

Construction Certificate Determination

issued under the Environmental
Planning and Assessment Act 1979
Section 109C (1) (b), 81A (2) and 81A (4)

Certificate No. 2007/2364

Council	Pittwater
Determination date of issue	Approved 17 October 2007
Subject land Address Lot No, DP No.	1178 Barrenjoey Road, Palm Beach Part Lot 5 DP 6746, Lot 1 DP 105986 & Part Lot 4 DP 6746
Applicant Name Address Contact No. (phone)	Mr Jan Wagner PO Box 51 Palm Beach NSW 2108 9974 4160
Owner Name Address Contact No. (phone)	Mr Jan & Mrs Shirley Wagner 1178 Barrenjoey Road, Palm Beach NSW 2108 9974 4160
Description of Development Type of Work	Studio
Builder or Owner/Builder Name Contractor Licence No/Permit	Lee Martin 41132
Value of Work Building	\$152,749.00

Attachments

- Copy of completed Construction Certificate Application Form
- Pittwater Council receipt no. 217753 for payment of Long Service Levy
- Copy of Council correspondence, dated 12 June 2007, confirming deferred commencement conditions are satisfied and consent is now operative.
- Building Certificate No. BC0036/07, dated 27 March 2007 for retaining walls & slab

R 226645

Plans & Specifications certified

The development is to be carried out in compliance with the following plans and documentation listed below and endorsed with *Insight Building Certifiers* stamp.

- Architectural Plans & Construction Specifications, reference nos. 1 of 5, 2 of 5 & 5 of 5, dated April 2005 & 3 of 5 & 4 of 5, dated March 2005, prepared by Planart
- Structural Details, reference no. 23988-S1, prepared by Jack Hodgson Consultants Pty Ltd, dated 16 March 2007
- Completed Form 2 of the Geotechnical Risk Management Policy for Pittwater, dated 19 March 2007
- Certificate of Adequacy for Existing Stormwater System, reference no. VR 23988C, prepared by Jack Hodgson Consultants Pty Ltd, dated 19 March 2007
- Copy of Sydney Water approval, dated 5 February 2007

Certificate

I hereby certify that the above Plans, documents or Certificates, satisfy:

- The relevant provisions of the Building Code of Australia
- The relevant conditions of this Development Consent

and that work completed in accordance with the documentation accompanying the application for this Certificate (and any modifications as verified by me and shown on that documentation) will comply with the requirements of the Environmental Planning & Assessment Regulation referred to in Section 81A(5) of the Environmental Planning & Assessment Act, 1979.

Signed



Date of endorsement
Certificate No.

17 OCT 2007
2007/2364

Certifying Authority

Name of Accredited Certifier
Accreditation No.
Accreditation Authority
Contact No.
Address

Tom Bowden
BPB0042
Building Professionals Board
(02) 9999 0003
13/90 Mona Vale Road, Mona Vale NSW 2103

Development Consent

Development Application No.

N0266/05

Date of Determination

4 November 2005 (Modified 7 December 2005, 12 June 2007, 2 July 2007 & 10 October 2007)

BCA Classification

10a

INSIGHT

building certificates pty ltd

APPLICATION FOR A CONSTRUCTION CERTIFICATE

1. Applicant's details

It is important that we are able to contact you if we need more information. Please give us as much detail as possible.

Mr ☒ Mrs ☐ Ms ☐ Dr ☐

Other

Given Names (or ACN)

JAN

Family Name (or Company)

WAGNER

Postal Address (we will post all mail to this address)

P.O. BOX 51, PALM BEACH, N.S.W.

Post Code 2108

Daytime telephone

99744160

Alternate no.

Mobile no.

0414501306 (Leon)

2. Owner's consent

Every owner of the land must sign this form. If the owner is a company the form must be signed by an authorized director and the common seal must be stamped on this form. If the property is a unit under the strata title or a lot in a community title, then in addition to the owner's signature, this common seal of the body corporate must be stamped on this form over the signature of the owner and signed by the Chairman or Secretary of the Body Corporate or the appointed managing agent.

Owner(s)

JAN WAGNER & SHIRLEY WAGNER

Address

1178 BARRENTJOEY ROAD, PALM BEACH,
N.S.W. 2108.

As owner(s) of the land to which this application relates, I/We consent to this application. I/We also consent for the Principal Certifying Authority and/or Accredited Certifier to enter the land to carry out inspections relating to this application.

Signature(s)

[Signature] x *[Signature]*

SIGN HERE

Without the owner's consent we will not accept the application. This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative, you must state the nature of your legal authority and attach documentary evidence (eg, power of attorney, executor, trustee, company director, etc).

3. Location of property

Unit/Street no.

1178

Street name

BARRENTJOEY ROAD

Suburb

PALM BEACH, N.S.W.

Post code

2108

Legal Property Description (these details are shown on your rate notices, property deeds, etc)

Lot no.

1

DP no.

105986

4. Description of work

What type of work do you propose to carry out?

Please describe briefly everything that you want approved.

Studio

5. Estimated cost of work

The estimated cost of the development or contract price may be subject to review

Estimated cost of work \$152,000.00

6. Development Consent

Council Consent no. 266/05

Date of Determination 4.11.05

7. Building Code of Australia classification

This can be found on the development consent

BCA Classification 10a

8. Builder's details

If known, to be completed in the case of residential building work

Name LEE MARTIN

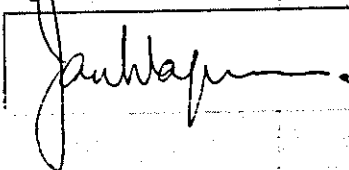
License no. 41132

Owner/builder permit no.

9. Applicant's declaration

I apply for a Construction Certificate to carry out building works as described in this application. I declare that all the information in this application and checklist is, to the best of my knowledge, true and correct.

Signature



Date

7/3/2007

SUBMISSION REQUIREMENTS

A. GENERAL

Are the plans submitted with the Construction Certificate Application in accordance with the Development Consent?

Yes ☒ No ☐

Have all the conditions of Development Consent relating to the issue of the Construction Certificate been fully complied with?

Yes ☒ No ☐

If you have answered NO to either of the above questions, then you will need to speak with the Accredited Certifier BEFORE LODGING YOUR APPLICATION.

B. ALL PROPOSALS (has the following required information been submitted?)

Yes	No	Not Applicable
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In the case of an application for a Construction Certificate for building work:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Three (3) copies of detailed architectural plans and specifications

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
-------------------------------------	--------------------------	--------------------------

The plan for the building must consist of a general plan drawn to a scale not less than 1:100 and a site plan drawn to a scale not less than 1:200. The general plan of the building is to:

- show a plan of each floor section
- show a plan of each elevation of the building
- show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
- indicate the height, design, and full construction details
- indicate the provision for fire safety and fire resistance (if any)

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--------------------------	--------------------------	-------------------------------------

Where the proposed building work involves any alteration or addition to, or rebuilding of, an existing building, all copies of the general plan are to be coloured or otherwise marked to the satisfaction of the Council to adequately distinguish the proposed alteration, addition or rebuilding with a separate letter listing the proposed changes being submitted.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/> <i>win</i>
-------------------------------------	--------------------------	--

3 copies of a specification:

- to describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
- state whether the materials proposed to be used are new or second hand and give particular

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or otherwise marked to the satisfaction of the Accredited Certifier to adequately distinguish the modification.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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If the proposed building work involves a modification to previously approved plans and specification which were subject of a Development Consent, has the original Development Consent been modified by Council?

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Except in the case of an application for, or in respect of domestic building work:

- a list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated, and
- if the application relates to a proposal to carry out any alteration or rebuilding of, or addition to, an existing building, a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated. This list must specify the standard of design of each of those fire safety measures to which they were originally installed.
- This list must describe the extent, capability and basis of design of each of the measures concerned.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Copy of BASIX Certificate & Report.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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All other documentation to satisfy conditions of Development Consent.

HOME BUILDING ACT 1989 (as amended) OWNER/BUILDER REQUIREMENTS

Applicants for work at a residential property with a value of work over \$12,000 require insurance as specified in the Home Building Act 1989.

Owner Builders require Property Owner Builder's Permit issued by the Department of Fair Trading for all projects over \$5,000. In addition to this permit all projects valued in excess of \$12,000 may also require a contract of insurance under the provisions of the Home Building Act 1989 as amended. This requirement will take effect should the property owner offer the property for sale in the ensuing period of 7 years.

Enquiries on any matters relevant to this section should be taken up with the Department of Fair Trading at Level 21, Astra House, 227 Elizabeth Street, Sydney (ph: 133220).

LONG SERVICE LEVY (applies to all classes of buildings)

A Long Service Levy at 0.35% of the cost of works is payable on projects valued \$25,000 or more. This sum can be paid directly to the Long Service Payments Corporation or to Council acting as an agent to the Corporation. Partial exemption from the levy may be granted to non profit organizations, churches and to owner/builders. The levy may also be paid in instalments. Application forms for these exemptions are available from Council but all enquiries in this regard should be address to the Long Service Payments Corporation.

THE CONSTRUCTION CERTIFICATION CANNOT BE ISSUED UNLESS THE LONG SERVICE LEVY AND HOME BUILDING ACT 1989 INSURANCE (APPLICABLE TO RESIDENTIAL PROPERTIES) HAVE BEEN PAID, OR EVIDENCE OF THE EXEMPTION PROVIDED TO COUNCIL.

PARTICULARS OF THE PROPOSAL

What is the area of the land (m ²)? 4435.81	Gross floor area of building (m ²) as proposed:
What are the current uses of all or parts of the building(s)/land? Residential	Location: 1178 Barrenjoey Rd Use: Palm Beach
Does the site contain a dual occupancy?	What is the gross floor area of the proposed addition or new building (sq metres)?
What are the proposed uses of all parts of the building(s) land? Residential	Number of pre-existing dwellings:
Number of dwellings to be demolished:	How many dwellings proposed?
How many storeys will the building consist of?	Will the new building be attached to the existing building? Will the new building be attached to any new building?

MATERIALS TO BE USED

The following information must be supplied for the Australian Bureau of Statistics:

Place a tick (✓) in the box which best describes the materials the new work will be constructed of:

WALLS	FLOOR	ROOF	FRAME
Brick veneer <input type="checkbox"/>	Concrete <input checked="" type="checkbox"/>	Aluminium <input checked="" type="checkbox"/>	Timber <input checked="" type="checkbox"/>
Full brick <input checked="" type="checkbox"/>	Timber <input type="checkbox"/>	Concrete <input type="checkbox"/>	Steel <input type="checkbox"/>
Single brick <input type="checkbox"/>	Other <input type="checkbox"/>	Concrete tile <input type="checkbox"/>	Other <input type="checkbox"/>
Concrete block <input type="checkbox"/>	Unknown <input type="checkbox"/>	Fibrous cement <input type="checkbox"/>	Unknown <input type="checkbox"/>
Concrete/masonry <input type="checkbox"/>		Fibreglass <input type="checkbox"/>	
Concrete <input type="checkbox"/>		Masonry/terracotta shingle <input type="checkbox"/>	
Steel <input type="checkbox"/>		Tiles <input type="checkbox"/>	
Fibrous cement <input type="checkbox"/>		Slate <input type="checkbox"/>	
Hardiplank <input type="checkbox"/>		Steel <input type="checkbox"/>	
Timber/weatherboard <input type="checkbox"/>		Terracotta tile <input type="checkbox"/>	
Cladding-aluminium <input type="checkbox"/>		Other <input type="checkbox"/>	
Curtain glass <input type="checkbox"/>		Unknown <input type="checkbox"/>	
Other <input type="checkbox"/>			
Unknown <input type="checkbox"/>			

Pittwater Council

OFFICIAL RECEIPT

18/06/2007 Receipt No 217753

To lee martin

52 marina parade
avalon

Applic Reference	Amount
GL Re QLSL-Buil 1 x n0266/05	\$535.00

Total: \$535.00

Amounts Tendered

Cash	\$0.00
- Cheque	\$0.00
Db/Cr Card	\$535.00
Money Order	\$0.00
Agency Rec	\$0.00
Total	\$535.00
Rounding	\$0.00
Change	\$0.00
Nett	\$535.00

Printed 18/06/2007 1:06:58

Cashier LScema



David Auster, Planner
8am to 5.30pm Mon - Thurs, 8am to 5pm Fri
Phone 9970 1111

DA No N0266/05

In all correspondence please
quote this number

12/6/2007

Jan Wagner
1178 Barrenjoey Rd
Palm Beach, NSW 2108

Dear Sir/Madam,

**Re: Deferred Commencement Conditions – Development Application N0266/05,
1178 Barrenjoey Rd, Palm Beach.**

I refer to the deferred commencement condition 1 contained within the aforementioned consent, and your submission of information on 24/4/2007.

Please be advised that pursuant to Regulation 95 (5) of the Environmental Planning and Assessment Regulation 2000, Council considers the details provided in accordance with deferred commencement Conditions 1 contained in Part 1 of the conditions of Development Consent are satisfactory. The following documentation therefore forms part of the consent documentation:

- Geotechnical Risk Management Policy For Pittwater Form No.1 dated 10 April 2007
Prepared by Jack Hodgson Consultants Pty Ltd

In this regard, the Consent becomes operative from the date of this letter subject to the conditions listed in Part 2 of the Consent.

Yours faithfully

David Auster
PLANNER

COUNCIL
COPY

**Pittwater
Council**

pittwateriga.com.au e-mail: pittwater_council@pittwater.nsw.gov.au

BUILDING CERTIFICATE NO: BC0036/07**UNDER SECTION 149A OF THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT, 1979 (AS AMENDED)****THE PITTWATER COUNCIL****CERTIFIES THAT** in relation to the building or part identified below, the Council –

- (a) By virtue of anything existing or occurring before the date of inspection stated in this certificate; or
- (b) Within 7 years after that date by virtue of the deterioration of the building or part solely by fair wear and tear, WILL NOT –
- (c) Make an order requiring the building to be repaired, demolished, altered or rebuilt by reason only of its design, appearance, form of construction or state of repair; or
- (d) Take proceedings for an order or injunction requiring the demolition, alteration, addition, or rebuilding of or to the building or part, by reason only of its design, appearance, form of construction or state of repair; or
- (e) Take proceedings in relation to any encroachment by the building or part onto land vested in or under the control of the Council.

IDENTIFICATION OF BUILDING**Property Address: 1178 BARRENJOEY ROAD PALM BEACH NSW 2108****Nearest Cross Street: BEACH ROAD Side of Street: EAST****Classification of Building: 10b Whole/Part: Whole of Building****Description: Retaining walls and garage floor slab****Date of Inspection: 26/03/2007 Owner: J WAGNER & S WAGNER****Legal Description of Land: Lot 1 DP 105986****SCHEDULE**

The following written information was used by the Council in deciding to issue this certificate:
Survey prepared by Dunlop, Thorpe & Co Pty Ltd dated 13/03/2007 Ref No 7687 & report prepared by Jack Hodgson Consultants Pty Ltd Ref No VR 23988, dated 22/02/2007

Dated 27/03/2007

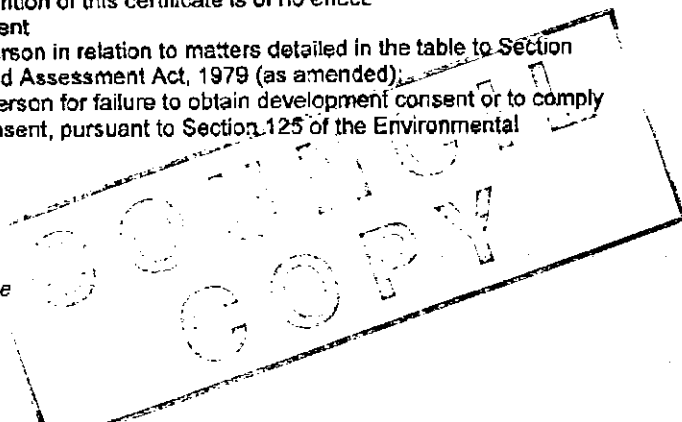
Mark Ferguson
GENERAL MANAGER

per: 

Applicant's Name: JAN WAGNER, SHIRLEY WAGNER
1178 BARRENJOEY ROAD PALM BEACH NSW 2108

NB:

1. An order made or proceedings taken in contravention of this certificate is of no effect.
2. The issue of a Building Certificate does not prevent
 - (i) orders from being made against any person in relation to matters detailed in the table to Section 121B of the Environmental Planning and Assessment Act, 1979 (as amended);
 - (ii) proceedings being taken against any person for failure to obtain development consent or to comply with any conditions of development consent, pursuant to Section 125 of the Environmental Planning and Assessment Act, 1979.



SURVEY INFORMATION PROVIDED BY:-
PAUL KEEN & COMPANY
LAND AND ENGINEERING SURVEYORS
138 WALLUMATTA ROAD, NEWPORT 2106.
PH. 9997-3088
REF. 3105 DATE OF SURVEY: 4.4.05

1:100 DETAIL OF CONSTRUCTION ZONE ONLY
REFER SITE PLAN AT 1:200 FOR TOTAL GROUNDS

INDICATES NATURAL GROUND SECTIONS
TO AUSTRALIAN HEIGHT DATUM BY SURVEY

EX. GARAGE
EX. CONSTRUCTION MATERIALS
TIMBER FRAMED WALLS ON CONCRETE SLAB
EXTERIOR CLADDING OF FIBRO WEATHERBOARD PANELS
TIMBER FRAMED WINDOWS
ROOF FRAME AS MANUFACTURED TRUSSES WITH TILE ROOF
INTERIOR & CEILING UNLINED
EXISTING CONDITION
THERE IS EVIDENCE OF WHITE ANT ATTACK
TO BOTTOM PLATES OF TIMBER FRAME
WINDOWS SHOW MAJOR WOOD ROT & RAIN INGRESS
THE ROOF FRAME SHOWS STRUCTURAL DISTORTION
DUE TO MASS WEIGHT OF ROOF TILES
OVERALL CONDITION DOES NOT JUSTIFY REFURBISHMENT
EXISTING EXTERIOR CLADDING MAY CONTAIN ASPESTOS

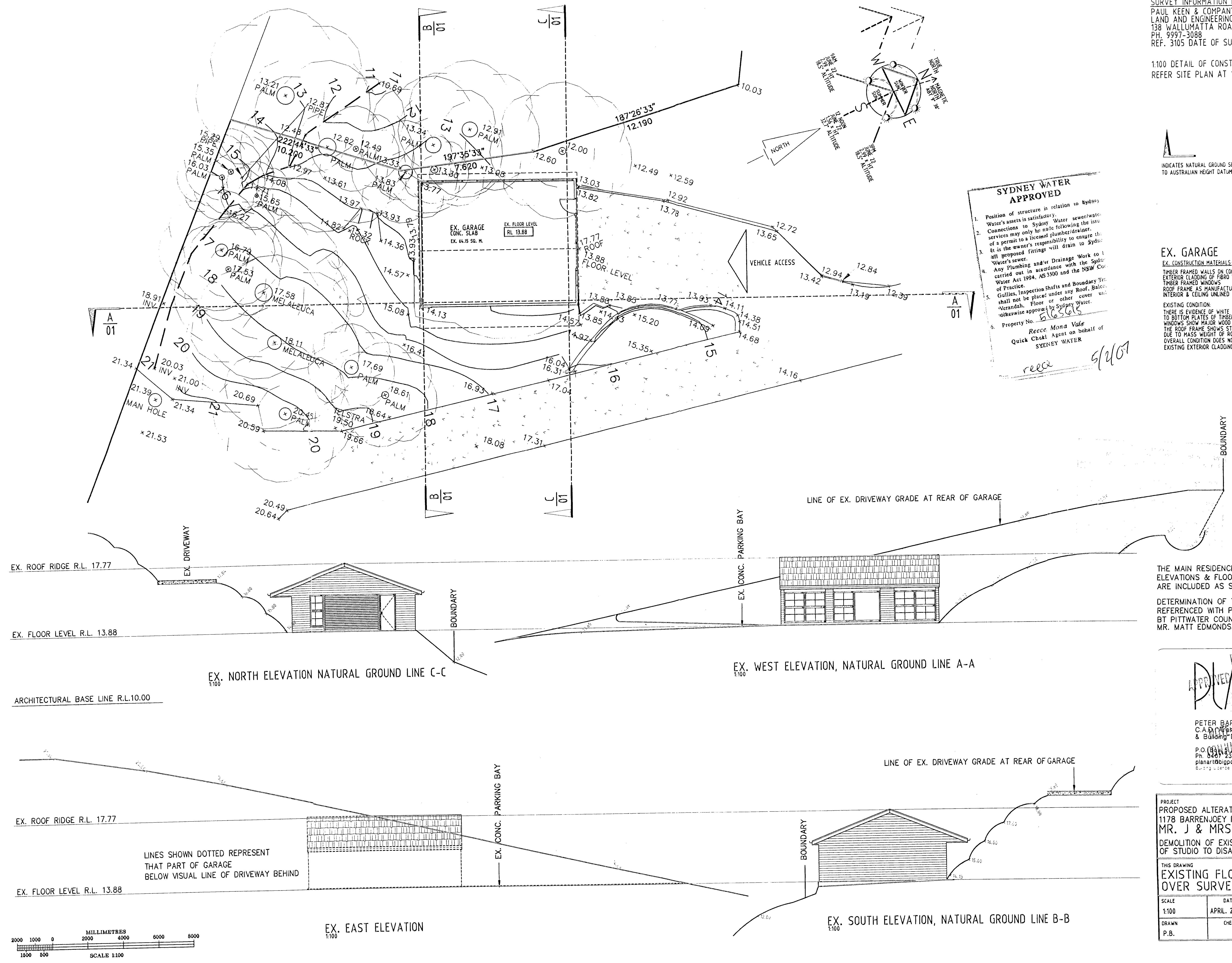
SYDNEY WATER APPROVED
1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Water's assets to Sydney Water sewer/water connections may only be made following the issuance of a permit to a licensed plumber/drafter. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
3. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
4. Gallies, Inspection Shafts and Boundary Ties shall not be placed under any Roof, Balcony, Verandah, Floor or other cover, unless otherwise approved by Sydney Water.
5. Property No. 516266
Reece Mona Vale
Quick Check Agent on behalf of SYDNEY WATER
9/10/07

NO 266/CS 10 4.11.05
(under 714 CS, 12.0.01, 2.7.01 & 10.10.01)
2007/12/24
Reece 17 OCT 2007

THE MAIN RESIDENCE REMAINS UNALTERED
ELEVATIONS & FLOOR PLANS OF EX. MAIN RESIDENCE
ARE INCLUDED AS SEPARATE DRAWINGS
DETERMINATION OF THIS DA SHOULD BE CROSS
REFERENCED WITH PRE LODGEMENT SITE INSPECTION
BT PITTSWATER COUNCIL DEVELOPMENT OFFICER
MR. MATT EDMONDS., DATED OCTOBER 20, 2004

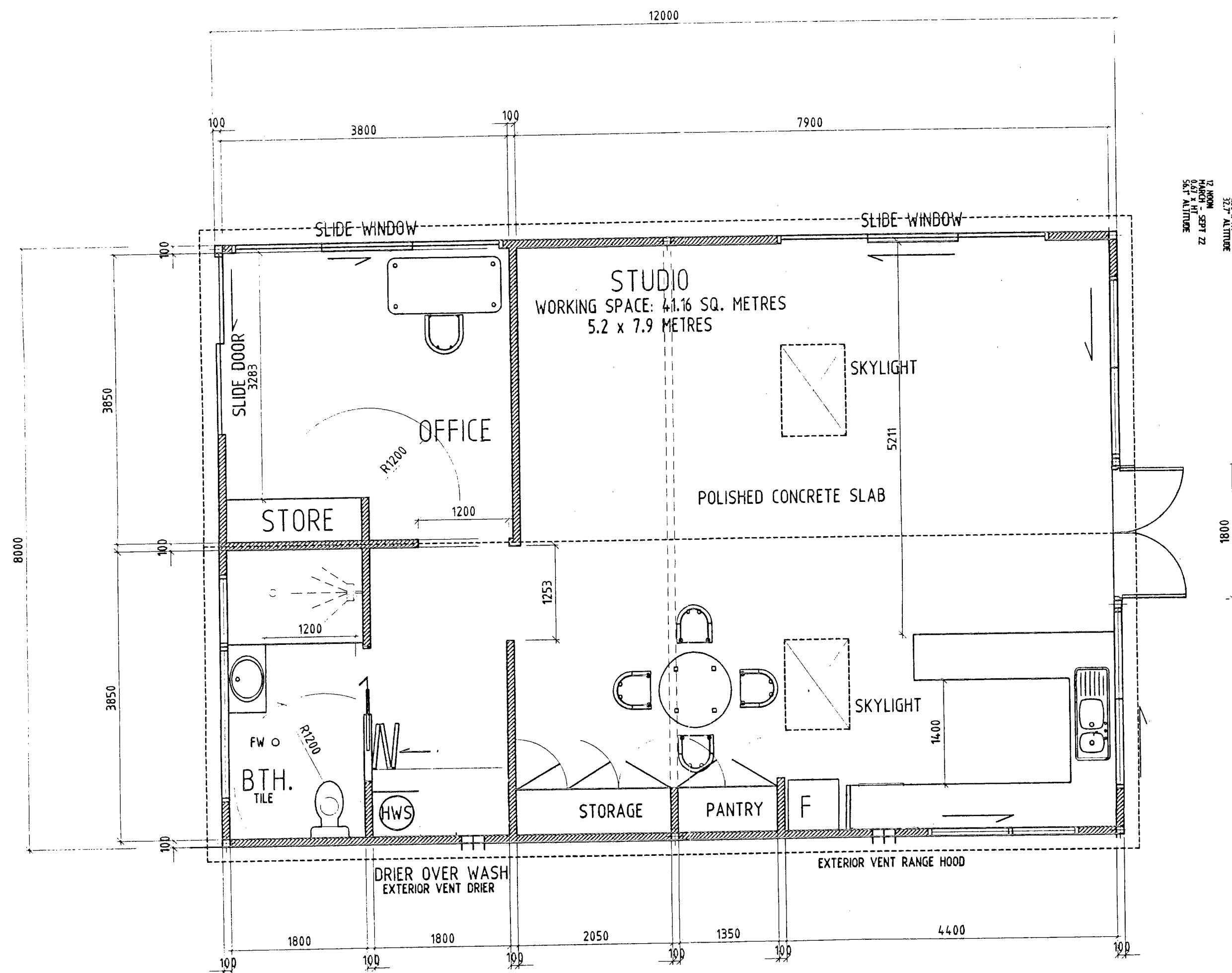
PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS
PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
CONSENT
PETER BARKER
C.A. Drafting & Building Design
P.O. Box 1111, Besser, NSW 2107
Ph. 9481 236
Plans 1:200 ground level

PROJECT PROPOSED ALTERATIONS AND ADDITIONS, AT: 1178 BARRENJOEY ROAD, PALM BCH, NSW 2107 MR. J & MRS. S WAGNER DEMOLITION OF EXISTING GARAGE & CONSTRUCTION OF STUDIO TO DISABLED PERSONS CODE			
THIS DRAWING EXISTING FLOOR PLANS & ELEV. OVER SURVEY			
SCALE 1:100	DATE APRIL, 2005	SHEET No. 1	OF 5
DRAWN P.B.	CHECKED	PROJECT No. WAG-EX.	



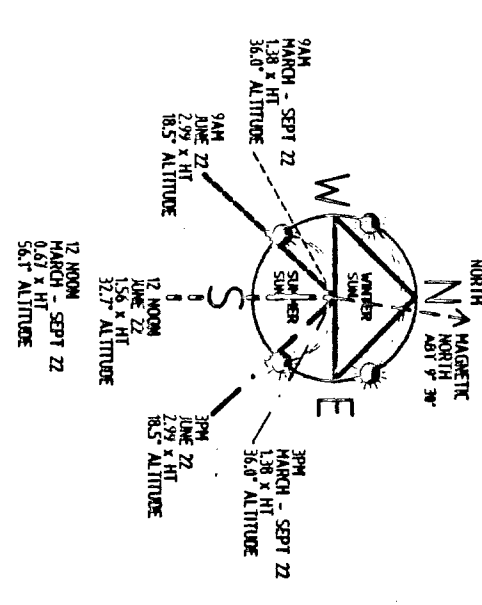
NOTE: NO LAUNDRY OR COOKING FACILITIES ARE TO BE INSTALLED. REFER TO CONDITION E4 OF THE DEVELOPMENT CONSENT.

NOTE: CONCRETE SLAB & RETAINING WALLS APPROVED UNDER BUILDING CERTIFICATE NO. BC0038/07, DATED 27 MARCH 2007



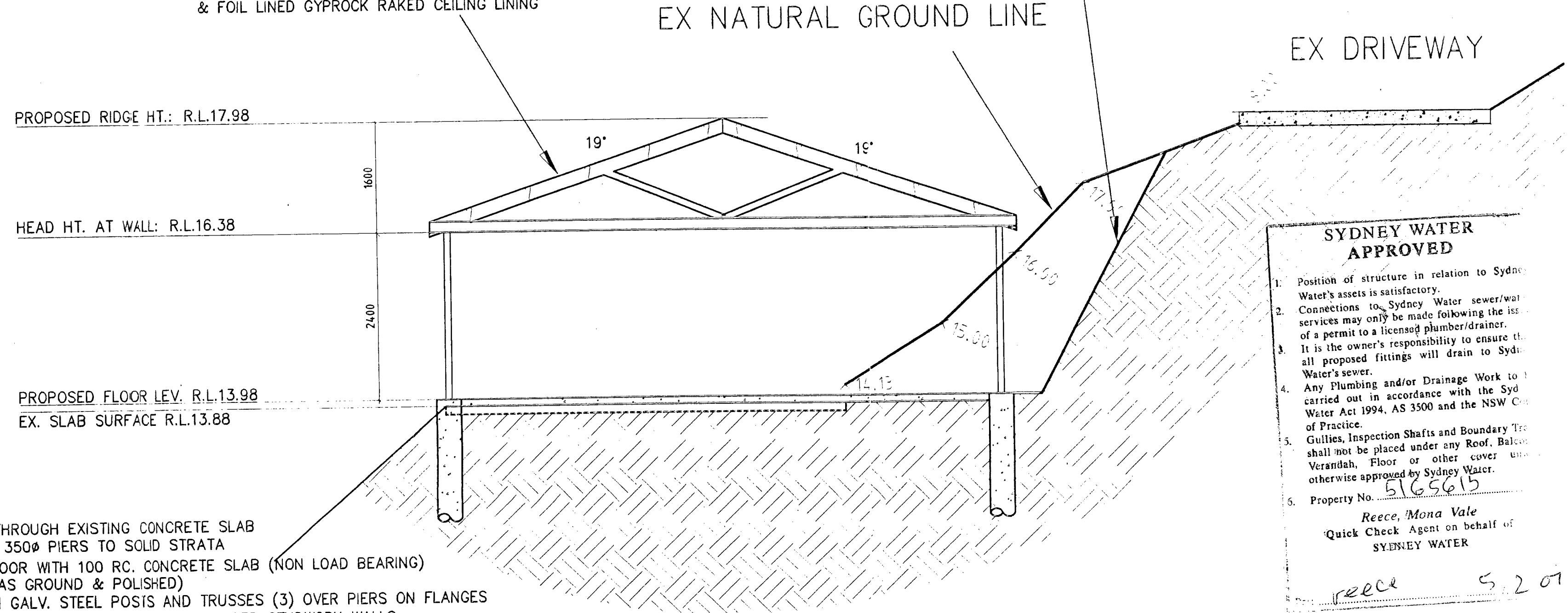
PROPOSED FLOOR PLAN
1:50

NOTE: SET OUT DIMENSIONS ARE TO FRAME & DO NOT INCLUDE 50MM STONE VENEER



RAKED INTERNAL CEILING FOLLOWING PITCH
MIDDLE TRUSS VISIBLE AS ARCHITECTURAL FEATURE
FIXED PANEL GLASS BETWEEN TRUSS PANELS
AT EITHER GABLE END OF BUILDING
ROOF FRAMING AS GALV. "Z" PERLINS TO LUGS ON FACE OF TRUSS
ROOF AS "COLORBOND" TRIM DECK CLIPLOCK
ALSO SHORT "Z" PERLINS ON LUGS FOR END GABLE EAVE
END GABLE EAVE WITH PAINTED VILLABOARD SOFFIT LINING
WITH FOIL LINED INSULATION BLANKET
& FOIL LINED GYPROCK RAKED CEILING LINING

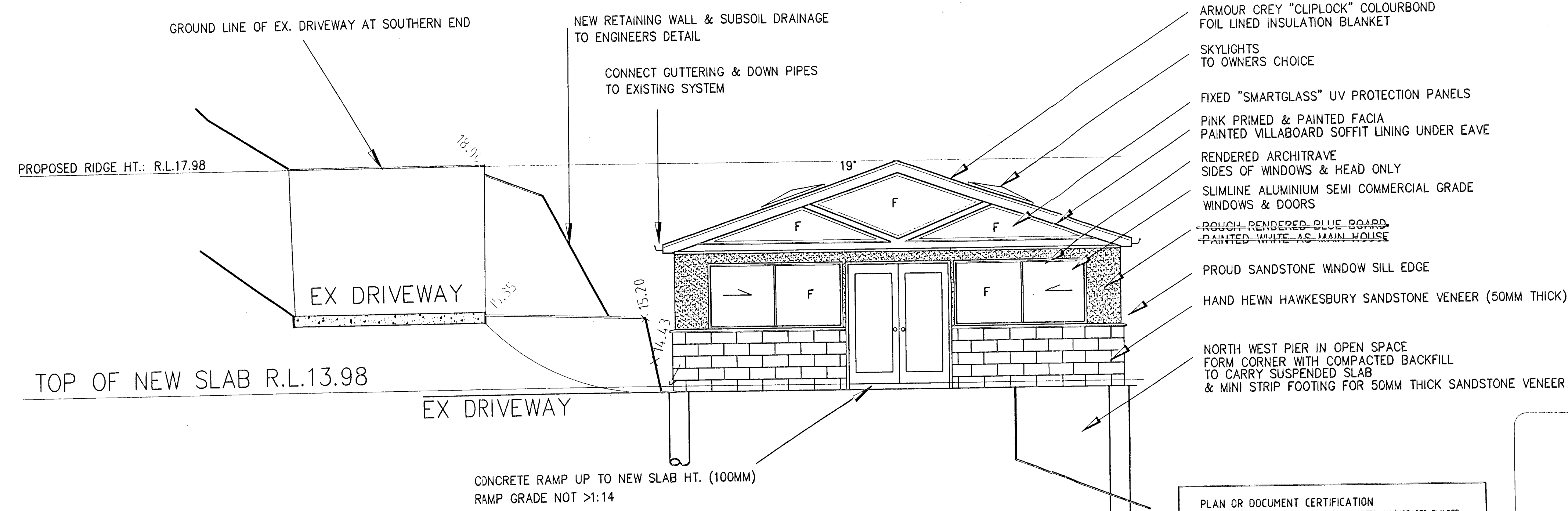
ENGINEERING DESIGN REQUIRED FOR BATTERED RETAINING WALL
& SUBSOIL DRAINAGE
INCORPORATED INTO MINOR STONE RETAINING WALL
AS TAPER TO NORTH SIDE OF BUILDING



BREAK THROUGH EXISTING CONCRETE SLAB
& BORE 350mm PIERS TO SOLID STRATA
FACE FLOOR WITH 100 RC CONCRETE SLAB (NON LOAD BEARING)
(FINISH AS GROUND & POLISHED)
POSITION GALV. STEEL POSIS AND TRUSSES (3) OVER PIERS ON FLANGES
FLANGES TO BE CONSEALED UNDER TIMBER STUDWORK WALLS

PROPOSED STUDIO SECTION (SOUTH ELEVATION)

1:50



NORTH ELEVATION 1:50

NOTE: WALLS ARE TO BE RENDERED BRICK & COLOURS CONSISTENT WITH SECTION D12.3 OF P21 DCP IN ACCORDANCE WITH CONDITION B8 OF THE DEVELOPMENT CONSENT.

NOTES

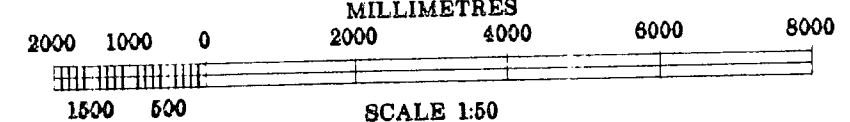
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.O. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER WHO WILL BE RESPONSIBLE FOR THE ACCURATE SETTING OUT OF THE JOB. ANY DISCREPANCIES MUST BE RESOLVED PRIOR TO COMMENCEMENT OF WORK.
2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT SAA BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
4. IT IS THE OWNERS RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY SEWER MAINS OR EASEMENTS OR ANY OTHER CONDITIONS WHICH WILL AFFECT THE BUILDING DESIGN.
5. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
6. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE A.S.1684.
7. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
8. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
9. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
10. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
11. ALL ELECTRICAL, POWER & LIGHTING OUTLETS AS DETERMINED BY OWNER.
12. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
13. ANY DETAILING IN ADDITION TO WHAT IS SHOWN ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the use of a permit to a licensed plumber/drafter.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Ties shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 5165615

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

5.2.07



PLAN OR DOCUMENT CERTIFICATION
I am a qualified BUILDING DESIGNER/CAD DRAFTSMAN/LICENCED BUILDER
I hold the following qualifications or Licence No.
386130 (Carpenter / Joiner Trade Cert.) & UTS Computer Drafting
Further I am appropriately qualified to certify this component of the project
I hereby state that these plans or details comply with the provisions of
development consent, the provisions of the Building Code of Australia
and/or relevant Australian industry standards, and comply with
AS1100.301 (standards for Architectural Drafting)
PETER E BARKER 17.1.05
Name Date Signature

PLANART

PETER BARKER
C.A.D. Architectural Drafting
& Building Design

P.O. Box 5 Avon Beach NSW 2107
Ph. 0407 236 166 or 9973 4746
planart19@bigpond.com.au
Building licence 110 5013 - 4811 75 612 424 785

PROJECT		
PROPOSED ALTERATIONS AND ADDITIONS, AT: 1178 BARRENJOEY ROAD, PALM BCH, NSW 2107 MR. J & MRS. S WAGNER		
DEMOLITION OF EXISTING GARAGE & CONSTRUCTION OF STUDIO TO DISABLED PERSONS CODE		
THIS DRAWING		
PROPOSED FLOOR PLAN STRUCTURAL SECTION ~ FINISHES		
SCALE	DATE	SHEET No. OF
1:50	MAR. 2005	3 OF 5
DRAWN	CHECKED	PROJECT No.
P.B.		WAG-01

GROUND LINE OF EX. DRIVEWAY AT SOUTHERN END

PROPOSED RIDGE HT.: R.L.17.98

HEAD HT. AT WALL: R.L.16.38 (UNDER TRUSS)

EX DRIVEWAY

PROPOSED FLOOR LEV. R.L.13.98
EX. SLAB SURFACE R.L.13.88

CONCRETE RAMP UP TO NEW SLAB HT. (100MM)
RAMP GRADE NOT >1:14

NORTH ELEVATION
1:50

PROPOSED RIDGE HT.: R.L.17.98

HEAD HT. AT WALL: R.L.16.38 (UNDER TRUSS)

PROPOSED FLOOR LEV. R.L.13.98

WEST ELEVATION
1:50

PROPOSED RIDGE HT.: R.L.17.98

HEAD HT. AT WALL: R.L.16.38 (UNDER TRUSS)

PROPOSED FLOOR LEV. R.L.13.98

EAST ELEVATION
1:50

BUILDERS NOTE:

THE SIZE SET OUT FOR THE SLAB IS 12.00M X 8.00M
THE SHS GALV. STEEL POSTS ARE 75MM X 75MM (THICK WALL)
THE TIMBER STUD WORK IS 75MM X 45MM
THE EXTERIOR BLUEBOARD CLADDING IS TO COVER THE STEEL POSTS ON CORNERS
THE STEEL ROOF TRUSSES ARE 150MM X 100MM (ON EDGE)
THE STUD WORK & STEEL POSTS ARE TO BE CENTRED UNDER THE 100MM TRUSS
SO THE INTERNAL GYPROCK & EXTERNAL RENDER
FINISH FLUSH WITH THE OUTSIDE FACES OF THE STEEL TRUSS

INTERNAL WINDOW FINISH IS WITH FALSE REVEAL
& CONVENTIONAL ARCHITRAVES ALL ROUND

THE EXTERNAL WINDOW FINISH IS TO RETURN THE BLUEBOARD
TO THE ALUMIN. WINDOW FRAME, AT SIDES AND HEAD
RENDERED EXTERNAL ARCHITRAVES, BLUE BOARD CORNERS MUST NOT CRACK

THE ALUMIN. FRAME SITS ON A PROFILED SANDSTONE SILL
THE SILL BECOMES A DECORATIVE TRIM, ALL AROUND THE BUILDING
AS A TRIM BETWEEN THE SANDSTONE VENEER BELOW &
THE RENDERED BLUE BOARD ABOVE

PLAN OR DOCUMENT CERTIFICATION		
I am a qualified BUILDING DESIGNER/CAD DRAFTSMAN/LICENCED BUILDER		
I hold the following qualifications or Licence No.		
386130 (Corporator /Joiner Trade Cert.) & UTS Computer Drafting		
Further I am appropriately qualified to certify this component of the project		
I hereby state that these plans or details comply with the conditions of		
development consent, the provisions of the Building Code of Australia		
and/or relevant Australian industry standards, and comply with		
AS1000.301 (standards for Architectural Drafting)		
PETER E BARKER	17.1.05	
Name	Date	Signature

SOUTH ELEVATION
1:50

150mm HIGH X 100mm WIDE ROOF TRUSS
NOTE: 75mm STUD WORK & 75mm STEEL POST
CENTRED UNDER (INTERNAL & EXT. FINISHES FLUSH)

COVER STRIP (SAME COLOUR AS PAINTED TRUSS)

RETURN BLUEBOARD & RENDER TO EXTERNAL WINDOW FRAME
RENDERED ARCHITRAVES, HEAD & SIDE ONLY
ARCHITRAVES TO BE SILICON SEALED TO BLUE BOARD

LOW PROFILE SEMI-COMMERCIAL GRADE
ALUMINIUM POWDERCOATED SLIDING WINDOWS
WITH FLY SCREEN REBATE

PROFILED SANDSTONE WINDOW SILL

75 X 45 TIMBER STUD WORK (MAX. CENTRES 450)
INSULATION BATTS BETWEEN STUDS

200mm HIGH HAND EDGE SANDSTONE VENEER
EPOXY GLUED TO BLUE BOARD
10MM NATURAL CEMENT GROUT
BOTTOM COURSE TO COVER SLAB EDGE

CCA TREATED TIMBER BOTTOM PLATE

ALCORE FLASHING

WALL SECTION
NTS

150mm HIGH X 100mm WIDE
TIE BETWEEN ROOF TRUSSES

SMOOTH INTERNAL WELD

SET GYPROCK TO STEEL TRUSS
SYDNEY WATER
APPROVED

1. Position of structure in relation to Syd. Water's assets is satisfactory
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drafter.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Drains, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.

Reece, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

FALSE REVEAL & CONVENTIONAL
ARCHITRAVES ALL ROUND

reece 5.2.07

PITTWATER COUNCIL
CONVENTIONAL
APPROVED DEVELOPER SIGNATURE
NOT THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE CONDITIONS OF
DEVELOPMENT CONSENT

PLANART

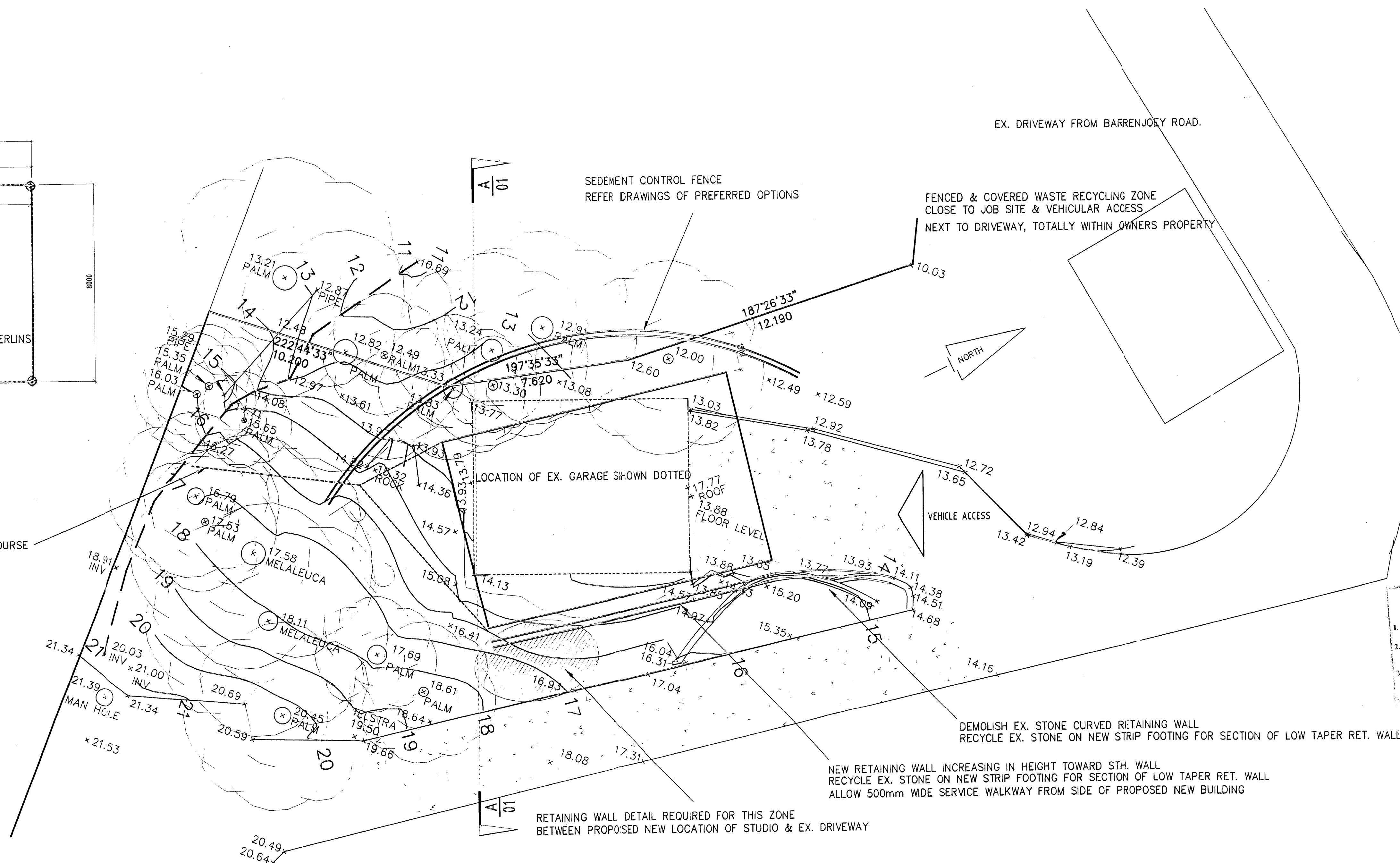
PETER BARKER
C.A.D. Architectural Drafting
& Building Design

P.O. Box 5 Avalon Beach NSW 2107
Ph. 0407 236 086 or 9973 4746
planart@bigpond.com.au
Building Licence No. 386130 ABN 78 813 424 756

PROJECT PROPOSED ALTERATIONS AND ADDITIONS, AT: 1178 BARRENCEY ROAD, PALM BCH., NSW 2107 MR. J & MRS. S WAGNER DEMOLITION OF EXISTING GARAGE & CONSTRUCTION OF STUDIO TO DISABLED PERSONS CODE			
THIS DRAWING PROPOSED ELEVATIONS			
SCALE 1:50	DATE MAR. 2005	SHEET No. 4	OF 5
DRAWN P.B.	CHECKED	PROJECT No. WAG-01	



EX. STORM WATER SYSTEM
DISCHARGES INTO NATURAL WATER COURSE
ALL STORM WATER PIPES 100Ø UPVC
NO FALL <1:100



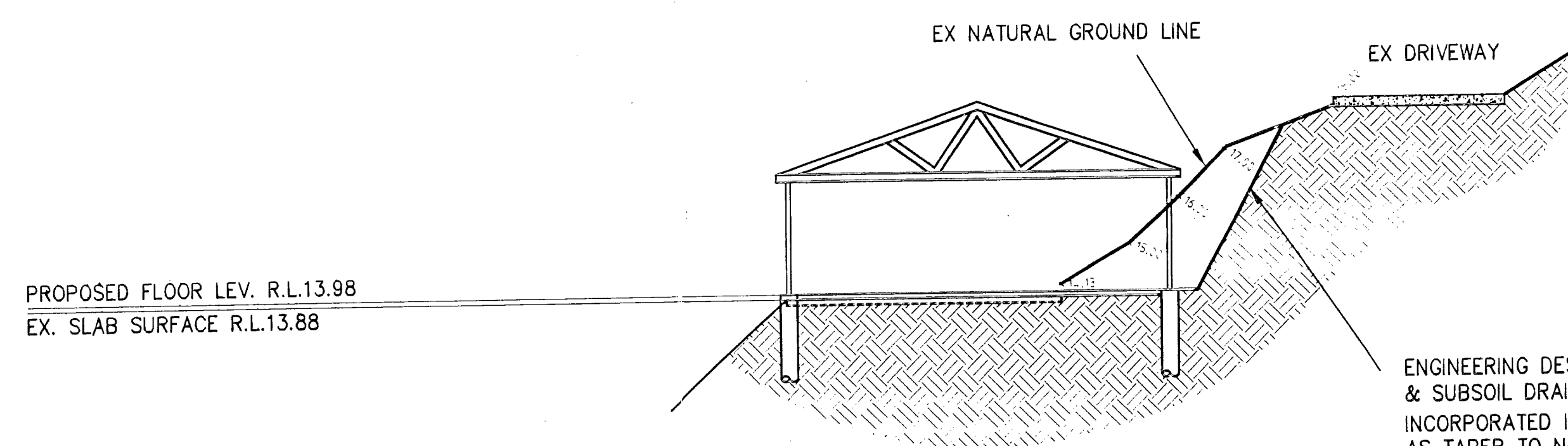
SYDNEY WATER
APPROVED

- APPROVED**
1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to the sewer/water member/drafter.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gas Inspection Shifts and Boundary Triangulation
6. The structure shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
- Property No. 5169615

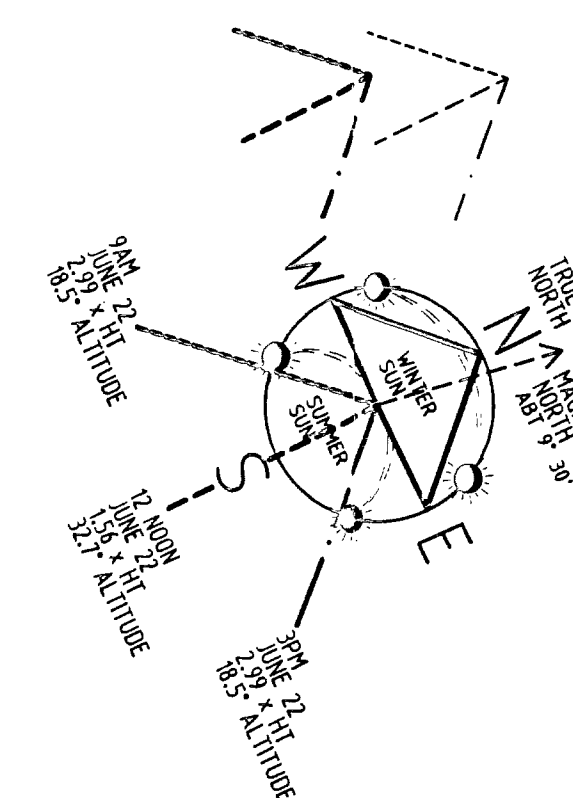
Property No. 5165619

Reeve, Mona Vale
Quick Check Agent on behalf of
SYDNEY WATER

recc 5.76



PROPOSED STUDIO LOCATION SECTION A-A
1:100



PETER BARKER
C.A.D. Architectural Drafting
& Building Design

P.O. Box 5 Avalon Beach NSW
Ph. 0407 236 086 or 9973 1774
planart@bigpond.com.au

PROPOSED ALTERATIONS AND ADDITIONS, AT:
BARRENJOEY ROAD, PALM BCH., NSW 2107
J & MRS. S WAGNER

THIS DRAWING
CLOSE SITE PLAN &
RETAINING WALL DETAIL

SCALE 1:100	DATE APRIL, 2005	SHEET No. 5 OF 5
DRAWN P.B.	CHECKED	PROJECT No. WAG-GEO

STORM WATER DISPOSAL
DEMOLITION MATERIALS LOCATION
SEDIMENT CONTROL FENCE LOCATION

**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate**

Development Application for _____ Name of Applicant
Address of site <u>1178 BARRENJOEY ROAD, PALM BEACH</u>

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I, J Hodgson on behalf of Jack Hodgson Consultants Pty Ltd
(insert name) (trading or company name)

on this the 19TH MARCH 2007

(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: RISK MANAGEMENT FOR BUILDING CERTIFICATE FOR FLOOR SLAB & RETAINING WALL AT 1178 BARRENJOEY ROAD, PALM BEACH

Report Date: 22ND FEBRUARY, 2007

Author: JACK HODGSON

Structural Documents list:

STUDIO ROOF MARKING PLAN & DETAILS DRAWING NO. 23988-S1

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

JACK HODGSON

(name)

J Hodgson
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 22/2/2007 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature _____

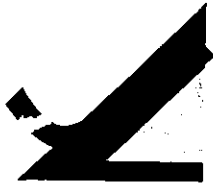
Name J HODGSON

Chartered Professional Status MEngSc FIEAust

Membership No. 149 788



ORIGINAL
COPY



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VR 23988C.
19th March, 2007.
Page 1.

The General Manager
Pittwater Council
P O Box 882
MONA VALE NSW 1660

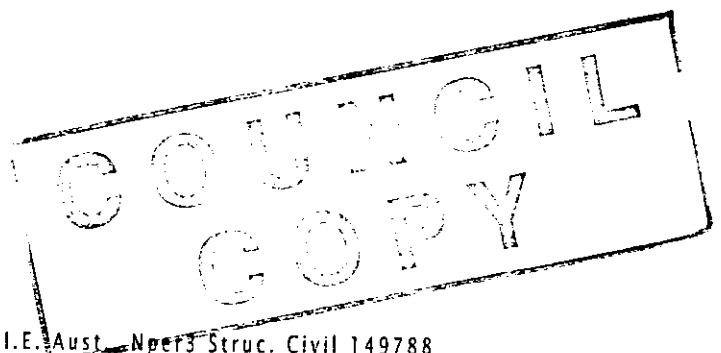
Dear Sir,

1178 BARRENJOEY ROAD, PALM BEACH

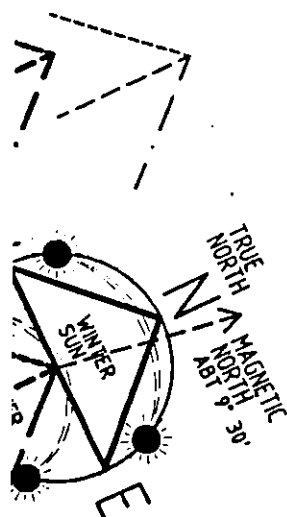
We have inspected the site at the subject address. There is no increase in roof area by the proposed addition and therefore the existing stormwater system will be adequate.

JACK HODGSON CONSULTANTS PTY. LIMITED.

**J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**



DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E.Aust., Nper3 Struc. Civil 149788
67 Darley Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926



SURVEY INFORMATION PROVIDED BY
 PAUL KEEN & COMPANY
 LAND AND ENGINEERING SURVEYORS
 138 WALLUMATTA ROAD, MARRICKVILLE
 PH. 9997-3088
 REF. 3105 DATE OF SURVEY 12/01

1:100 DETAIL OF CONSTRUCTION
 REFER SITE PLAN AT 1:200



INDICATES NATURAL GROUND SECTION
 TO AUSTRALIAN HEIGHT DATUM BT 5

SYDNEY WATER APPROVED

1. Position of structure in relation to Sydney Water's assets is satisfactory.
2. Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licensed plumber/drainier.
3. It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer.
4. Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of Practice.
5. Gullies, Inspection Shafts and Boundary Tanks shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water.
6. Property No. 5165615

Reece, Mona Vale
 Quick Check Agent on behalf of
 SYDNEY WATER

reece

5/2/07

EX. GARAGE

EX. CONSTRUCTION MATERIALS:

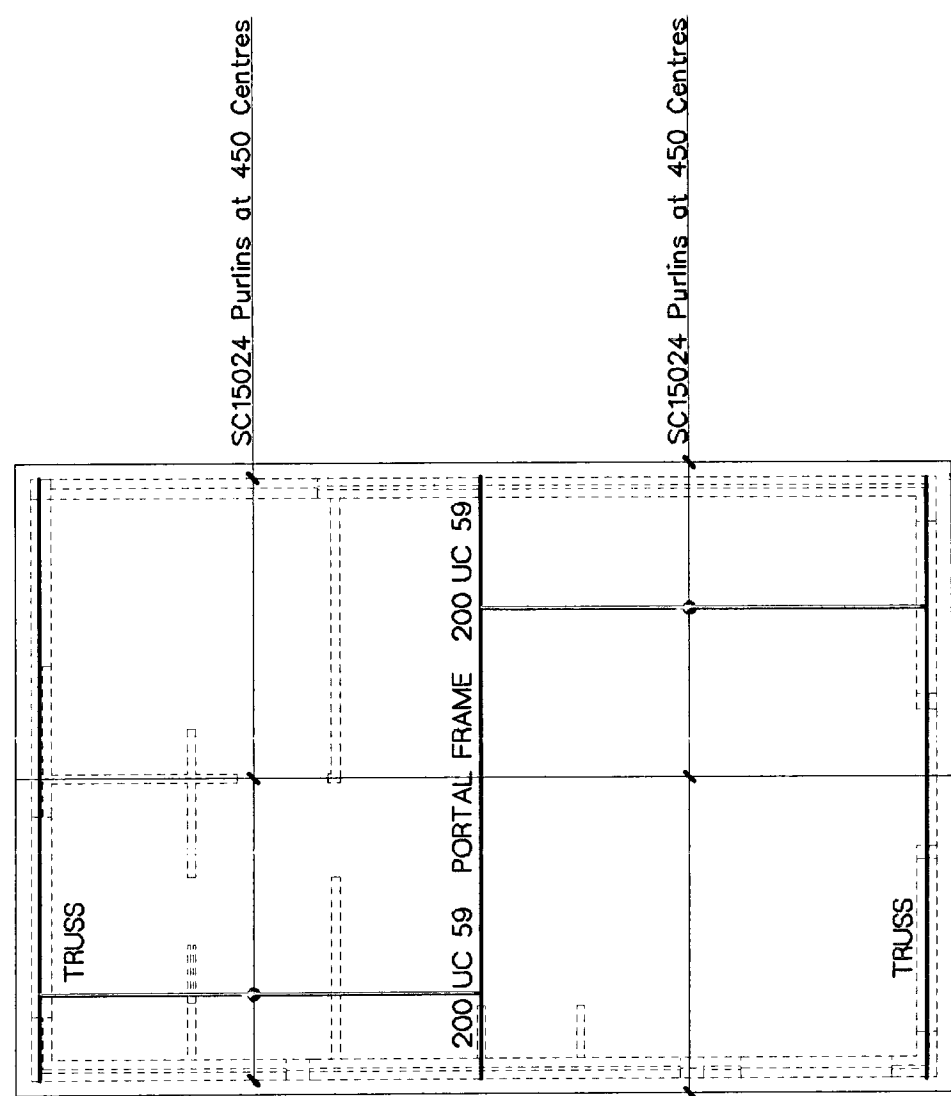
TIMBER FRAMED WALLS ON CONCRETE
 EXTERIOR CLADDING OF FIBRO WEAVER
 TIMBER FRAMED WINDOWS
 ROOF FRAME AS MANUFACTURED
 INTERIOR & CEILING UNLINED

EXISTING CONDITION:

THERE IS EVIDENCE OF WHITE ANTIMONY
 TO BOTTOM PLATES OF TIMBER FRAME
 WINDOWS SHOW MAJOR WOOD ROT
 THE ROOF FRAME SHOWS STRUCTURAL
 DUE TO MASS WEIGHT OF ROOF
 OVERALL CONDITION DOES NOT JUSTIFY
 EXISTING EXTERIOR CLADDING MATERIALS

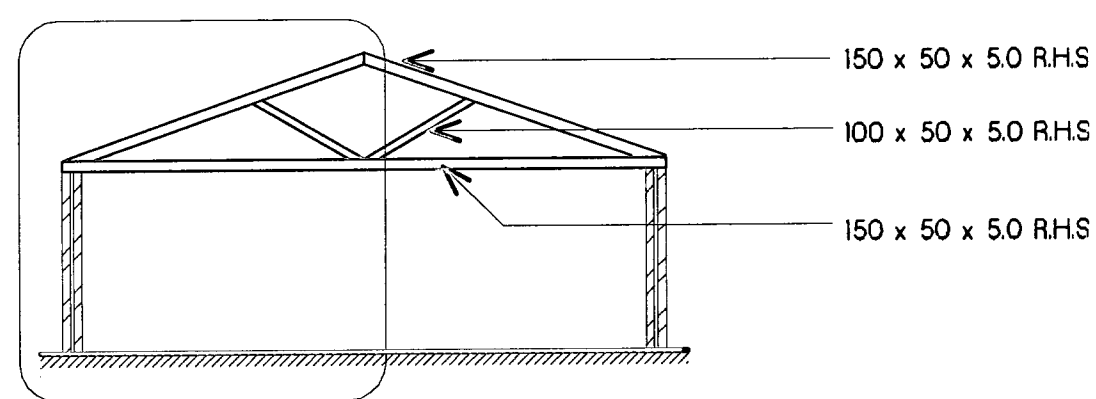
COUNCIL
 COPY

BOUNDARY

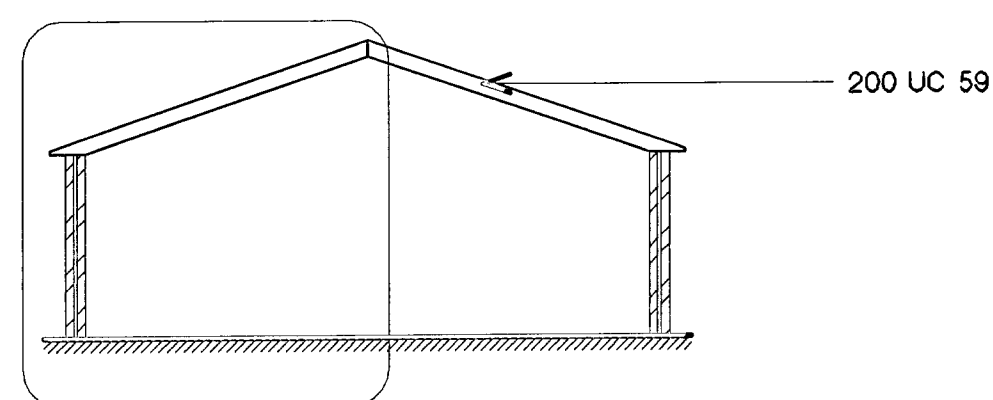


STUDIO ROOF MARKING PLAN
SCALE 1/100

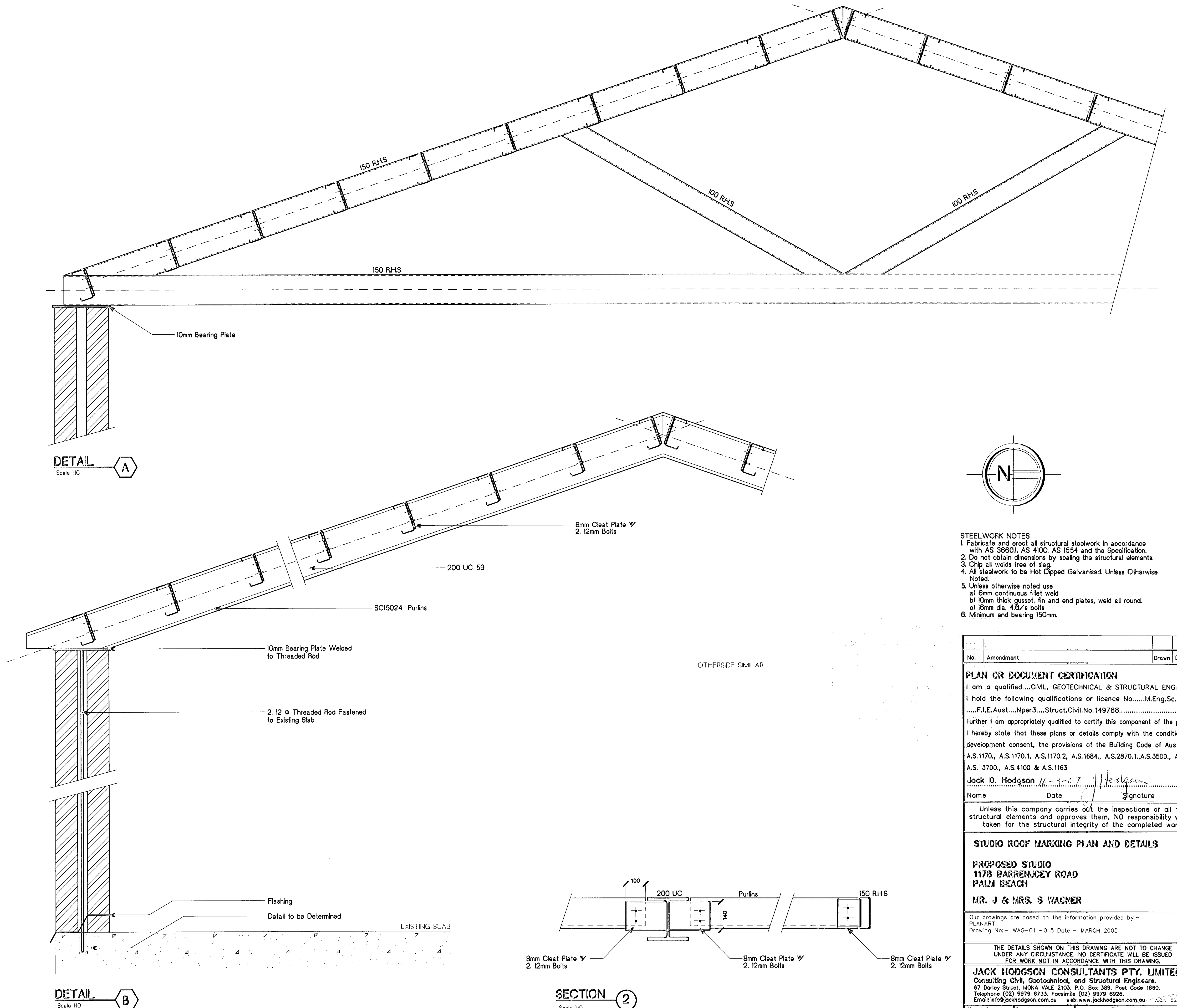
All beams to bear on adequate structural supports.
To be Confirmed on Site.



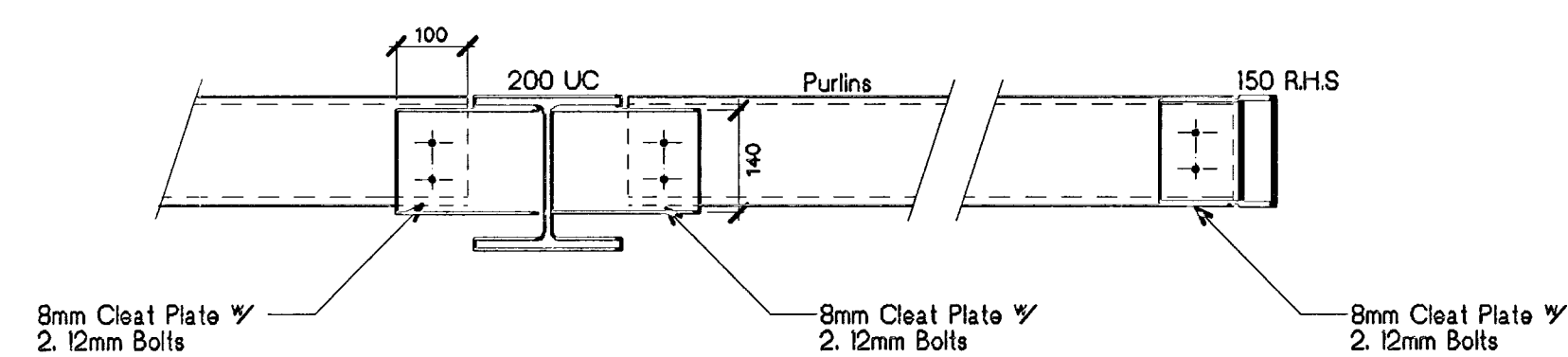
TRUSS ELEVATION
SCALE 1/100



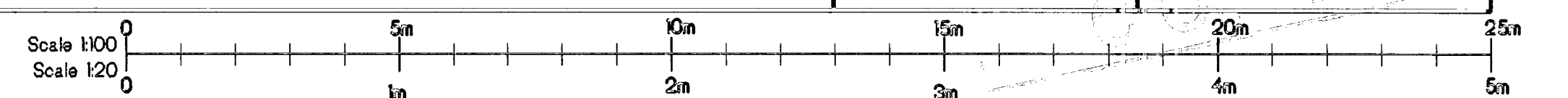
PORTAL FRAME ELEVATION
SCALE 1/100



OTHERSIDE SIMILAR



SECTION 2
Scale 1/10



- STEELWORK NOTES**
1. Fabricate and erect all structural steelwork in accordance with AS 3601, AS 4100, AS 1554 and the Specification.
 2. Do not obtain dimensions by scaling the structural elements.
 3. Chip all welds free of slag.
 4. All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
 5. Unless otherwise noted use:
 - a) 6mm continuous fillet weld
 - b) 10mm thick gusset, fin and end plates, weld all round
 - c) 18mm dia. 4.8/s bolts
 6. Minimum end bearing 150mm.

No.	Amendment	Drawn	Date
PLAN OR DOCUMENT CERTIFICATION I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER... I hold the following qualifications or licence No.....M.Eng.Sc.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788..... Further I am appropriately qualified to certify this component of the project. I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia. A.S.1170.1, A.S.1170.2, A.S.1170.3, A.S.1684, A.S.2870.1, A.S.3500, A.S.3600, A.S. 3700, A.S.4100 & A.S.1163 Jack D. Hodgson 16-3-07 <i>Jack D. Hodgson</i> Name Date Signature			
Unless this company carries out the inspections of all the structural elements and approves them, NO responsibility will be taken for the structural integrity of the completed work.			
STUDIO ROOF MARKING PLAN AND DETAILS PROPOSED STUDIO 1178 BARRENJOEY ROAD PALM BEACH MR. J & MRS. S WAGNER Our drawings are based on the information provided by:- PLANART Drawing No:- WAG-01 - 0 5 Date:- MARCH 2005			
THE DETAILS SHOWN ON THIS DRAWING ARE NOT TO CHANGE UNDER ANY CIRCUMSTANCE. NO CERTIFICATE WILL BE ISSUED FOR WORK NOT IN ACCORDANCE WITH THIS DRAWING.			
JACK HODGSON CONSULTANTS PTY. LIMITED. Consulting Civil, Geotechnical, and Structural Engineers. 67 Dorsey Street, MONA VALE 2103, P.O. Box 389, Post Code 1680. Telephone (02) 9779 8733, Facsimile (02) 9779 8926. Email: info@jackhodgson.com.au web: www.jackhodgson.com.au A.C.N. 063 405 011			
Designed JDH	Drawn MJC	Job No.	Drawing No.
Design Check JDH	Drawing Check SG	23988-S1	
Date	13 MARCH 2007		