

SITE ANALYSIS PLAN
LOT 01 - DP 13686
SITE AREA: 1190m2

MODIFICATIONS SHOWN IN RED

TRUE NORTH:

NOTES (E & O)

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
- All dimensions are to be checked on site prior to starting work.
- These drawings are to be read in conjunction with all other consultant's drawings and specifications.
- All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.
- New materials are to be used throughout unless otherwise noted.
- Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.

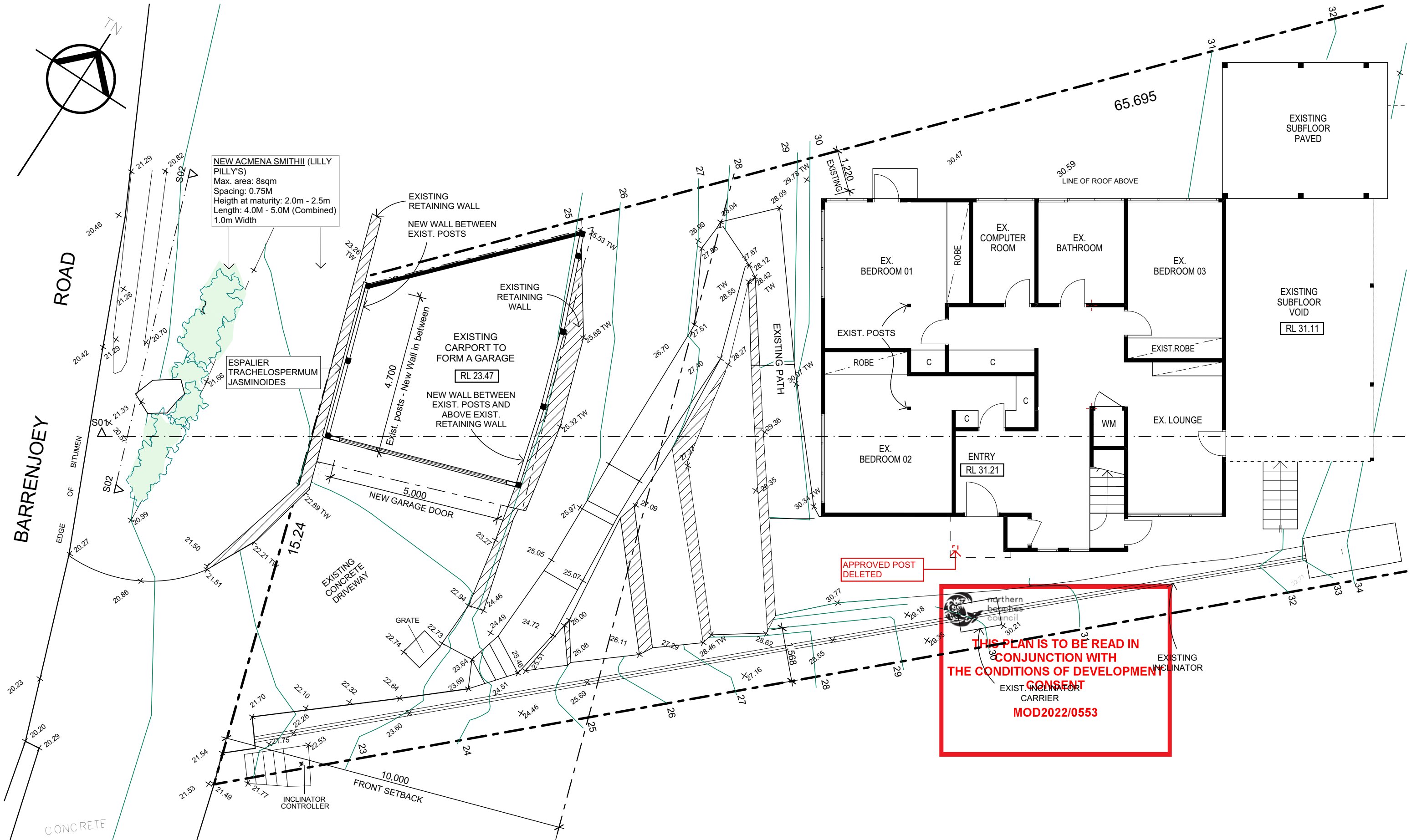
JJ Drafting
Australia P/L.

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REV:	DATE:	DESCRIPTION:
A	02/2019	LANDSCAPING ADDED TO CARPORT
B	01/2020	AMENDMENTS
C	09/2020	AMENDMENTS SHOWN IN RED
D	11/2020	DRAWINGS UPDATED
E	09/2022	SECTION 4.55
F	10/2022	SECTION 4.55 UPDATED

PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach	DRAWING TITLE: SITE ANALYSIS
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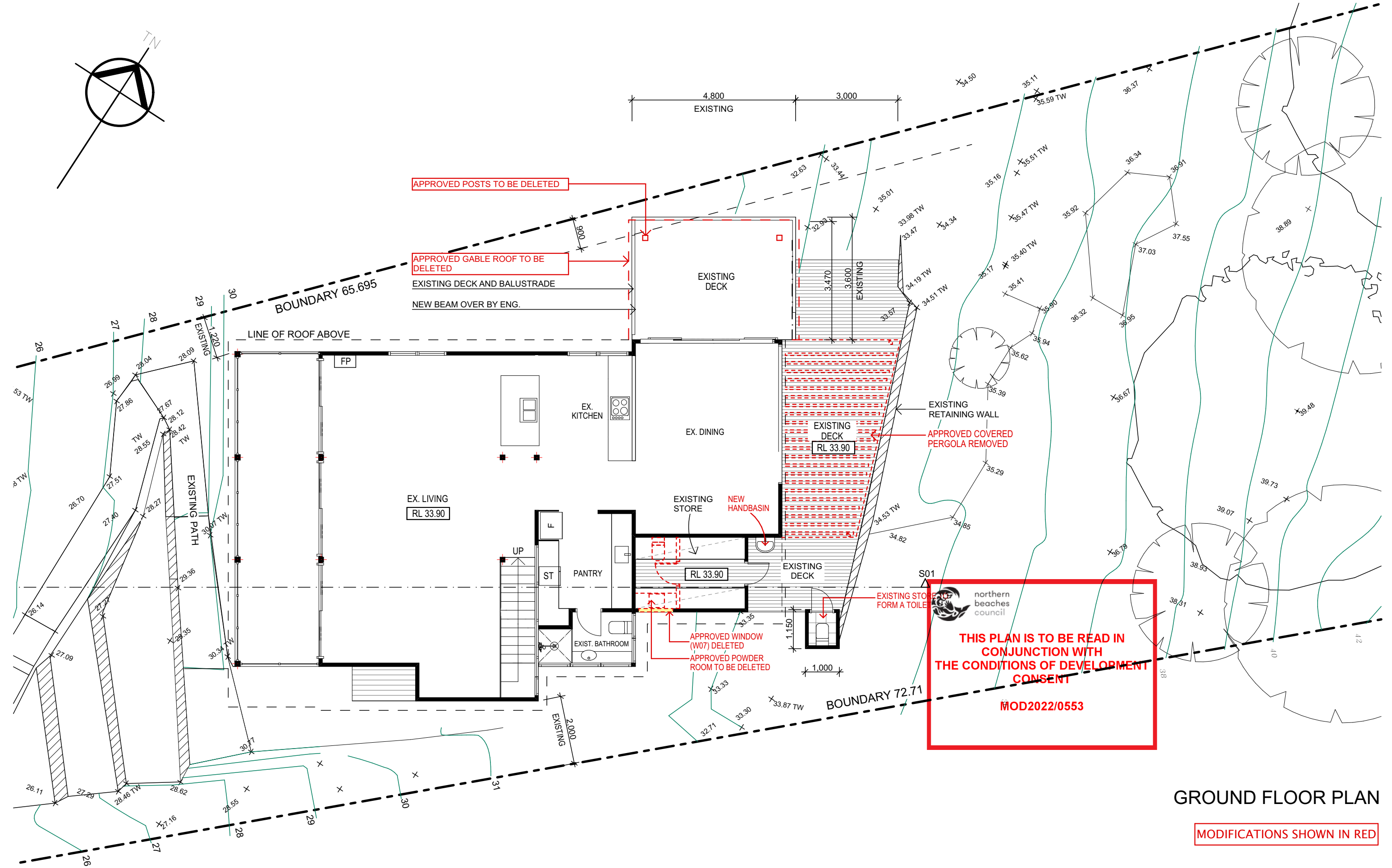
DATE: 07/20	DRAWN BY: LB	SCALE: 1:200 @ A3
JOB No: 587/17	CHECKED BY: JJ	DRAWING No: 01



LOWER GROUND FLOOR PLAN

* NO CHANGES

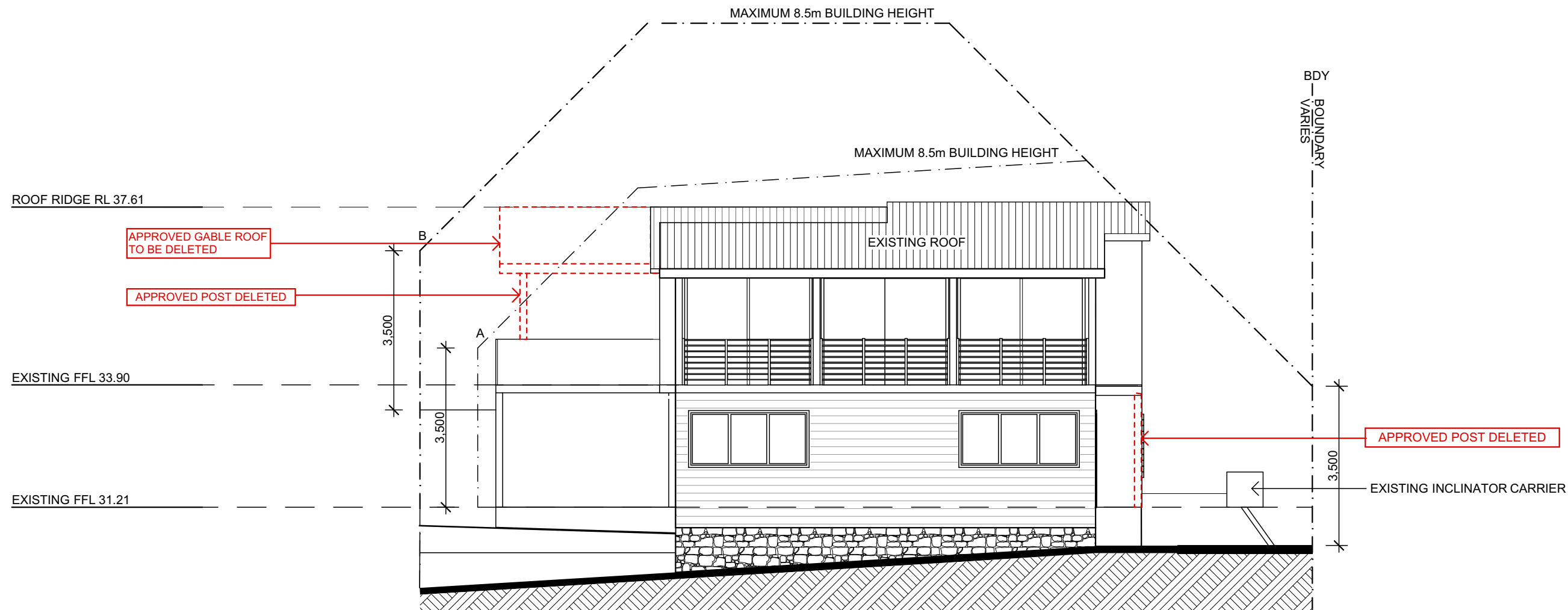
TRUE NORTH:	<div>NOTES (E & O)</div> <ul style="list-style-type: none">• All structures including stormwater & drainage to engineer's details.• Do not obtain dimensions by scaling drawings.• All dimensions are to be checked on site prior to starting work.• These drawings are to be read in conjunction with all other consultant's drawings and specifications.• All workmanship & materials shall be in accordance with the requirements of current editions including amendments of the National Construction Code, relevant Australian Standards & local council requirements.• New materials are to be used throughout unless otherwise noted.• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.	<div>JJ Drafting Australia P/L.</div> <div>26/90 Mona Vale Road, Mona Vale, NSW, 2103 PO Box 687, Dee Why, NSW, 2099 Mob. 0414 717 541 Email. jjdraft@tpg.com.au www.jjdrafting.com.au ACN 651 693 346</div>	<div>REV:</div> <div>A</div>	<div>DATE:</div> <div>02/2019</div>	<div>DESCRIPTION:</div> <div>LANDSCAPING ADDED TO CARPORT</div>	<div>PROJECT DETAILS: SECTION 4.55 PROPOSED ALTERATIONS AND ADDITIONS 948 Barrenjoey Rd - Palm Beach</div>	<div>DATE:</div> <div>07/20</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>1:100 @ A3</div>
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<div>DRAWING TITLE:</div> <div>LOWER GROUND FLOOR PLAN</div>						<div>JOB No:</div> <div>587/17</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>02</div>	



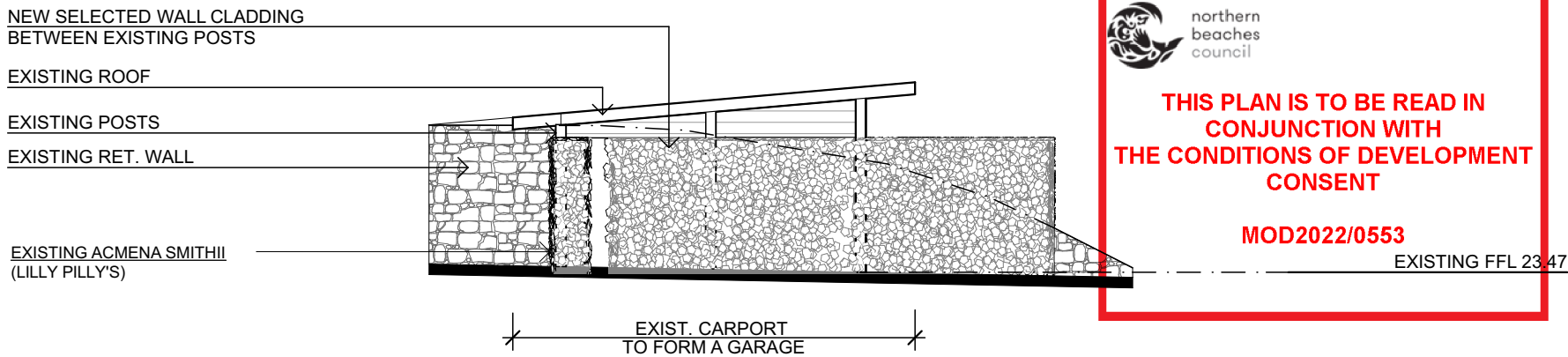
GROUND FLOOR PLAN

MODIFICATIONS SHOWN IN RED

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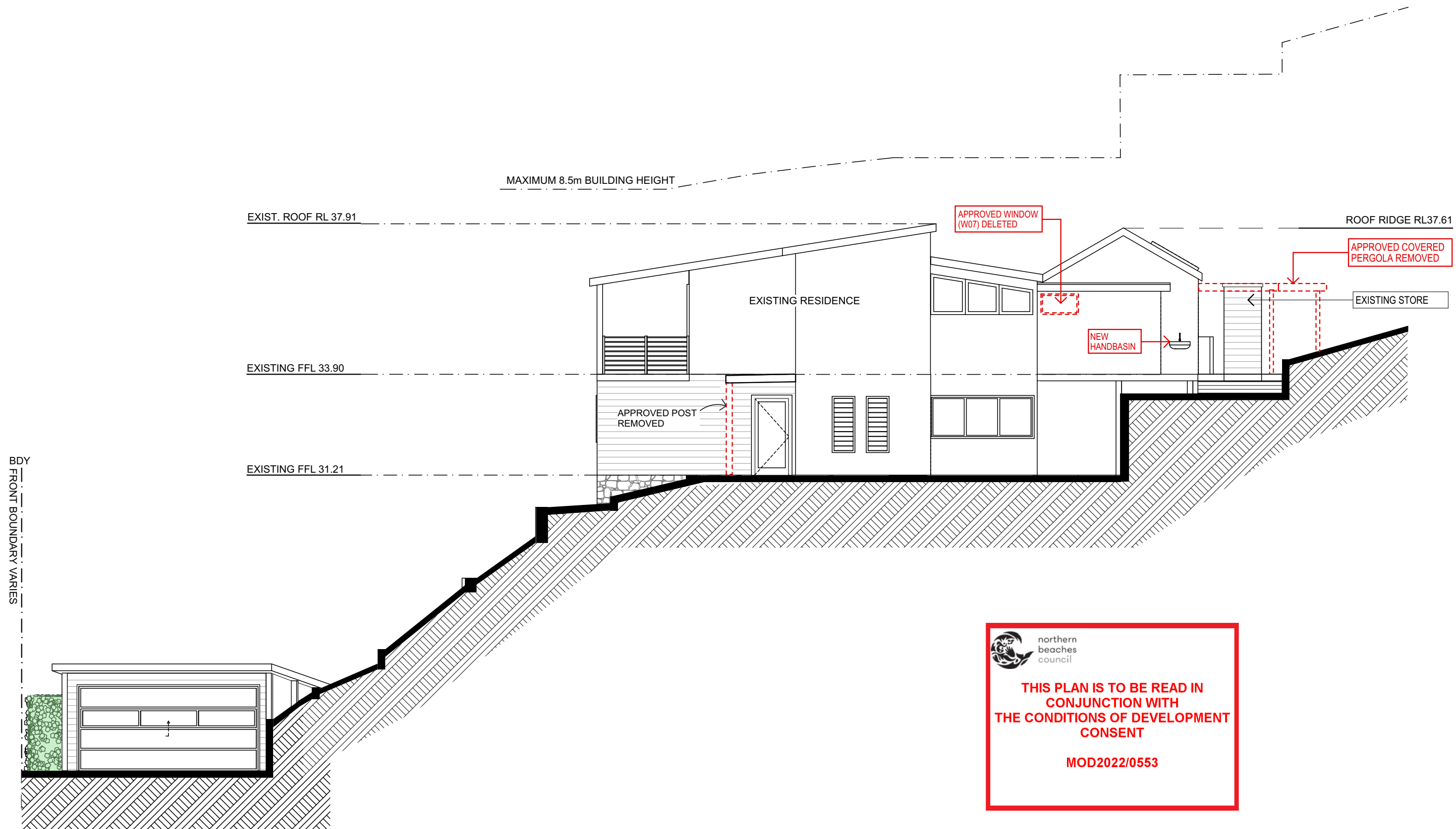
WEST ELEVATION



GARAGE WEST ELEVATION

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SOUTH ELEVATION

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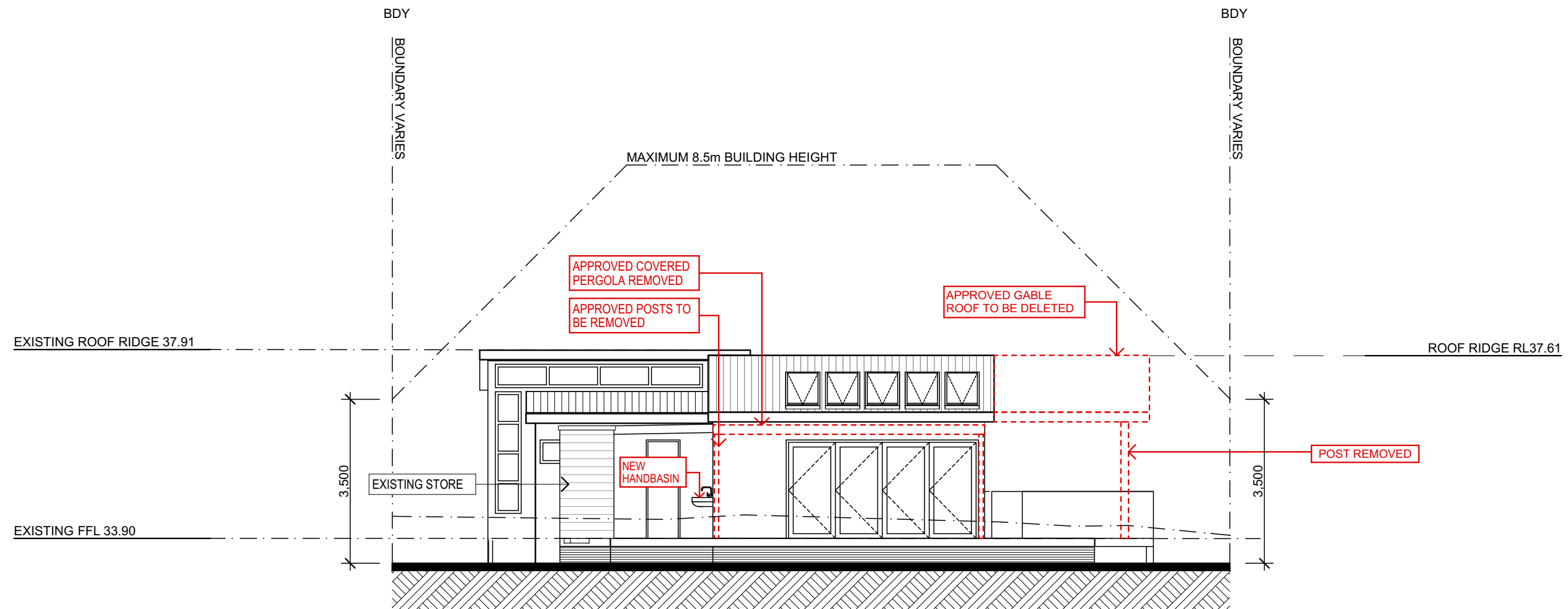
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EAST ELEVATION

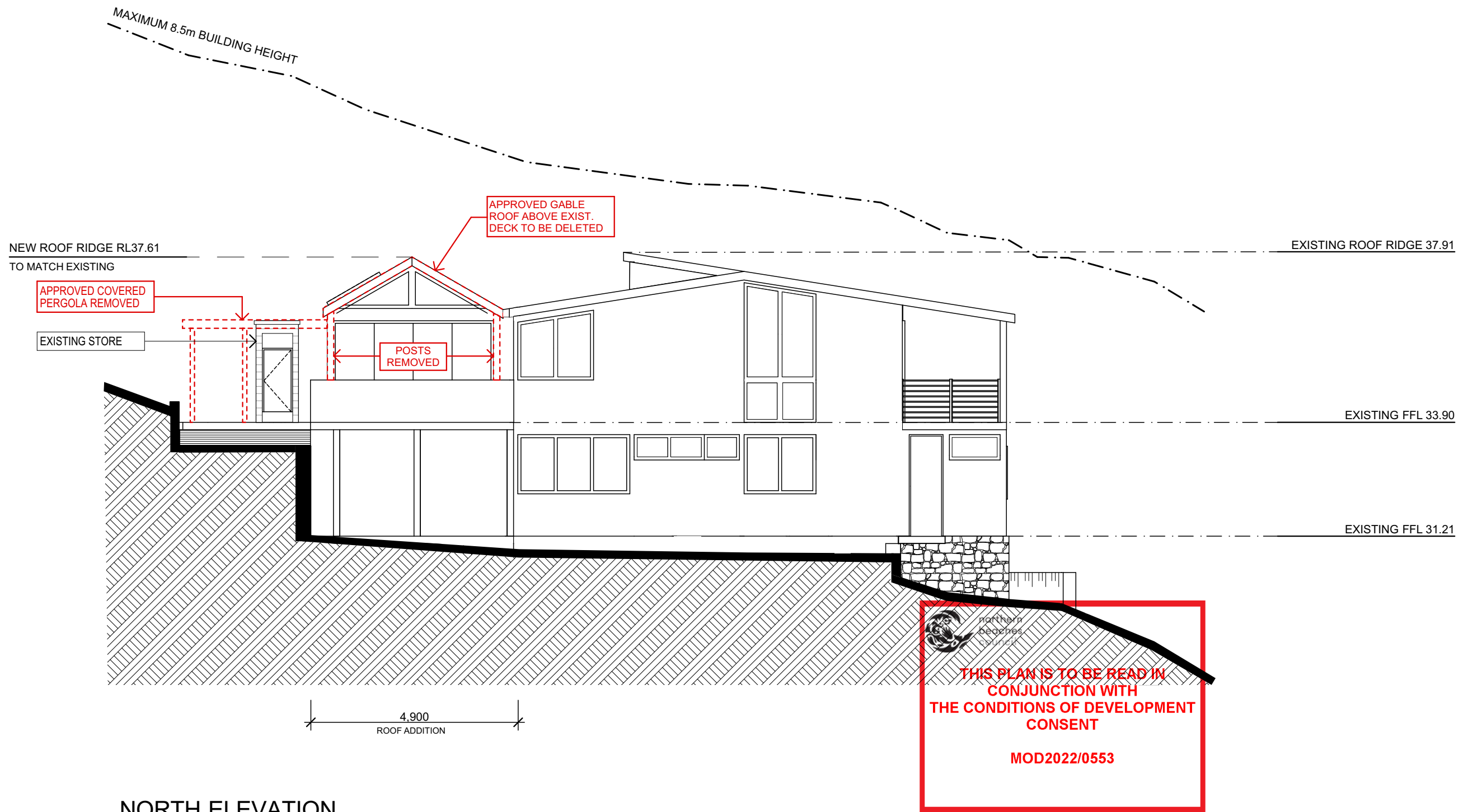
 northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2022/0553

MODIFICATIONS SHOWN IN RED

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<div>DRAWING TITLE:</div> <div>EAST ELEVATION</div>						<div>JOB No:</div> <div>587/17</div>	<div>CHECKED BY:</div> <div>JJ</div>	<div>DRAWING No:</div> <div>06</div>	



NORTH ELEVATION

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