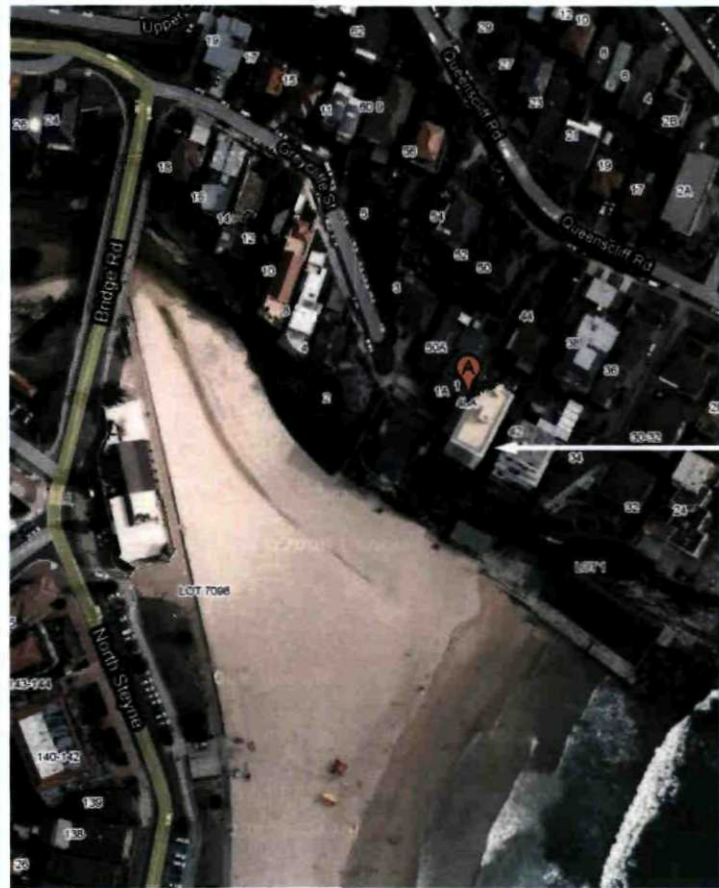
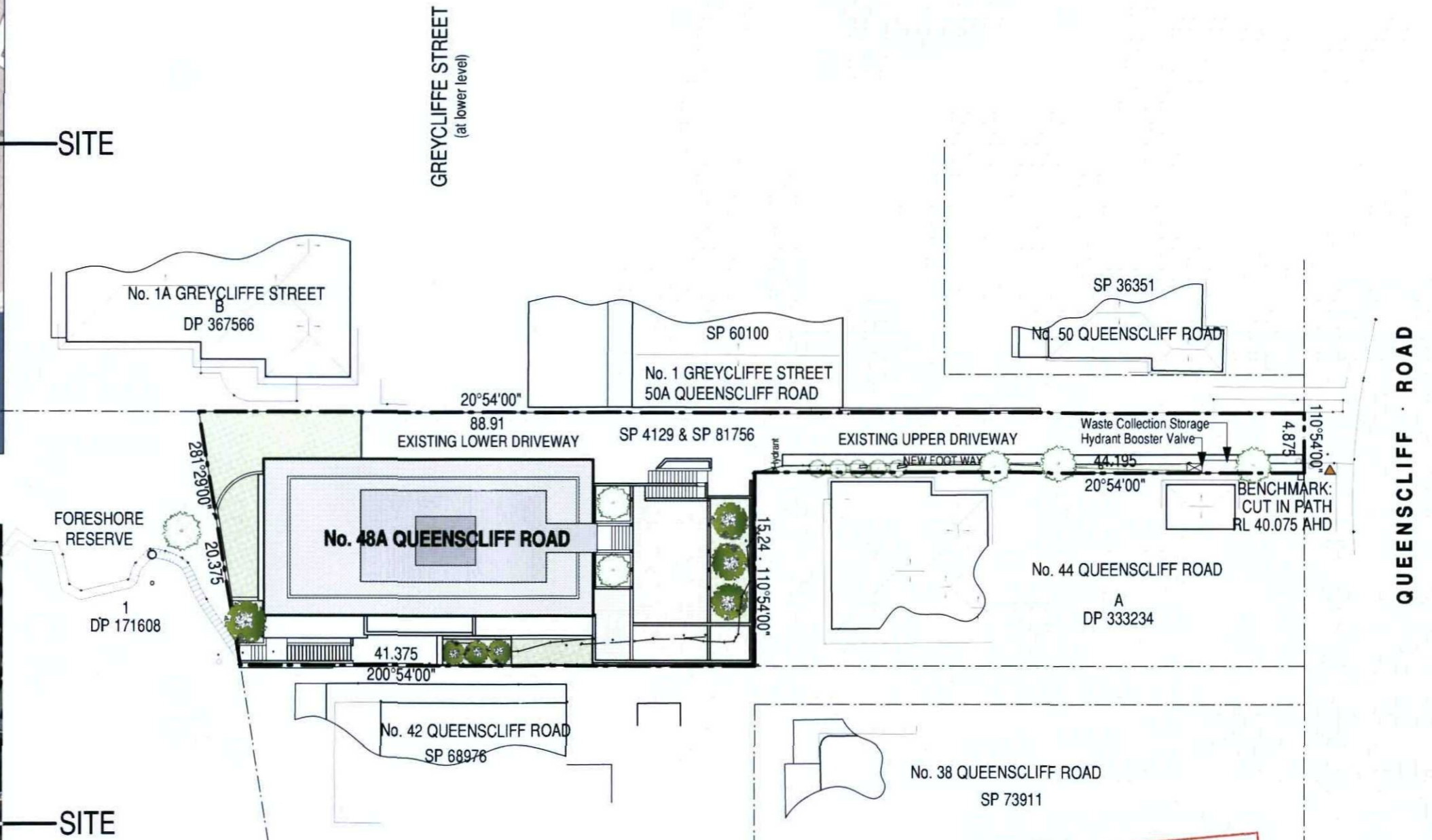


SITE



SITE



GREYCLIFFE STREET
(at lower level)

QUEENSCLIFF ROAD

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 DA 2011 / 0360
 WARRINGAH COUNCIL

Blackwood Architects
 14 Woodland Street Clontarf NSW 2093
 Tel: 02 9907 7111 Fax: 02 9907 7222

ISSUE	DATE	PURPOSE	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT
01	04.11.10	PRELIMINARY SKETCH DESIGN						
02	30.11.10	DESIGN DEVELOPMENT						
03	06.01.11	PRE-DA LODGEMENT REVIEW						
04	07.03.11	DEVELOPMENT APPLICATION						
05	14.07.11	REVISED DEVELOPMENT APPLICATION	A	24.06.11	REVISED DEVELOPMENT APPLICATION			

DEVELOPMENT APPLICATION
STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF

Start Date: 04.11.10 Issue Date: 14.07.11
LOCATION MAPS
& SITE PLAN
 For DA purposes only. Not for Construction

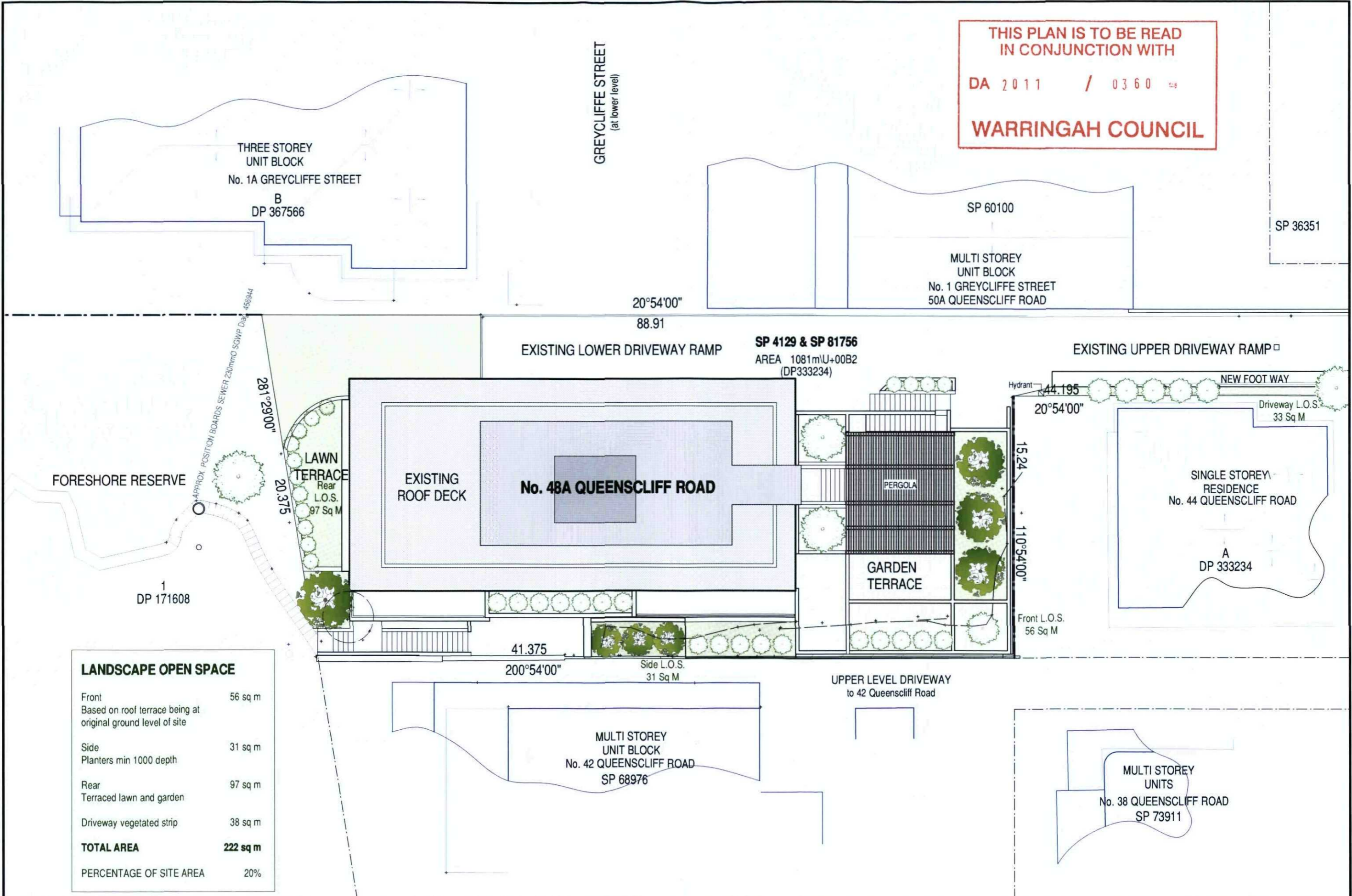
NORTH

Issue: 05
 Revision: A
 Scale 1:400
01

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LANDSCAPE OPEN SPACE

Front	56 sq m
Based on roof terrace being at original ground level of site	
Side	31 sq m
Planters min 1000 depth	
Rear	97 sq m
Terraced lawn and garden	
Driveway vegetated strip	38 sq m
TOTAL AREA	222 sq m
PERCENTAGE OF SITE AREA	20%

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DEVELOPMENT APPLICATION
**STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF**

Start Date: 04.11.10 Issue Date: 14.07.11
SITE PLAN
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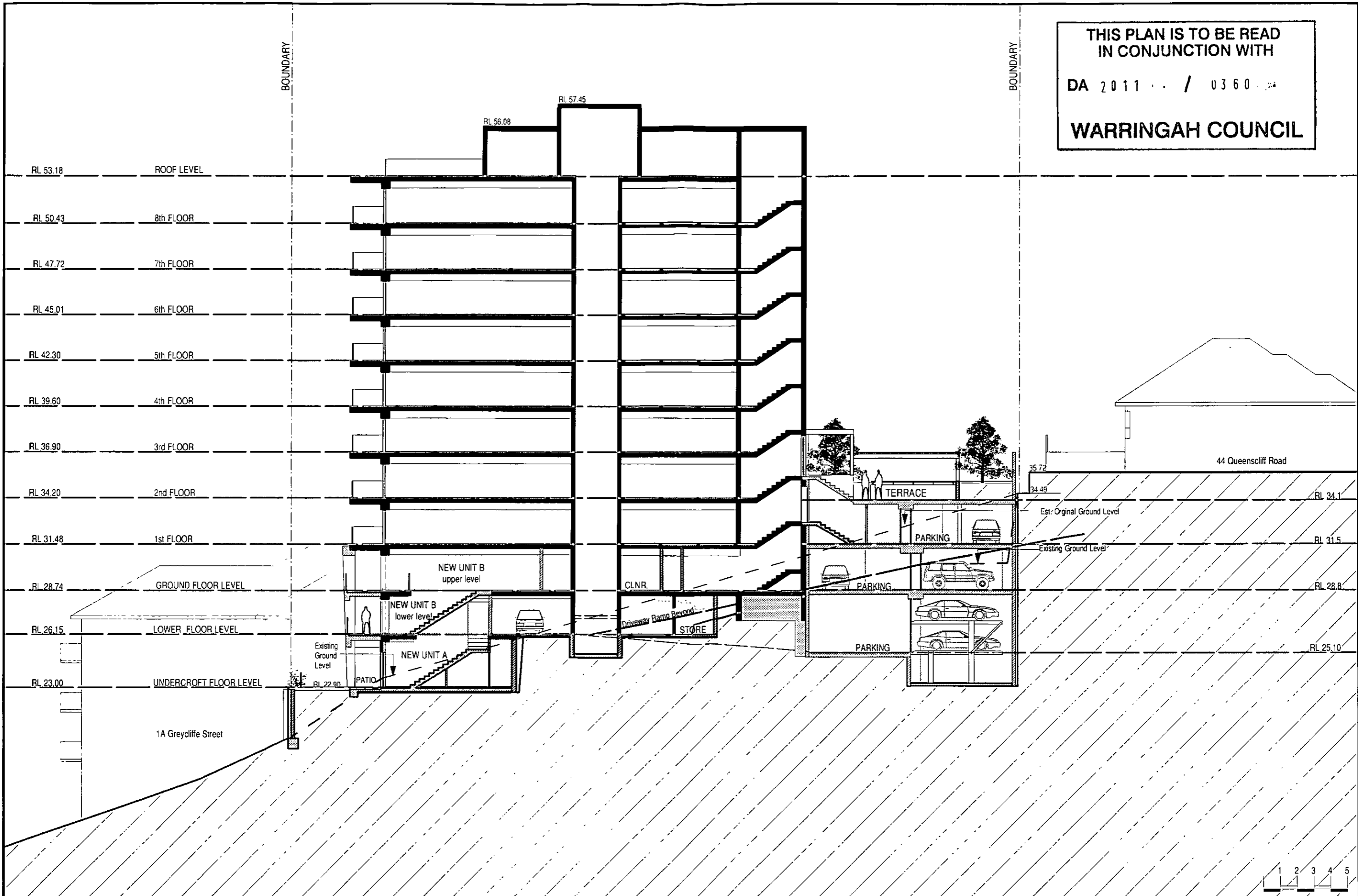
NORTH

Issue: 05
Revision: A

02

Scale 1:200

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DEVELOPMENT APPLICATION
STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF

Start Date: 04.11.10 Issue Date: 14.07.11

LONG SECTION AA

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Issue: 05
Revision: A

Scale 1:200

08

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RL 53.18

RL 50.43

RL 47.72

RL 45.01

RL 42.30

RL 39.60

RL 36.90

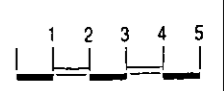
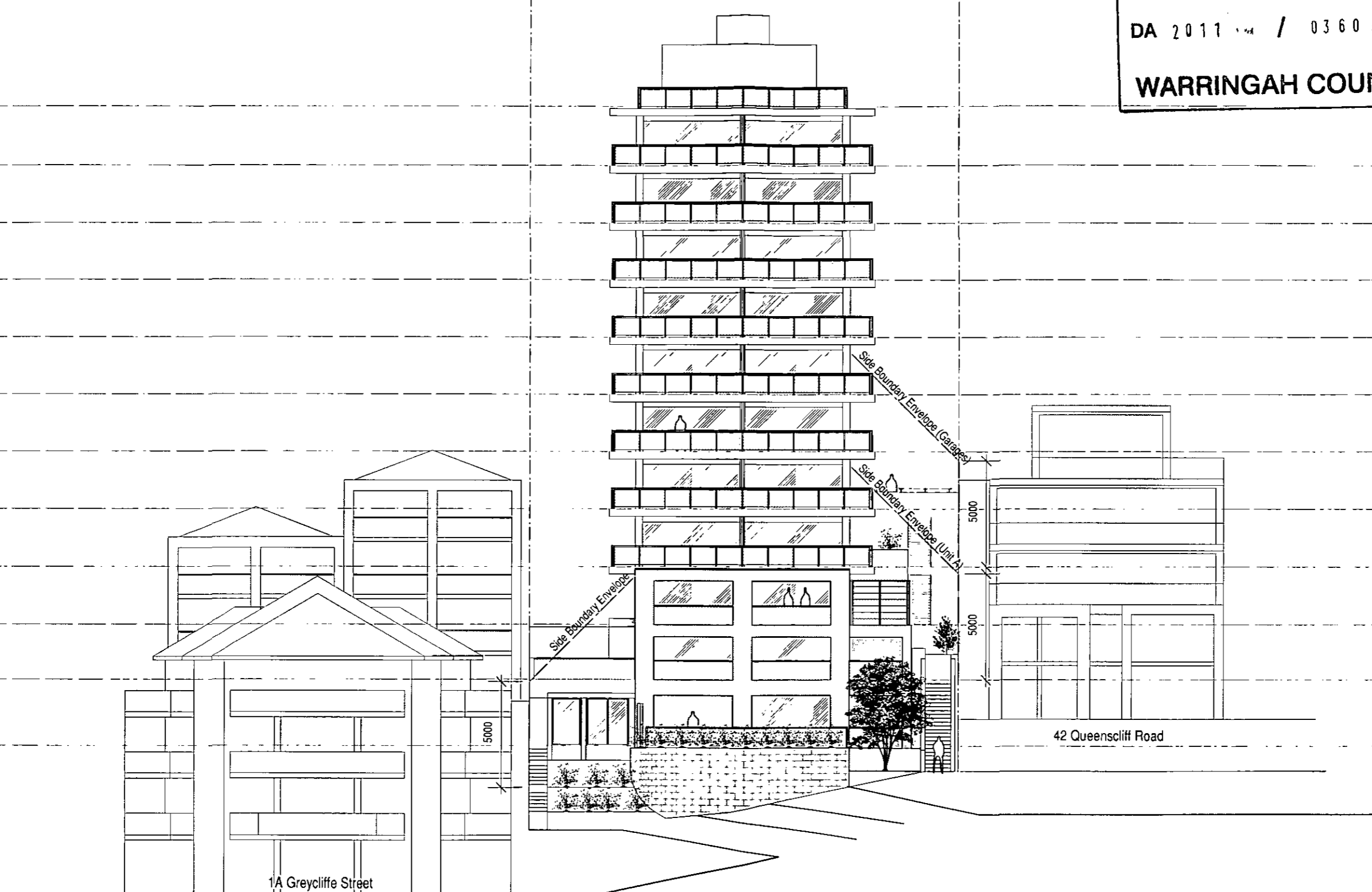
RL 34.20

RL 31.48

RL 28.74

RL 26.15

RL 23.00



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DEVELOPMENT APPLICATION
**STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF**

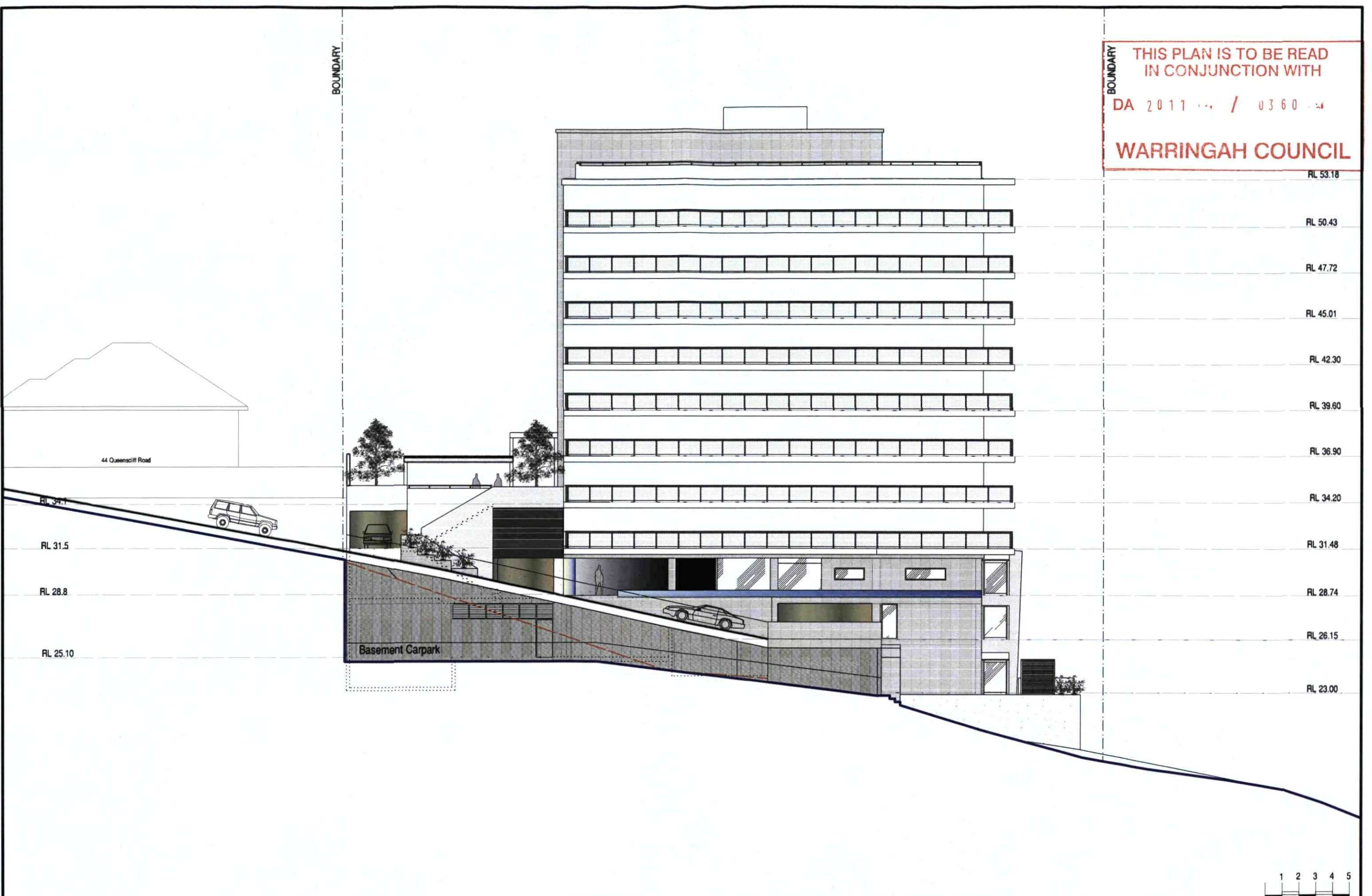
Start Date: 04.11.10 Issue Date: 14.07.11
SOUTH ELEVATION
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Issue: 05
Revision: A
Scale 1:200
10

BOUNDARY

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DEVELOPMENT APPLICATION
**STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF**

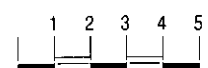
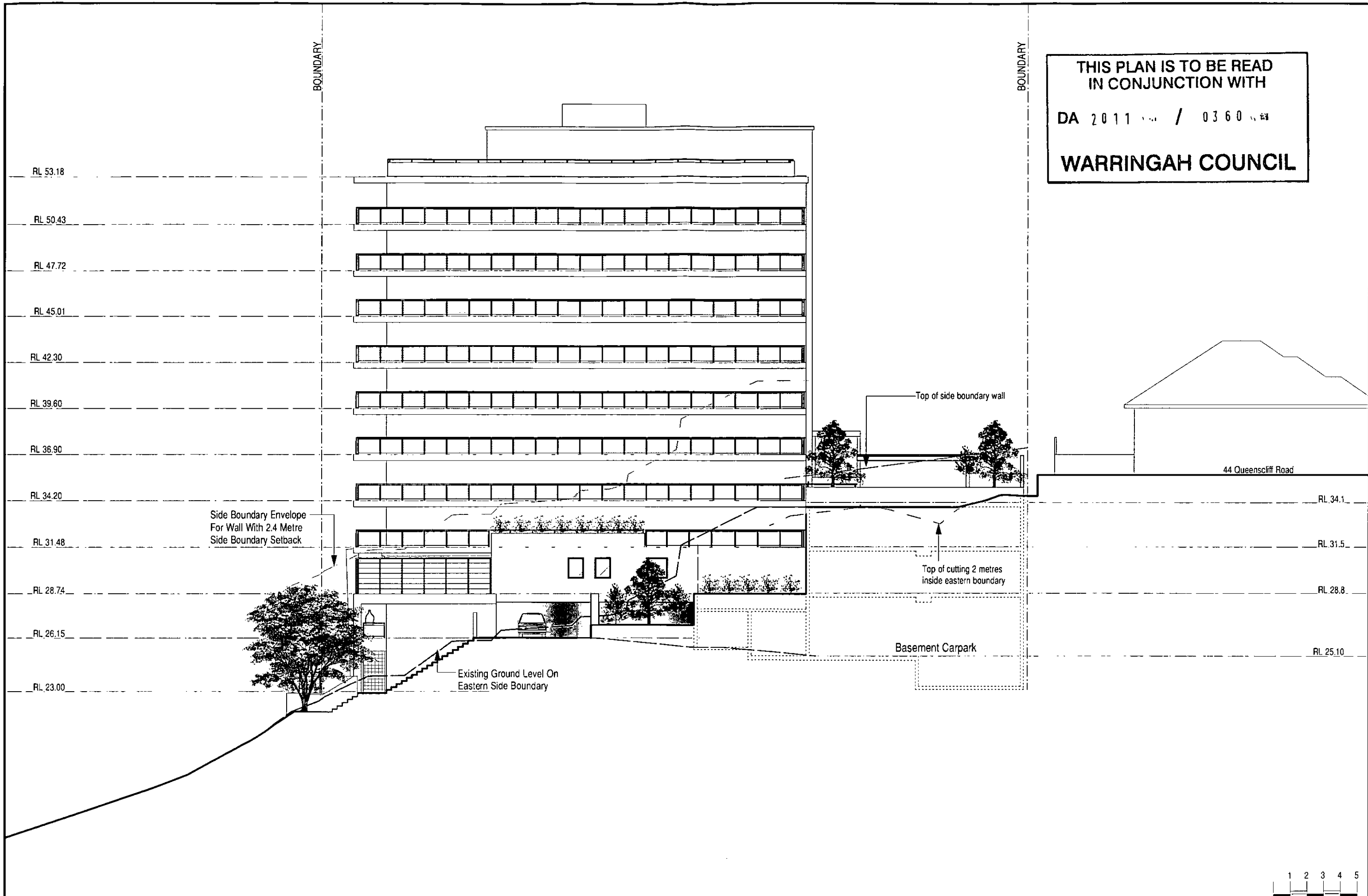
Start Date: 04.11.10 Issue Date: 14.07.11
WEST ELEVATION
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1 2 3 4 5

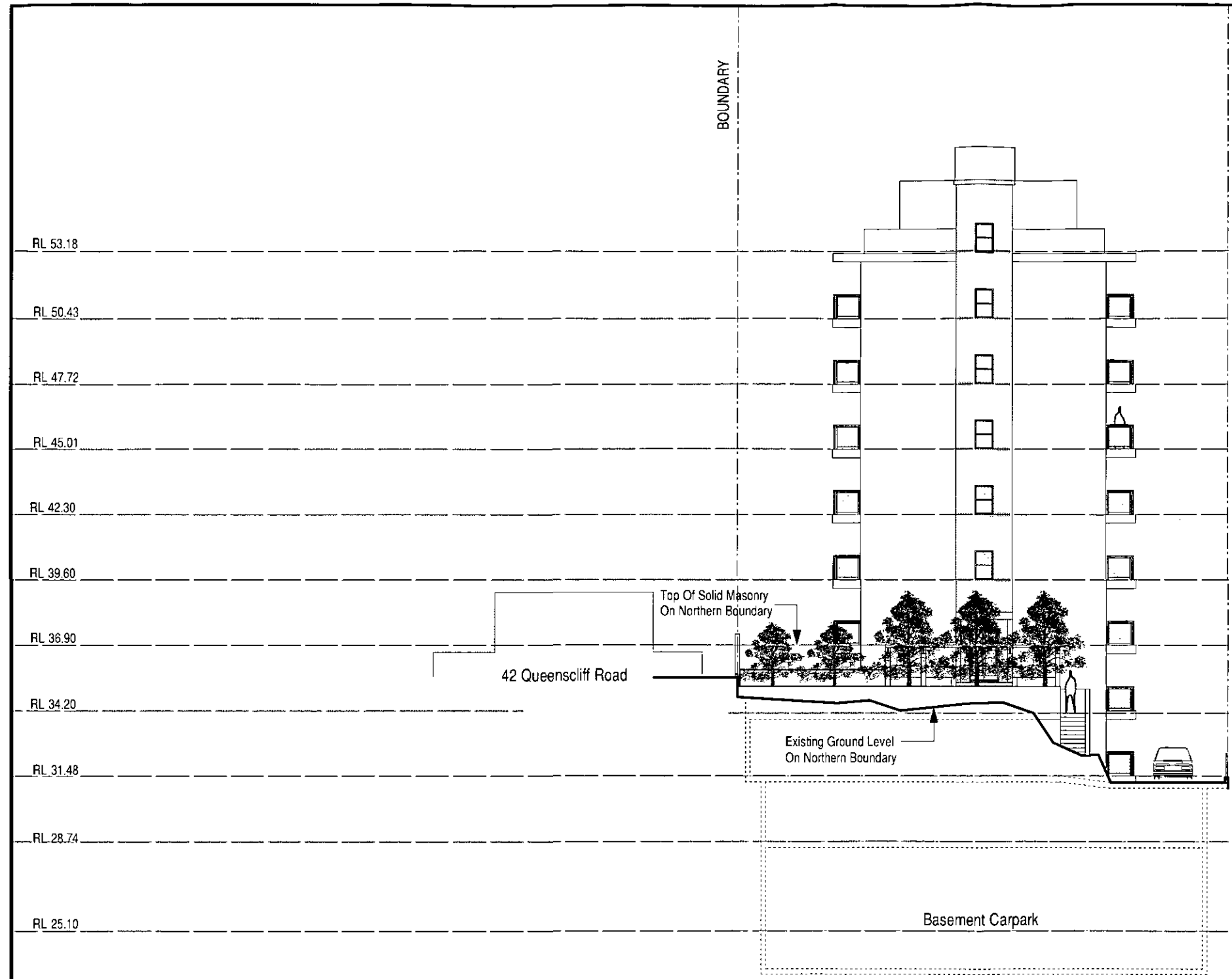
Issue: 05
Revision: B

Scale 1:200
11

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<p>Blackwood Architects 14 Woodland Street Clontarf NSW 2093 Tel: 02 9907 7111 Fax: 02 9907 7222</p>	ISSUE	DATE	PURPOSE	REV	DATE	AMENDMENT	REV	DATE	AMENDMENT	DEVELOPMENT APPLICATION	Start Date: 04.11.10 Issue Date: 14.07.11	Issue:	Scale 1:200
	01	04.11.10	PRELIMINARY SKETCH DESIGN	A	24.06.11	REVISED DEVELOPMENT APPLICATION				STRATA 4129	EAST ELEVATION	05	12
	02	30.11.10	DESIGN DEVELOPMENT						48A QUEENSCLIFF ROAD				
	03	06.01.11	PRE-DA LODGEMENT REVIEW						QUEENSCLIFF				
	04	07.03.11	DEVELOPMENT APPLICATION										
05	14.07.11	REVISED DEVELOPMENT APPLICATION											
											Revision:		
											A		
											For DA purposes only. Not for Construction		



Assessor #	20101	Certificate #	37266628	Issued:	28-Feb-11
Thermal Performance Specifications					
<small>These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and / or clearly indicated on referenced documents.</small>					
Windows	Product ID	Glass	Frame	U value	SHGC Area M Detail
Not yet specified	Single clear	Aluminum	6.57	0.74	As per plans
Skylights	Product ID	Glass	Frame	U value	SHGC Area M Detail
<small>Any U and SHGC values specified on Certificates issued after 1 May 2007 are according to NFRC. All values prior to this date are ANAC. Alternate products may be used if their U value is lower, and the SHGC value is less than 10% higher or lower.</small>					
External walls	Construction	Insulation	Colour - Solar absorptance	Detail	
Cavity Brick	R1.0	Medium	SA 0.475 - 0.7	As per plans	
Internal walls	Construction	Insulation	Detail		
Single skin brick	None	As per plans			
Floors	Construction	Insulation	Covering	Detail	
Concrete	R1.0 to Unit A	Carpet	To bedrooms & study		
	None to Unit B	Timber	To living, dining, hall & kitchen		
		Ceramic Tile	To wet areas		
Ceilings	Construction	Insulation	Detail		
Concrete	None	As per plans			
Roof	Construction	Insulation	Colour	Detail	
Concrete	None	Medium	SA 0.475 - 0.7	As per plans	
Window cover	Internal (curtains)		External (awnings, shutters, etc)		
Not yet specified	None		None		
Fixed shading	Eaves (width - inc. gutters, height above windows, Verandahs, Pergolas (type, description))				
0	None to Unit A, Fixed Pergol. To Unit B, eastern side of Living				
Overshadowing	Overshadowing structures		Overshadowing trees		
N/A	Unit A, South-west of West Bed in Unit A				
Orientation, Exposure, Ventilation and Infiltration					
Orientation of nominal north	292	Living area open to entry:	Yes	Ventilated skylights:	No
Terrain category	Suburban	Living areas separated by doors:	No	Open fire or unfueled gas heater:	No
Roof ventilation:	Unventilated	Stair open to heated areas:	Yes	Ventilated downlights:	No
Cross ventilation:	Standard	Seals to windows and doors:	Yes	Wall and ceiling vents:	No
Subfloor ventilation:	On ground	Exhaust fans without dampers:	No		



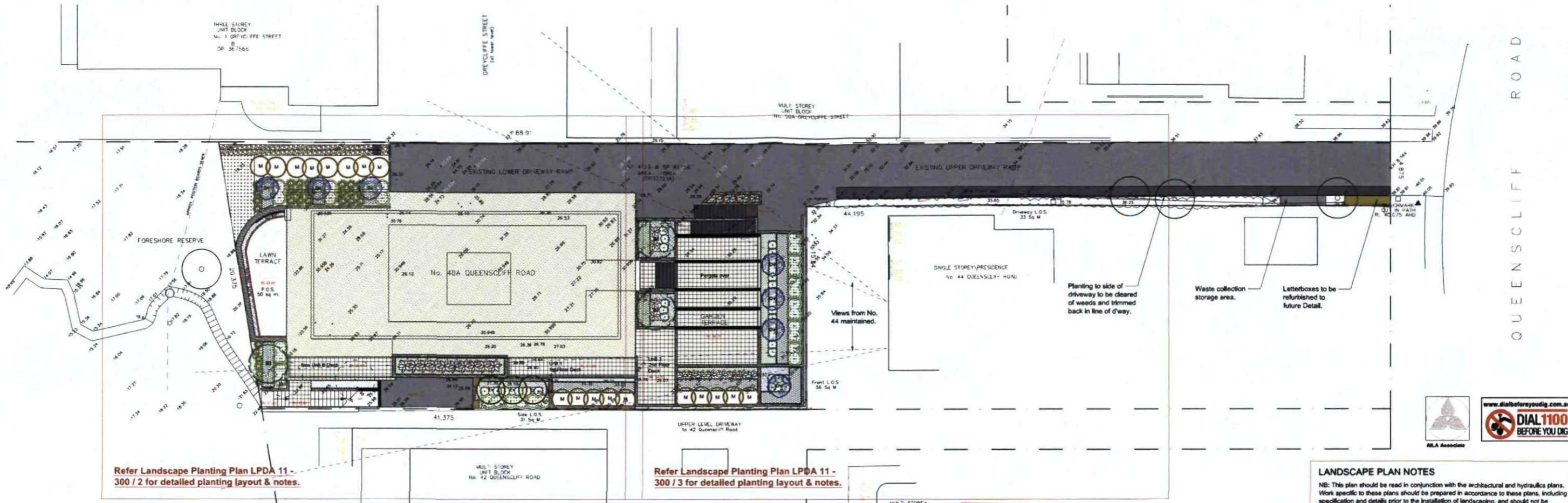
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	01	04.11.10	PRELIMINARY SKETCH DESIGN								STRATA 4129 48A QUEENSCLIFF ROAD QUEENSCLIFF	NORTH ELEVATION	04	13
	02	30.11.10	DESIGN DEVELOPMENT									Revision:		
	03	06.01.11	PRE-DA LODGEMENT REVIEW											
	04	07.03.11	DEVELOPMENT APPLICATION											
											<small>For DA purposes only. Not for Construction</small>			



Refer Landscape Planting Plan LPDA 11 - 300 / 2 for detailed planting layout & notes.

Refer Landscape Planting Plan LPDA 11 - 300 / 3 for detailed planting layout & notes.



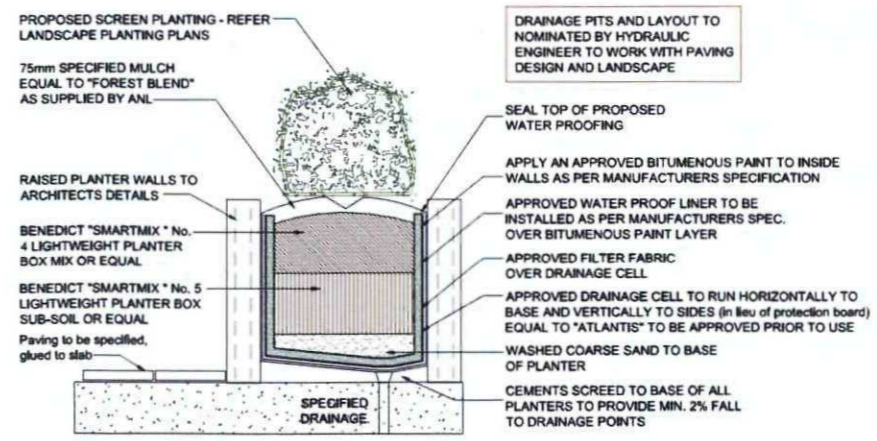
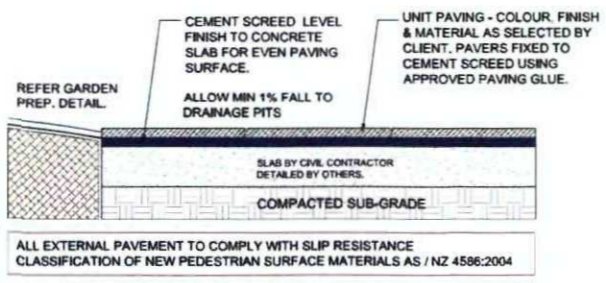
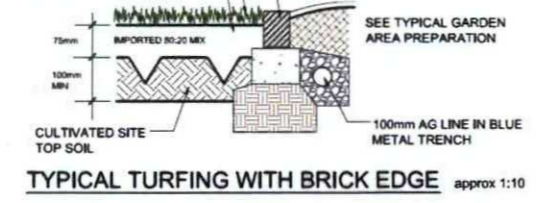
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LEGEND & SCHEDULE

- (+) Indicates salt tolerant plants.
- Small Native Trees**
- Banksia integrifolia (+)**
Blueberry Ash (Native)
Pot size: 45L
Mature H x S: 4-6m x 2-3m
Qty Required: 3
Maintenance: prune at 4m height
 - Elaeocarpus reticulatus (+)**
Blueberry Ash (Native)
Pot size: 25L
Mature H x S: 4-6m x 2-3m
Qty Required: 3
Maintenance: prune at 5m height
- Shrubs / Hedges**
- Rhaphiolepis indica (+)**
Indian Hawthorn (Exotic)
Pot size: 300mm
Mature H x S: 2m x 2m
Qty Required: 26
Maintenance: hedge at 1.5m height
 - Dodonaea viscosa (+)**
Sticky Hop Bush (Native)
Pot size: 45L
Mature H x S: 2.5m x 2m
Qty Required: 7
Maintenance: prune at 2.5m height
 - Metrosideros "Fiji Fire" (+)**
NZ Christmas Bush (Exotic)
Pot size: 300mm
Mature H x S: 3m x 2m
Qty Required: 18
Maintenance: hedge at 2.5m height
 - Westringia "Wynnable Gem" (+)**
Dwarf Coastal Rosemary (Native)
Pot size: 300mm
Mature H x S: 1.5m x 1m
Qty Required: 61
Maintenance: hedge at 1m height
- Feature Plants**
- Cordyline "Sundance" (+)**
Sundance Cordyline (Exotic)
Pot size: 300mm
Mature H x S: 1-1.5m x 1m
Qty Required: 26
Maintenance: maintain at 1m height
 - Argyranthemum "Bright Carmine" (+)**
Marguerite Daisy (Exotic)
Pot size: 140mm
Mature H x S: 500mm x 500mm
Qty Required: 25
 - Scaevola "Purple Fanfare" (+)**
Fan Flower (Native)
Pot size: 140mm
Mature H x S: 200mm x 600mm
Qty Required: 80
 - Erigeron karwinskianus "Spindrift" (+)**
Seaside Daisy (Native)
Pot size: 140mm
Mature H x S: 200mm x 600mm
Qty Required: 45
 - Lampranthus amoenus (+)**
Pig Face (Exotic)
Pot size: 140mm
Mature H x S: 200mm x 600mm
Qty Required: 73
 - Lomandra longifolia (+)**
Mat Rush (Native)
Pot size: 140mm
Mature H x S: 1m x 1m
Qty Required: 28
- Groundcovers / Grasses**
- Other Landscape Items**
- Trees proposed to be removed and replaced with new landscaping.
Existing trees proposed to be retained and protected.

SELECTED BRICK EDGING NOM. BY CLIENT ON MORTAR BASE TO SUIT
"SK WALTER" BUFFALO
LAY TURF ON MINIMUM 75mm 80 : 20 TOP DRESS SOIL MIX SAND : ORGANIC MATTER

NOTE: TURF AREAS TO FINISH FLUSH WITH SURROUNDS. ROLL AND WATER IMMEDIATELY AFTER LAYING.



LANDSCAPE PLAN NOTES

NB: This plan should be read in conjunction with the architectural and hydraulics plans. Work specific to these plans should be prepared in accordance to these plans, including specification and details prior to the installation of landscaping, and should not be altered or compromised during landscape construction. Retaining wall details to engineers design.

Elements such as drainage swales may be incorporated in garden bed areas (using non-floatable mulch) without compromising the capacity or form.

This plan has been prepared for DA approval only, not for construction.

This plan has been prepared with reference to Warringah Councils Landscaping Guidelines & requirements. Planting proposed using mainly native, commercially available plant species selected from local planting lists and the BASIX local plant list and from Sydney Waters "Plant Selector" web site one-drip rated native plants (acceptable for Basix planting).

The Design & location of new letter boxes shall be in accordance with Australia Post's "Requirements for Delivery of Mail to Residential Premises" published Feb '07. All noxious weeds listed in Councils weed lists & located on the site shall be continually removed & suppressed.

Reinstate all boundary fencing in poor condition with Council approved 1.8m fencing to rear of building line, rake to 1m forward of BL.

Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period.

D.A approved landscape plan's are required to be constructed as approved to obtain occupancy certificate. Permeable areas may be indicated to achieve site coverage restrictions & should be constructed as drawn on this plan.

IRRIGATION

The client may choose to have an approved automated drip-irrigation system installed to garden bed areas prior to planting. This system shall be designed and installed by a qualified, licensed irrigation specialist to suit the garden layouts and planting species nominated in the design. Note that endemic and native planting will not require significant watering once established, and that a longer maintenance period should be considered in lieu of irrigation.

Irrigation systems shall be installed in accordance to the latest Sydney Water Irrigation regulations and times, and shall consist of the necessary components to ensure safe, efficient operation. Such components shall include a back-flow prevention valve and moisture sensor to prevent watering during wet periods. The irrigation shall be tested and approved upon completion, and monitored / maintained at 6 monthly periods.

LANDSCAPE MAINTENANCE SCHEDULE

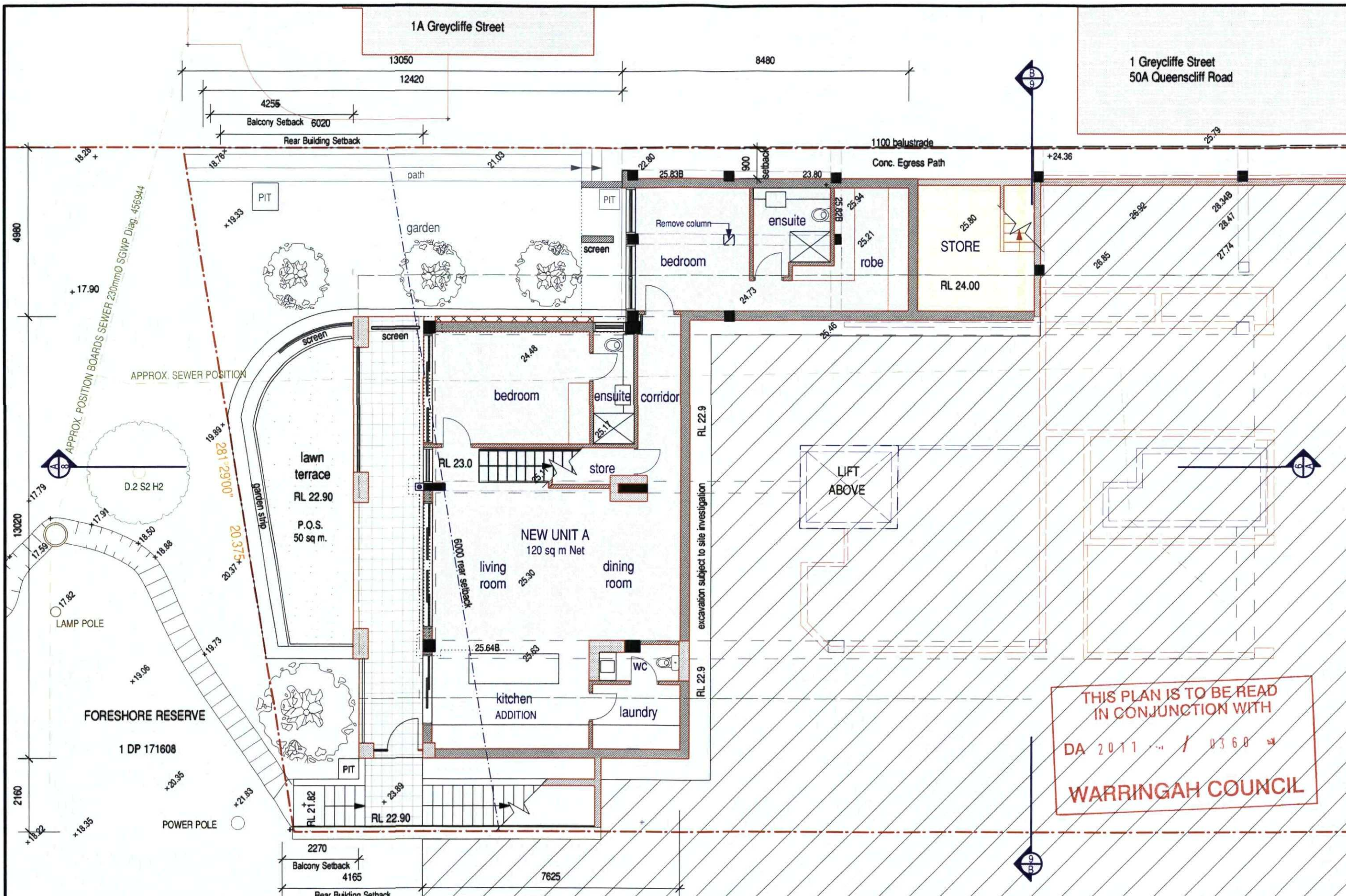
After a landscape compliance certificate has been issued to the Principal Certifying Authority approving the correct installation of landscape construction works and Practical Completion, the maintenance period shall begin.

Consolidation & landscape maintenance shall mean the care and maintenance of the contracted landscape works using acceptable horticultural practices, ensuring that all plants and planting areas experience the optimum growing conditions and are in excellent appearance at all times, as well as the rectification of defects which have resulted from regular use.

The landscape maintenance period shall be a minimum of 3 months (12 weeks) or as required by Council, or requested by client, from the certificate date, and shall include, but not be limited to the following maintenance works:

- Replacement of dead, damaged, stolen, unhealthy or diseased plants (at the reasonable discretion of client / landscape architect)
- Watering all garden areas as required by hand to ensure plant establishment without loss / irrigation maintenance (monitor soil moisture)
- Clearing litter and other debris from landscaped & lawn areas
- Monitoring for pests and diseases & treat as required
- Fertilising with approved fertilizer at rates applicable to plant species
- Adjusting stakes and ties / removing as tree mature
- Mowing lawn areas, watering, edging and weeding as required (Mowing at period of 18 days during summer & 21 during winter)
- Topping up mulch areas and keeping beds free or weeds
- Making good areas of soil subsidence or erosion & repair problem
- Maintaining all hard and semi permeable areas including topping / raking gravel and decomposed granite areas, sealing / weeding paving etc)

ARCHITECT: Blackwood Architects 14 Woodland Street Clontarf NSW 2093 Tel: 02 9907 7111 Fax: 02 9907 7222	LANDSCAPE ARCHITECT: Concept Landscape Architects PO Box 416 Clontarf NSW 2093 Tel: 02 9907 7111 Fax: 02 9907 7222	CLIENT: STRATA 4129 LANDSCAPE ARCHITECT: CONCEPT PO BOX 416 CLONTARF NSW 2093 TEL: 02 9907 7111 FAX: 02 9907 7222	PROJECT: RESIDENTIAL APARTMENT ALTERATIONS & ADDITIONS AT 48A QUEENSCLIFF RD, QUEENSCLIFF	TITLE: LANDSCAPE MASTERPLAN	STATUS: DEVELOPMENT APPROVAL
REV DATE NOTATION/AMENDMENT DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.			DRAWN: LPDA 11 - 300 / 1		CHECKED:



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DEVELOPMENT APPLICATION
STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF

Start Date: 04.11.10 Issue Date: 14.07.11
UNDERCROFT LEVEL
PLAN
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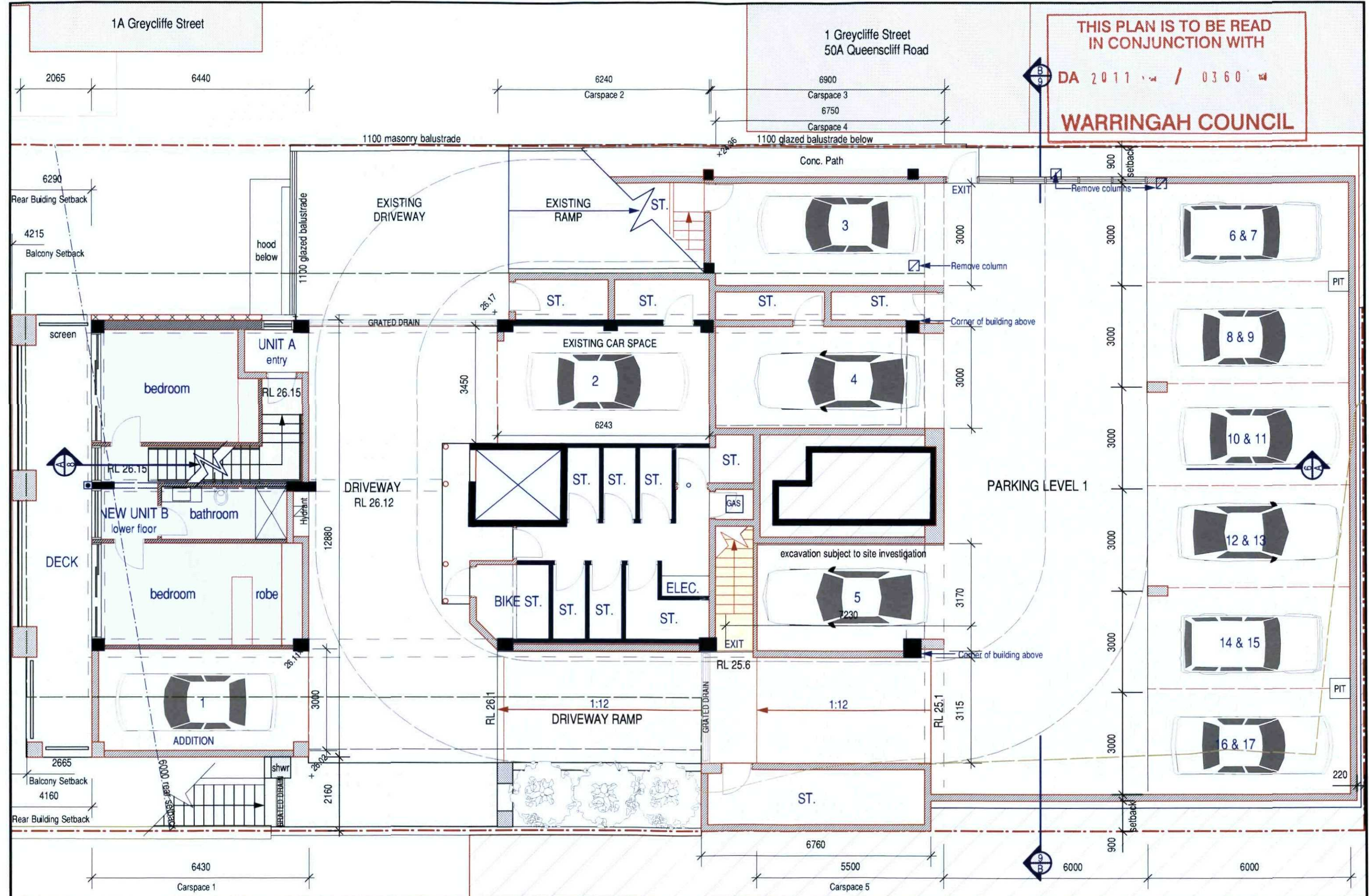
Issue: 05
 Revision: B

Scale 1:100
03

1A Greycliffe Street

1 Greycliffe Street
50A Queenscliff Road

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REV	DATE	AMENDMENT
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DEVELOPMENT APPLICATION
**STRATA 4129
48A QUEENSCLIFF ROAD
QUEENSCLIFF**

Start Date: 04.11.10 Issue Date: 14.07.11
LOWER LEVEL PLAN
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Issue: 05
Revision: A
Scale 1:100
04