

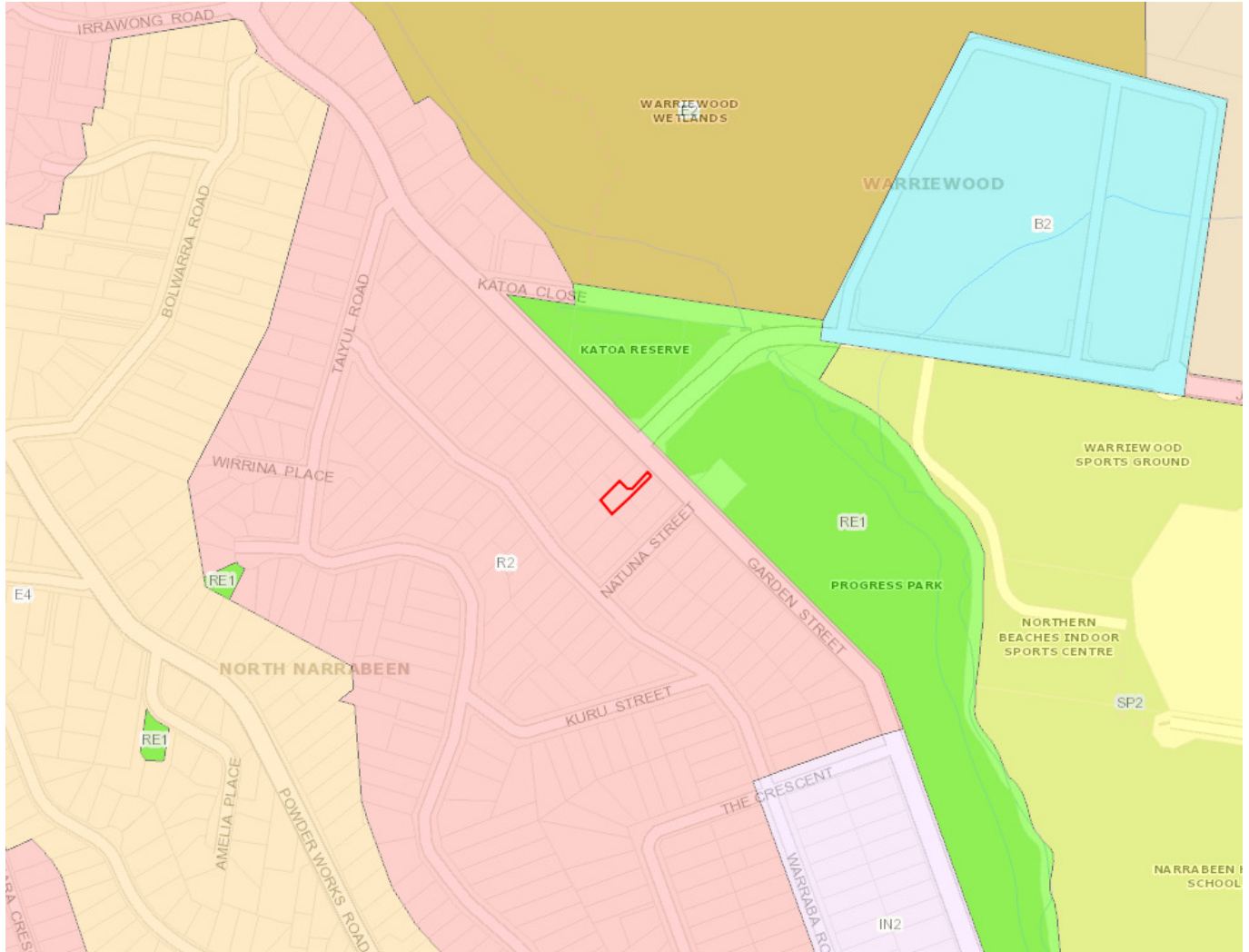
# STATEMENT OF ENVIRONMENTAL EFFECTS

## Tom and Marianne Turnbull

128 A Garden Street NORTH NARRABEEN NSW 2101  
Lot 2 Sec DP 852892

### Land Zoned

R2 Low Density Residential



### Existing Residence

A single Level Brick veneer residence is located on this small regular battle axe site.

### Proposed Works

It is proposed to rearrange the internal layout of the dwelling to meet the current owners' requirements and lifestyle.

### North Narrabeen Locality

The extension of the tram to Narrabeen in 1913 established the North Narrabeen Locality as a popular area for holidays and camping. Until this time, the locality remained relatively undeveloped, used mainly as a through-route to Mona Vale and land further north. A bridge constructed across Narrabeen Lagoon in 1880, and the opening of the Wakehurst Parkway in 1946, connected the locality and rest of Pittwater with land to the south. From the 1950s, residential development intensified in the locality.

Since this time, the locality has developed into a predominantly low-density residential area, with dwellings built along the valley floor, slopes, and adjacent to Narrabeen Lagoon. The locality is characterised by one and

two-storey dwelling houses on 450-650 square metre allotments (some smaller allotments may exist). The residential areas are of a diverse style and architecture, a common thread being the landscaped, treed frontages and subdued external finishes.

The locality is serviced by a neighbourhood retail centre at Pittwater Road, which also serves as a retail centre for passing motorists, and nearby residents descending from Elanora Heights. A smaller neighbourhood centre is located at the corner of Powderworks Road and Garden Street. This services the local industrial area that is dominated by car uses including servicing, repair and sales, that is located between Garden and Warraba Road. The locality also contains Narrabeen RSL club, a community centre and recreational facilities including tennis courts, several reserves and Narrabeen Lake.

The locality is characterised by a valley and steeper slopes to the north, south, and west, and lowlands extending to Narrabeen Lake to the east and Mullet Creek. Due to the topography, some significant views can be obtained to the east and south. Conversely, the slopes and ridge tops of the locality are visually prominent.

Much of the natural vegetation has been removed and replaced with non-indigenous species. Much of the tree canopy around the escarpment has been retained.

The natural features of the locality result in a high risk of bushfire, landslip and flood.

The major roads within the locality are Pittwater Road, Rickard Road, and the Wakehurst Parkway.

Powderworks Road is a common through-route from the beaches to land further north/west, and similarly, the Wakehurst Parkway is a major link with land further west and south. Several pedestrian links and pathways exist within the locality, including a popular pedestrian/cycleway adjacent to Narrabeen Lake.

#### Desired Character

The North Narrabeen locality will remain primarily a low-density residential area with dwelling houses a maximum of two storeys in any one place in a landscaped setting, integrated with the landform and landscape. Secondary dwellings can be established in conjunction with another dwelling to encourage additional opportunities for more compact and affordable housing with minimal environmental impact in appropriate locations. Any dual occupancies will be located on the valley floor on land that has less tree canopy coverage, species and habitat diversity and fewer other constraints to development. Any medium density housing will be located within and around commercial centres, public transport and community facilities. Retail, community and recreational facilities will serve the community.

Future development is to be located so as to be supported by adequate infrastructure, including roads, water and sewerage facilities, and public transport.

Future development will maintain a building height limit below the tree canopy and minimise bulk and scale.

Existing and new native vegetation, including canopy trees, will be integrated with the development.

Contemporary buildings will utilise facade modulation and/or incorporate shade elements, such as pergolas, verandahs and the like. Building colours and materials will harmonise with the natural environment.

Development on slopes will be stepped down or along the slope to integrate with the landform and landscape, and minimise site disturbance. Development will be designed to be safe from hazards.

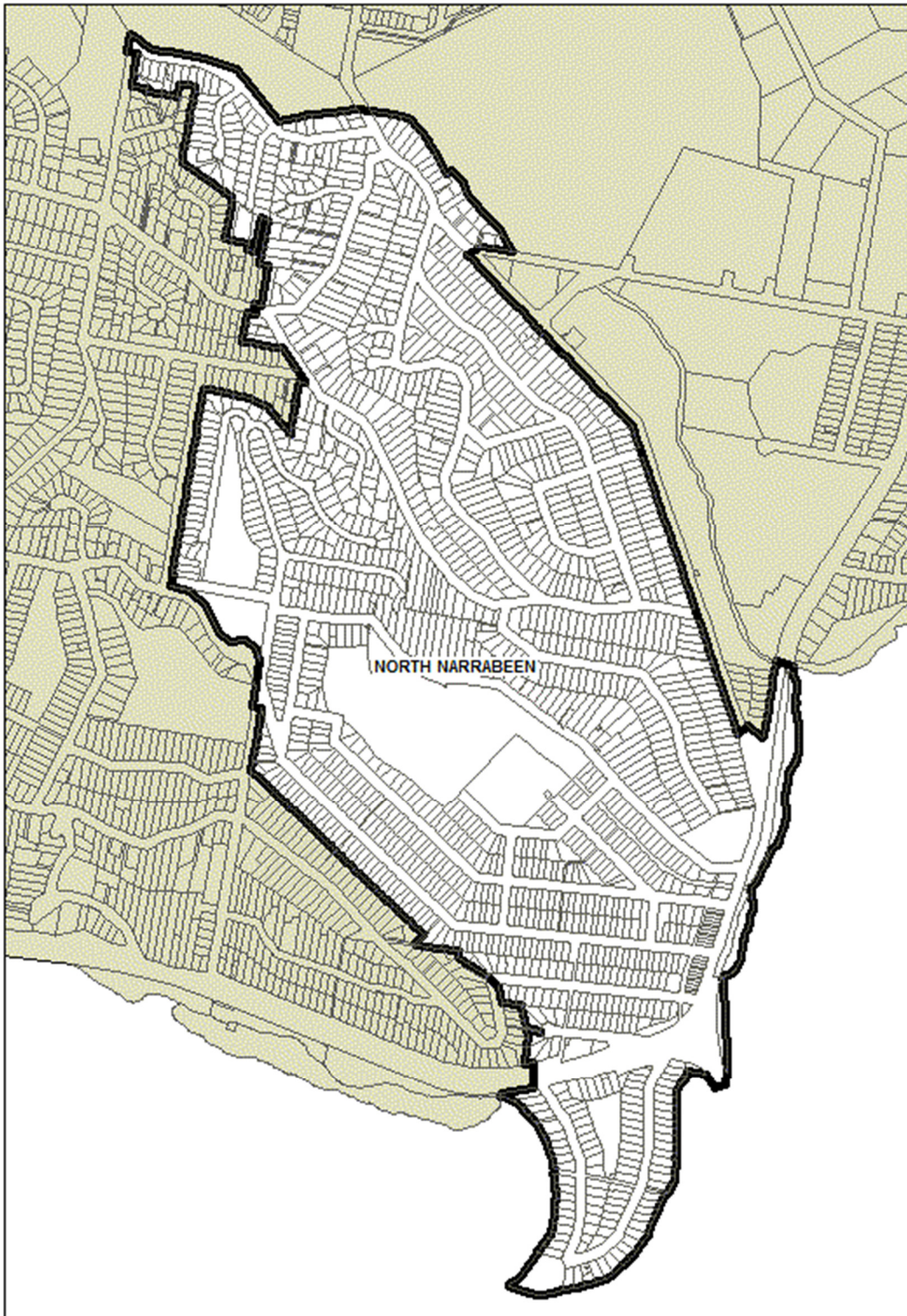
A balance will be achieved between maintaining the landforms, landscapes and other features of the natural environment, and the development of land. As far as possible, the locally native tree canopy and vegetation will be retained and enhanced to assist development blending into the natural environment, and to enhance wildlife corridors.

Vehicular, pedestrian and cycle access within and through the locality will be maintained and upgraded. The design and construction of roads will manage local traffic needs, minimise harm to people and fauna, and facilitate co-location of services and utilities.

North Narrabeen Locality

**The proposed works comply with Councils Locality statement as there will be no change to the previously approved and built structure and Form.**



**Character as viewed from a Public Place**

Buildings which front the street must have a street presence and incorporate design elements (such as roof forms, textures, materials, the arrangement of windows, modulation, spatial separation, landscaping etc) that are compatible with any design themes for the locality. Blank street frontage facades without windows shall not be permitted. Walls without articulation shall not have a length greater than 8 metres to any street frontage.

Any building facade to a public place must incorporate at least two of the following design features: entry feature or portico; awnings or other features over windows; verandahs, balconies or window box treatment to any first floor element; recessing or projecting architectural elements; open, deep verandahs; or verandahs, pergolas or similar features above garage doors.

The bulk and scale of buildings must be minimised. Garages, carports and other parking structures including hardstand areas must not be the dominant site feature when viewed from a public place. Parking structures should be located behind the front building line, preferably set back further than the primary building, and be no greater in width than 50% of the lot frontage, or 7.5 metres, whichever is the lesser.

Landscaping is to be integrated with the building design to screen the visual impact of the built form. In residential areas, buildings are to give the appearance of being secondary to landscaping and vegetation.

Television antennas, satellite dishes and other telecommunications equipment must be minimised and screened as far as possible from public view. General service facilities must be located underground. Attempts should be made to conceal all electrical cabling and the like. No conduit or sanitary plumbing is allowed on facades of buildings visible from a public space.

**The proposed works comply with the Character as viewed from a Public Place. The House is located centrally on a Battle axe lot and there will be no change to the previously approved and built structure and Form.**

#### **Building Colours and Materials**

External colours and materials shall match the existing colour scheme.

Finishes are to be of a low reflectivity.

**NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES**

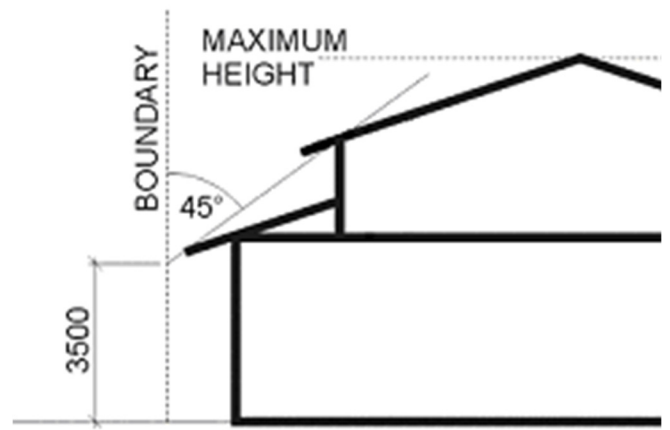
<b>Front Building Line</b>	6.5m or established building line, whichever is the greater Built structures (including swimming pools), other than driveways, fences and retaining walls are not permitted within the front building setback. <b>NOT RELEVANT AS 128A IS A BATTLE AXE SITE</b>
<b>Rear Building Line</b>	6.5m <b>THE PROPOSAL COMPLIES</b>
<b>Side Building Line Setbacks</b>	2.5 to at least one side; 1.0 for other side. Where alterations and additions to existing buildings are proposed, maintenance of existing setbacks less than as specified may be considered where it is shown that the outcomes of the clause are achieved. <b>THE PROPOSAL THEREFORE COMPLIES</b>
<b>Height of Building</b>	8.5m max. above existing ground level <b>NO CHANGE TO EXISTING SINGLE LEVEL DWELLING THEREFORE THE PROPOSAL COMPLIES</b>
<b>Minimum Lot size</b>	550m <sup>2</sup> EXISTING SITE 438.6m <sup>2</sup> <b>NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES</b>

## Building Envelope

Buildings are to be sited within the following envelope: Planes are to be projected at 45 degrees from a height of 3.5 metres above ground level (existing) at the side boundaries to the maximum building height.

Eaves or shading devices that provide shade in summer and maximise sunlight in winter, shall be permitted to extend outside the building envelope.

**INTERNAL WORKS ONLY NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES**



## STREET FRONTAGE

### Landscaped Area – General

The total landscaped area on land zoned R2 Low Density Residential or R3 Medium Density Residential shall be 50% of the site area. The use of porous materials and finishes is encouraged where appropriate.

Any alterations or additions to an existing dwelling shall provide a minimum 50% of the site area as landscaped area.

The following may be permitted on the landscaped proportion of the site:

- Impervious areas less than 1 metre in width (e.g. pathways and the like);
- for single dwellings on land zoned R2 Low Density Residential, up to 6% of the total site area may be provided as impervious landscape treatments providing these areas are for outdoor recreational purposes only (e.g. roofed or unroofed pergolas, paved private open space, patios, pathways and uncovered decks no higher than 1 metre above ground level (existing))

**INTERNAL WORKS ONLY; NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES**

### Views

Development shall provide for the reasonable sharing of views

**NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES WITH THIS CONTROL**

### Access to Sunlight

The main private open space of each dwelling and the main private open space of any adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21st.

Windows to the principal living area of the proposal, and windows to the principal living area of adjoining dwellings, are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21st (that is, to at least 50% of the glazed area of those windows).

Solar collectors for hot water or electricity shall receive at least 6 hours of sunshine between 8.00am and 4.00pm during mid winter.

The Development maximises the sunshine to clothes drying areas of the proposed development and adjoining dwellings.

**INTERNAL WORKS ONLY NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES**



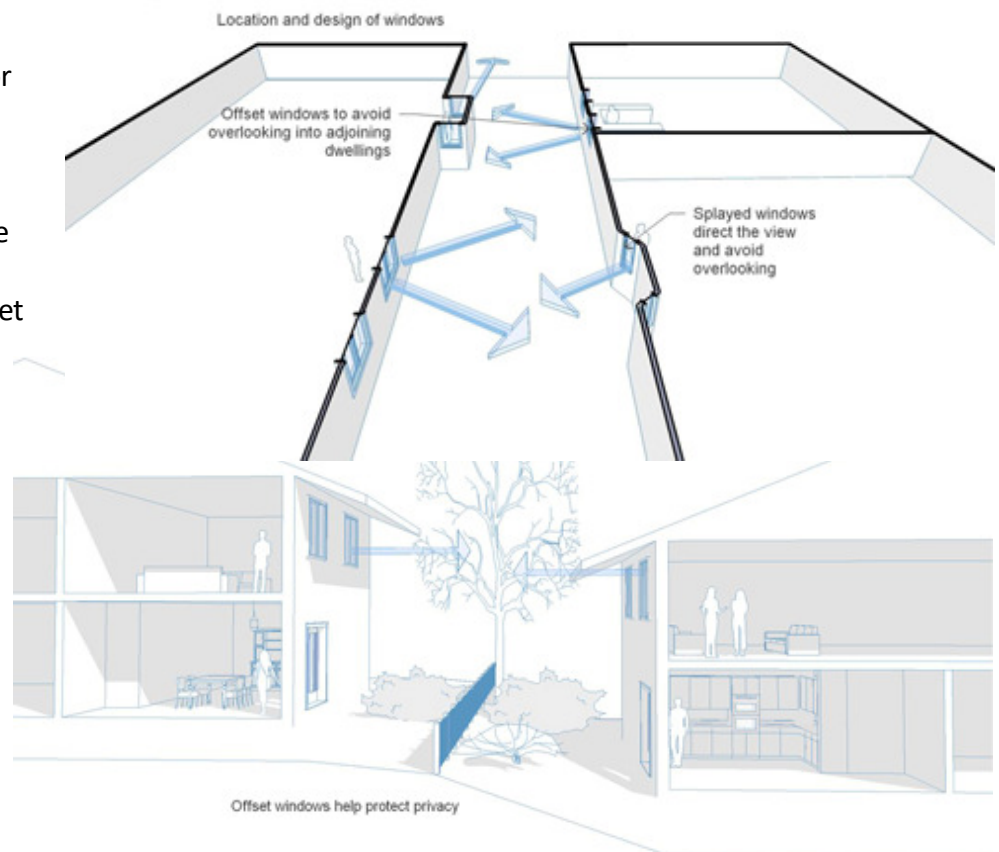
## Privacy

Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.

Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.

The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.

The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.



**PRIVACY WILL BE INCREASED TO THE NORTH WESTERN NEIGHBOURING PROPERTY AND THERE WILL BE NO CHANGE TO THE SOUTH EASTERN PROPERTY; THEREFORE THE PROPOSAL COMPLIES WITH THIS CONTROL.**

## Private Open Space

- Minimum 80m<sup>2</sup> of private open space per dwelling at ground level, with no dimension less than 3 metres. No more than 75% of this private open space is to be provided in the front yard.
- Within the private open space area, a minimum principal area of 16m<sup>2</sup> with a minimum dimension of 4m and grade no steeper than 1 in 20 (5%).
- Dwellings are to be designed so that private open space is directly accessible from living areas enabling it to function as an extension of internal living areas.
- Private open space areas are to have good solar orientation (i.e. orientated to the north-east or north-west where possible). Where site or slope constraints limit optimisation of orientation, the private open space area must have access to some direct sunlight throughout the year (see Solar Access).
- Private open space should be located to the rear of the dwelling to maximise privacy for occupants. Where this open space needs to be provided to the front of the dwelling, the area should be screened from the street to ensure that the area is private.
- A balcony located above ground level, but which has access off living areas of dwellings, can be included as private open space. The dimensions should be sufficient so that the area can be usable for recreational purposes (i.e. a minimum width of 2.4m). First floor balconies along the side boundary must be designed to limit overlooking and maintain privacy of adjoining residential properties.
- Private open space areas should include provision of clothes drying facilities, screened from the street or a public place. Shared clothes drying facilities are acceptable.
- An accessible and usable area for composting facilities within the ground level private open space is required..

**INTERNAL WORKS ONLY NO CHANGE TO EXISTING THEREFORE THE PROPOSAL COMPLIES WITH THIS CONTROL**

No hazard

No Risk

Risk :Low. Medium and High Flood Levels influence this site. As the  
e will no adverse impact on the flood planning levels.

**Map**

- High risk precinct
- Medium risk precinct
- Low risk precinct

**Streets (Medium Scale)**

- Arterial Road
- Distributor Road
- Local Road
- Trunk Road
- Urban Service Lane
- Path

**Land Boundaries**

- LPI Drainage
- LPI Drainage
- Suburbs
- LGAs
- Sand
- Headland
- Sand
- Water

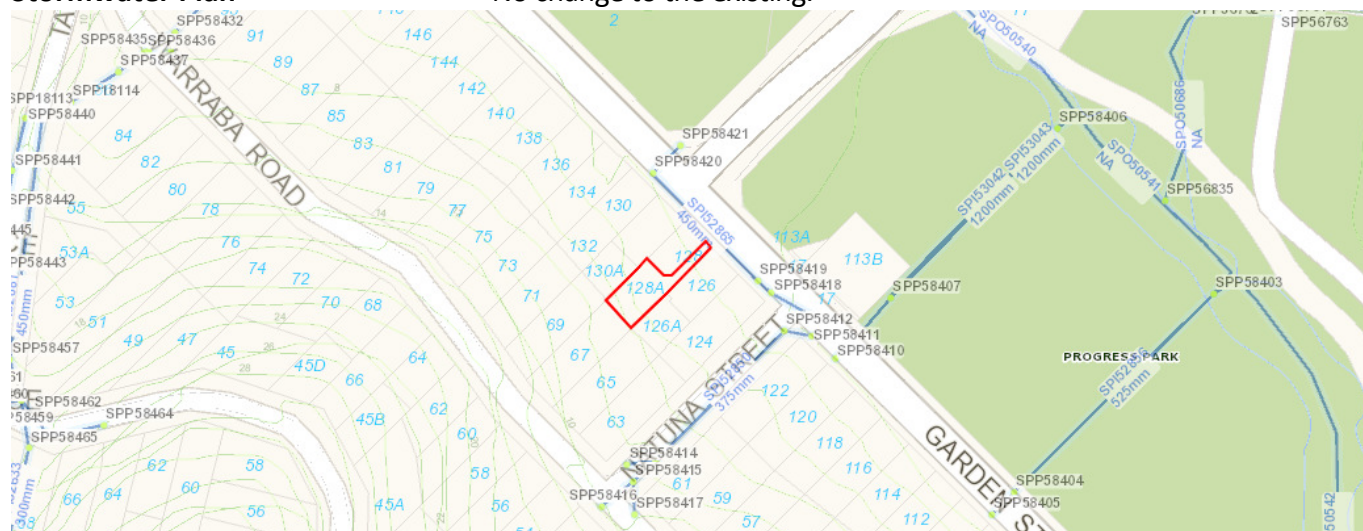
**Reserves**

- Reserve
- National Park
- CoastLine
- land
- water

No

No

No change to the existing.



This site is located clear of the stormwater infrastructure..



**SEPP 2008: EXEMPT AND COMPLYING DEVELOPEMNT**  
**PART 4 HOUSING ALTERATIONS CODE**

THE PROPOSAL COMPLIES WITH THESE CONTROLS AND IF THE SITE WAS NOT LOCATED WITHIN THE COASTAL WET LANDS APPROVAL WAS TO BE GAINED THROUGH PART 4 SEPP2008.



This image shows the proximity of the site to the perimeter of the Coastal Wetlands influenced land.

**Division 1 Specified development and development standards under this code**

**Subdivision 1 Internal alterations**

**4.1 Specified complying development**

Internal alterations to existing residential accommodation, including alterations to common property or existing ancillary development that is associated with residential accommodation (but not including development that is the erection or conversion of a basement to existing residential accommodation), is development specified for this code.

**Note.**

See the entry for minor building alterations (internal) in the General Exempt Development Code.

**4.2 Development standards**

The standards specified for that development are that the development:

- (a) must not result in a change of classification of the building under the Act or the *Building Code of Australia*, and
- (b) must not result in any additional separate dwelling, and
- (c) must not result in the creation of an additional floor within a dwelling.



## **Subdivision 2 External alterations to existing dwelling houses and ancillary development**

### **4.3 Specified complying development**

The following development is specified for this code:

- (a) if the development is on land that is not within a heritage conservation area or a draft heritage conservation area—external alterations to an existing dwelling house,
- (b) if the development is on land that is within a heritage conservation area or a draft heritage conservation area—external alterations to that part of an existing dwelling house that comprises the storey on the ground level,
- (c) external alterations to existing ancillary development that is associated with an existing dwelling house.

### **4.4 Development standards**

(1) The standards specified for that development are that the development:

- (a) must not result in a change of classification of the building under the Act or the *Building Code of Australia*, and
  - (b) must not result in a change to the floor area of the dwelling house or ancillary development, and
  - (c) must not result in a change to the footprint of the dwelling house or ancillary development, and
  - (ca) must not result in an increase in the existing building height of the dwelling house or ancillary development, and
  - (cb) must not result in more than a 5% change in the pitch of the roof of the dwelling house or ancillary development, and
  - (cc) must not result in the enclosure of any carport, and
  - (d) if it is a new window in an alteration or addition to an existing dwelling house—must comply with subclause (2), and
  - (e) if it is located in a heritage conservation area or a draft heritage conservation area—must not be to a wall facing the primary road or any wall that connects to a wall facing the primary road.
- (2) A new window in any alteration or addition to an existing dwelling house must have a privacy screen for any part of the window that is less than 1.5m above finished floor level if:
- (a) the window:
    - (i) is in a habitable room that has a floor level of more than 1m above ground level (existing), and
    - (ii) has a sill height of less than 1.5m above that floor level, and
    - (iii) faces a side or rear boundary and is less than 3m from that boundary, or
  - (b) the window:
    - (i) is in a habitable room that has a floor level of more than 3m above ground level (existing), and
    - (ii) has a sill height of less than 1.5m above that floor level, and
    - (iii) faces a side or rear boundary and is at least 3m, but not more than 6m, from that boundary.
- (3) Subclause (2) does not apply to a window located in a bedroom where the window has an area of not more than 2m<sup>2</sup>.

### **THE PROPOSAL COMPLIES WITH THESE CONTROLS**

A VARIATION IS REQUESTED ON THE GOUNDS THAT THE PROPOSAL IS INTERNAL WORKS ONLY AND WILL HAVE NEGLIGIBLE INFLUENCE ON THE COASTAL WETLANDS.

## **SUMMARY**

Approval is sought for the internal alterations at 128 A Garden Street NORTH NARRABEEN. The proposal complies with councils' controls and generally SEPP2008. Therefore approval is requested at Councils earliest convenience.