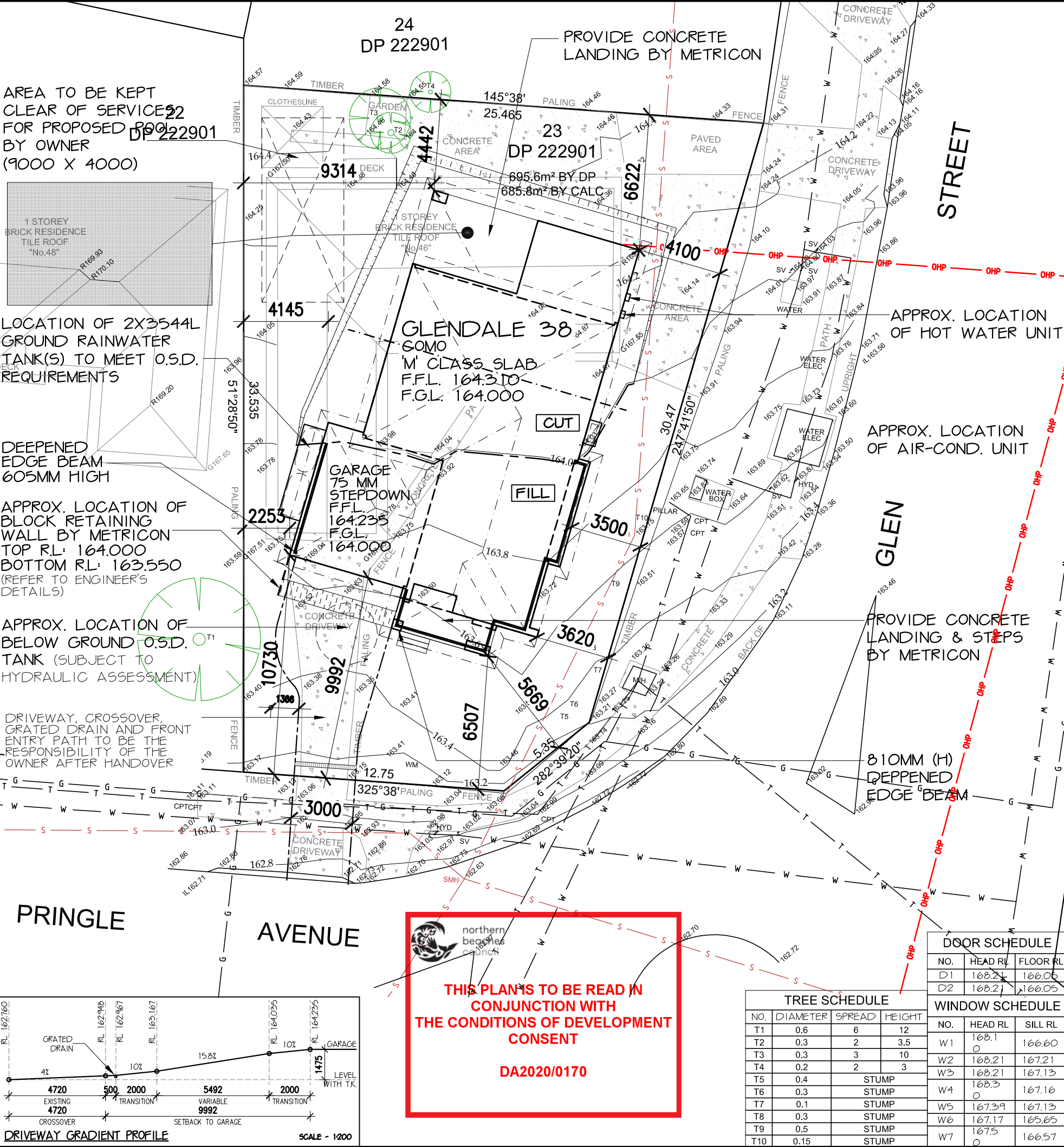


NORTHERN BEACHES BASED ON WARRINGAH DCP 2011			
SITE AREA:		685.8 SQM	
PROPOSED ROOF COVERAGE			
ROOF COVERAGE AREA:		259.95 SQM	
LANDSCAPED AREA			
TOTAL LANDSCAPED AREA:		401.87 SQM	
EXCL. ALL HARD SURFACES, MINIMUM DIMENSION OF 2M		58.6 %	
MIN. REQUIRED BY COUNCIL:		40 %	
STORMWATER CALCULATION			
HARD LANDSCAPE AREAS: (INCL. ROOF/DRIVEWAY/PATHS ETC)		302.88 SQM	
SITE COVERAGE RATIO:		44.16 %	
MAX. ALLOWABLE SITE COVERAGE PRIOR TO O.S.D. REQUIRED:		40 %	
PRIVATE OPEN SPACE			
PRIVATE OPEN SPACE:		60 SQM	
MIN. REQUIRED BY COUNCIL:		60 SQM	
MINIMUM DIMENSION OF 5M			
BUILDING ENVELOPE			
PROVIDE 45 DEGREE PLANE PROJECTED AT 5.0M HIGH ABOVE SIDE BOUNDARY NATURAL GROUND LEVEL.			
BUILDING HEIGHT RESTRICTION			
MAXIMUM 8.5M RIDGE HEIGHT MAXIMUM 7.2M CEILING HEIGHT (F.F.L. MUST BE ACCURATE TO COMPLY)			
MAXIMUM 1000 MM CUT MAXIMUM 1000MM FILL DEEP EDGE BEAM TO NATURAL GROUND NO EXPOSED FILL PERMITTED			
DEMOLITION REQUIREMENTS:			
SITE TO BE CLEARED OF ALL EXISTING STRUCTURES, LEVELLED AND ALL SERVICES RELOCATED BY THE OWNER TO THE SATISFACTION OF METRICON HOMES P/L.			
BUILDING ADJACENT SEWER SEWER PEGOUT AND DETAILS REQUIRED			
SURVEYORS NOTES			
A. THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED AND THE POSITION SHOWN IS APPROXIMATE ONLY.			
B. AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY.			
C. SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.			
D. CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.			
DRAWINGS AMENDMENTS			
C	04.02.20	RESITE	52H
-	---	-	---
-	---	-	---



LOT NO:
23

DEPOSITED PLAN:
222901

COUNCIL / LGA:
NORTHERN BEACHES

SLAB CLASS:
M

WIND SPEED:
N2

EXCAVATION NOTES:
50MM (+/-) TOLERANCE TO NOMINATED RL'S
EXCAVATE APPROX. 400MM ON RL. 164.000
AND RETAIN FILL WITH DEEP EDGE BEAM
EXCAVATIONS ARE TO START A MINIMUM OF
1000MM FROM THE EDGE OF THE BUILDING
AND ARE TO BE BATTERED BACK TO SUIT
IT IS THE RESPONSIBILITY OF THE
OWNER TO PROVIDE A GRATED DRAIN
ACROSS GARAGE OPENINGS (IF REQUIRED)
DUE TO CONSTRUCTION OF DRIVEWAY

IMPORTANT NOTES:
SITE CUTS ARE SUBJECT TO COUNCIL APPROVAL
& NOT TO BE USED BY ANY OTHER CONTRACTORS
OTHER THAN METRICON HOMES PTY LTD

**STORMWATER TO DRAIN TO
STREET VIA ON-SITE DETENTION
AND RAINWATER TANK(S)**
REFER TO HYDRAULIC ENGINEER'S DETAILS

TEMPORARY SITE FENCING:
METRICON TO PROVIDE FENCING TO
ANY UNFENCED BOUNDARIES
(AS REQUIRED)

ALL WEATHER ACCESS:
METRICON TO SUPPLY UP TO 5M SUITABLE
ALL WEATHER ACCESS TO BUILDING
PLATFORM DURING CONSTRUCTION

SURVEY LEGEND

GULLY PIT

HYDRANT

SURFACE INLET PIT

SEWER INSPECTION COVER

SEWER MANHOLE

WATER METER

ELECTRICITY BOX

STORMWATER MANHOLE

TELSTRA PIT

SEWER LINE

VEHICLE CROSSING

STOP VALVE

DEEP EDGE BEAM

GAS METER

LIGHT POLE

INVERT

TOP OF KERB

KERB OUTLET

INTRAX SURVEY DATE: 22.01.20

CONTOUR INTERVALS: 200MM

LEVELS TO: AHD

SITE PLAN

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P.O. Box 7510, Northwest Business Park NSW 2163
Tel: 02 8887 9000 Fax: 02 8079 5901
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DOOR SCHEDULE

NO.	HEAD RL	FLOOR RL
D1	168.21	166.05
D2	168.21	166.05

WINDOW SCHEDULE

NO.	HEAD RL	SILL RL
W1	168.10	166.60
W2	168.21	167.21
W3	168.21	167.13
W4	168.30	167.16
W5	167.39	167.13
W6	167.17	165.65
W7	167.50	166.57

TREE SCHEDULE

NO.	DIAMETER	SPREAD	HEIGHT
T1	0.6	6	12
T2	0.3	2	3.5
T3	0.3	3	10
T4	0.2	2	3
T5	0.4		STUMP
T6	0.3		STUMP
T7	0.1		STUMP
T8	0.3		STUMP
T9	0.5		STUMP
T10	0.15		STUMP

DRIVEWAY GRADIENT PROFILE

DATE: 06.11.19

DRAWN: PG

SCALE: 1:200

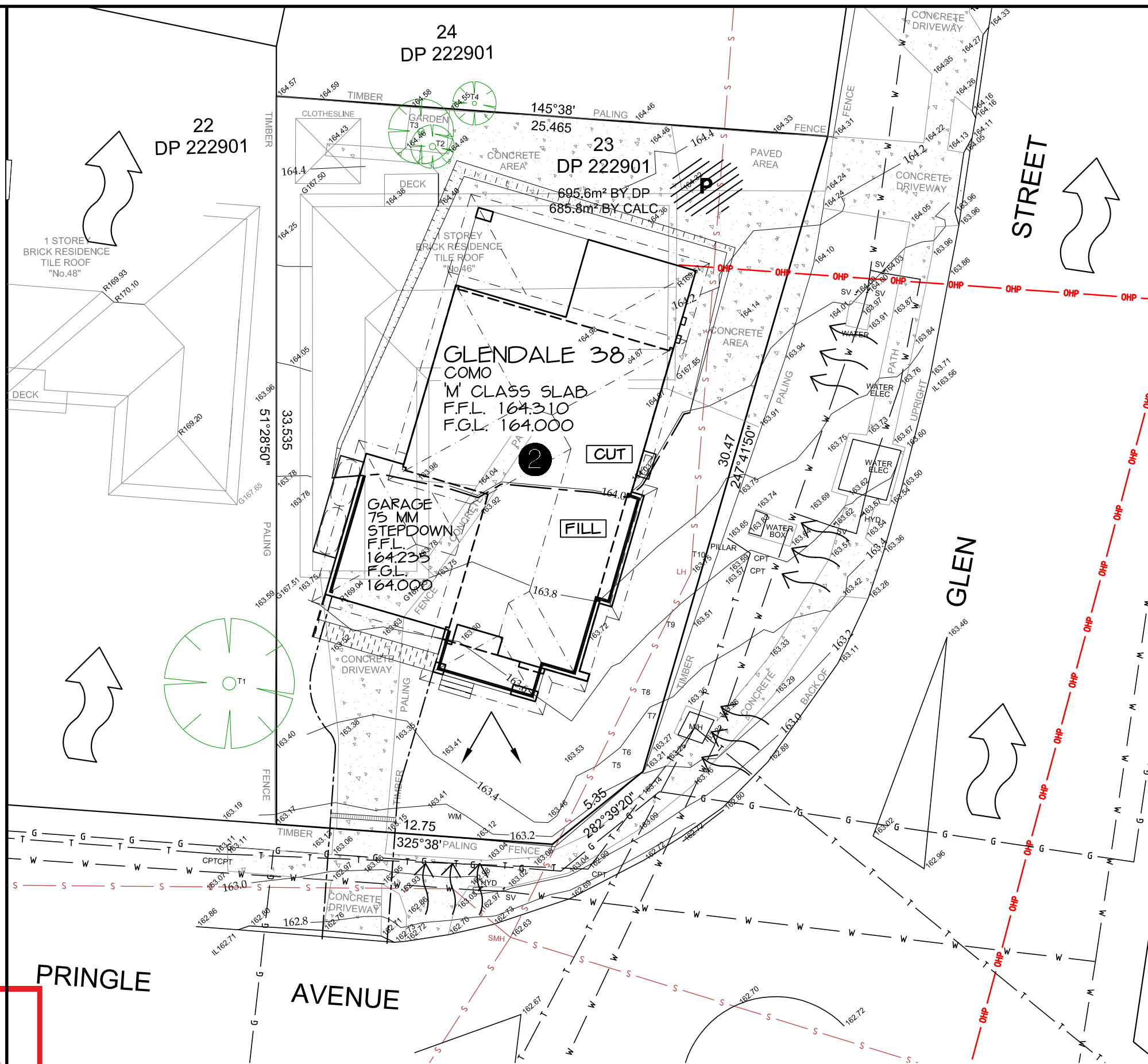
SHEET: 1 OF 11

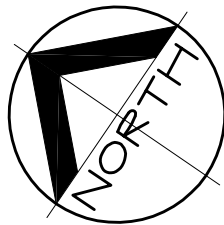
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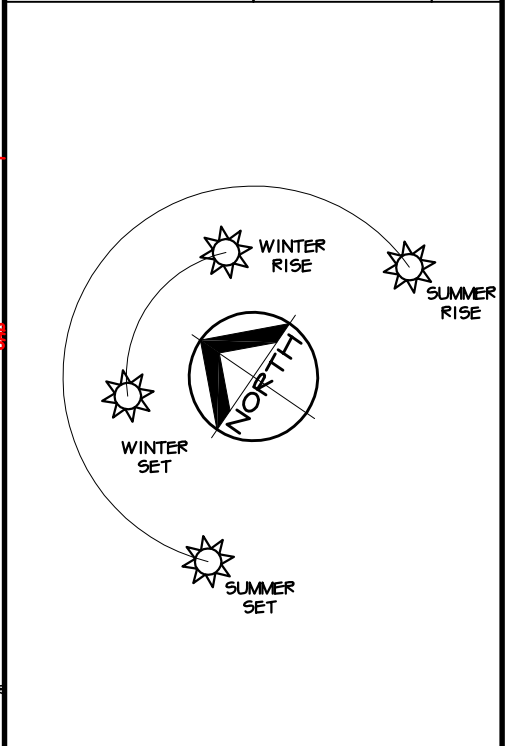
MRS IGNACIO
LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE
JOB No. 706658

LEGEND

- MAIN VIEWS
- PRIVATE OPEN SPACE
- NUMBER OF STOREYS
- NOISE SOURCE
- PREVAILING WINDS FROM SOUTH-WEST



	LOT NO: 23	
	DEPOSITED PLAN: 222901	
	COUNCIL / LGA: NORTHERN BEACHES	
	SLAB CLASS:	M
MM	WIND SPEED:	N2



SITE ANALYSIS PLAN

TEMPORARY FENCING: BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH. BYLAW)
ALL WEATHER ACCESS: METRICON TO SUPPLY UP TO 5M SUITABLE ALL WEATHER ACCESS TO BUILDING PLATFORM DURING CONSTRUCTION
INTRAX SURVEY DATE: 220120
CONTOUR INTERVALS: 200MM
LEVELS TO: AHD

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MRS IGNACIO
LOT 23 (NO. 46) PRINGLE AVENUE
BELROSE

JOB No. 706658

DATE: 06.11.19	DRAWN: PG/CYO
SCALE: 1:200	SHEET: 1B OF 11

UBD REF: SYD 156 E13



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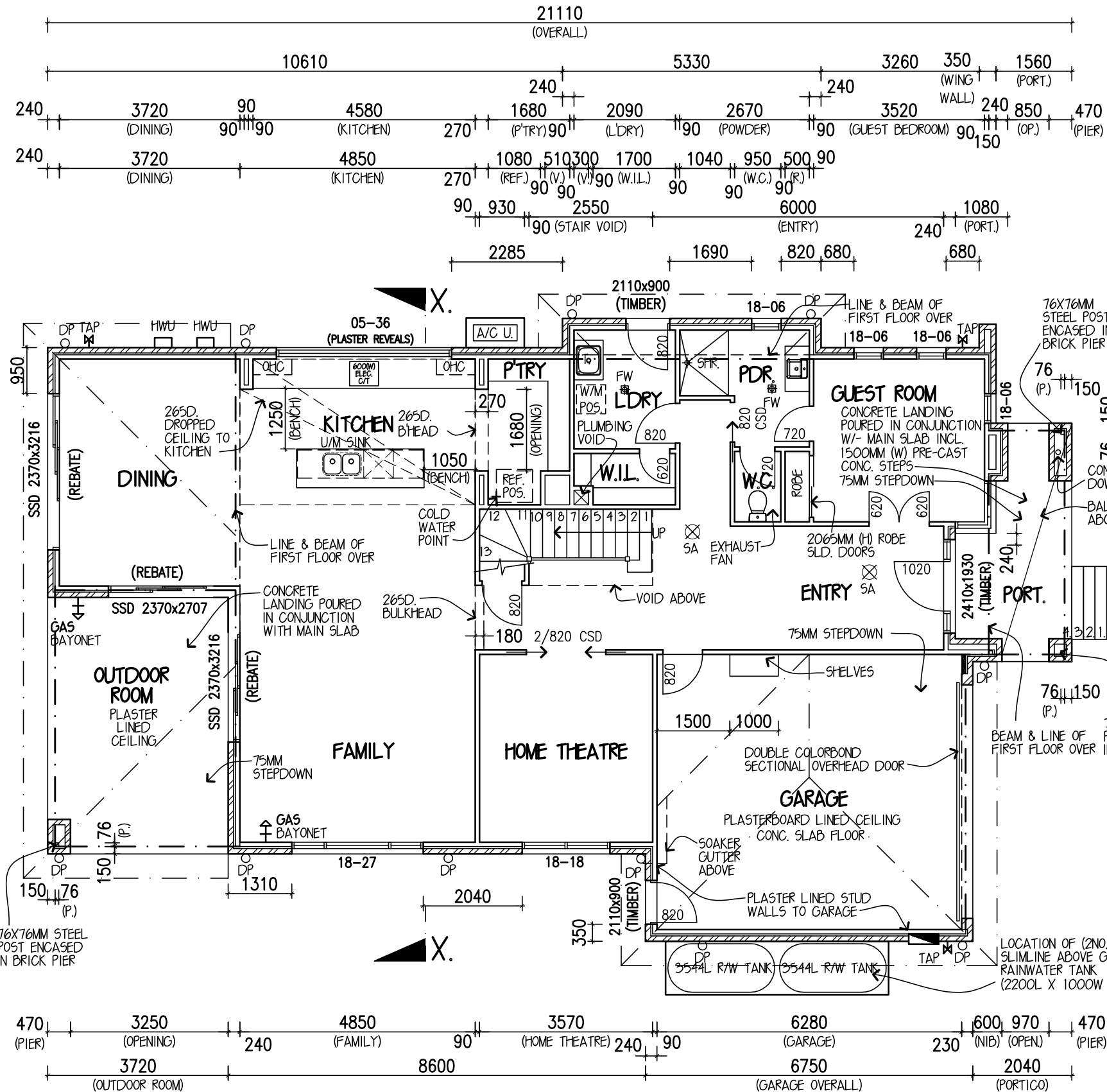
DA2020/0170

PROVIDE 2340MM (H) INTERNAL DOORS
THROUGHOUT OF DOUBLE STOREY HOME
UNLESS OTHERWISE NOTED
(EXCLUDES SLIDING ROBE DOORS)



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2020/0170



SYMBOL LEGEND

DP DOWNPIPE
90mm ROUND PVC

DP DOWNPIPE
100x50mm RECT. C/BOND

DP+SPR DOWNPIPE
WITH SPREADER

RWH DOWNPIPE
WITH RAINWATER HEAD

EXHAUST FAN
INSTALLED AS PER B.C.A. 3.8.5.
& TO COMPLY WITH A.S.1668.2.

⊗ GARDEN TAP

⊕ GAS BAYONET

+ COLD WATER POINT

FW FLOOR WASTE

ELEC. METERBOX
600x600 RECESSED

A/C U. AIR COND. UNIT

MH MANHOLE
FOR CEILING ACCESS

⊗ SMOKE ALARM
APPROX. POSITION INSTALLED AS PER
N.C.C. 3.7.2. & TO COMPLY WITH AS 3786.
SMOKE ALARMS TO BE INTERCONNECTED

AJ ARTICULATION JOINT
WHERE ARTICULATION JOINTS ARE NOT SHOWN
REFER TO STRUCTURAL ENGINEER'S DETAILS

LOAD BEARING WALL

70mm STUD WALL

120mm STUD WALL

AREAS:	GARAGE:	38.91 SQM
GRD FLR:	156.93 SQM	PORTICO: 9.71 SQM
FIRST FLR:	134.61 SQM	OUTDOOR: 19.64 SQM
	BALCONY:	6.60 SQM
SUBTOTAL:	291.54 SQM	TOTAL: 366.40 SQM
		31.38 SQM

DESIGN: **GLENDAL 38**

FACADE: **COMO** CEILING: 25, L

GARAGE: **DOUBLE** LOCATION: F

GROUND FLOOR PLAN

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OWNER: **MRS IGNACIO**
LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

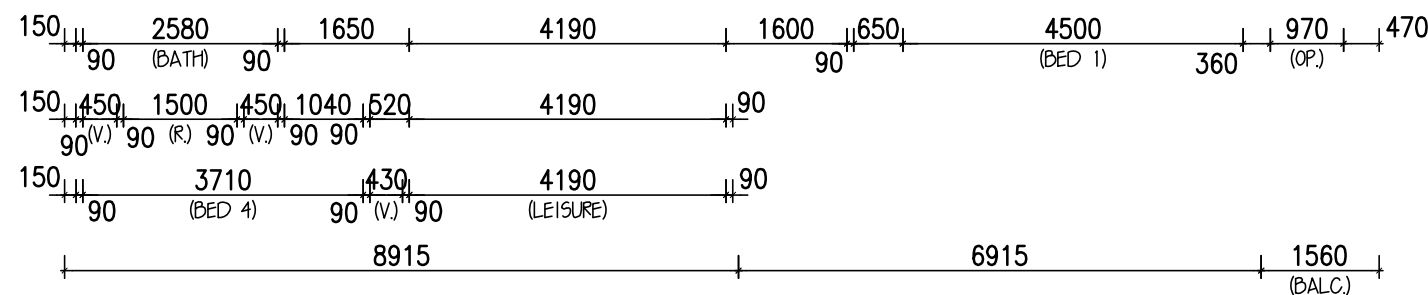
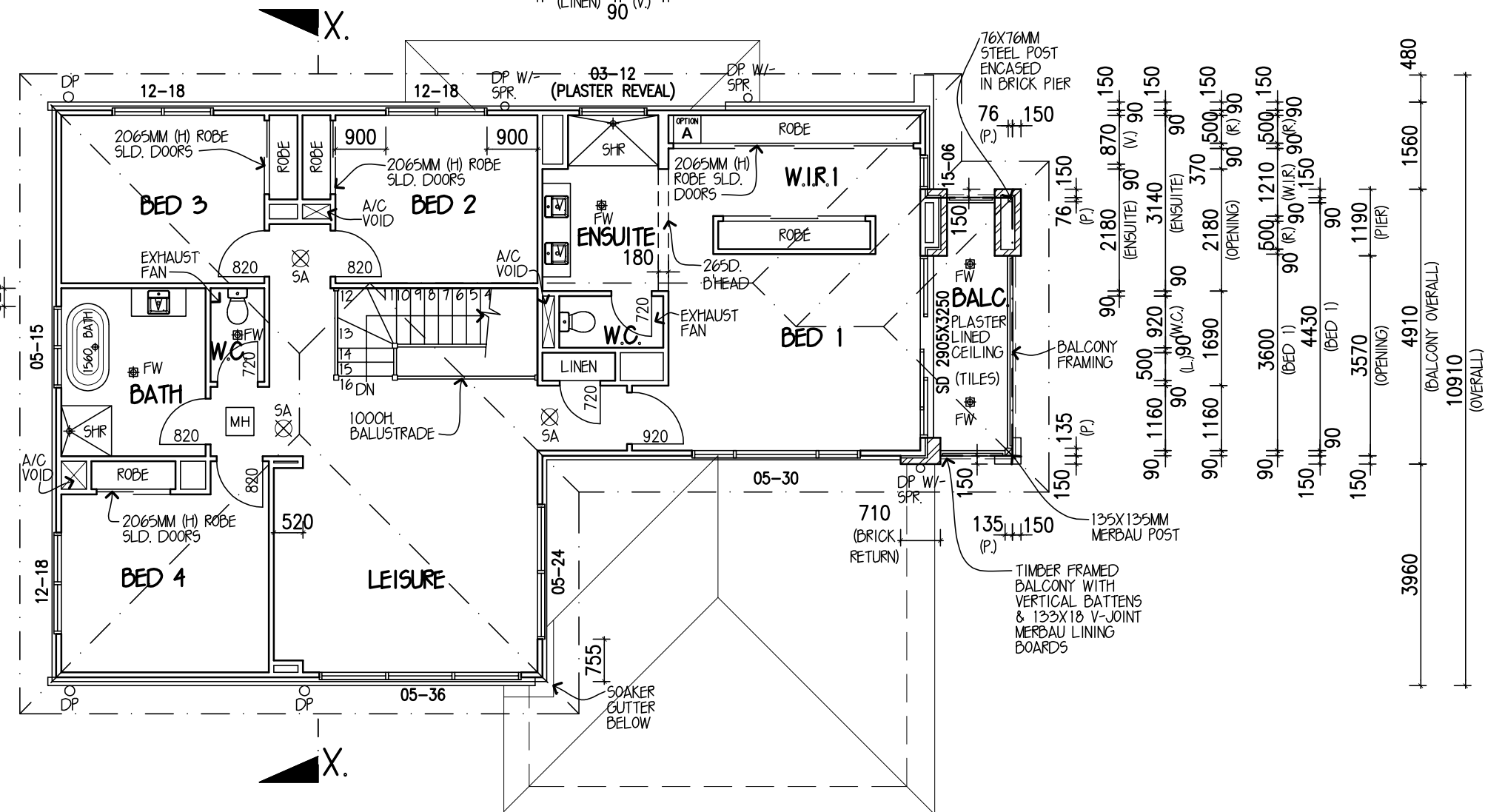
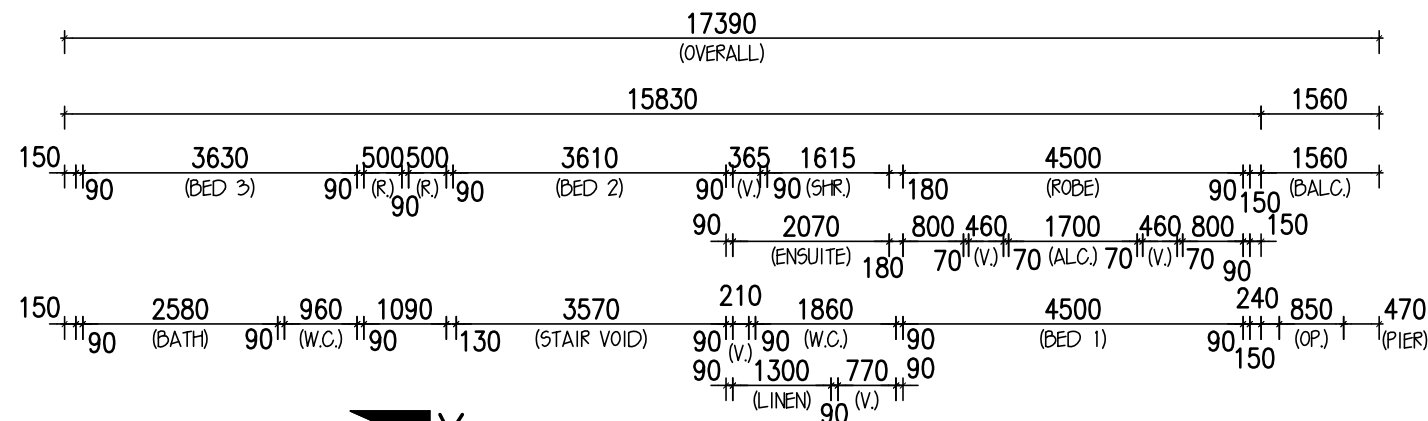
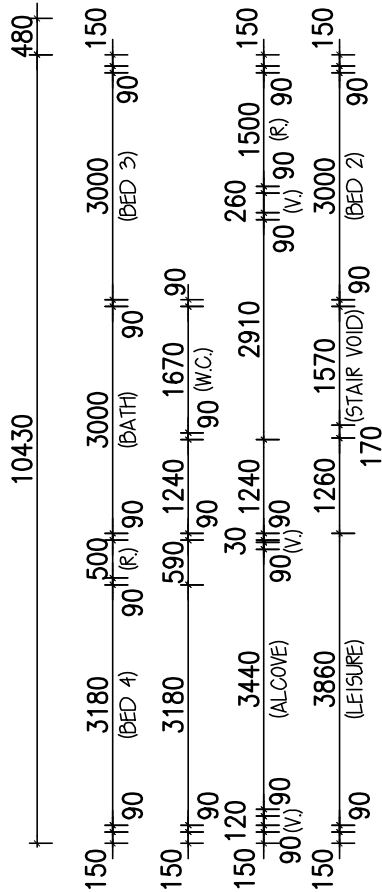
JOB No: **706658** DATE: **06.11.2019**

FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **D**

DRAWN: **PG** CHECK: **NMU** SHEET: **2 of 11**

PROVIDE 2340MM (H) INTERNAL DOORS
THROUGHOUT OF DOUBLE STOREY HOME
UNLESS OTHERWISE NOTED
(EXCLUDES SLIDING ROBE DOORS)



 northern
beaches
council



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SYMBOL LEGEND	FRAMING LEGEND
 DOWNPIPE 90mm ROUND PVC	 LOAD BEARING WALL
 DOWNPIPE 100x50mm RECT. C/BOND	 70mm STUD WALL
 DOWNPIPE WITH SPREADER	 120mm STUD WALL
 DOWNPIPE WITH RAINWATER HEAD	SMOKE ALARM 
 GARDEN TAP	APPROX. POSITION INSTALLED AS PER N.C.C. 3.7.2. & TO COMPLY WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED
 GAS BAYONET	EXHAUST FAN. 
 COLD WATER POINT	INSTALLED AS PER B.C.A. 3.8.5. & TO COMPLY WITH A.S.1668.2.
 FLOOR WASTE	
 ELEC. METERBOX 600x600 RECESSED	
 AIR COND. UNIT	
 MANHOLE FOR CEILING ACCESS	
 ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS	

DESIGN: **GLENDAL 38**
 FACADE: **COMO** CEILING: **25, L**
 GARAGE: **DOUBLE** LOCATION: **F**

FIRST FLOOR PLAN

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LOT 23 (NO.46) PRINGLE AVENUE
BELROSE

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PROVIDE RENDERED EPS CLADDING TO FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE) REFER TO DETAIL: S-TYP-CLAD-06

PROVIDE SELECTED FACE BRICKWORK TO ALL ELEVATIONS (UNLESS NOTED OTHERWISE)

DENOTES WINDOWS/DOORS WITH 4MM OBSCURE DECOR SATIN GLAZING

SYMBOL LEGEND



RECESSED ELECTRICITY METER BOX

RWH



DOWNPIPE W/- RAINWATER HEAD

DP



ROTATING ROOF VENTILATOR

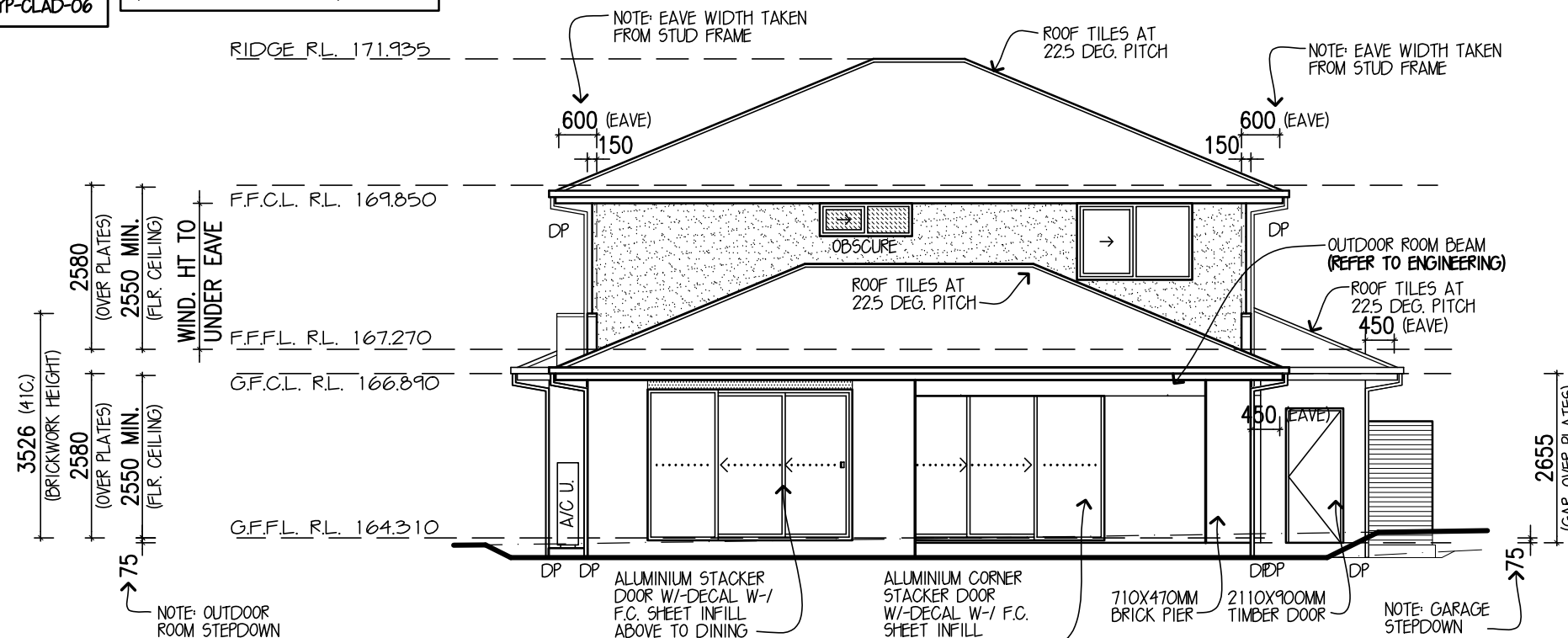
ARTICULATION JOINT WHERE ARTICULATION JOINTS ARE NOT SHOWN REFER TO STRUCTURAL ENGINEER'S DETAILS



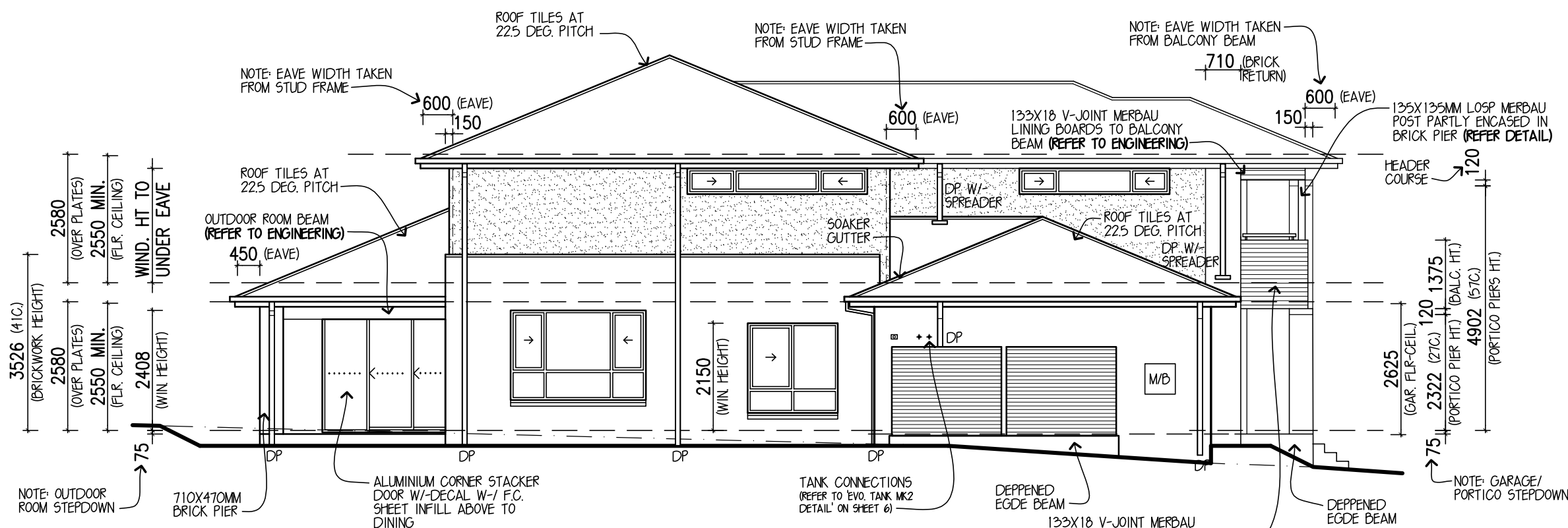
northern beaches council

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ELEVATION C (EAST)



ELEVATION D (NORTH)

DESIGN: GLENDALE 38

FACADE: COMO CEILING: 25, L

GARAGE: DOUBLE LOCATION: F

ELEVATIONS

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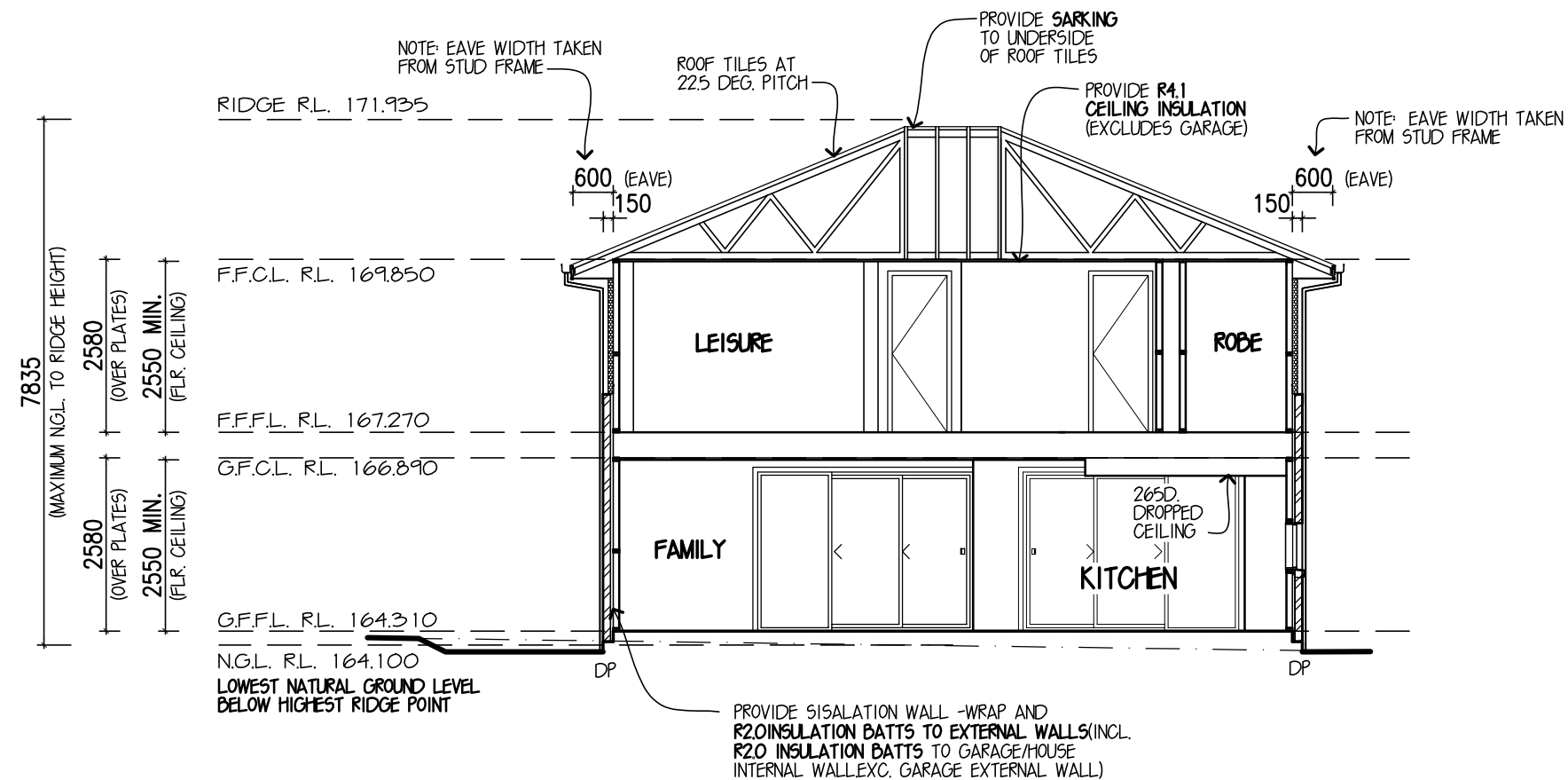
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BELROSE

JOB No: 706658 DATE: 06.11.2019

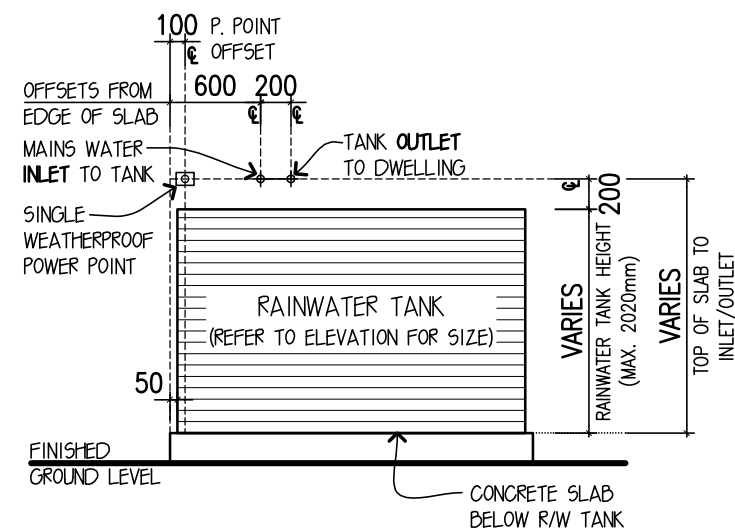
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SECTION X-X



ROUGH-IN POSITIONING
(NOT TO SCALE)
'EVOLUTION' MK2 TANK DETAIL
(NOT SUITABLE FOR TANKS EXCEEDING 2020MM HIGH)



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THE CONDITIONS OF DEVELOPMENT
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DESIGN: **GLENDALE 38**

FACADE: **COMO** CEILING: **25, L**

GARAGE: **DOUBLE** LOCATION: **F**

SECTION

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JOB No: **706658** DATE: **06.11.2019**

FC DATE: **DD.MM.YYYY** MST VER: **10.04.2018**

SCALE: **1:100 ON A3 SHEET** REVISION: **D**

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