# 68 EDWARD STREET, NARRAWEENA, NSW

FOR FRANK GRILLA

# DRAWING SCHEDULE

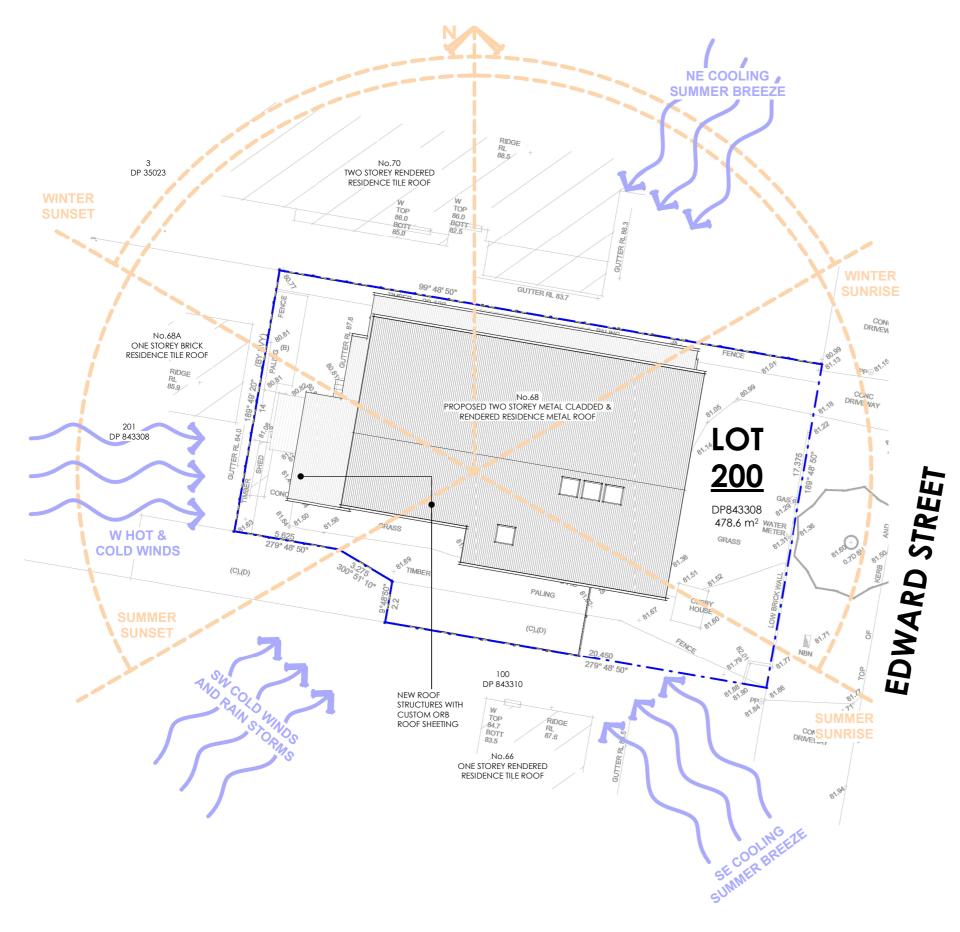
**COVER SHEET** 

DA00

DA01	SITE ANALYSIS
DA02	EXISTING SITE PLAN
DA03	PROPOSED SITE PLAN
DA04	EXISTING / DEMOLITION - GROUND & FIRST FLOOR PLAN
DA05	PROPOSED GROUND LEVEL FLOOR PLAN
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DA17	WASTE MANAGEMENT PLAN / SEDIMENT EROSION
DA18	BASIX REQUIREMENTS









#### STREET VIEW



LOCATION MAP



AERIAL MAP

# **SITE ANALYSIS**

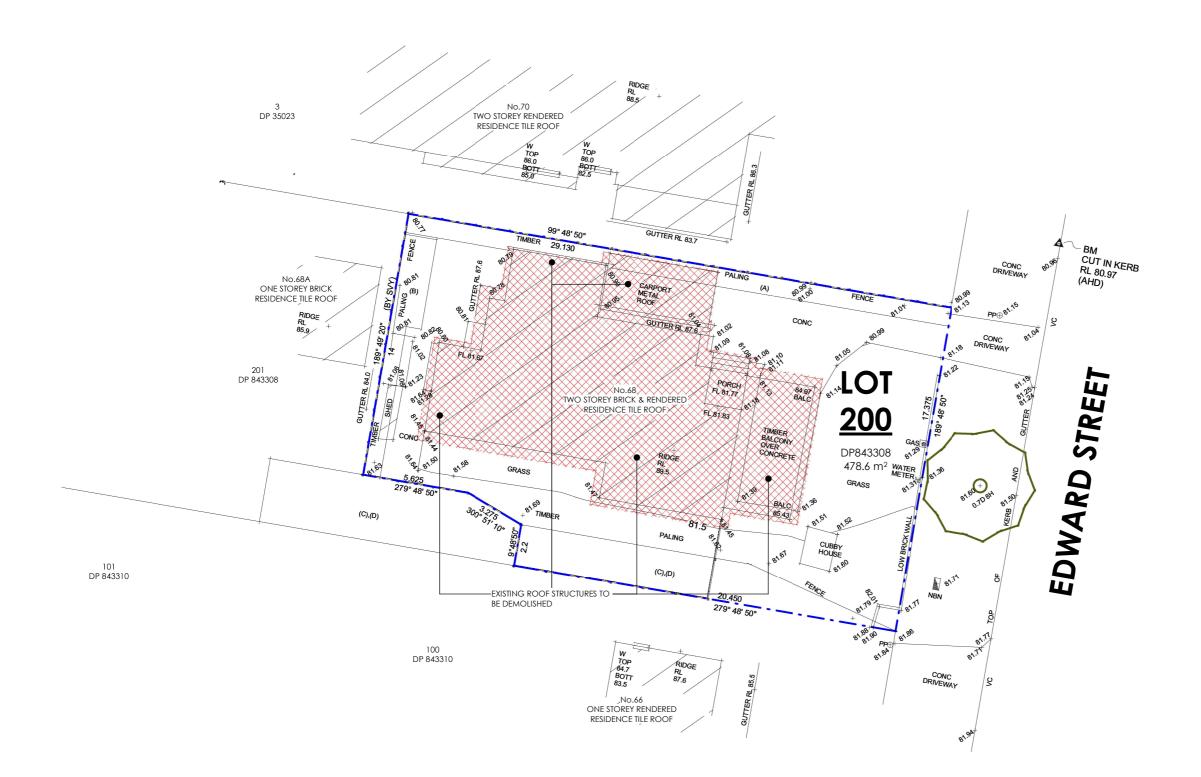
68 EDWARD STREET, NARRAWEENA, NSW

Designed By ADRIAN JOON Job No: Page No: DA01 Scale @A3 As indicated

Date: Amendment DA SUBMISSION









TO BE DEMOLISHED



EXISTING ELEMENTS



EXISTING TREE TO REMAIN

TREE TO BE REMOVED

REFER TO LANDSCAPE DRAWINGS OR LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS



# **EXISTING SITE PLAN**

68 EDWARD STREET, NARRAWEENA, NSW

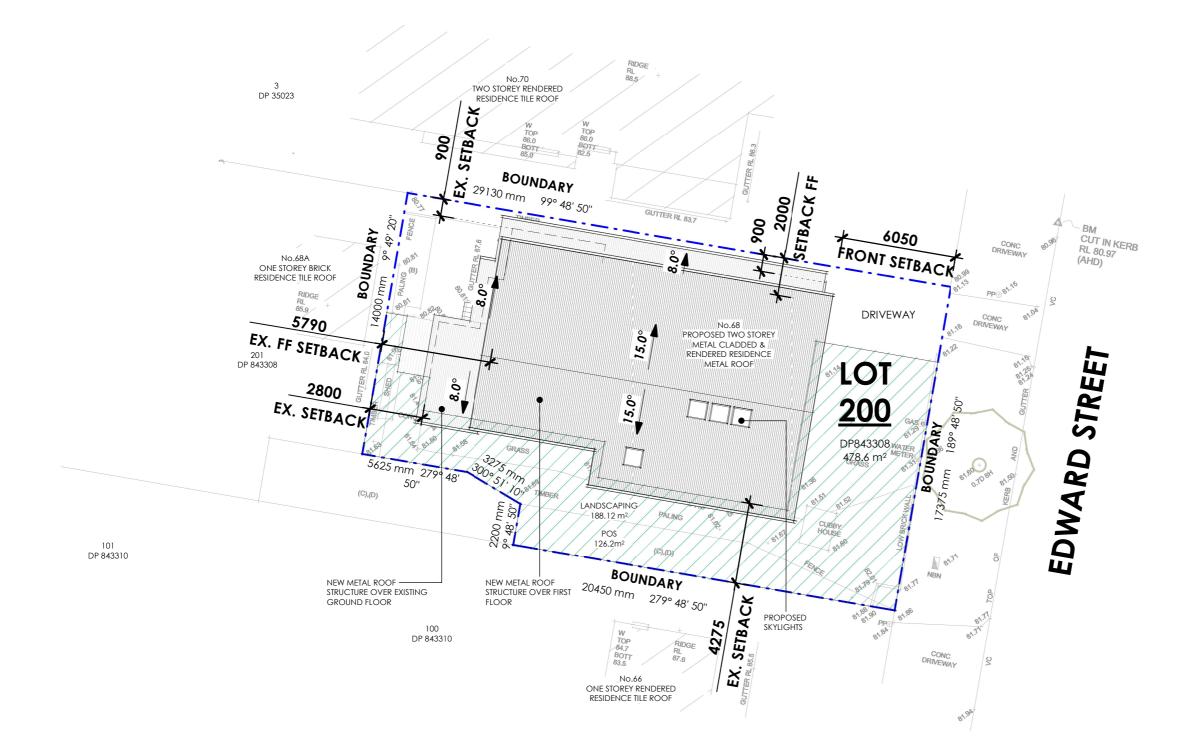


PROPOSED ADDITIONS OR ALTERED ELEMENTS



TREE

REFER TO LANDSCAPE DRAWINGS OR LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS



#### SITE AREA CALCULATIONS

	PROVIDED	REQUIRED
SITE AREA	478.6m <sup>2</sup>	
EXISTING FLOOR AREA GROUND FLOOR FIRST FLOOR TOTAL EXISTING FLOOR AREA  PORCH PATIO DECK	119.99m <sup>2</sup> 102.33m <sup>2</sup> <b>222.32m<sup>2</sup></b> <b>46.45%</b> 7.14m <sup>2</sup> 5.00m <sup>2</sup> 27.95m <sup>2</sup>	
PROPOSED FLOOR AREA GROUND FLOOR FIRST FLOOR TOTAL PROPOSED FLOOR AREA	27.95m <sup>2</sup> 139.19m <sup>2</sup> 144.17m <sup>2</sup> 283.36m <sup>2</sup>	
PORCH PATIO DECK CARPORT	59.20% 18.48m² 5.00m² 15.21m² 21.35m²	
<u>LANDSCAPING</u>	188.12m <sup>2</sup> 39.31%	191.4m² 40%
PRIVATE OPEN SPACE - No change	126.2m²	<u>60m²</u>



**ADDITIONS & ALTERATIONS** DA SUBMISSION

**Designed By** ADRIAN JOON Job No: Page No: DA03 Scale @A3 As indicated

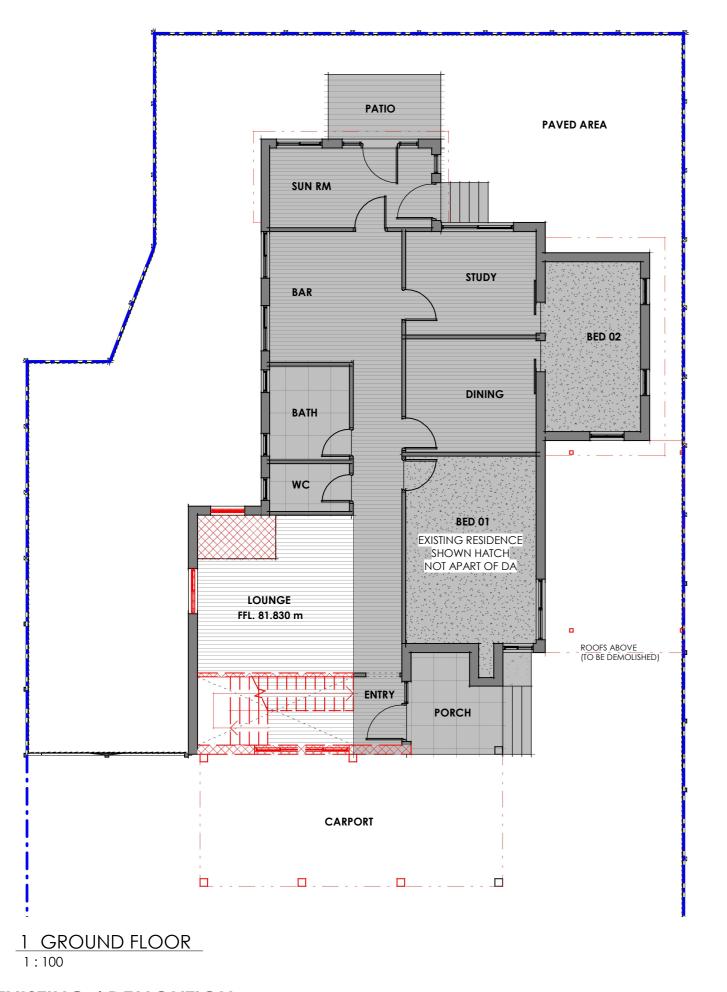
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2 FIRST FLOOR 1:100

18.11.2022

BED 03

BATH

BED 05



**BED 04** 

BED 06

HALL

ROOF ABOVE (TO BE DEMOLISHED)

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**LEGEND** 

TO BE DEMOLISHED

EXISTING ELEMENTS

**P** 0424 350 038

**EXISTING / DEMOLITION -GROUND & FIRST FLOOR PLAN** 

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

**ADDITIONS & ALTERATIONS** 

Designed By ADRIAN JOON Job No: DA04 Scale @A3 1:100

Date: Page No: Amendment DA SUBMISSION

DA SUBMISSION NOT FOR CONSTRUCTION

## DA10 12200 C.O.S. 4760 PATIO 1920 2755 2765 **PAVED AREA** SUN RM STUDY BAR 9710 BED 02 DINING BATH W05 .O.S. C.O.S. POS Ċ C'PDS **BED 01** GRASSED AREA EXISTING RESIDENCE SHOWN HATCH NOT APART OF DA W04 800 x 2400 □DP LOUNGE FFL. 81.830 m 10125 **ENTRY** EX WALLS TO BE **PORCH** CARPORT W03 3.5m x 6.1m 800 x 2400 W01 VOID 2100 x 2000 -NEW WINDOWS/DOORS WHERE NUMBERED RENDER OVER EXISTING BRICK WAL ROOF ABOVE \_ 🛄 DP. 900 W02 2100 x 2000 5880 2765 12200 C.O.S.

#### **LEGEND**

COOKTOP BATH TUB BENCH TOP BV DM DP DW BASIN AND VANITY DRYING MACHINE DOWNPIPE DISH WASHER HWU HOT WATER UNIT JOINERY BY OTHERS METAL ROOFING JN MR PS REF RH RWH ALUMINIUM PRIVACY SCREEN REFRIDGERATOR RANGE HOOD RAIN WATER HEAD SHR SPR SRN SS TR UBO RAIN WATER SPREADER GLASS SHOWER SCREEN SELECTED SINK LAUNDRY TUB UNDER BENCH OVEN WM WASHING MACHINE

SELECTED SPLIT SYSTEM

W01 REFER TO WINDOW SCHEDULE

DOOR TAG -REFER TO DOOR SCHEDULE D01

SELECTED TIMBER FLOORING FINISH TIMBER

TILES SELECTED TILE FINISH

CARPET SELECTED CARPET FLOORING FINISH

DECK SELECTED TIMBER DECKING

CONC. CONCRETE FINISH

WALL TAG -

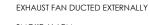
REFER TO WALL SCHEDULE

RL. 0.000 m FINISHED FLOOR LEVEL



FLOOR WASTE

ARTICULATION JOINT AS PER ENGINEER'S DESIGN AND MANUFACTURER'S SPEC'S



SMOKE ALARM -

TO BE INSTALLED IN ACCORDANCE WITH A.S. 3786 AND 3.7.5.2 OF THE NCC. ALL SMOKE ALARMS ARE TO BE HARD WIRED AND INTERCONNECTED.

PROPOSED GROUND LEVEL **FLOOR PLAN** 

**ADDITIONS & ALTERATIONS** 

**Designed By** ADRIAN JOON Job No: Page No: DA05

Rev Date: 18.11.2022 AJ

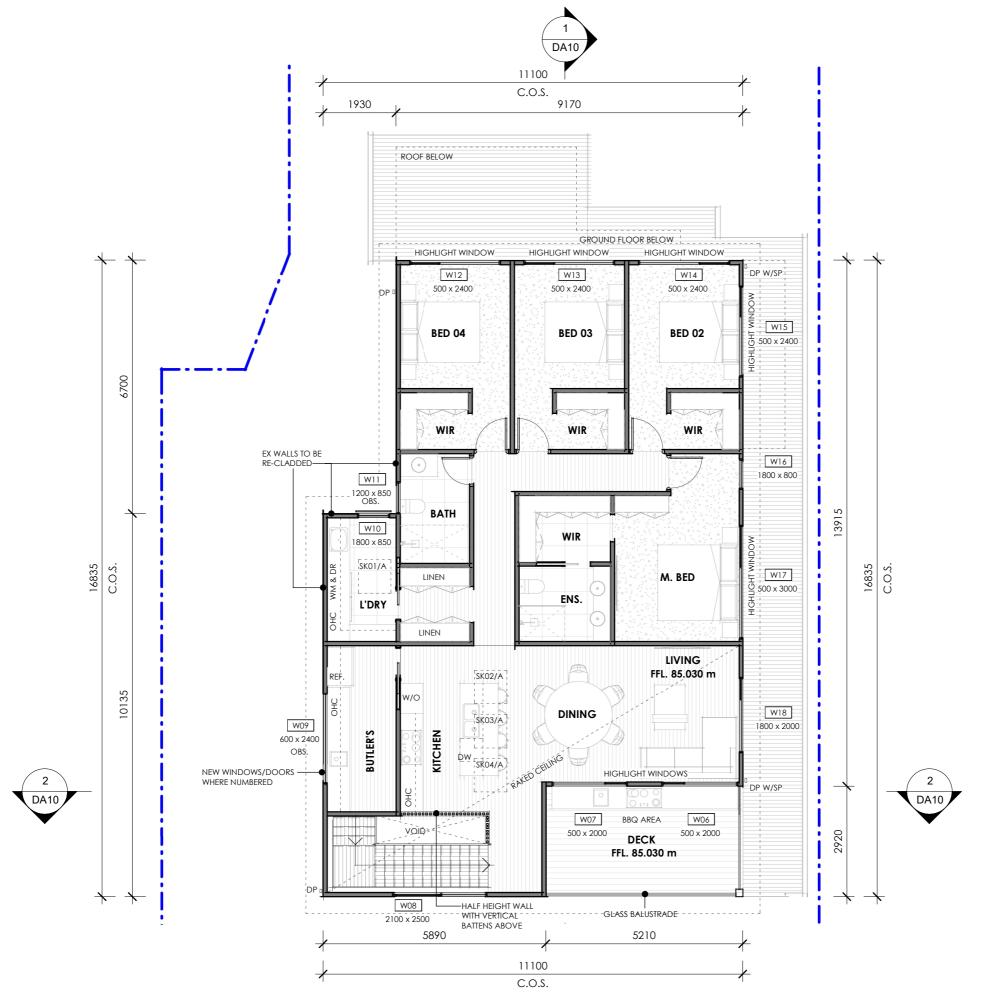






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#### **LEGEND**

BATH TUB BENCH TOP BV DM DP DW BASIN AND VANITY DRYING MACHINE DOWNPIPE DISH WASHER HWU HOT WATER UNIT JOINERY BY OTHERS METAL ROOFING JN MR ALUMINIUM PRIVACY SCREEN REFRIDGERATOR RANGE HOOD RAIN WATER HEAD RH RWH SHR SPR SRN SS TR RAIN WATER SPREADER
GLASS SHOWER SCREEN SELECTED SINK LAUNDRY TUR UNDER BENCH OVEN WM WASHING MACHINE

SELECTED SPLIT SYSTEM

W01 REFER TO WINDOW SCHEDULE

DOOR TAG -REFER TO DOOR SCHEDULE D01

SELECTED TIMBER FLOORING FINISH TIMBER

TILES SELECTED TILE FINISH

CARPET SELECTED CARPET FLOORING FINISH

DECK SELECTED TIMBER DECKING

CONC. CONCRETE FINISH

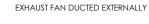
WALL TAG -

REFER TO WALL SCHEDULE

RL. 0.000 m FINISHED FLOOR LEVEL



ARTICULATION JOINT AS PER ENGINEER'S DESIGN AND MANUFACTURER'S SPEC'S



SMOKE ALARM -



TO BE INSTALLED IN ACCORDANCE WITH A.S. 3786 AND 3.7.5.2 OF THE NCC. ALL SMOKE ALARMS ARE TO BE HARD WIRED AND INTERCONNECTED.



**ADDITIONS & ALTERATIONS** 

**Designed By** ADRIAN JOON Job No: Page No: DA06 Scale @A3

1:100

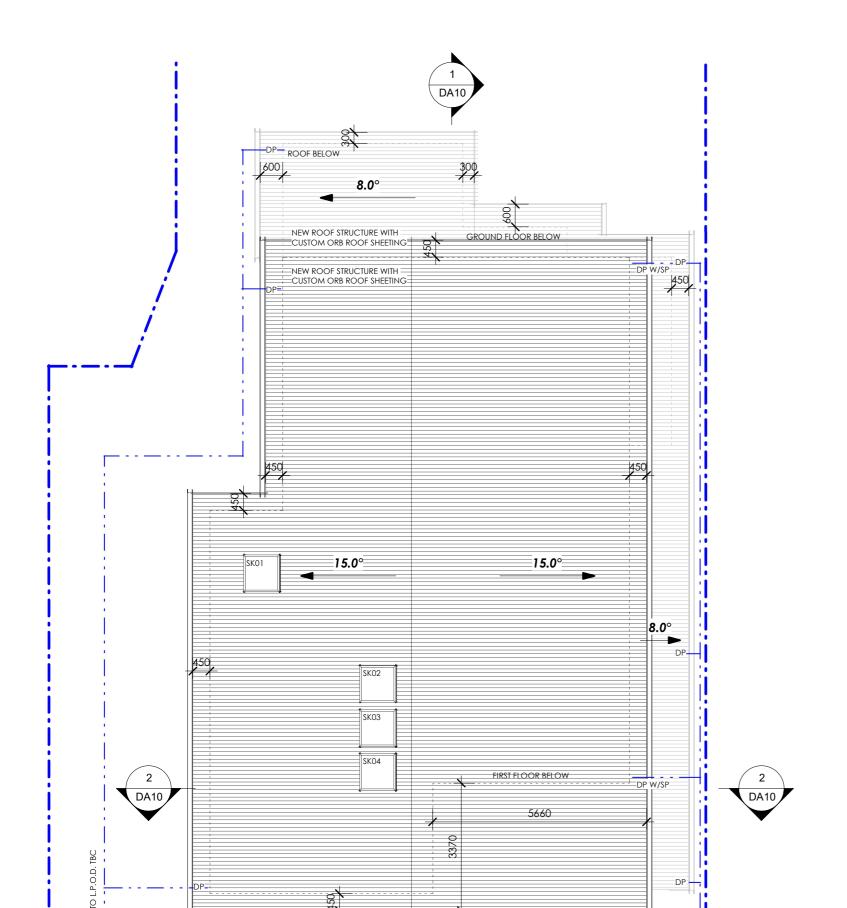
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#### STORMWATER NOTE:

- ALL DRAINS SHALL RUN TO THE LEGAL POINT OF DISCHARGE AND SHALL CONFORM TO LOCAL COUNCIL REQUIREMENTS, THE B.C.A AND AS3500.3-2018

- 90mm Ø UPVC STORMWATER PIPES GENERALLY, 100mm Ø UPVC TO DRIVEWAYS - MINIMUM FALL OF 1:80 WITH 300mm COVER

- DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES - STORMWATER DRAINAGE TO BE DESIGNED

AND CONSTRUCTED IN ACCORDANCE WITH AS3500.3-2018



2 BIRDSEYE VIEW

1 ROOF PLAN

1:100

# PROPOSED ROOF PLAN

FRANK GRILLA ADDITIONS

68 EDWARD STREET, NARRAWEENA, NSW DA SUBMISSION

ADDITIONS & ALTERATIONS

 Designed By
 ADRIAN JOON

 Job No:
 22023SK

 Page No:
 DA07

 Scale @A3
 1:100

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 Date:
 18.11.2022

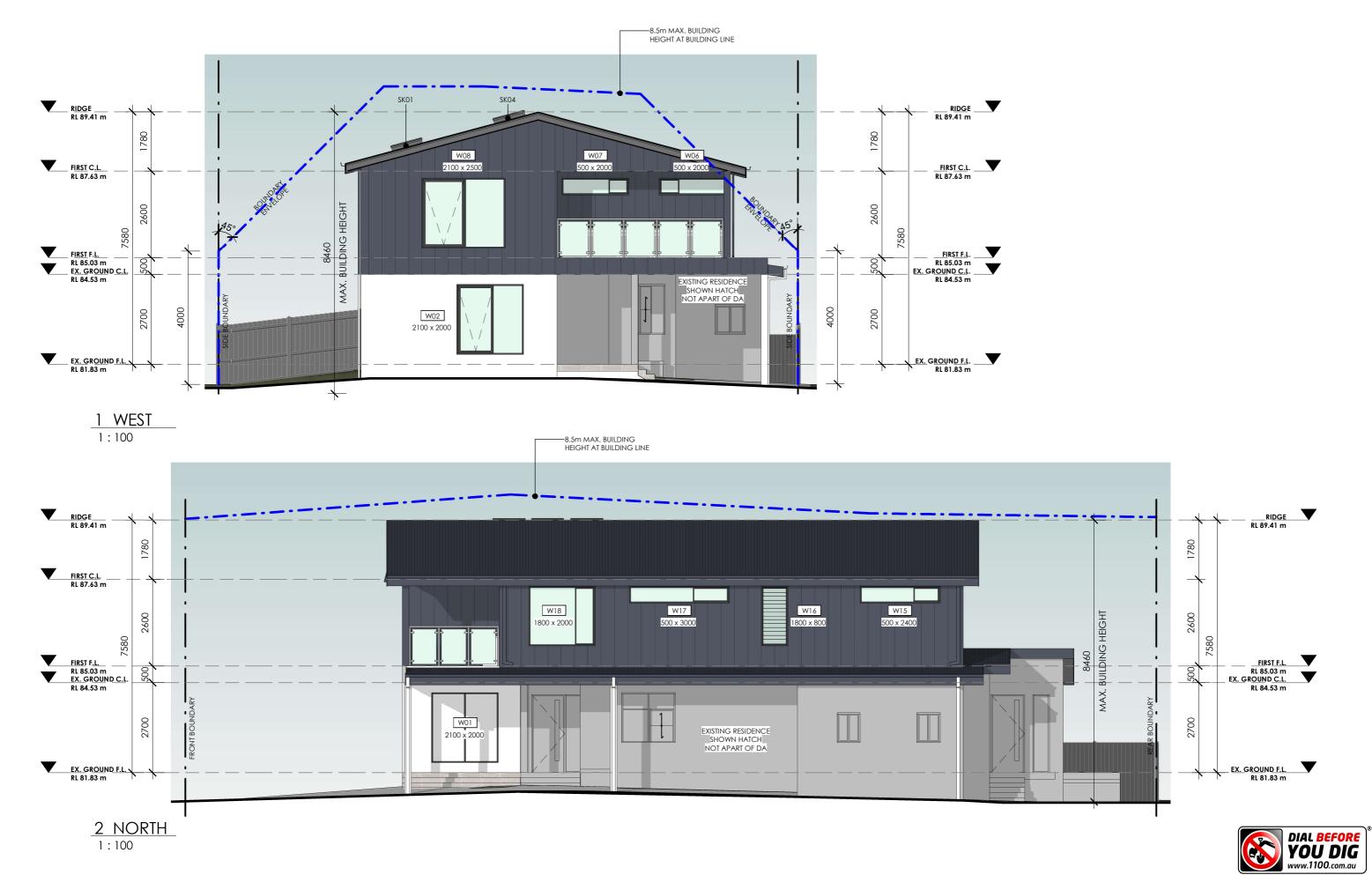
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FRANK GRILLA

**ADDITIONS & ALTERATIONS** 

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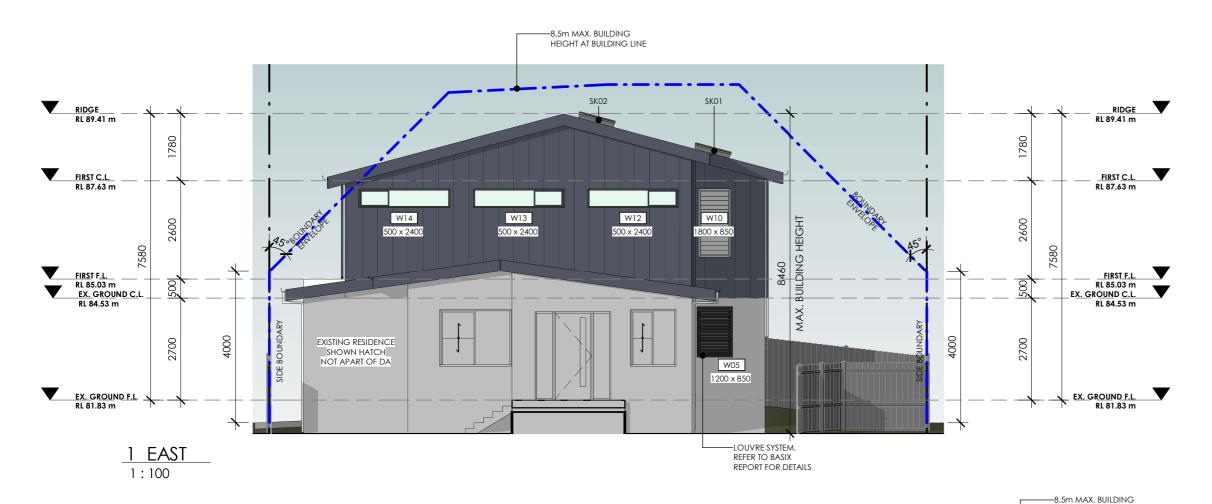
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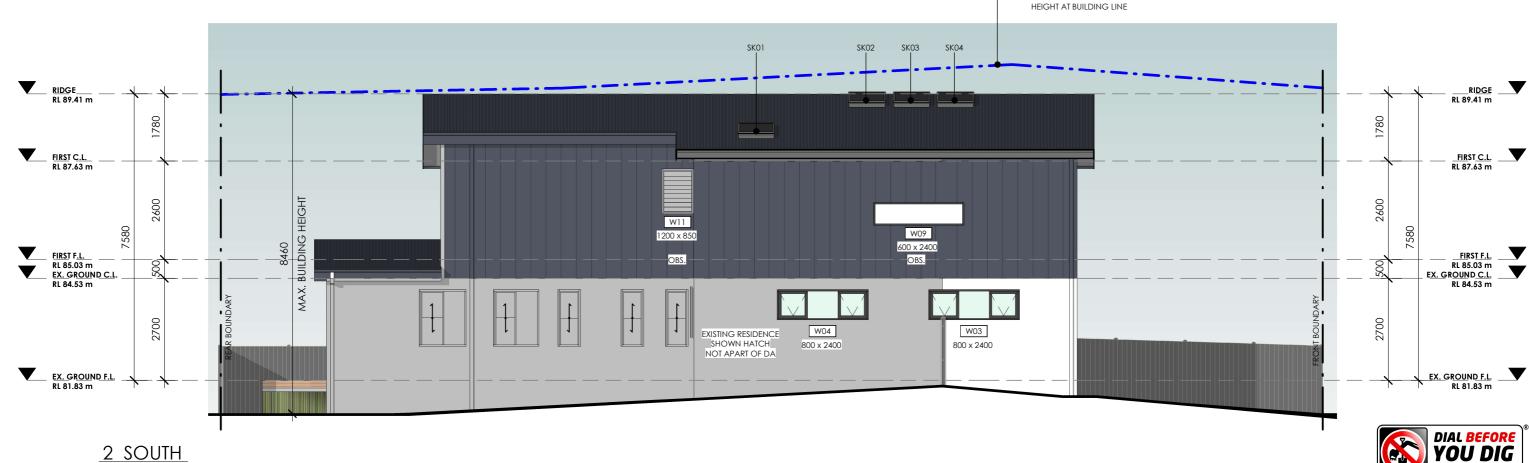
Adrian Joon

68 EDWARD STREET, NARRAWEENA, NSW

DA SUBMISSION NOT FOR CONSTRUCTION

Date: Drawn By





2 SOUTH 1:100

## **ELEVATIONS**

FRANK GRILLA **ADDITIONS & ALTERATIONS** 

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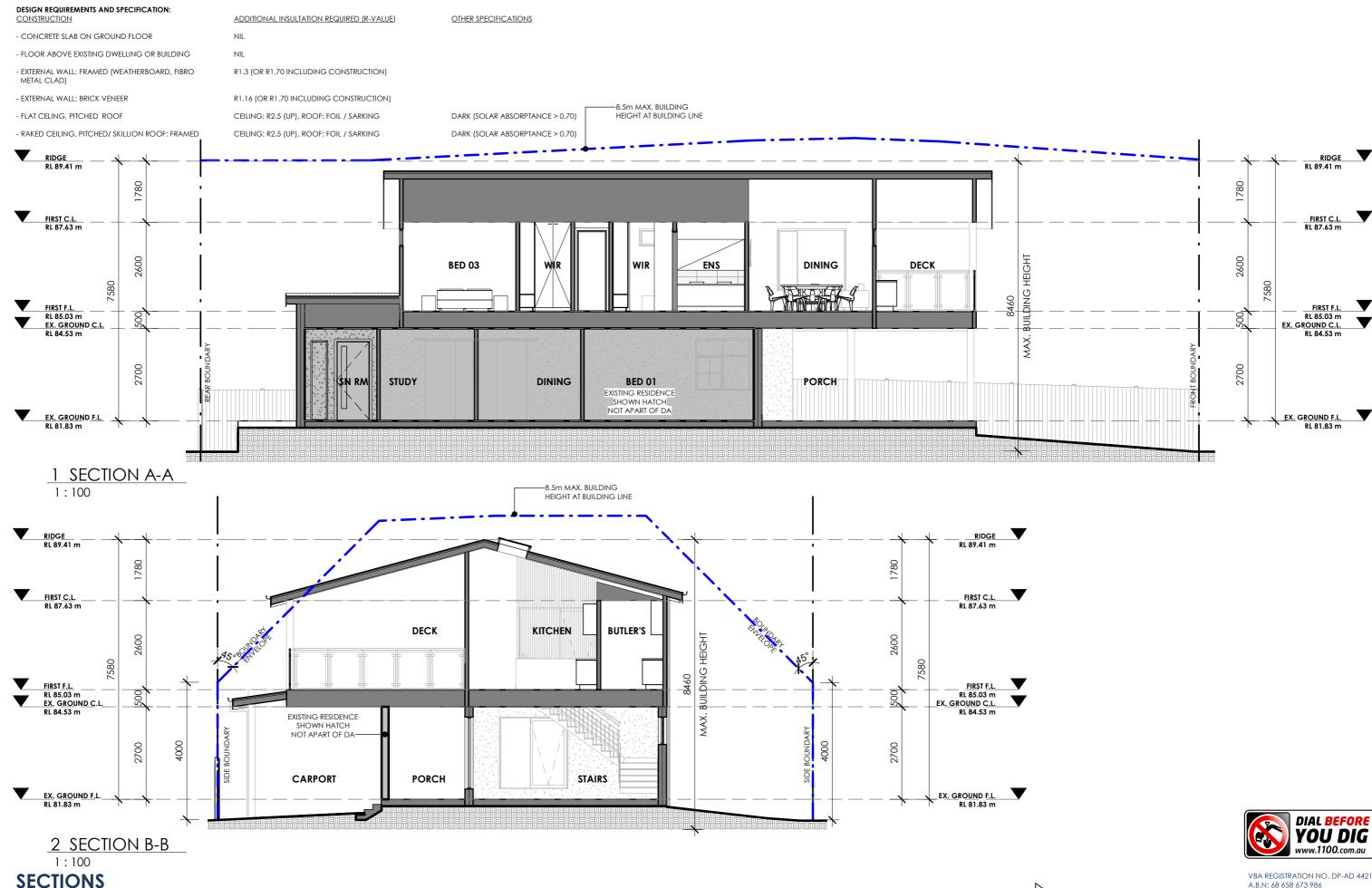
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INSULATION NOTES:
PROVISION OF THERMAL INSULATION TO BE PROVIDED AS REQUIRED BY B.C.A. REGULATION F6.2. & BASIX REPORT REFER TO BASIX REPORT FOR DETAILS.



FRANK GRILLA

**ADDITIONS & ALTERATIONS** 

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1 SOUTH



2 NORTH

# **EXTERIOR 3D PERSPECTIVES**

FRANK GRILLA 68 EDWARD STREET, NARRAWEENA, NSW

**ADDITIONS & ALTERATIONS** 

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3 WEST



4 EAST



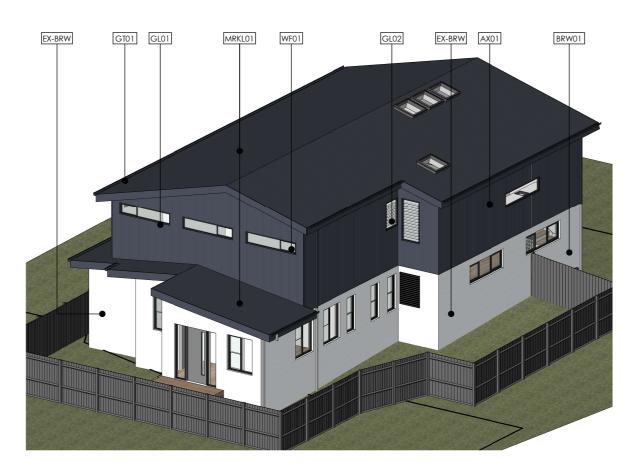
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# **EXTERNAL FINISHES SCHEDULE**

FRANK GRILLA

**ADDITIONS & ALTERATIONS** 

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#### **MATERIAL SCHEDULE**

CODE	ELEMENT	MATERIAL / FINISHES
MR-KL01	ROOF	PRECOLOURED CUSTOM ORB ROOF SHEETING COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
GT01	GUTTER	PRECOLOURED STEEL "TRIMLINE" OR "QUAD" COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
EX-BRW	WALL	EXISTING RENDERED BRICKWORK. REPAINT COLOUR: - DULUX "WHITE ON WHITE" OR SIMILAR
BRW01	WALL	PROPOSED RENDERED BRICKWORK, PAINT COLOUR: - DULUX "WHITE ON WHITE" OR SIMILAR
AX01	WALL	JAMES HARDIE "AXON" CLADDING COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
WF01	WINDOW & DOOR FRAME	PRECOLOURED ALUMINIUM COLOUR: WHITE, POWDERCOATED OR SIMILAR
GL01	GLASS	CLEAR (NON TINTED)
GL02	GLASS	OPAQUE

NOTE: ALL MATERIALS, PRODUCTS AND COLOURS MAY SLIGHTLY VARY ON SITE.

#### SAMPLE COLOURS:



CUSTOM ORB ROOF SHEETING COLORBOND "IRONSTONE" OR SIMILAR



COLORBOND "IRONSTONE"

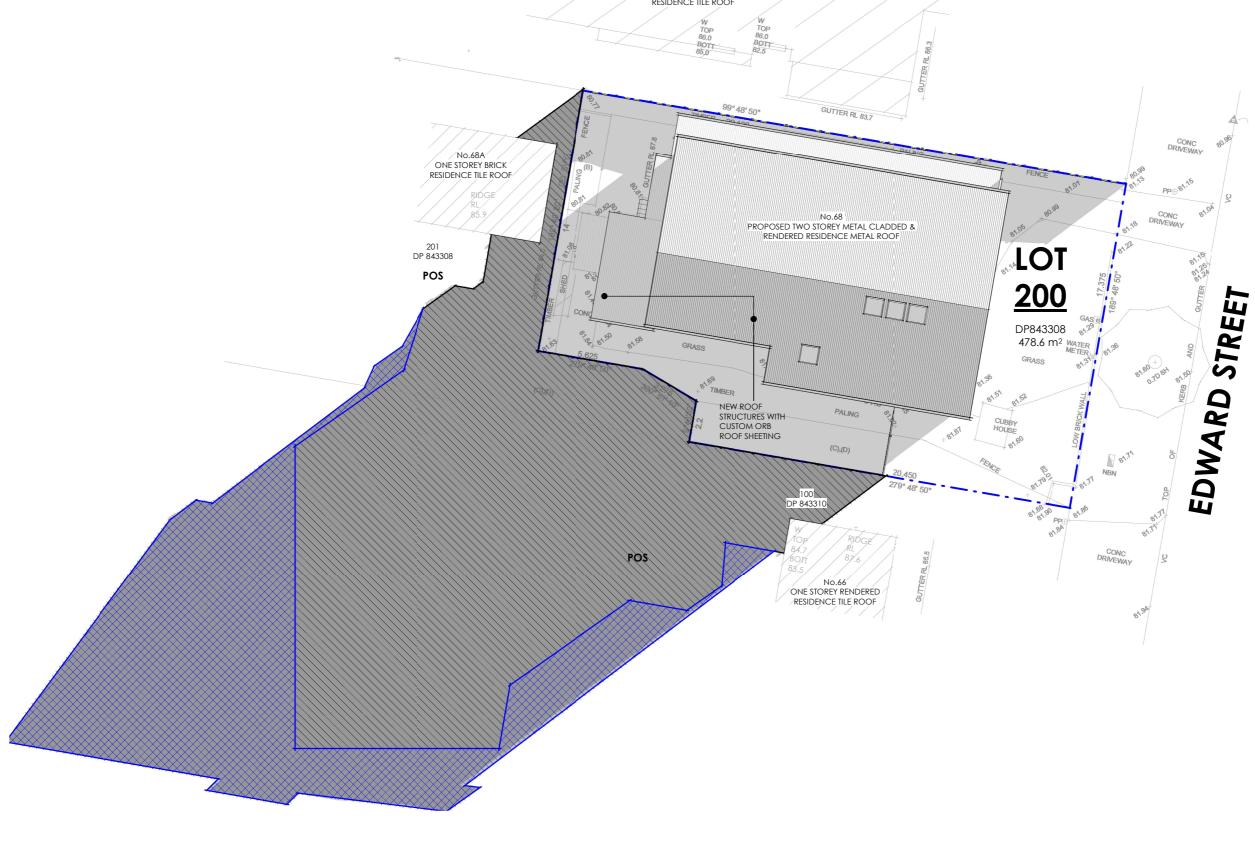


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EXISTING SHADOWS

ADDITIONAL SHADOWS

# SHADOW DIAGRAM 9 AM - 21ST JUNE

FRANK GRILLA

ADDITIONS & ALTERATIONS

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Job No: 22023SK
Page No: DA14
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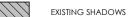




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ADDITIONAL SHADOWS





**SHADOW DIAGRAM 12 PM - 21ST JUNE** 

FRANK GRILLA **ADDITIONS & ALTERATIONS** 

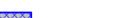
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ADDITIONAL SHADOWS





**SHADOW DIAGRAM 3 PM - 21ST JUNE** 

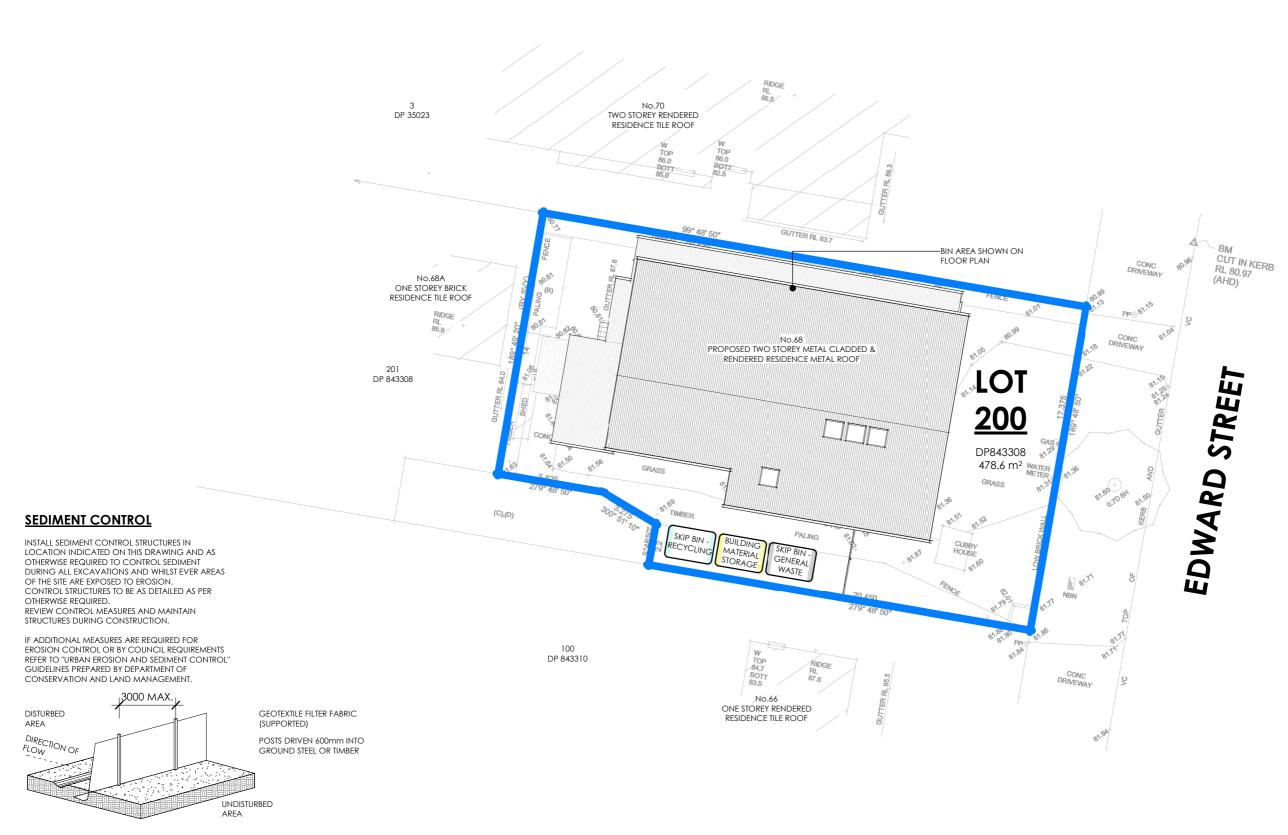
FRANK GRILLA

**ADDITIONS & ALTERATIONS** 

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#### **SEDIMENT FENCE DETAIL**

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX. AND

# **WASTE MANAGEMENT PLAN /** SEDIMENT EROSION

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

**ADDITIONS & ALTERATIONS** 

DA SUBMISSION NOT FOR CONSTRUCTION Designed By ADRIAN JOON Job No:

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#### **GENERAL NOTES**

EROSION AND SEDIMENT CONTROL
SILT FENCE AROUND PERIMETER OF THE PROPERTY AS INDICATED. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY BY SITE MANAGER.

SITE ACCESS POINT PROVIDE KERB AND LAYBACK SEDIMENT GRID SILTTRAPS

WASTE & RECYCLING MANAGEMENT
WASTE MATERIAL WILL BE STORED ONSITE UNTIL TRUCK OR SKIP IS AVAILABLE FOR PICK UP FROM STREET. MATERIALS FOR RECYCLING WILL BE SEPARATED AND STORED APPROPRIATELY SO WASTE AND RECYCLING REQUIREMENTS ARE REDUCED.

WASTE DURING CONSTRUCTION SKIPS WILL BE POSITIONED IN THE OFF STREET PARKING AFTER CONSTRUCTION.

AFTER CONSTRUCTION WASTE AND RECYCLING BINS WILL BE STORED AT FRONT OF PROPERTY WITH ACCESS TO CLEANING FACILITIES.

COUNCIL APPROVAL WILL BE OBTAINED PRIOR TO PLACEMENT OF ANY MATERIALS ON THE FOOTPATH.

ALL STOCKPILES TO BE CLEAR OF DRAINS, GUTTERS AND

STORMWATER AND DRAINAGE
USING EXISTING STORMWATER WILL REMAIN AS EXISTING AND ALL WORK WILL BE IN ACCORDANCE TO COUNCIL REQUIREMENTS.

DRAINAGE IS TO REMAIN AS EXISTING TO STORMWATER

ROADS AND FOOTPATH TO BE SWEPT DAILY.

HOURS OF OPERATION NOT TO EXCEED THOSE NOTED IN COUNCIL POLICY

NO RAINFOREST TIMERS OR TIMBER CUT FROM OLD GROWTH FOREST TO BE USED IN CONSTRUCTION. GENERALLY STRUCTURAL TIMBER TO BE TREATED PINE AND

REFER WASTE MANAGEMENT PLAN FOR RECYCLING AND MATERIALS TO BE REMOVED FROM SITE. WASTE MANAGEMENT PLAN IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.

HAZARDOUS MATERIALS AND ASBESTOS REMOVAL TO BE IN ACCORDANCE WITH REQUIREMENTS OF THE RELEVANT LEGISLATION, CODES, STANDARDS AND GUIDELINES PRIOR TO ANY DEMOLITION. PRIOR TO ANY REMOVAL OF ASBESTOS FULL DETAILS TO BE SUBMITTED TO COUNCIL ON THE METHOD OF CONTAINMENT AND CONTROL OF EMISSION OF FIBRES TO THE AIR.

ASBESTOS REMOVAL AND TRANSPORTATION WORKS ARE TO FULLY COMPLY WITH WORKCOVER NSW AND THE EPA AS WELL AS 'CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS (NOHSC:202(1988))' AND SPECIFICALLY NORTHERN BEACHES COUNCIL'S ASBESTOS POLICY AND NATIONAL OCCUPATIONAL HEALTH AND SAFETY COMMISSIONS: CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS 2000 (1988)

CONSTRUCTION MANAGEMENT
SITE DELIVERIES AND ACCESS TO BE MADE FROM THE STREET USING EXISTING ACCESS POINTS.

LOADING AND UNLOADING OF EXCAVATION MACHINES, FORM WORK AND BUILDING MATERIALS TO BE IN STREET USING SUITABLE WARNING SIGNS ERECTED DURING

#### SOIL AND EXCAVATION

MATERIAL FROM SITE IS NOT TO BE TRACKED ONTO THE ROAD BY VEHICLES/MACHINERY ENTERING OR LEAVING THE SITE. CLEAR DUST/SOIL OR OTHER CONSTRUCTION MATERIAL TO BE SWEPT OFF PAVEMENT / ROADWAY AND CONTAINED WITHIN THE SITE.

DEMOLISHED WORKS TO BE SPRAYED WITH WATER ONTO POROUS SURFACE ONLY TO SUPPRESS DUST. COVERS TO BE MADE SECURE OVER CEMENT WHEN SITE NOT IN USE TO RESTRICT CONCRETE BLOWING AROUND

DURING DEMOLITION / CONSTRUCTION KEEP FOOTPATH & ROAD CLEAR OF VEHICLE & MATERIALS.

A CRANE IS NOT ANTICIPATED.

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#### Adrian Joon

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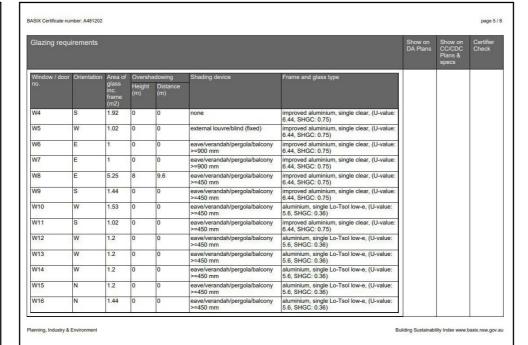
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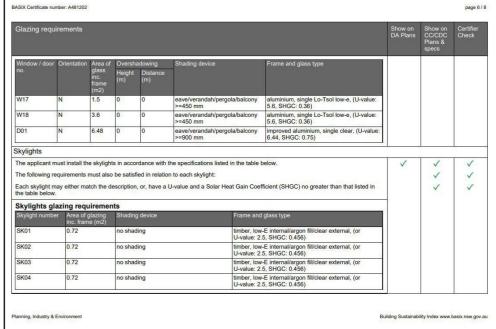


Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifie Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		V	~
Fixtures	-		
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		~	1
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water ratin	g.	~	1
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		1	

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified	Construction  assulation requirements			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
concrete slab on ground floor.  nil  floor above existing dwelling or building.  nil  external wall: framed (weatherboard, fibro, metal clad)  R1.30 (or R1.70 including construction)  external wall: brick veneer  R1.16 (or R1.70 including construction)  lat ceiling, pitched roof  ceiling: R2.50 (up), roof: foil/sarking  dark (solar absorptance > 0.70)	The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.					1
loor above existing dwelling or building.  nil  R1.30 (or R1.70 including construction)  R1.30 (or R1.70 including construction)  external wall: brick veneer  R1.16 (or R1.70 including construction)  lat ceiling, pitched roof  ceiling: R2.50 (up), roof: foll/sarking  dark (solar absorptance > 0.70)	Construction	Additional insulation required (R-value)	Other specifications			
external wall: framed (weatherboard, fibro, netal clad)  R1.30 (or R1.70 including construction)  R1.16 (or R1.70 including construction)  at ceiling, pitched roof  ceiling: R2.50 (up), roof: foll/sarking dark (solar absorptance > 0.70)	concrete slab on ground floor.	nil				
netal clad)  R1.16 (or R1.70 including construction)  lat ceiling, pitched roof ceiling: R2.50 (up), roof: foll/sarking dark (solar absorptance > 0.70)	loor above existing dwelling or building.	nil				
lat ceiling, pitched roof ceiling: R2.50 (up), roof: foil/sarking dark (solar absorptance > 0.70)		R1.30 (or R1.70 including construction)				
	external wall: brick veneer	R1.16 (or R1.70 including construction)				
raked ceiling, pitched/skillion roof: framed ceiling: R2.50 (up), roof: foil/sarking dark (solar absorptance > 0.70)	lat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			
	raked ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	dark (solar absorptance > 0.70)			

	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
/indows and	•		n alazed	doore and e	hading devices in accordance with	the specifications listed in the table below.		,	
					r each window and glazed door.	the specifications listed in the table below.	~	~	~
he following re	equirements	must also	be satisfi	ed in relation	n to each window and glazed door:			~	~
ave a U-value nust be calcula	and a Solar ated in accord	Heat Gai	n Coefficie h National	ent (SHGC) r Fenestratio	no greater than that listed in the tab	ar glazing, or toned/air gap/clear glazing must le below. Total system U-values and SHGCs s. The description is provided for information		~	~
					f each eave, pergola, verandah, bal than 2400 mm above the sill.	cony or awning must be no more than 500 mm	<b>✓</b>	~	V
ergolas with p	olycarbonate	roof or s	imilar tran	slucent mate	erial must have a shading coefficien	t of less than 0.35.		1	1
xternal louvre	s and blinds	must fully	shade the	e window or	glazed door beside which they are	situated when fully drawn or closed.		1	1
ergolas with fi	xed battens endicular win	must have dow. The	spacing b	parallel to the etween batte	e window or glazed door above whi ens must not be more than 50 mm.	ch they are situated, unless the pergola also		~	~
	buildings or overshadow	vegetatio	on must be nn in the t	of the heigh able below.	ht and distance from the centre and	the base of the window and glazed door, as	~	~	~
vershadowing	'overshadow	ving' colur	nn in the t	table below.		the base of the window and glazed door, as	~	~	~
Overshadowing pecified in the Vindows an Vindow / door	'overshadow nd glazed (	doors g	nn in the t lazing r Oversha	equirement adowing		the base of the window and glazed door, as	~	~	1
overshadowing pecified in the	'overshadow nd glazed (	ving' colur doors g	nn in the t	able below. equireme	nts		~	~	✓
Overshadowing pecified in the Vindows an Vindow / door	'overshadow nd glazed (	Area of glass inc. frame	lazing re Oversha	equirement adowing Distance	nts		<b>~</b>	✓	✓
Overshadowing pecified in the Vindows an Window / door no.	overshadow od glazed ( Orientation	doors g Area of glass inc. frame (m2)	Oversha Height (m)	equireme adowing Distance (m)	shading device Shading device eave/verandah/pergola/balcony	Frame and glass type improved aluminium, single clear, (U-value:	<b>~</b>	✓	✓







BUILDING DESIGN

Amendment DA SUBMISSION

Scale @A3

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