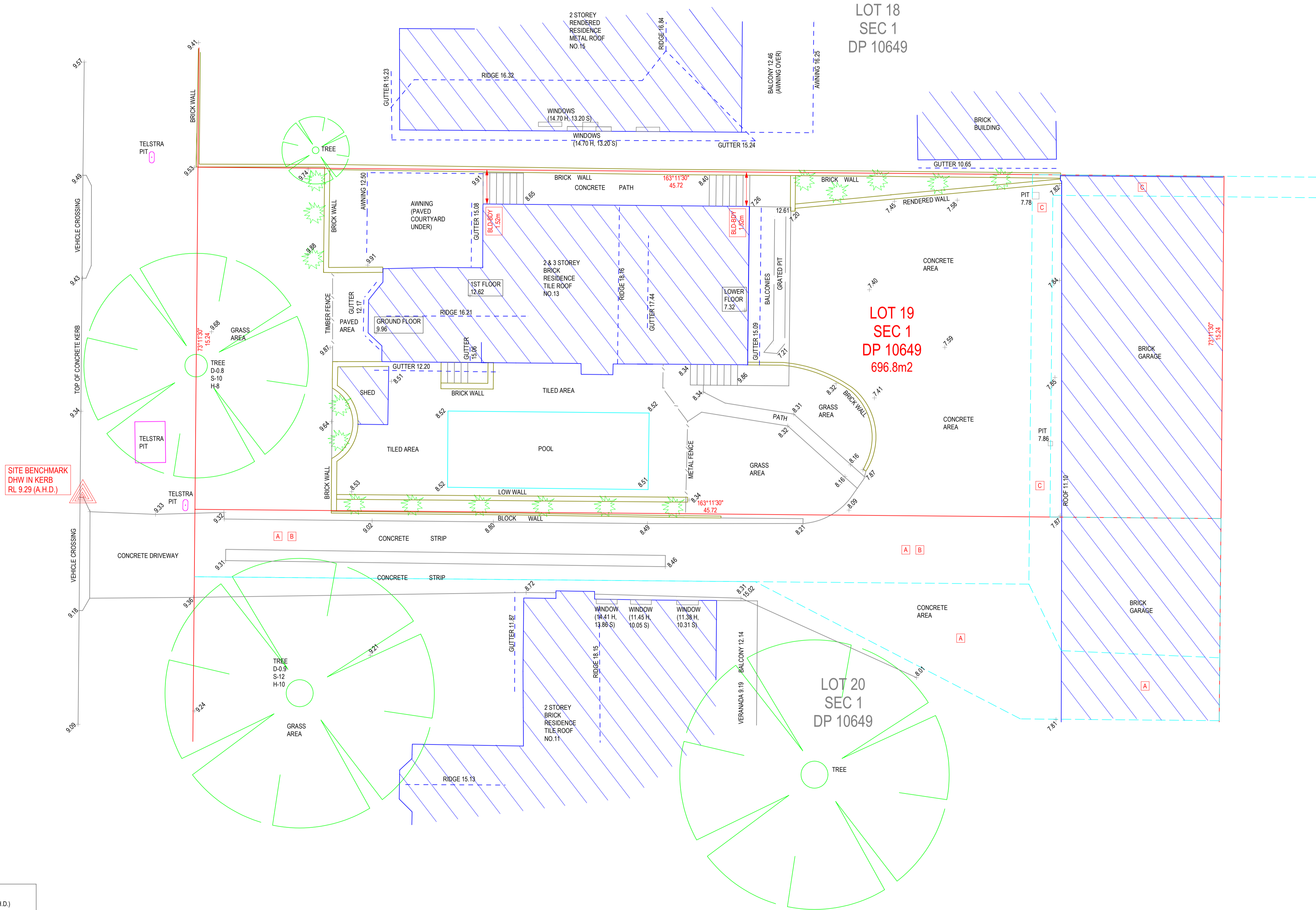


CUMBERLAND AVENUE



NOTES:

- LEVELS SHOWN ARE TO AUSTRALIAN HEIGHT DATUM. ORIGIN OF RL'S: PM 3958 - RL 9.239 (A.H.D.)
- BEARINGS ARE ON MGA NORTH AS DERIVED BY DP 1190676.
- BEARINGS AND DISTANCES HAVE BEEN COMPILED FROM TITLE AND/OR DEED INFORMATION SUPPLIED BY DEPARTMENT OF LANDS NSW.
- RELATIONSHIP OF IMPROVEMENTS AND DETAIL TO BOUNDARIES IS DIAGRAMMATIC ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE A FURTHER SURVEY - UNLESS OTHERWISE SHOWN.
- WARNING: IF IS INTENDED TO ERECT ANY IMPROVEMENTS ALONG OR NEAR BOUNDARIES - EITHER FOR DESIGN OR BUILDING SET OUT - A SET OUT SURVEY SHOULD BE UNDERTAKEN.
- NO SERVICES OR UNDERGROUND SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ARE BASED ON VISIBLE SURFACE INDICATORS EVIDENT AT THE DATE OF SURVEY & ARE CHARTED AS A GUIDE TO THE POSITION & NATURE OF THE SERVICE. ALL SERVICE AUTHORITIES SHOULD BE CONTACTED PRIOR TO ANY DEVELOPMENT.
- RIDGE, EAVE AND GUTTER HEIGHTS HAVE BEEN OBTAINED BY AN INDIRECT METHOD AND ARE ONLY ACCURATE FOR PLANNING PURPOSES ONLY.
- ADJOINING BUILDINGS AND DWELLINGS HAVE BEEN PLOTTED FOR DIAGRAMMATIC PURPOSES ONLY AND SPECIFIC DETAILS, IF CRITICAL, WILL REQUIRE FURTHER SURVEY WORK.
- THE DIAMETER, SPREAD AND HEIGHT OF EACH TREE IS INDICATIVE ONLY AND SPECIFIC DETAILS, IF CRITICAL, WITH REQUIRE FURTHER SURVEY WORK.
- THIS DETAIL & LEVELS PLAN IS PROVIDED FOR THE PRIVATE & CONFIDENTIAL USE OF THE CLIENT MENTIONED ONLY AND CANNOT BE USED OR RELIED UPON BY ANOTHER PARTY.

NOTES ON SUBJECT TITLE (LOT 19 OF SECTION 1 IN DP 10649)

- RESERVATIONS AND CONDITIONS IN THE CROWN GRANT(S)
- B143316 COVENANT
- N392017 EASEMENT TO DRAIN WATER AFFECTING THE PART OF THE LAND ABOVE DESCRIBED SHOWN 0.914 WIDE IN PLAN ANNEXED TO N392017
- N392018 EASEMENT TO DRAIN WATER APPURTENANT TO THE LAND ABOVE DESCRIBED AFFECTING THE LAND SHOWN 0.914 WIDE IN PLAN ANNEXED TO N392018
- DP 635859 RIGHT OF CARRIAGEWAY APPURTENANT TO THE LAND ABOVE DESCRIBED

THIS INFORMATION HAS NOT BEEN INVESTIGATED BY US BUT IS RECOMMENDED THAT IT BE CHECKED BY A SOLICITOR.

SCHEDULE OF EASEMENTS

- A - RIGHT OF CARRIAGEWAY 3 WIDE & VARIABLE
- B - RIGHT OF CARRIAGEWAY (DP 635859)
- C - EASEMENT TO DRAIN WATER 0.915 WIDE (VIDE N392017 & N392019)

IVAN BABIC
NSW REGISTERED SURVEYOR
REGISTRATION NUMBER - 1604

PROJECT : PLAN SHOWING DETAIL
& LEVEL BOUNDARY SURVEY
OVER LOT 19 OF SECTION 1
IN DP 10649
AT NO.13 CUMBERLAND AVE,
COLLAROY

CLIENT : MR & MRS GRAHAM

DATUM : A.H.D. DATE : 27/05/2021

SHEET No. 1 OF 1 SHEETS

DRAWING No. : 21088

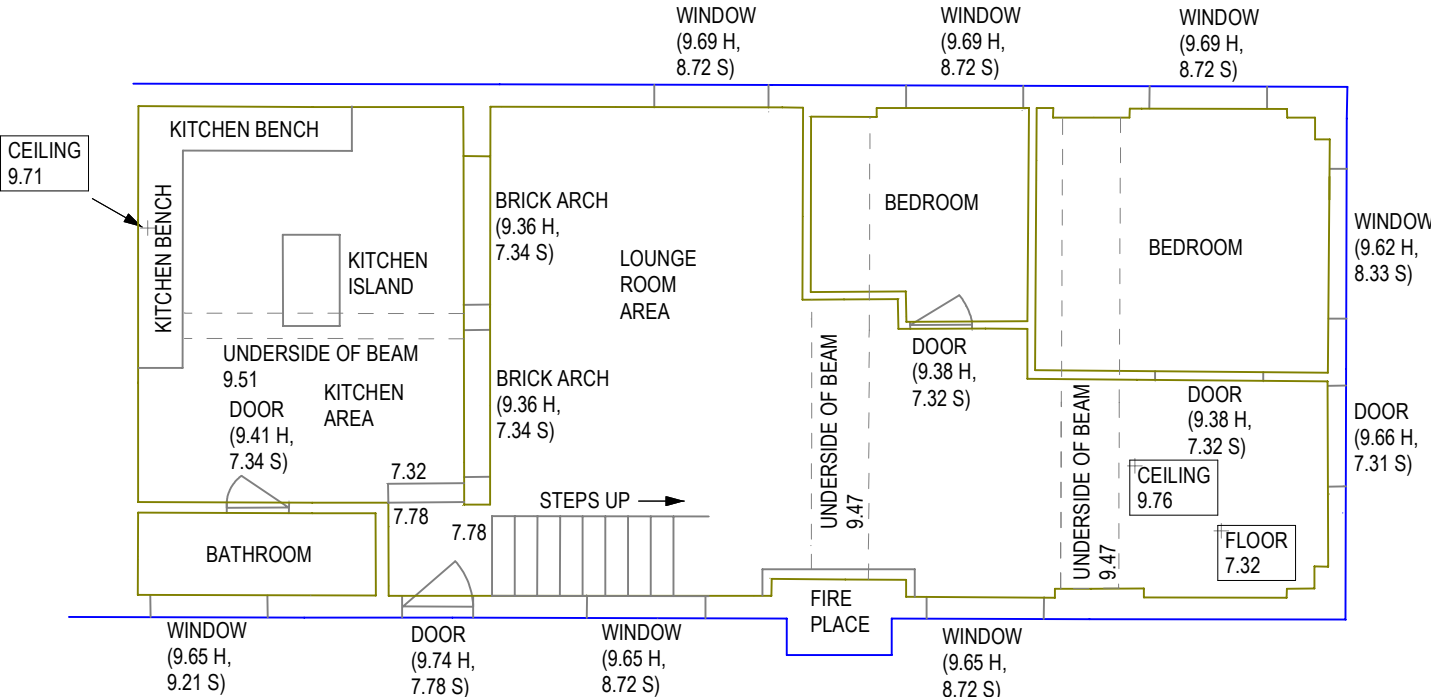
JOB REF : 21088 SCALE : 1:100

ALTITUDE SURVEYS
PRECISION FROM THE GROUND UP
ABN: 50 624 984 747

PHONE: 0450 85 85 00

EMAIL: ADMIN@ALTITUDESURVEYS.COM.AU

INTERNET: WWW.ALTITUDESURVEYS.COM.AU



BASEMENT FLOOR LAYOUT -
NO.13 CUMBERLAND AVE, COLLAROY

PROJECT : PLAN SHOWING INTERNAL SURVEY
OF BASEMENT LEVEL
OVER LOT 19 OF SEC 1 IN DP 10649.
AT NO.13 CUMBERLAND AVE,
COLLARROY

CLIENT : STEPHANIE GRAHAM

DATUM : A.H.D.

DATE : 10/03/2021

SHEET No. 1 OF 1 SHEETS

DRAWING No. : 20284

JOB REF : 20284

SCALE : 1:100

ALTITUDE SURVEYS

PRECISION FROM THE GROUND UP

ABN: 50 624 984 747

PHONE: 0450 85 85 00

EMAIL: ADMIN@ALTITUDESURVEYS.COM.AU

INTERNET: WWW.ALTITUDESURVEYS.COM.AU

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