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NOTES (E & O)

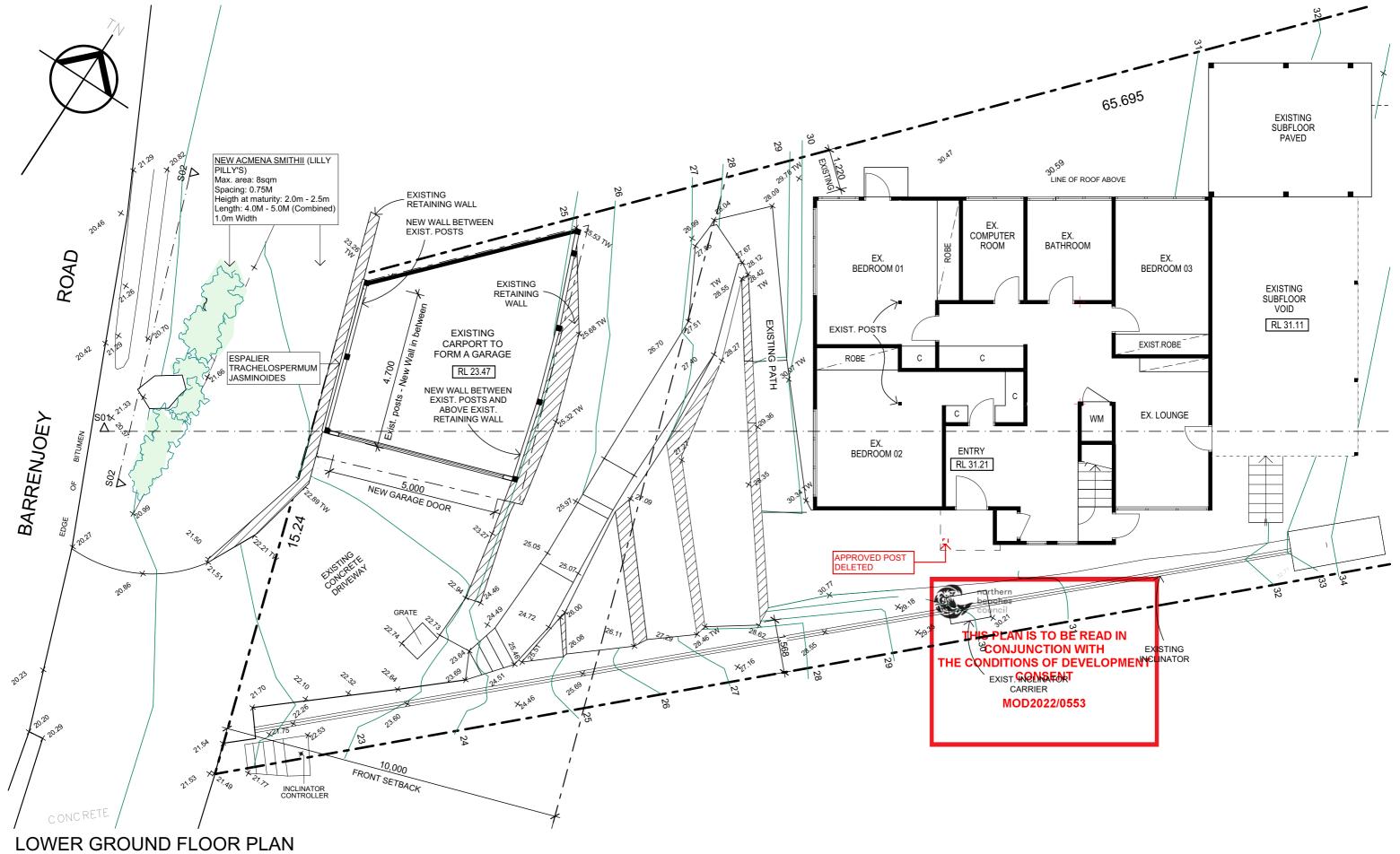
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 New materials are to be used throughout unless otherwise noted.
 Concrete footings, slab, structural beams or any other structural members are to be designed.

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	Α	02/2019	LANDSCAPING ADDED TO CARPORT
	В	01/2020	AMENDIMENTS
13	С	09/2020	AMENDIMENTS SHOWN IN RED
	D	11/2020	DRAWINGS UPDATED
au	E	09/2022	SECTION 4.55
	F	10/2022	SECTION 4.55 UPDATED

PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach	DATE: 07/20	DRAWN BY:	SCALE: 1:200 @ A3
DRAWING TITLE: SITE ANALYSIS	JOB No: 587/17	CHECKED BY:	DRAWING No:



* NO CHANGES

TRUE NORTH:

NOTES (E & O)

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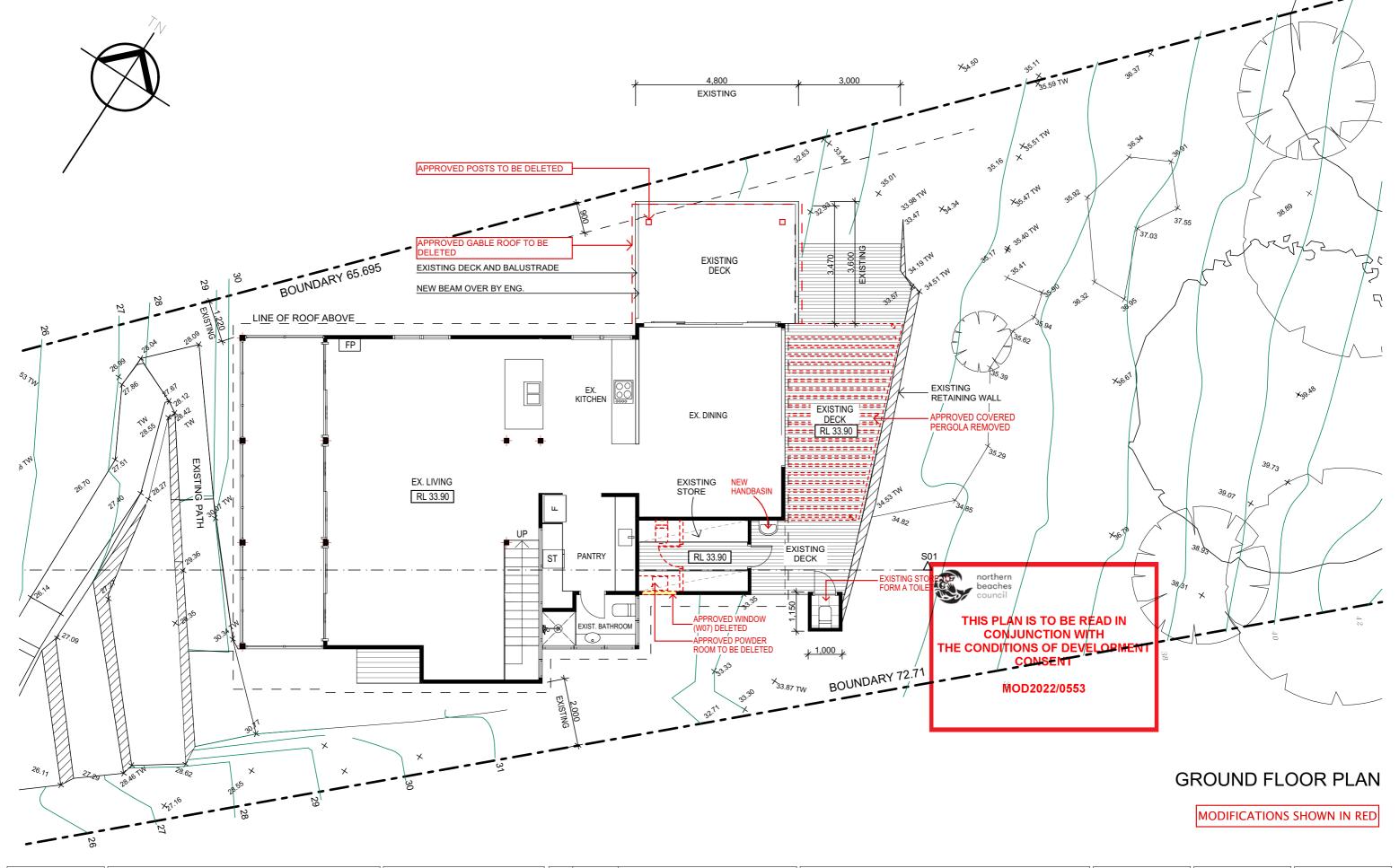
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	F	10/2022	SECTION 4.55 UPDATED

PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach	DATE: 07/20	DRAWN BY:	SCALE: 1:100 @ A3
DRAWING TITLE: LOWER GROUND FLOOR PLAN	JOB No: 587/17	CHECKED BY:	DRAWING No:



TRUE NORTH:

NOTES (E & O)

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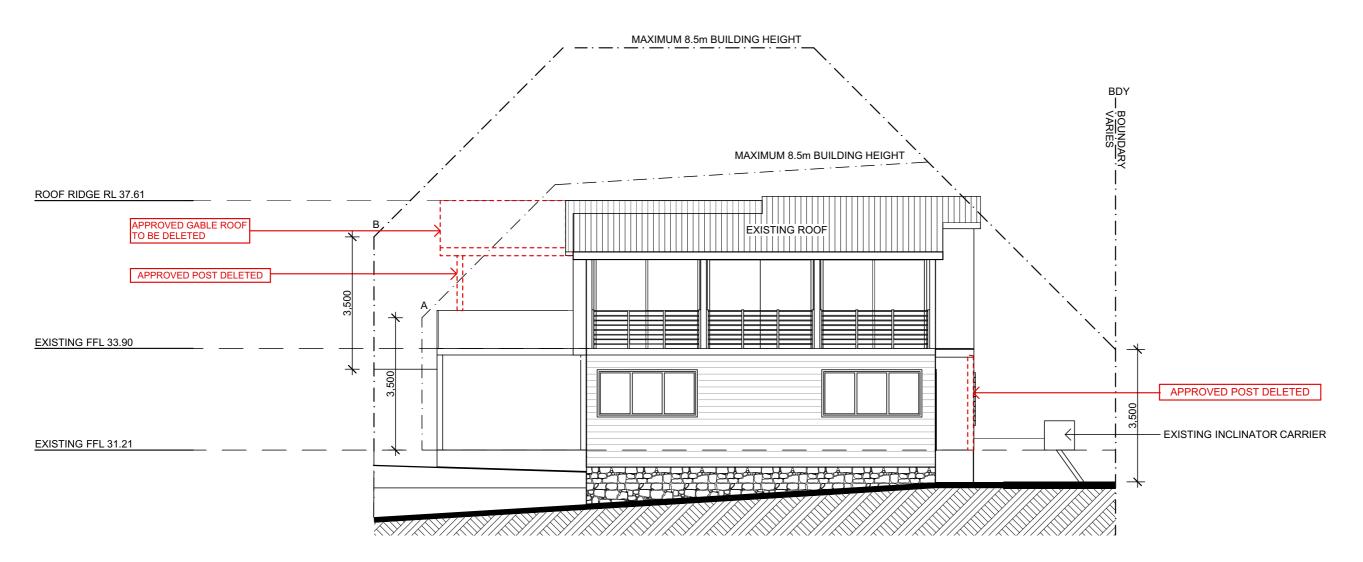
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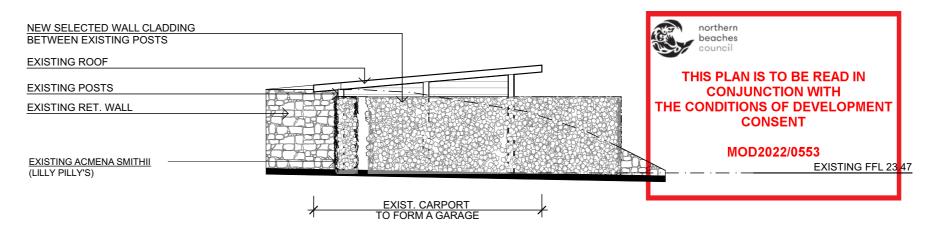
PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346

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	PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach	DATE: 07/20	DRAWN BY:	SCALE: 1:100 @ A3
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	GROUND FLOOR PLAN	587/17	JJ	02
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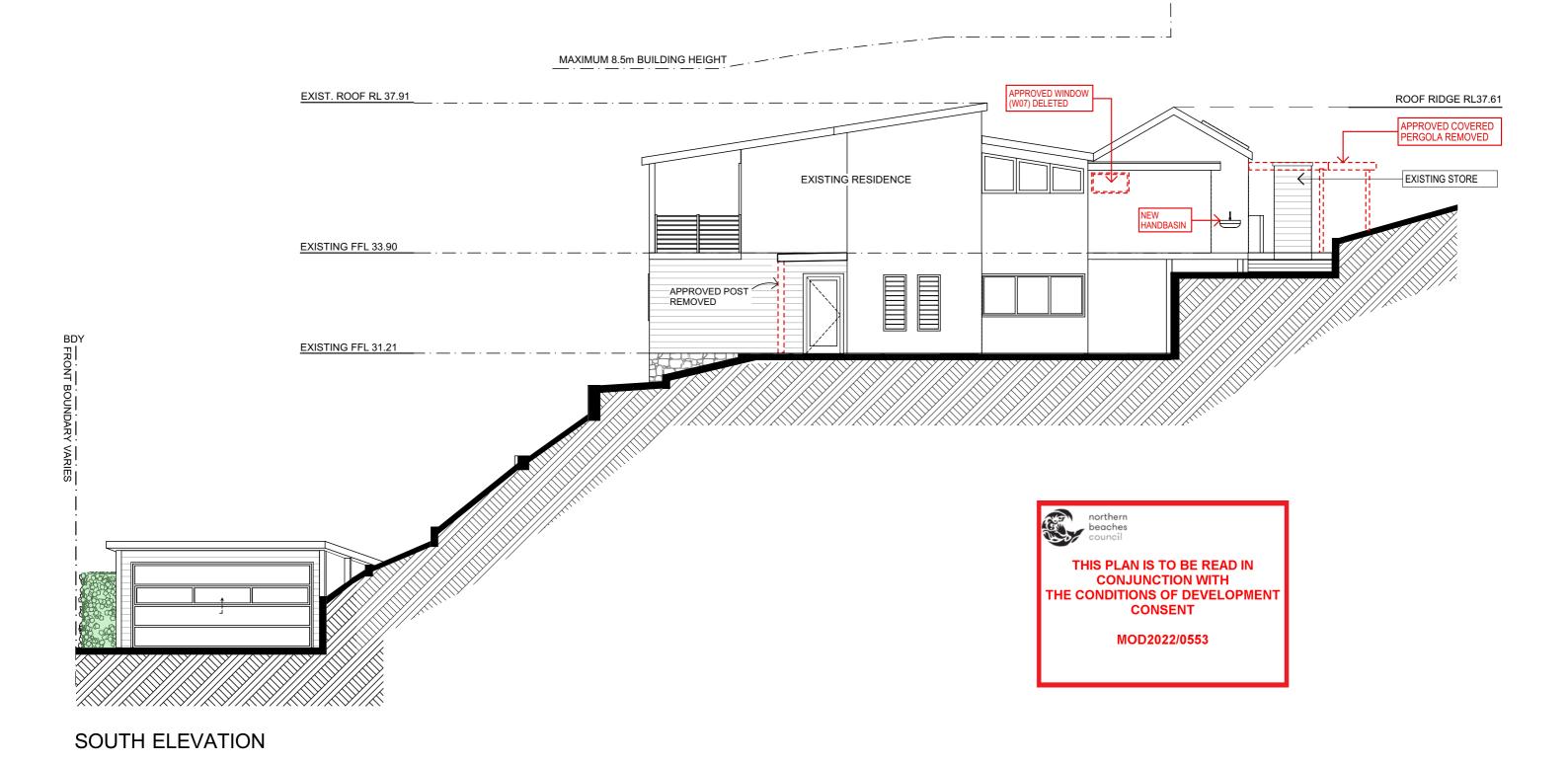


WEST ELEVATION

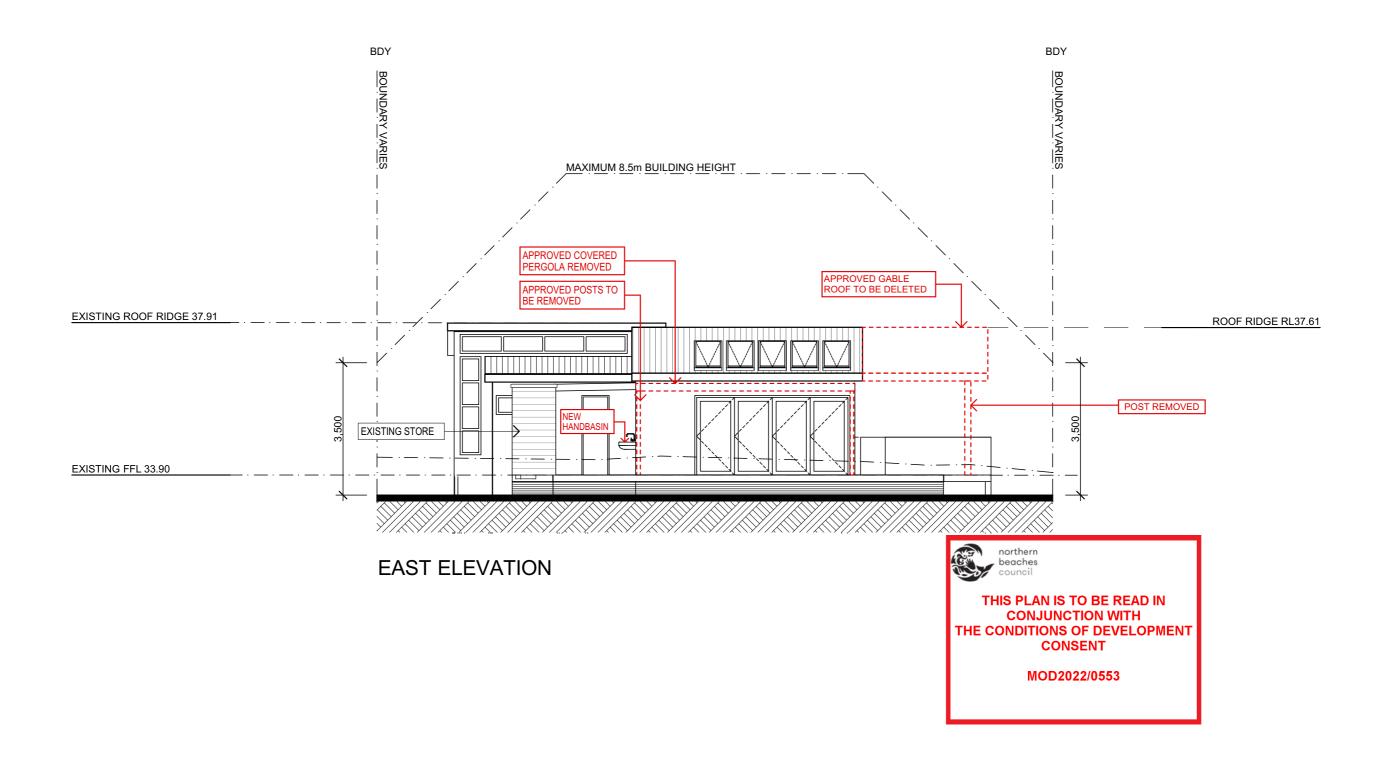


GARAGE WEST ELEVATION

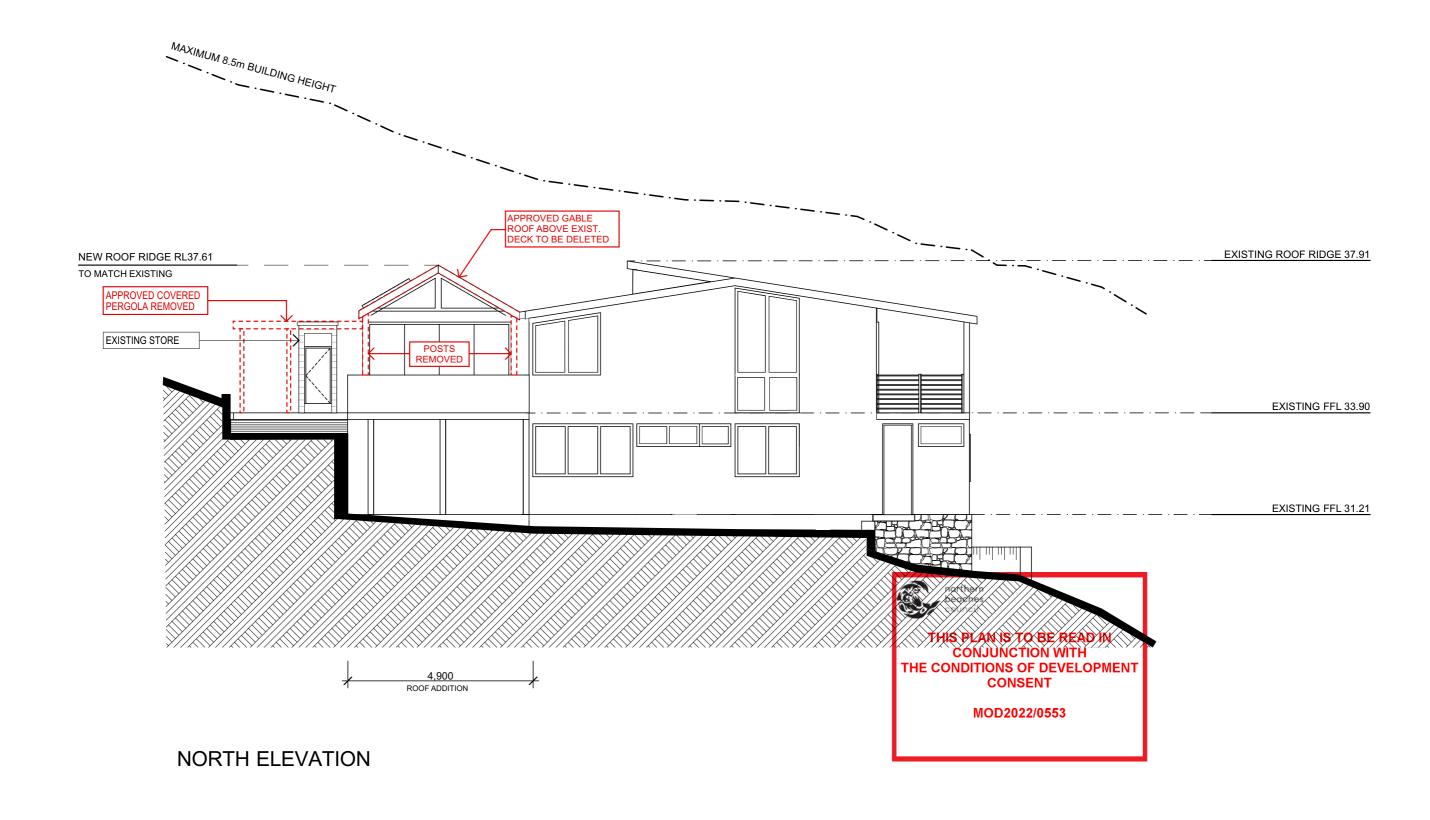
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	specifications.	26/90 Mona Vale Road, Mona Vale, NSW, 2103	С	09/2020	AMENDIMENTS SHOWN IN RED				
	All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local	PO Box 687. Dee Why. NSW. 2099	D	11/2020	DRAWINGS UPDATED	DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
	council requirements.	Mob. 0414 717 541 Email. jjdraft@tpg.com.au	E	09/2022	SECTION 4.55		JOB NO.	ONEONED DT:	
	New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed.	www.jjdrafting.com.au	F	10/2022	SECTION 4.55 UPDATED	WEST ELEVATION	587/17	JJ	03
	by a practicing engineer.	ACN 651 693 346							



NOTES (E & O) PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS TRUE NORTH: REV: DATE: DESCRIPTION: JJ Draftíng ^{Australia} P/L. DATE: DRAWN BY: SCALE: All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultant's drawings and appetite drawings. A 02/2019 LANDSCAPING ADDED TO CARPORT 07/20 LB 1:100 @ A3 01/2020 AMENDIMENTS 948 Barrenjoey Rd - Palm Beach C 09/2020 AMENDIMENTS SHOWN IN RED 26/90 Mona Vale Road, Mona Vale, NSW, 2103 D 11/2020 DRAWINGS UPDATED PO Box 687, Dee Why, NSW, 2099 DRAWING TITLE: workinariship a materials shall be in accordance with the requirements of content editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements. New materials are to be used throughout unless otherwise noted. Concrete footings, slab, structural beams or any other structural members are to be designed by a precipiting continuous. CHECKED BY: JOB No: DRAWING No: 09/2022 SECTION 4.55 Mob. 0414 717 541 | Email. jjdraft@tpg.com.au SOUTH ELEVATION F 10/2022 SECTION 4.55 UPDATED 587/17 www.jjdrafting.com.au ACN 651 693 346



TRUE NORTH: NOTES (E & O) All structures including stormwater & drainage to engineer's details. Do not obtain dimensions by scaling drawings. All dimensions are to be checked on site prior to starting work. These drawings are to be read in conjunction with all other consultant's drawings and specifications.	JJ Drafting Australia P/L. 26/90 Mona Vale Road, Mona Vale, NSW, 2103	В	02/2019 01/2020	DESCRIPTION: LANDSCAPING ADDED TO CARPORT AMENDIMENTS AMENDIMENTS SHOWN IN RED	PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach	DATE: 07/20	DRAWN BY:	SCALE: 1:100 @ A3
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	including amendments of the National Construction Code, relevant Australian Standards & local	PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au	E		SECTION 4.55	DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
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	by a practicing engineer.	ACN 651 693 346							

SPECIFICATION NOTES:

DOORS AND WINDOWS

- ALUMINIUM FRAMED WINDOWS AND DOORS
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS

- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE

ROOFING

- COLORBOND ROOF CLADDING
- POLYCARBONATE ROOF ABOVE DECK

GUTTERS AND DOWNPIPES

- COLORBOND GUTTERS AND DOWNPIPES
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING
- OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP. - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION

TERMITE CONTROL

- TO AS3660.1

TIMBER FRAMING

- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER

CONCRETE

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600
- FOOTINGS TO BE IN ACCORDANCE WITH AS1480
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304

LIGHTING

- 40% OF NEW OR ALTERAD LIGHT TEXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS.

CONNECT TO CONSUMER MAINS POWER AND INSTALL TO AS1670.6. 1997

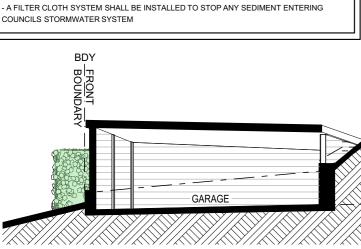
(fire detection, warning control and intercom systems - systems design, installation and commis smoke alarms) and as3786 -1996 (smoke alarms)

WASTE MANAGEMENT

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE

SEDIMENT CONTROL

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING



MAXIMUM 8.5m BUILDING HEIGHT EXISTING ROOF RL 37.91 **ROOF RIDGE RL37.61** APPROVED COVERED PERGOLA REMOVED APPROVED POSTS TO BE REMOVED NEW HANDBASIN EX. LIVING PANTRY STORAGE EXIST. DECK EXISTING FFL 33.90 **EXISTING** EX. EX. STUDY SUBFLOOR BEDROOM 02 EXISTING FFL 31.21 THIS PLAN IS TO BE READ IN **CONJUNCTION WITH** THE CONDITIONS OF DEVELOPMENT **CONSENT** MOD2022/0553 EXISTING FFL 23.47

MODIFICATIONS SHOWN IN RED

SECTION AA

TRUE NORTH:

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