

01 SITE PLAN/SITE ANALYSIS PLAN
1:250

02 SEDIMENT CONTROL FENCE
1:50

NOTE:

DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK

AMENDMENTS

LEGEND

AL ALUMINIUM

CL EXTERNAL CLADDING

CON CONCRETE

COS CHECK ON SITE

CP CUPBOARD

DP DOWNPIPE

DR DRAWER

DW DISHWASHER

EDB ELEC. DIST BOARD

EX EXISTING

EXB EXTERNAL BLIND

F FIXED GLASS

FC FIBRE CEMENT SHEET

FW FLOOR WASTE

GD GARAGE DOOR

GL GLASS

HC HOSE COCK

HWU HOT WATER UNIT

LB LETTERBOX

LV LOUVRES

PB PEBBLES

RF ROOF SHEETING

REF REFRIGERATOR

S SINK

SC SHADOWCLAD

TB TIMBER FLOORING

TD TIMBER DECKING

TF TIMBER FENCE

TG TRANSLUCENT GLASS

TL TILE

TW TOP OF WALL

WB WALL BRACING

VG VEGETATION

--- EXISTING TO BE DEMOLISHED

■ EXISTING TO BE RETAINED

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

SITE PLAN/SITE ANALYSIS PLAN

MARSTON ARCHITECTS

45 PITWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE S4.55

DATE: 2020

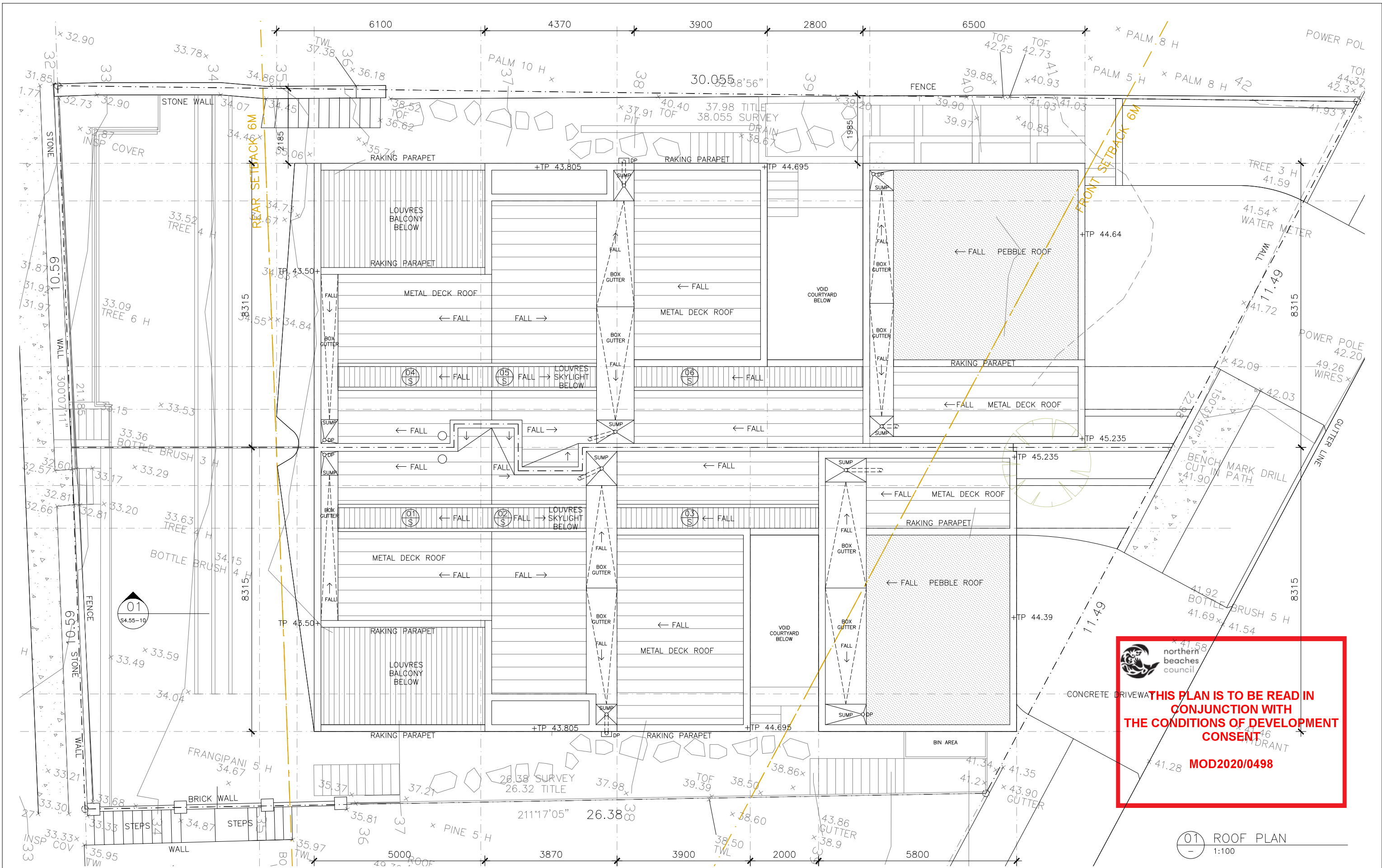
SCALE: 1:250 @A3

DWG. NO. S4.55-01

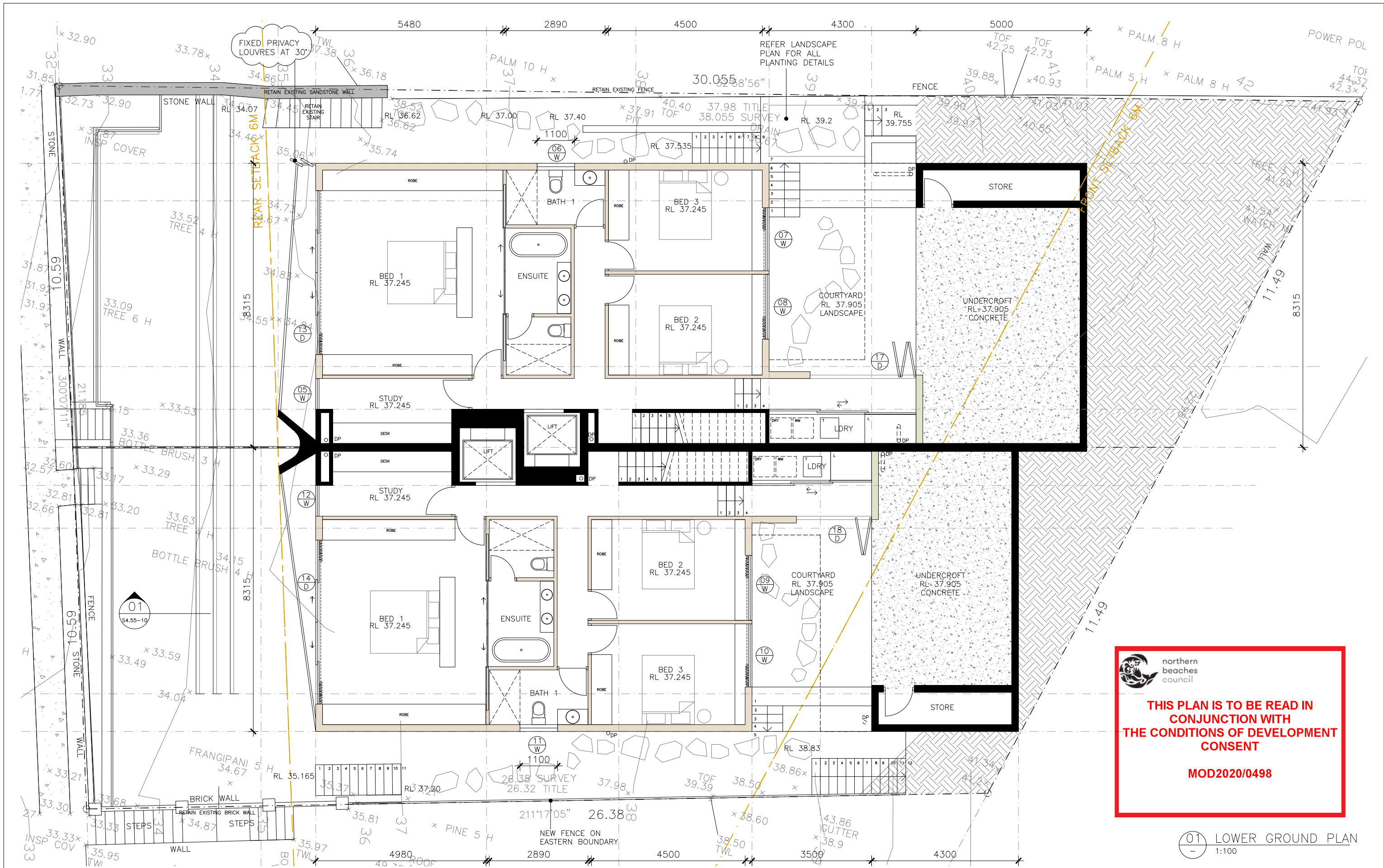
The site plan illustrates a residential development at 70 Lauderdale Avenue, Fairlight NSW 2094. The central focus is a large property containing several buildings: No. 72 (2-storey rendered house with basement rooms and metal roof), No. 70A and 70B (existing structures), and No. 68 (4-storey brick flat building with basement parking). To the right, adjacent properties are shown, including No. 18 (two-storey rendered & brick house), No. 16 (two-storey timber house), No. 14 (brick cottage), No. 12 (two-storey rendered & brick house), and No. 10 (two-storey rendered house). The plan details various features such as driveways, parking areas, footpaths, and existing fences. A proposed sediment control fence is shown running along the boundary, with a detailed inset showing its construction: geotextile filter fabric, posts at 3m centres driven 0.6m into the ground, and geofabric buried into the ground. The plan also indicates areas for retaining existing fences, protecting neighbouring trees, and proposed additional pedestrian access. A north arrow is located in the bottom right corner of the plan area.

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2020/0498



NOTE:	AMENDMENTS	LEGEND AL ALUMINIUM CL EXTERNAL CLADDING CON CONCRETE COS CHECK ON SITE CP CUPBOARD DP DOWNPIPE DR DRAWER DW DISHWASHER EDB ELEC. DIST BOARD EX EXISTING EXB EXTERNAL BLIND F FIXED GLASS FC FIBRE CEMENT SHEET FW FLOOR WASTE GD GARAGE DOOR GL GLASS HC HOSE COCK HWU HOT WATER UNIT LB LETTERBOX LV LOUVRES PB PEBBLES RF ROOF SHEETING REF REFRIGERATOR S SINK SC SHADOWCLAD TB TIMBER FLOORING TD TIMBER DECKING TF TIMBER FENCE TG TRANSLUCENT GLASS TL TILE TW TOP OF WALL WB WALL BRACING VG VEGETATION --- EXISTING TO BE DEMOLISHED ■ EXISTING TO BE RETAINED			
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK		70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094 STAGE S4.55 DATE: 2020 SCALE: 1:100 @A3 ROOF PLAN MARSTON ARCHITECTS 45 PITWATER ROAD MANLY NSW 2095 PH 9977 2101 DWG. NO. S4.55-02			



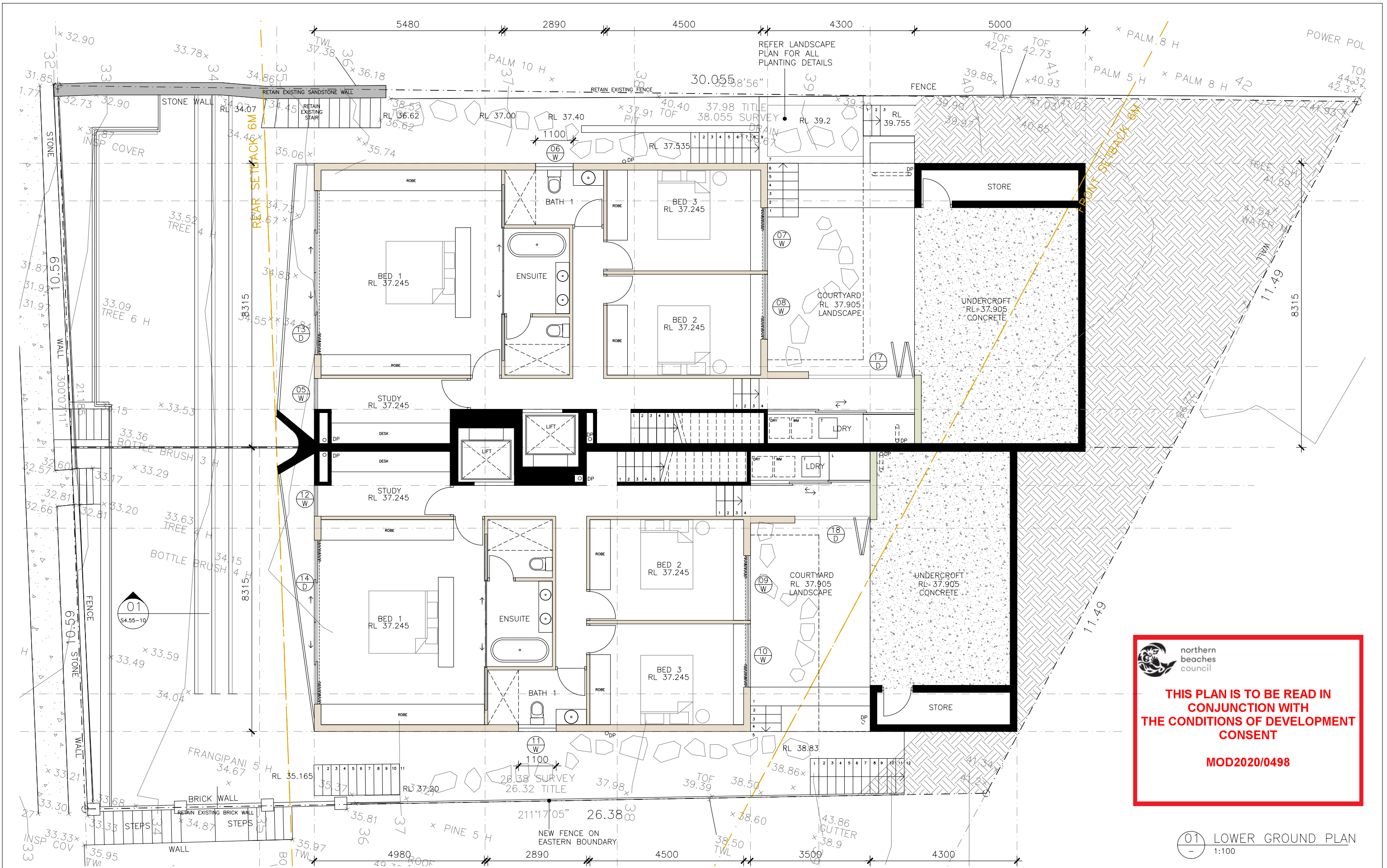
 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

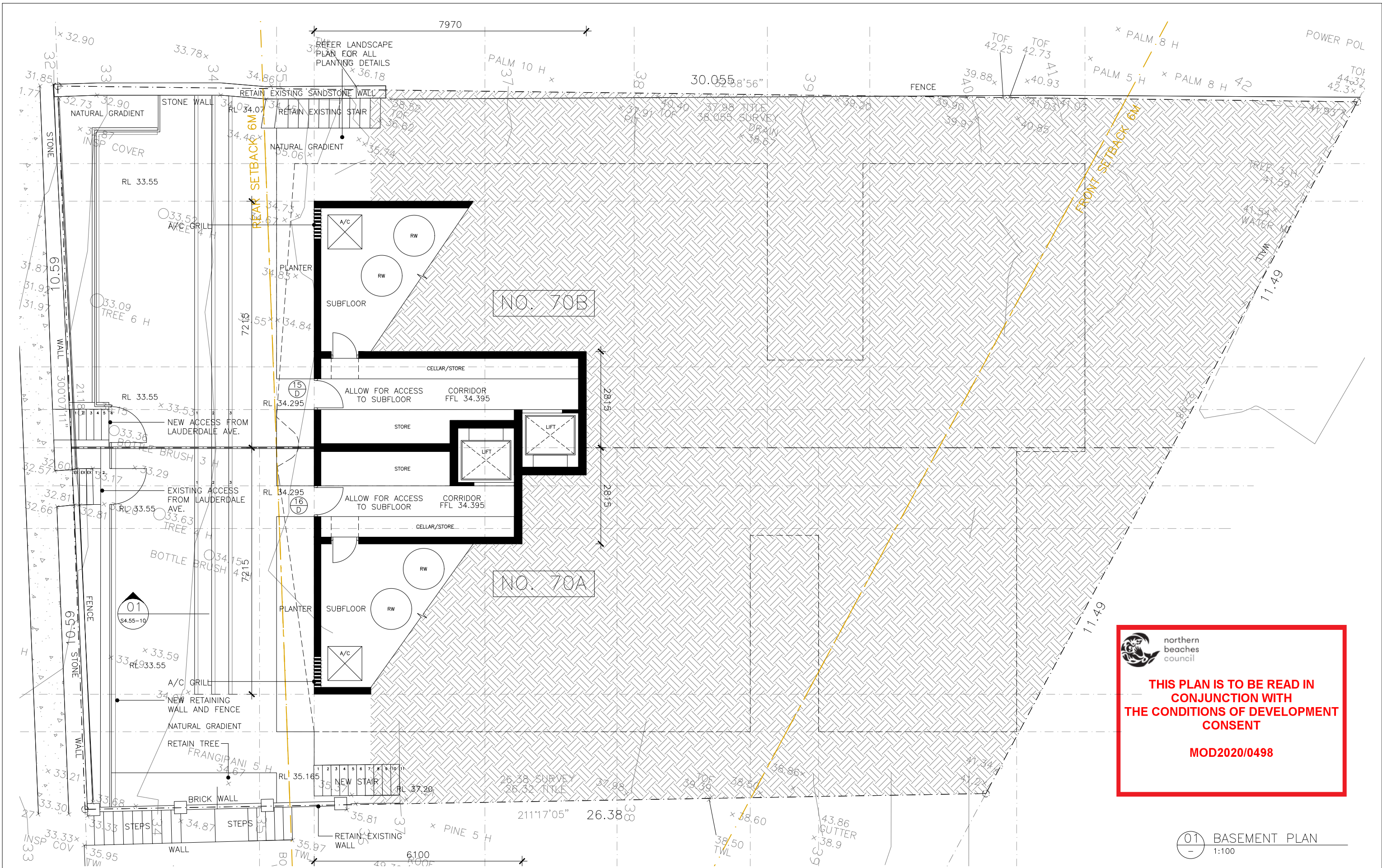
MOD2020/0498

01 LOWER GROUND PLAN
1:100

NOTE:		AMENDMENTS		LEGEND				---		EXISTING TO BE DEMOLISHED			70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094			
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK		2/11/20	A	ADDITION OF FIXED PRIVACY LOUVRES TO WESTERN ELEVATION		AL ALUMINIUM	F FIXED GLASS	REF REFRIGERATOR	■	EXISTING TO BE RETAINED						
						CL EXTERNAL CLADDING	FC FIBRE CEMENT SHEET	S SINK								
						CON CONCRETE	FW FLOOR WASTE	SC SHADOWCLAD								
						COS CHECK ON SITE	GD GARAGE DOOR	TB TIMBER FLOORING								
						CP CUPBOARD	GL GLASS	TD TIMBER DECKING								
						DP DOWNPIPE	HC HOSE COCK	TF TIMBER FENCE								
						DR DRAWER	HWU HOT WATER UNIT	TG TRANSLUCENT GLASS								
						DW DISHWASHER	LB LETTERBOX	TL TILE								
						EDB ELEC. DIST BOARD	LV LOUVRES	TOF TOP OF WALL								
						EX EXISTING	PB PEBBLES	TW WALL BRACING								
						EXB EXTERNAL BLIND	RF ROOF SHEETING	VG VEGETATION								



NOTE:	AMENDMENTS	LEGEND AL ALUMINIUM CL EXTERNAL CLADDING CON CONCRETE COS CHECK ON SITE CP CUPBOARD DP DOWNPIPE DR DRAWER DW DISHWASHER EDB ELEC. DIST BOARD EX EXISTING EXB EXTERNAL BLIND F FIXED GLASS FC FIBRE CEMENT SHEET FW FLOOR WASTE GD GARAGE DOOR GL GLASS HC HOSE COCK HWU HOT WATER UNIT LB LETTERBOX LV LOUVRES PB PEBBLES RF ROOF SHEETING REF REFRIGERATOR S SINK SC SHADOWCLAD TB TIMBER FLOORING TD TIMBER DECKING TF TIMBER FENCE TG TRANSLUCENT GLASS TL TILE TW TOP OF WALL WB WALL BRACING VG VEGETATION --- EXISTING TO BE DEMOLISHED ■ EXISTING TO BE RETAINED 				70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094	
		LOWER GROUND PLAN		STAGE S4.55			
		MARSTON ARCHITECTS		DATE: 2020			
		45 PITWATER ROAD MANLY NSW 2095 PH 9977 2101		SCALE: 1:100 @A3			
				DWG. NO. S4.55-04			

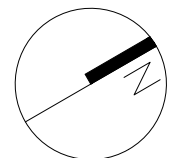


 **northern
beaches
council**

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2020/0498

01 BASEMENT PLAN
1:100

NOTE:	AMENDMENTS			LEGEND										---		EXISTING TO BE DEMOLISHED		■		EXISTING TO BE RETAINED				70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK				AL ALUMINIUM	F FIXED GLASS	REF REFRIGERATOR																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																									

No. 68

No. 70A

No. 70B

No. 72

BOUNDARY

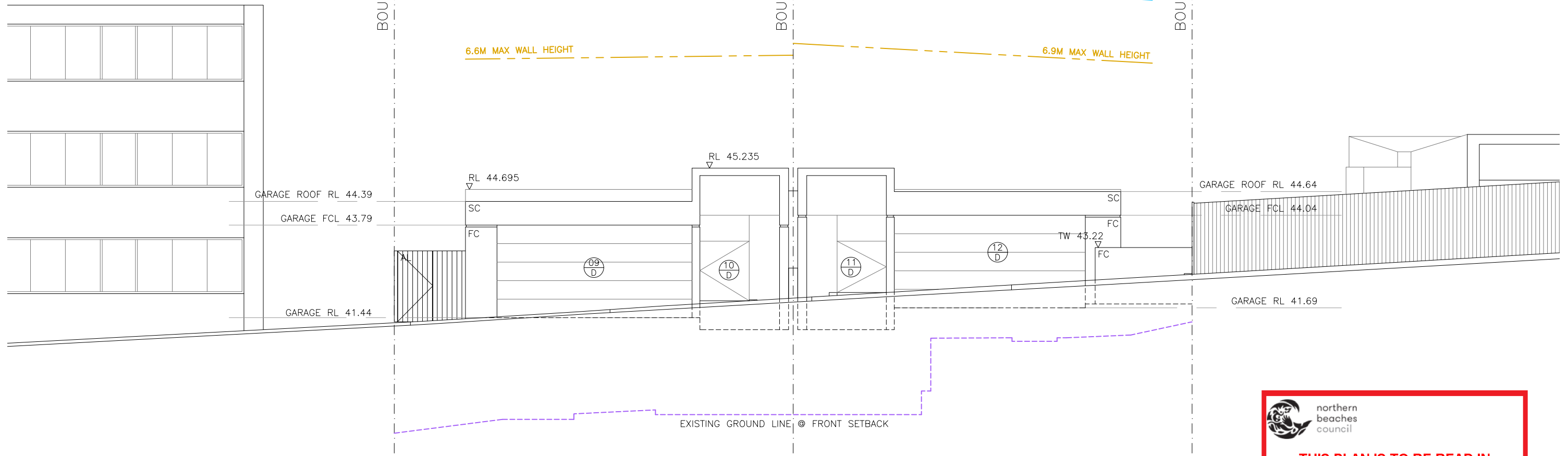
BOUNDARY

BOUNDARY

8.5M MAX BUILDING HEIGHT ©
NORTH FACE OF BUILDING

6.6M MAX WALL HEIGHT

6.9M MAX WALL HEIGHT



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2020/0498

NO CHANGE

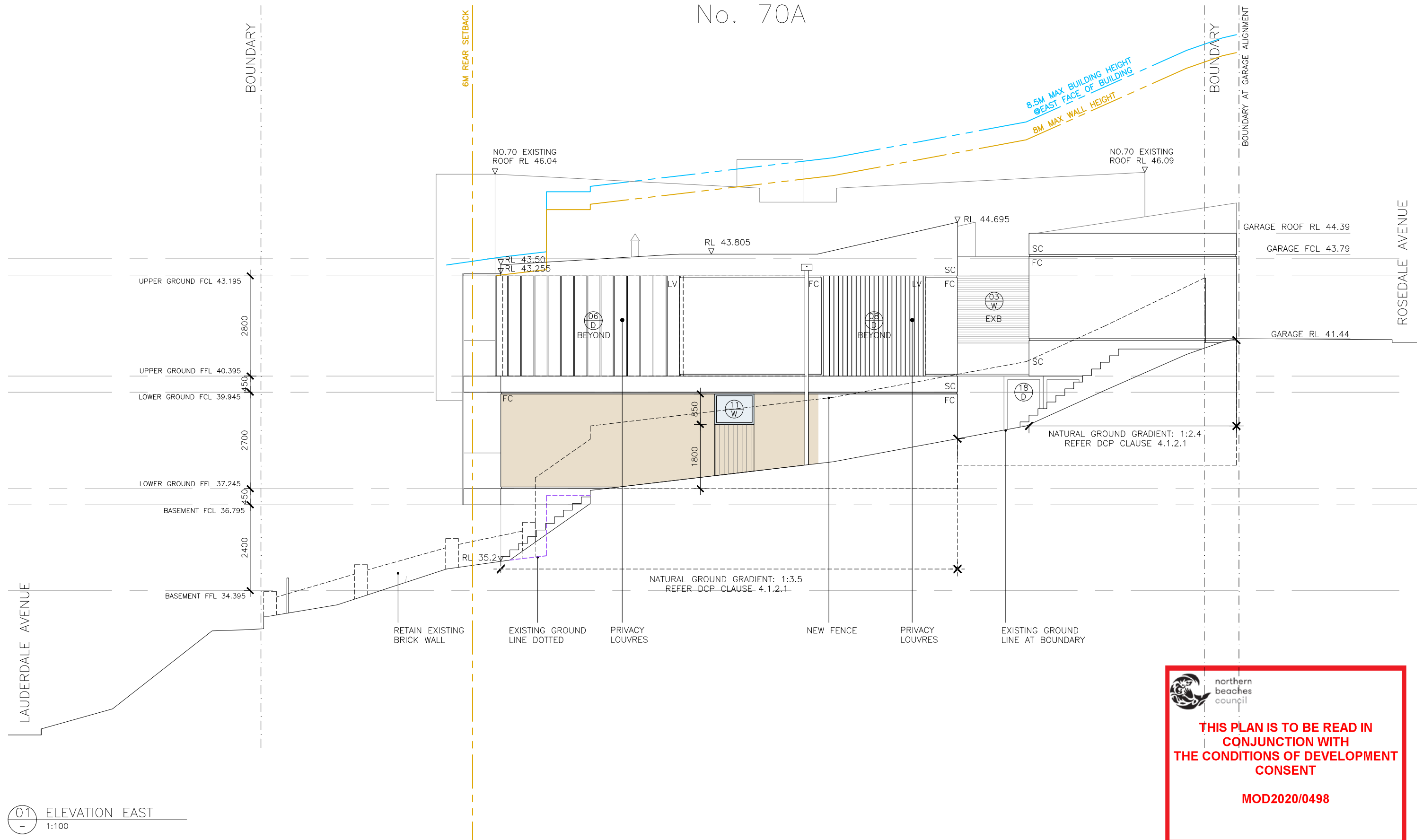
01
—
ELEVATION NORTH
(ROSEDALE AVENUE)
1:100

NORTH ELEVATION

1:100

S4.55-07

No. 70A



 northern
beaches
council

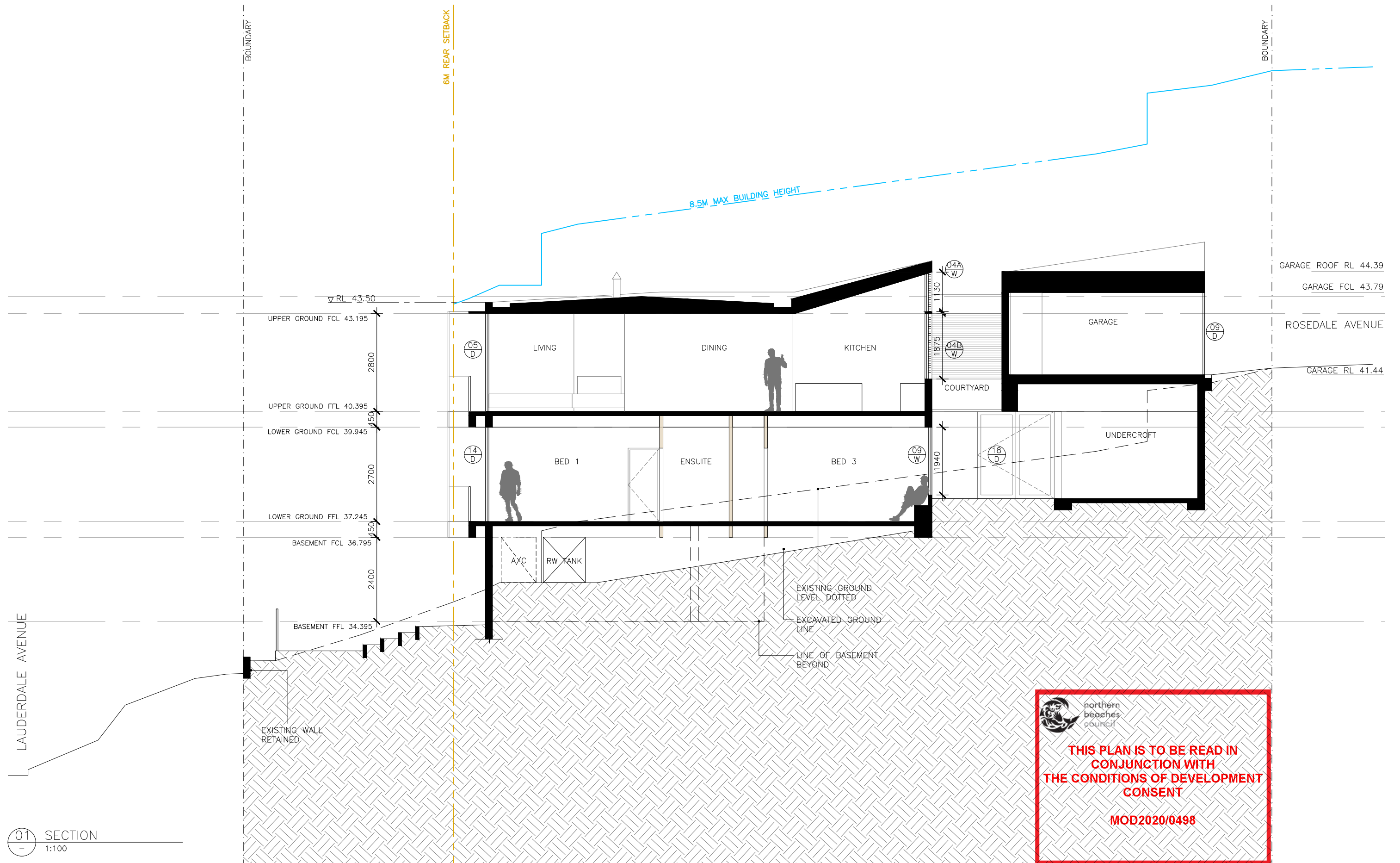
**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

MOD2020/0498

EAST ELEVATION

1:100

S4.55-09



Window/Door Schedule for 70 Lauderdale Ave FAIRLIGHT

Rev: C Date: 31/08/20

	Width	Height	Orientation 70B	Orientation 70A		
TOP						
D01	7.2	2.8	W		Sliding	
D08	6.77	2.8		E	Sliding	
D02/D07	2	2.8	S	S	Sliding	
D03/D06	4.87	2.8	W	E	Sliding	
D04/D05	4.9	2.8	S	S	Sliding	
D12/09						Garage Doors
D11/10						Solid core entry doors
W01	2.8	1.875	W		Fixed	External blind
W03	2	1.875	E		Fixed	External blind
W02A /W04A	4.45	1.13	N	N	Glass louvres	External blind
W02B/W04B	3.85	1.875	N	N	Sliding	External blind
MID						
D13/D14	4.8	2.7	S	S	Sliding	
D17	3.1	2.49	W		Bifold	
D18	2.2	2.49		E	Bifold	
W05/W12	0.9	2.7	S	S	Fixed	
W06/W11	1.1	0.65	W	E	Fixed	Opaque glass
W07/10	1.85	1.94	N	N	Sliding	Internal curtain
W08/09	1.9	1.94	N	N	Sliding	Internal Curtain
BASEMENT						
D15/16						Solid core entry doors
SKYLIGHTS						
S01	1.25	4.5				Internal Shading
S02	1.25	2.77				Internal Shading
S03	1.25	5.9				Internal Shading
S04	1.25	4.5				Internal Shading
S05	1.25	3				Internal Shading
S06	1.25	6.6				Internal Shading

