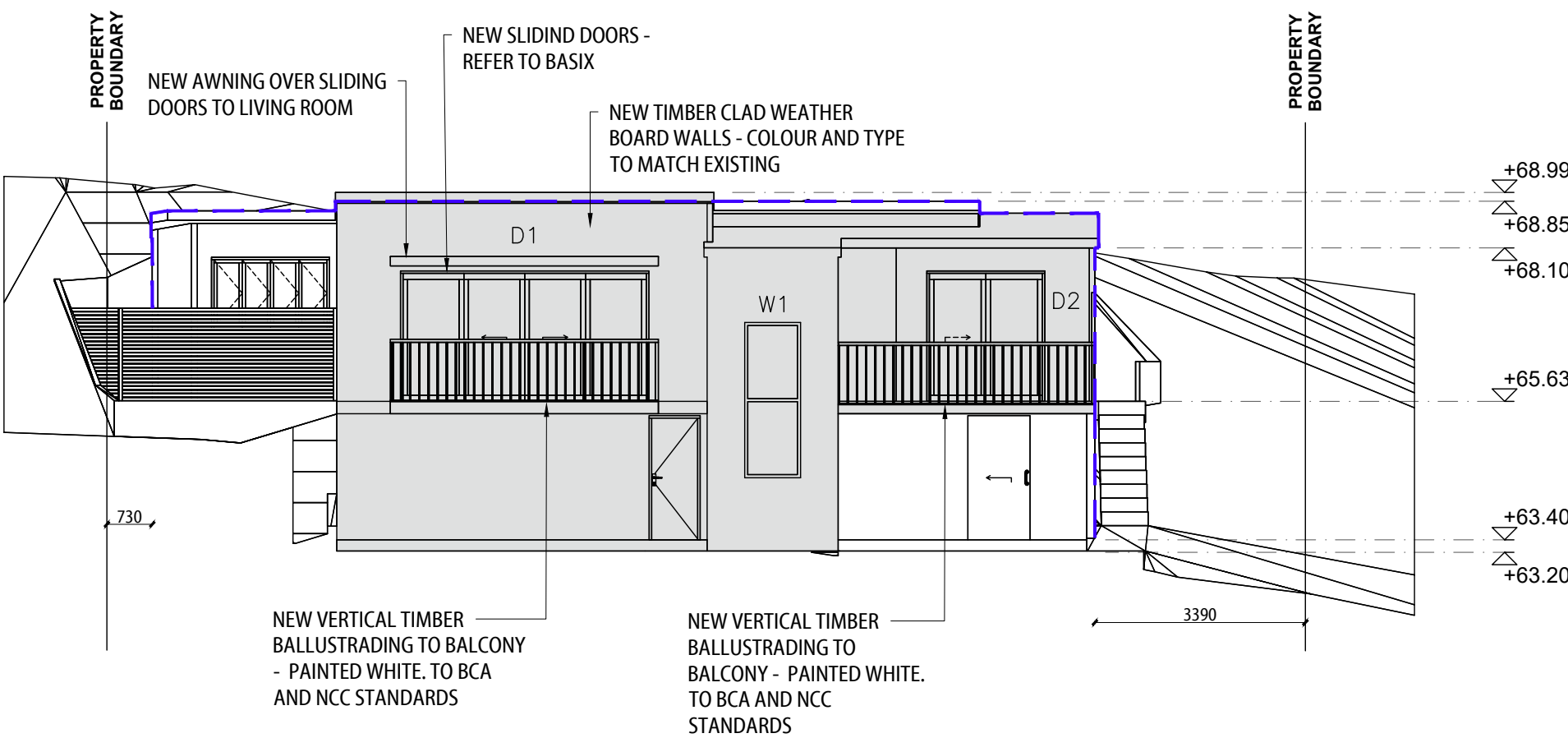
FN/NAME

REV/DATE

USER



1 SOUTH ELEVATION – PROPOSED
Scale 1:100



1 SOUTH ELEVATION – PROPOSED
Scale 1:100

WALLS

WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE

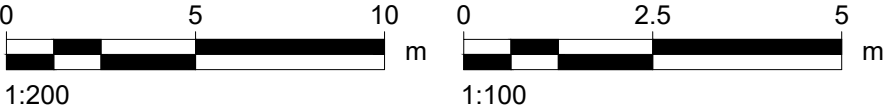
ROOF

MID GREY COLOURBOND ROOF

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DA2020/1158

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Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	S	2.26	10	1.3	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D1	S	8.4	4.5	10	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	S	4.05	10	3.7	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

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General Notes

proudly supporting
bear cottage
the children's hospital at manly

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Project ADDITIONS AND ALTERATIONS	Date	11/08/2020
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NSW 2106

BEARERS AND JOISTS: SPAN AND SPACING OF BEARERS AND JOISTS IS TO CONFORM TO AS1684 SERIES OF STANDARDS IN CONJUNCTION WITH SUPPORTING SUPPLEMENTS RELEVANT TO THE APPLICABLE WIND CLASSIFICATION AND STRESS.

ALL TIMBER GENERALLY SHALL BE OF THE DURABILITY AND STRESS GRADE SPECIFIED AND OR COMPLY WITH AS1720 AND AS1684.

ROOF BRACING IN ACCORDANCE WITH TRUSS MANUFACTURERS DETAIL AND SECTION 8 OF AS 1684.

WALL FRAMING: WALL FRAME, SIZES AND SPACING SHALL BE IN ACCORDANCE WITH AS1684 OR AS SPECIFIED BY A PRACTISING ENGINEER.

WALLS



WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE

ROOF



MID GREY COLOURBOND ROOF

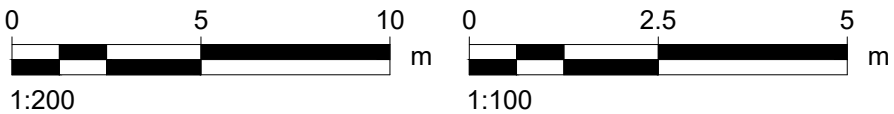
1 WEST ELEVATION – PROPOSED
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LEGEND:

EXISTING BUILDING OUTLINE

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Project ADDITIONS AND ALTERATIONS	Sheet
Date 11/08/2020	7
Scale 1:100	

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NOTES:

PRELIMINARIES

All work to comply with the Building Code of Australia, current editions of the relevant Australian Standards, and industry codes of practice.

Select, store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier.

Dimensions and Setout

Do not scale from drawings. Take figured dimensions in preference to scale. Verify all dimensions on site before commencing work. The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works. In the event of discrepancies in the setout of the Works, the builder should refer to the Project Designer for clarification before proceeding.

CONCRETE CONSTRUCTION

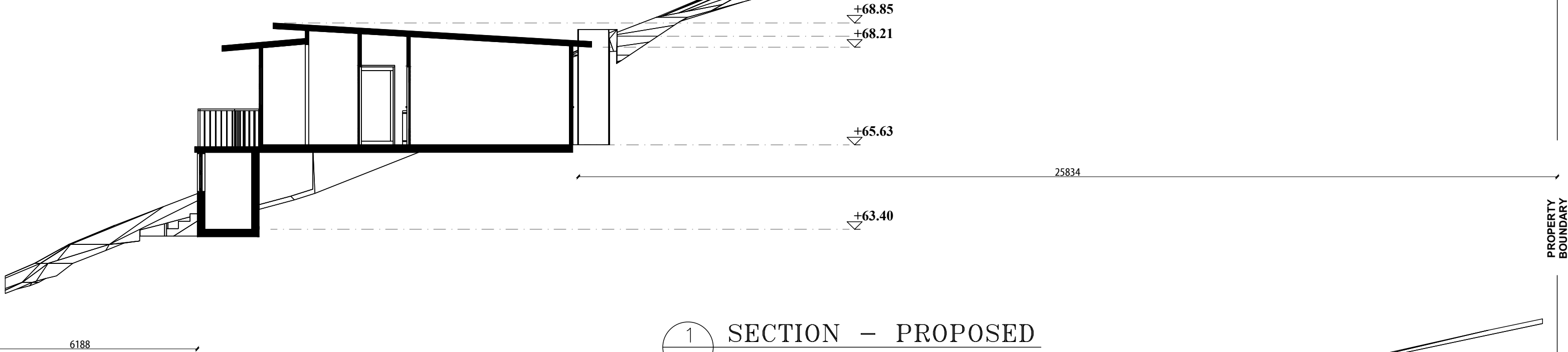
Concrete structures generally to AS3600.

Ground slabs and footings to AS2870.

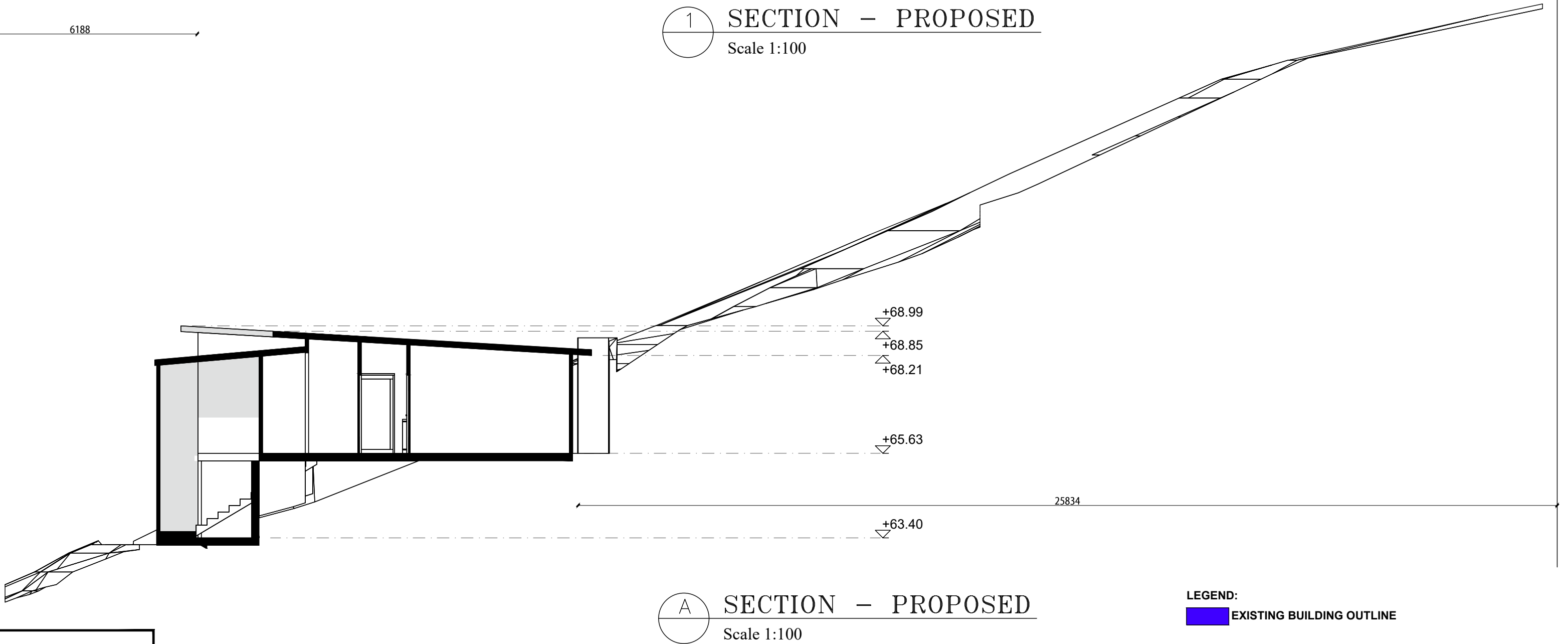
Ready-mixed concrete to AS1379.

All reinforcement to be in accordance with Engineer's drawings and specification. Place all concrete uniformly over the width of the slab to achieve a level face. Provide construction joints as required. Compaction, curing and formwork stripping to comply with Aust. Slds and codes of practice.

PROPERTY
BOUNDARY



PROPERTY
BOUNDARY

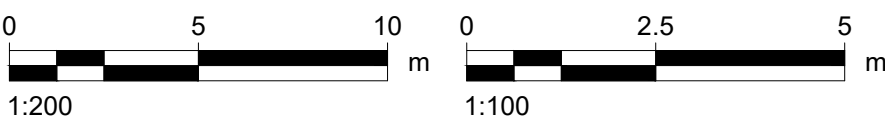


LEGEND:

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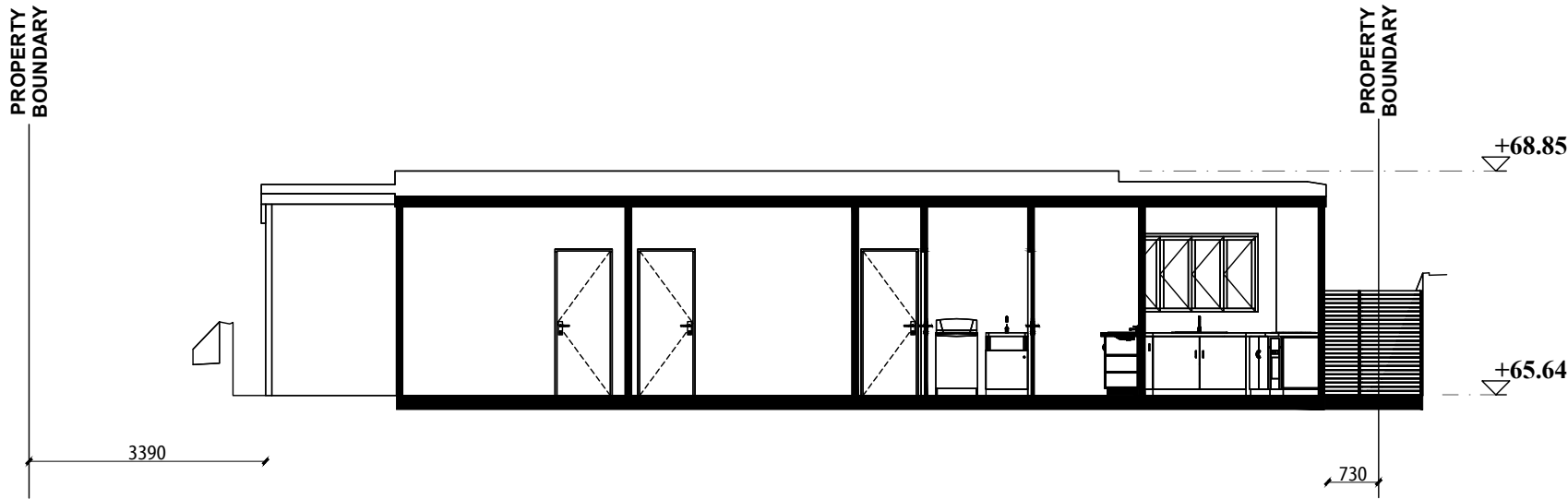
DA2020/1158

NOTES:
TIMBER AND STEEL CONSTRUCTION
All timber framing and flooring to AS1684, AS1720.1 where relevant.
Structural steelwork to AS4100.
Preparation of metal surfaces to AS1627.
Flashing and damp-proof courses to AS2904.

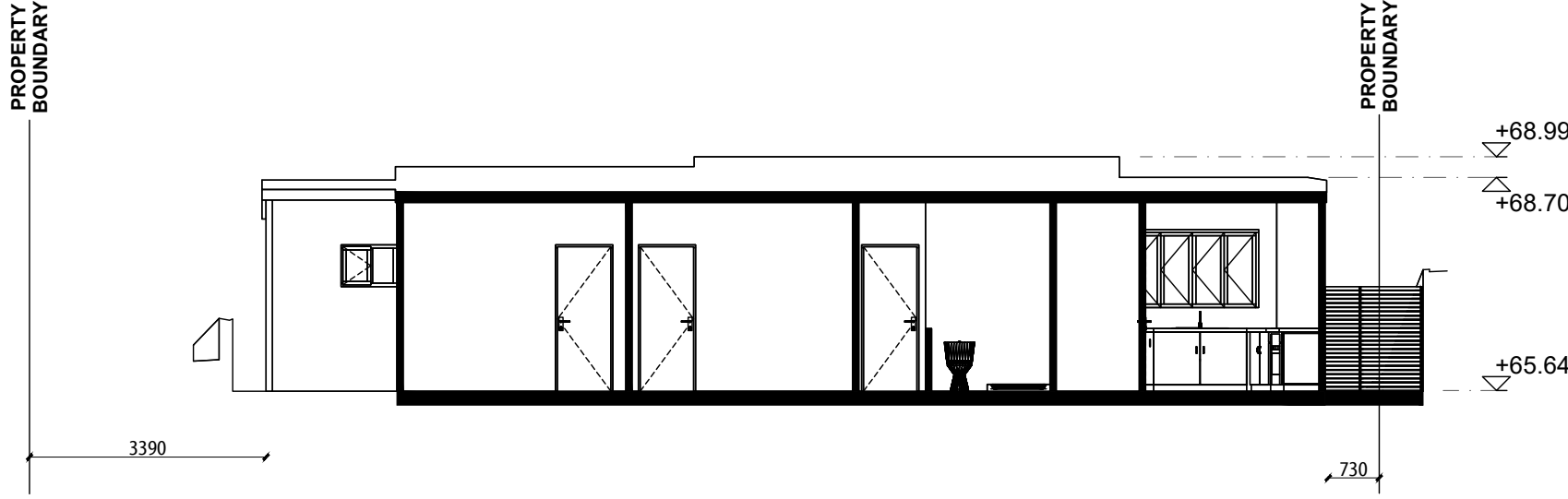
TERMITE PROTECTION
Termite protection to AS3660.1.
Use a physical barrier system installed by licensed installers to manufacturer's specification.
Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance with the BCA, Aust. Stds and relevant codes of practice.

Decking
Timber deck in accordance with AS1684. Allow to fix select grade hardwood decking as supplied by Proprietor. All handling, storage, installation and finishing as recommended by the manufacturer. Allow for sufficient acclimatization prior to installation.
New timber decking to AS2796.

- SANITARY PLUMBING AND DRAINAGE; SHALL BE UNDERTAKEN IN ACCORDANCE WITH LOCAL PCA AND REQUIREMENTS OF REGULATORY AUTHORITY. TO BE CARRIED OUT BY APPROPRIATELY QUALIFIED PERSON.
- GUTTERS AND DOWNPIPES TO TO COMPLY WITH PART 3.5.2 OF THE BCA. GUTTERS AND DOWNPIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH PART 3.5 BCA AND AS 3500.
- SMOKE ALARM SHALL BE INSTALLED IN ACCORDANCE WITH PART 3.7.2 BCA AND COMPLY WITH AS 3786.
- ALL ELECTRICAL WORK SHALL BE COMPLIANT WITH AS/NZS5033 AND AS3000.
- FALLS IN WET AREAS: FLOOR TILES TO BE GRADED TO WASTE AREAS AND WHERE REQUIRED. RECOMMENDED RATIO OF FALL WITHIN THE SHOWER TO BE BETWEEN 1:60 & 1:100.



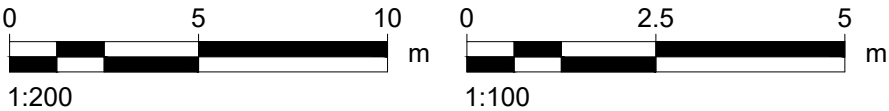
1 SECTION – PROPOSED
Scale 1:100



B SECTION – PROPOSED
Scale 1:100

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DP No.	531704	
LOT No.	3	
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No.	Revision/Issue	Date

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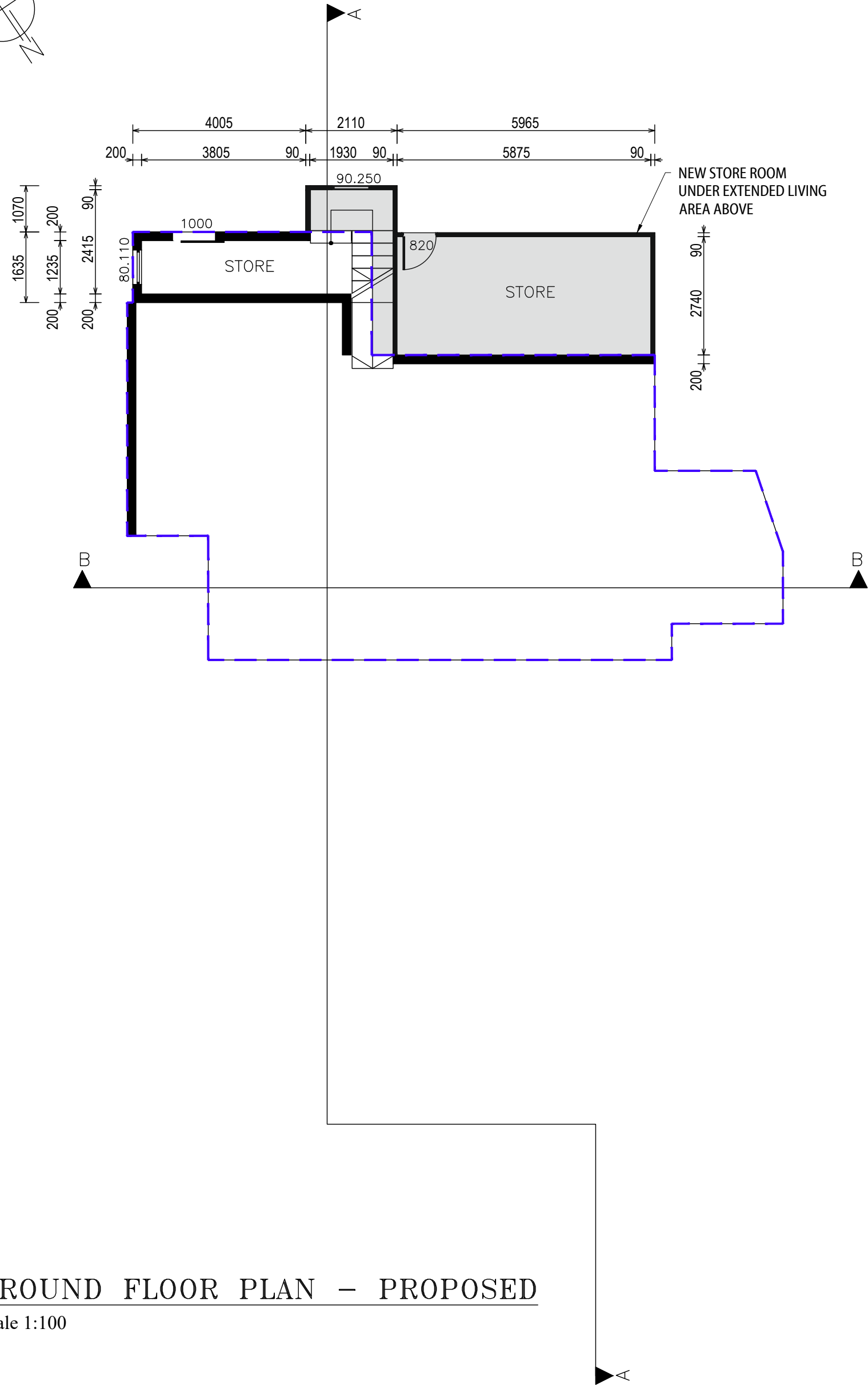
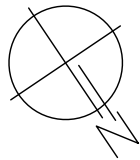
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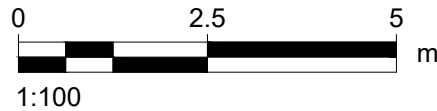
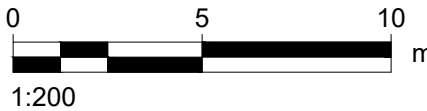
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1 GROUND FLOOR PLAN – PROPOSED
Scale 1:100

GENERAL NOTES

- BUILDER TO CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE WORK BEGINS
- ALL WORK TO BE IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS AND B.C.A. REQUIREMENTS.
- CONNECT D.P.'S TO EXISTING STORMWATER SYSTEM. ALL STRUCTURAL DETAILS TO ENGINEERS SPECIFICATIONS



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LEGEND:
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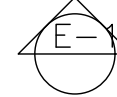
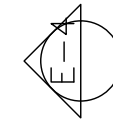
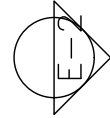
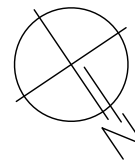
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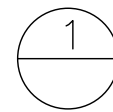
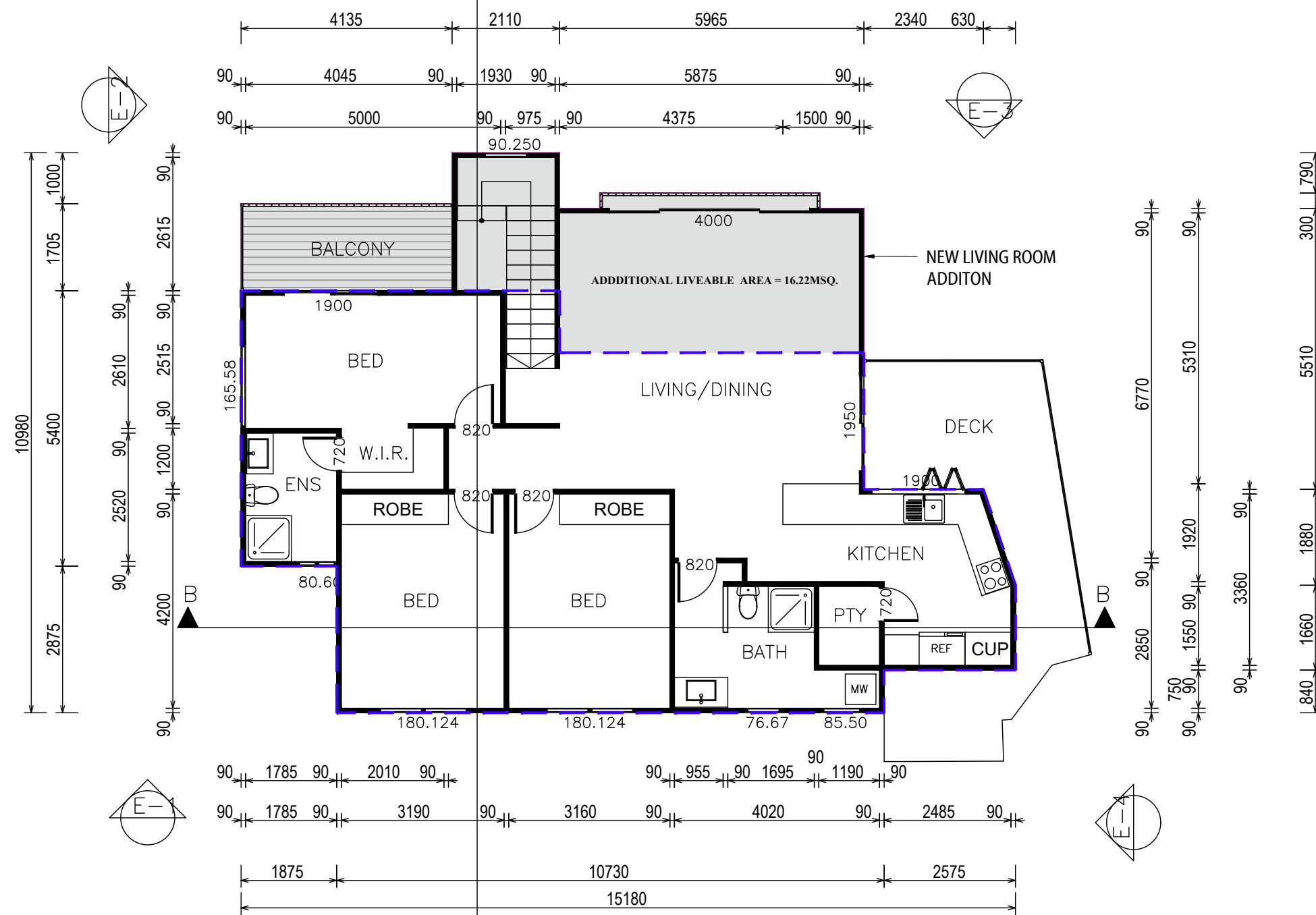
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SITE AREA = 657.6MSQ.
EXISTING AREA = 98.65MSQ.
PROPOSED AREA = 114.87MSQ. FSR - 0.17:1



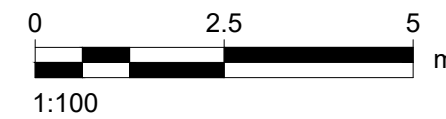
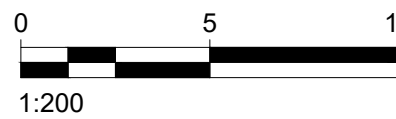
1ST FLOOR PLAN - PROPOSED

Scale 1:100

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DP No. 531704

LOT No. 3

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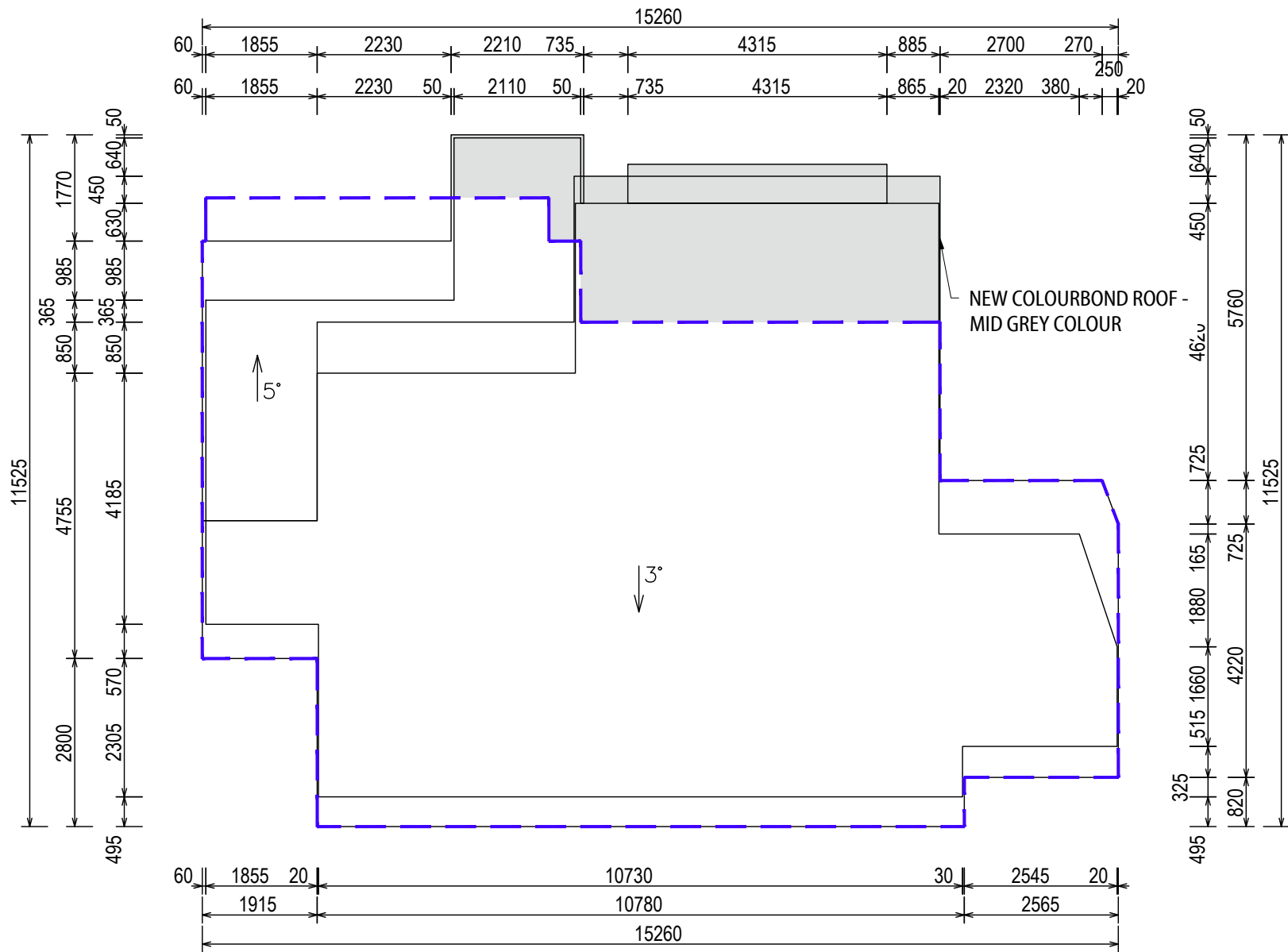
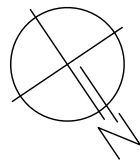
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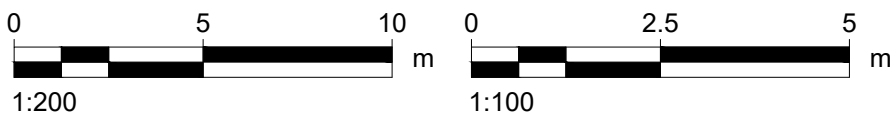
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1 ROOF PLAN – PROPOSED
Scale 1:100

GENERAL NOTES

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WALLS



WALLS TO BE TIMBER CLAD TO MATCH EXISTING PROPERTY. TIMBER WEATHERBOARDS TO BE PAINTED WHITE

ROOF



MID GREY COLOURBOND ROOF

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Project ADDITIONS AND ALTERATIONS	Sheet 12
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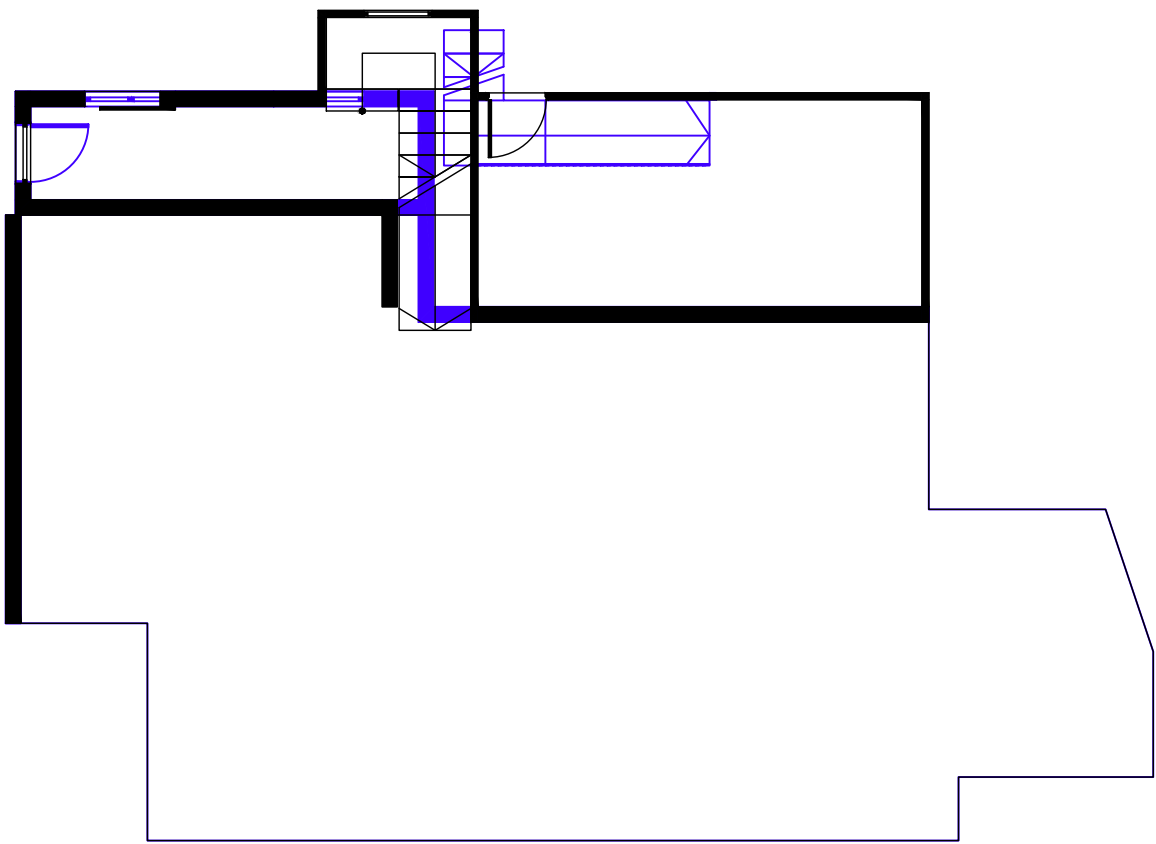
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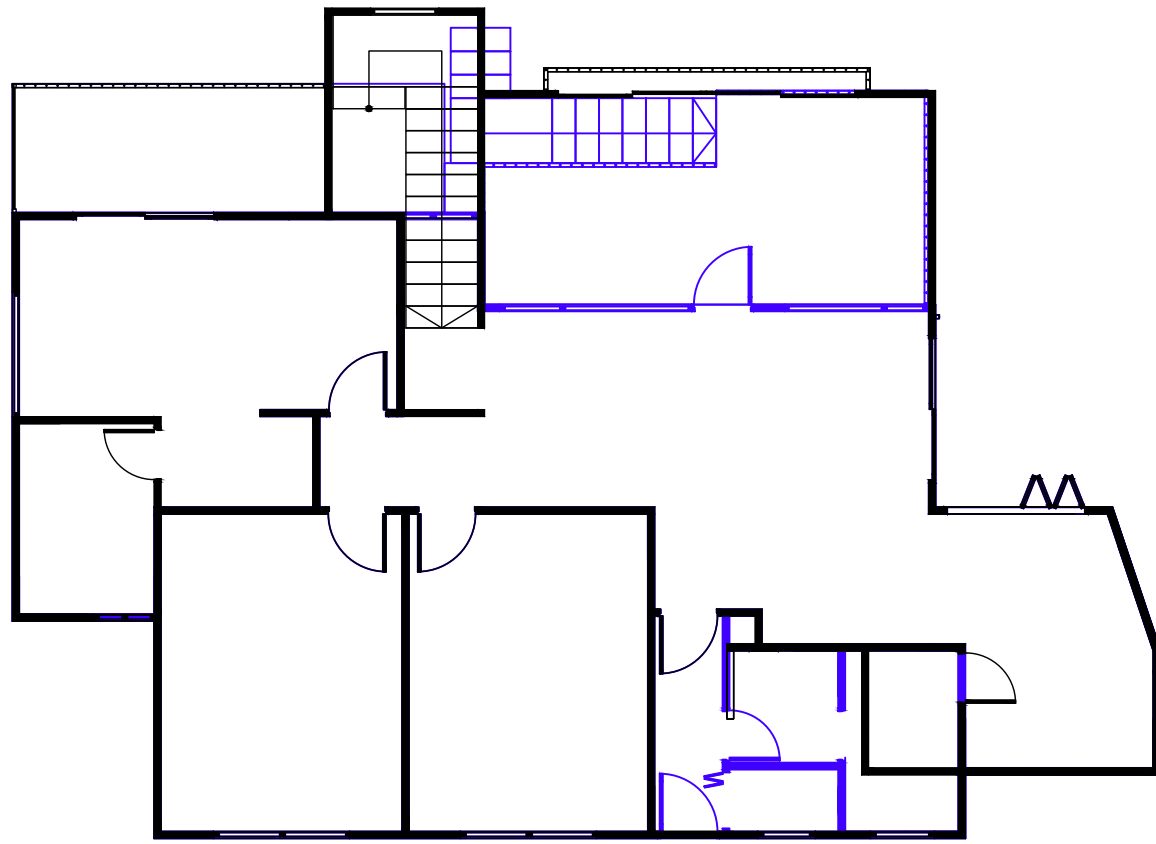
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1 DEMOLITION PLAN – LOWER LEVEL
Scale 1:100

LEGEND:
WALLS TO BE REMOVED



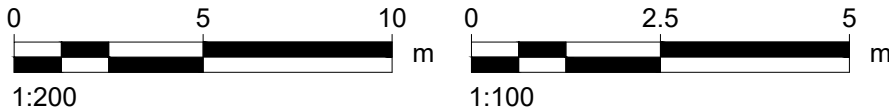
1 DEMOLITION PLAN – 1ST FLOOR
Scale 1:100

LEGEND:
WALLS TO BE REMOVED

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Project ADDITIONS AND ALTERATIONS	Sheet
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