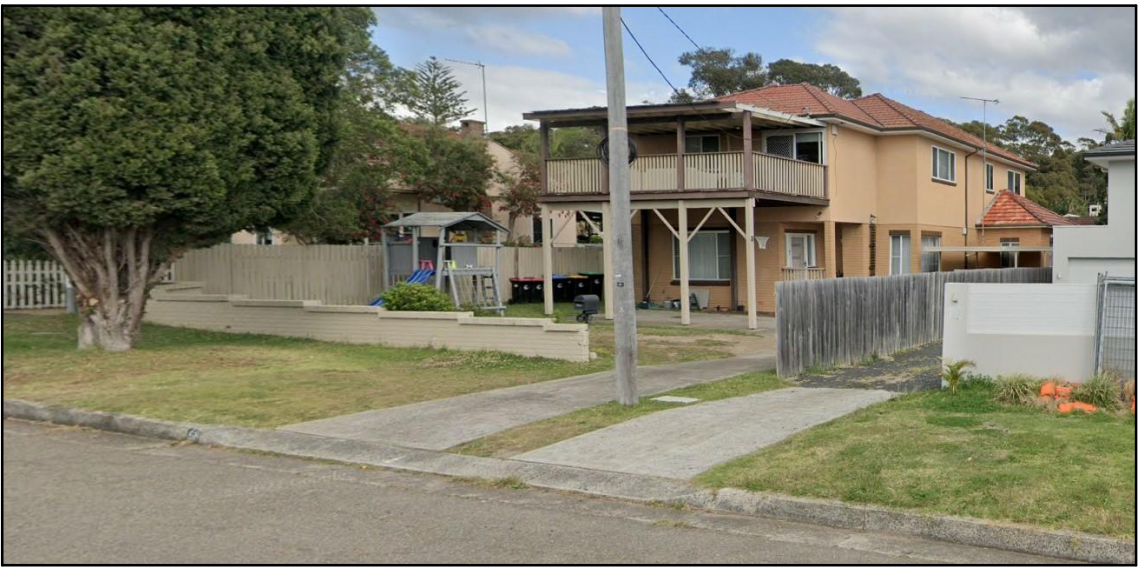
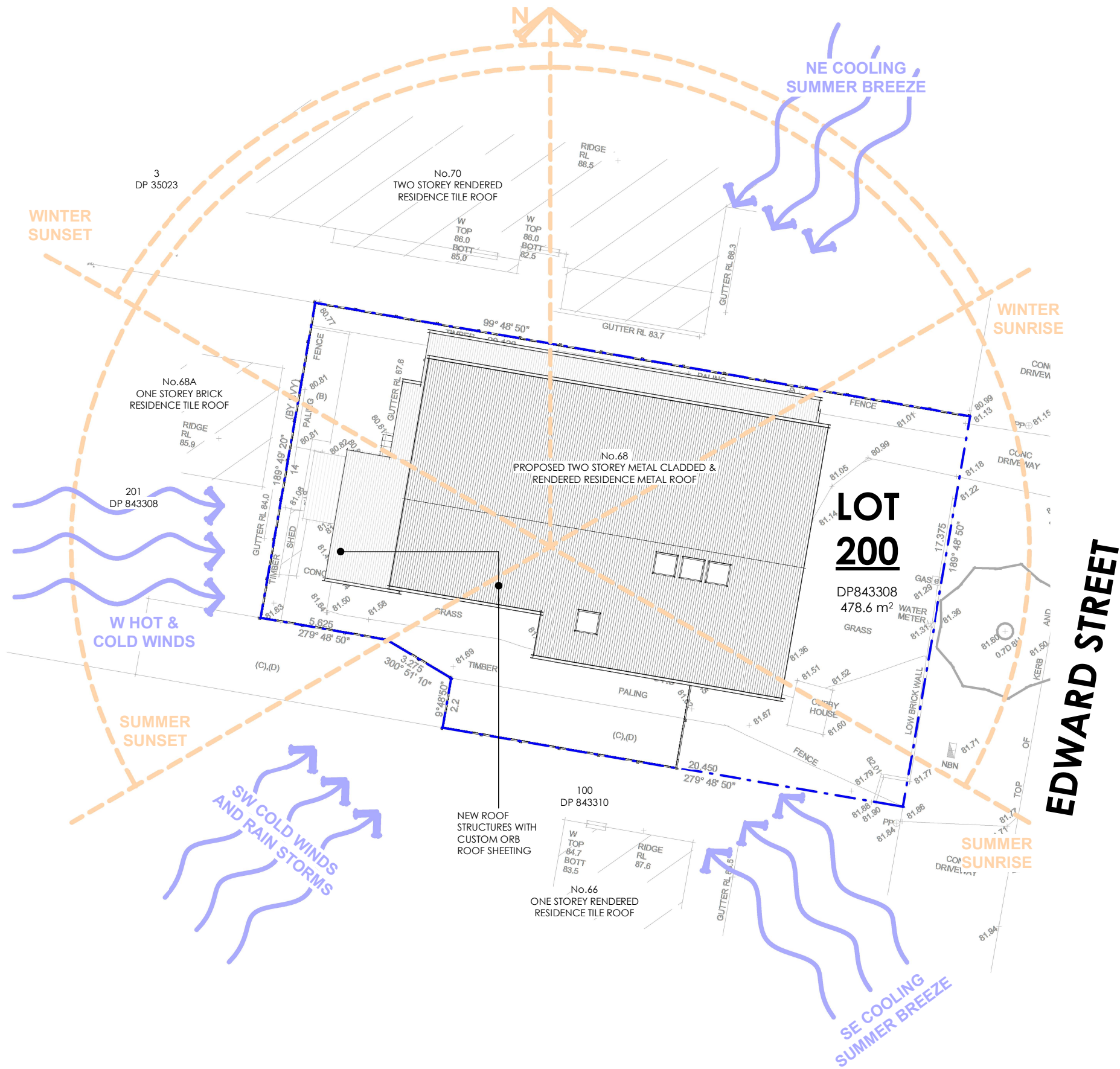


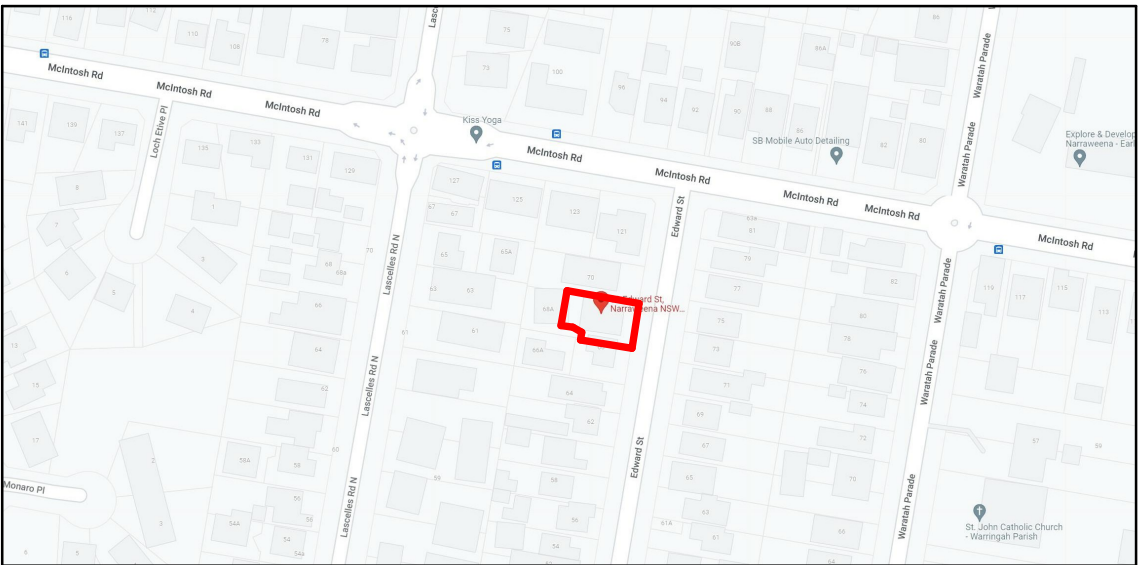
DRAWING SCHEDULE

DA00	COVER SHEET
DA01	SITE ANALYSIS
DA02	EXISTING SITE PLAN
DA03	PROPOSED SITE PLAN
DA04	EXISTING / DEMOLITION - GROUND & FIRST FLOOR PLAN
DA05	PROPOSED GROUND LEVEL FLOOR PLAN
DA06	PROPOSED FIRST LEVEL FLOOR PLAN
DA07	PROPOSED ROOF PLAN
DA08	ELEVATIONS
DA09	ELEVATIONS
DA10	SECTIONS
DA11	EXTERIOR 3D PERSPECTIVES
DA12	EXTERNAL FINISHES SCHEDULE
DA14	SHADOW DIAGRAM 9 AM - 21ST JUNE
DA15	SHADOW DIAGRAM 12 PM - 21ST JUNE
DA16	SHADOW DIAGRAM 3 PM - 21ST JUNE
DA17	WASTE MANAGEMENT PLAN / SEDIMENT EROSION
DA18	BASIX REQUIREMENTS





STREET VIEW



LOCATION MAP



AERIAL MAP

SITE ANALYSIS

FRANK GRILLA
68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS
DA SUBMISSION
NOT FOR CONSTRUCTION

Designed By	ADRIAN JOON	Rev	F
Job No:	22023SK	Date:	18.11.2022
Page No:	DA01	Drawn By	AJ
Scale @A3	As indicated	Amendment	DA SUBMISSION



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EXISTING SITE PLAN

FRANK GRILLA
68 EDWARD STREET, NARRAWEENA, NSW

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Job No: 220235K
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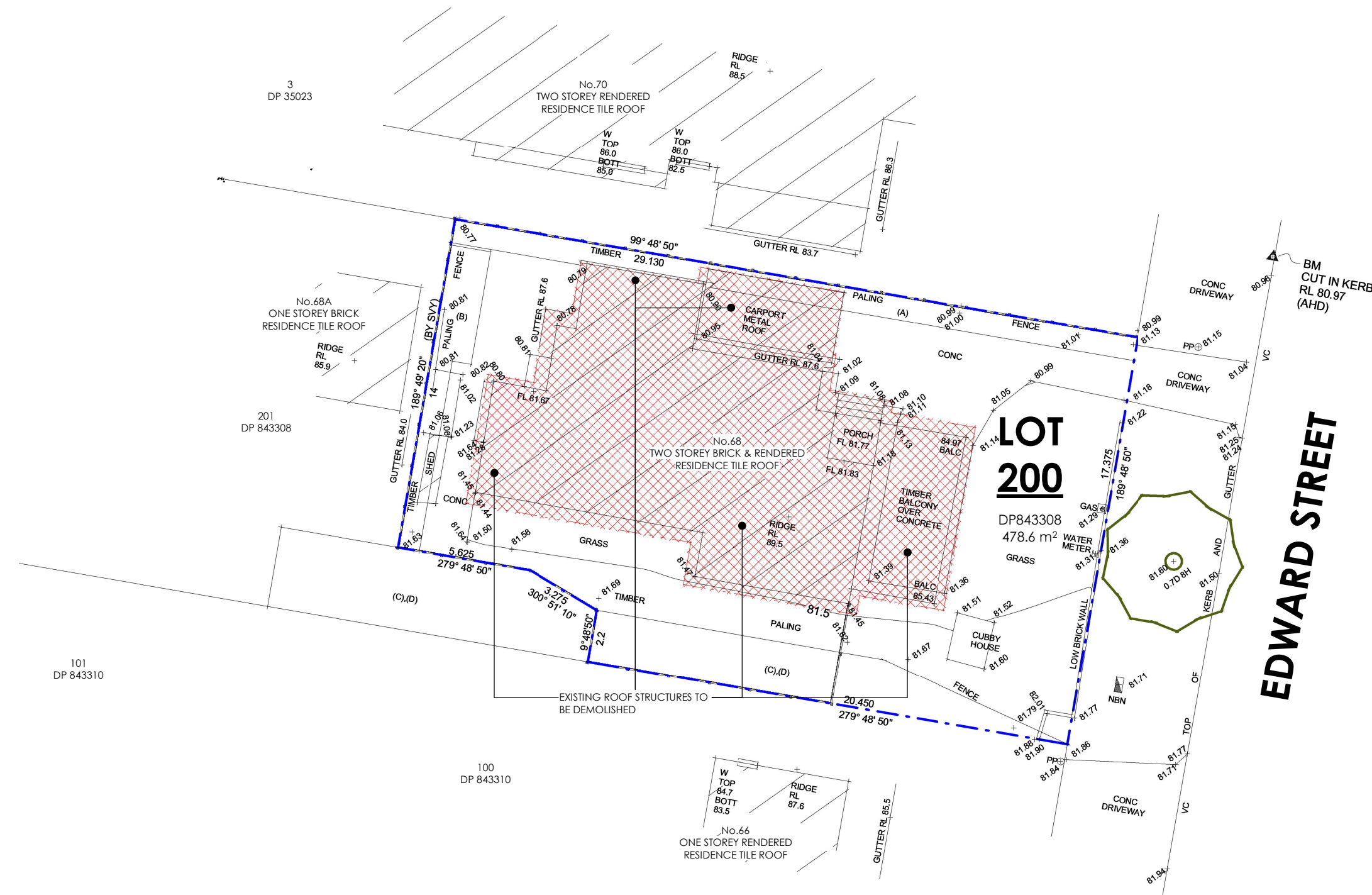


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LEGEND



TO BE DEMOLISHED



EXISTING ELEMENTS



EXISTING TREE TO REMAIN



TREE TO BE REMOVED

REFER TO LANDSCAPE DRAWINGS OR LANDSCAPE ARCHITECTS DRAWINGS FOR DETAILS

PROPOSED SITE PLAN

FRANK GRILLA
68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS
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LEGEND



EXISTING ELEMENTS

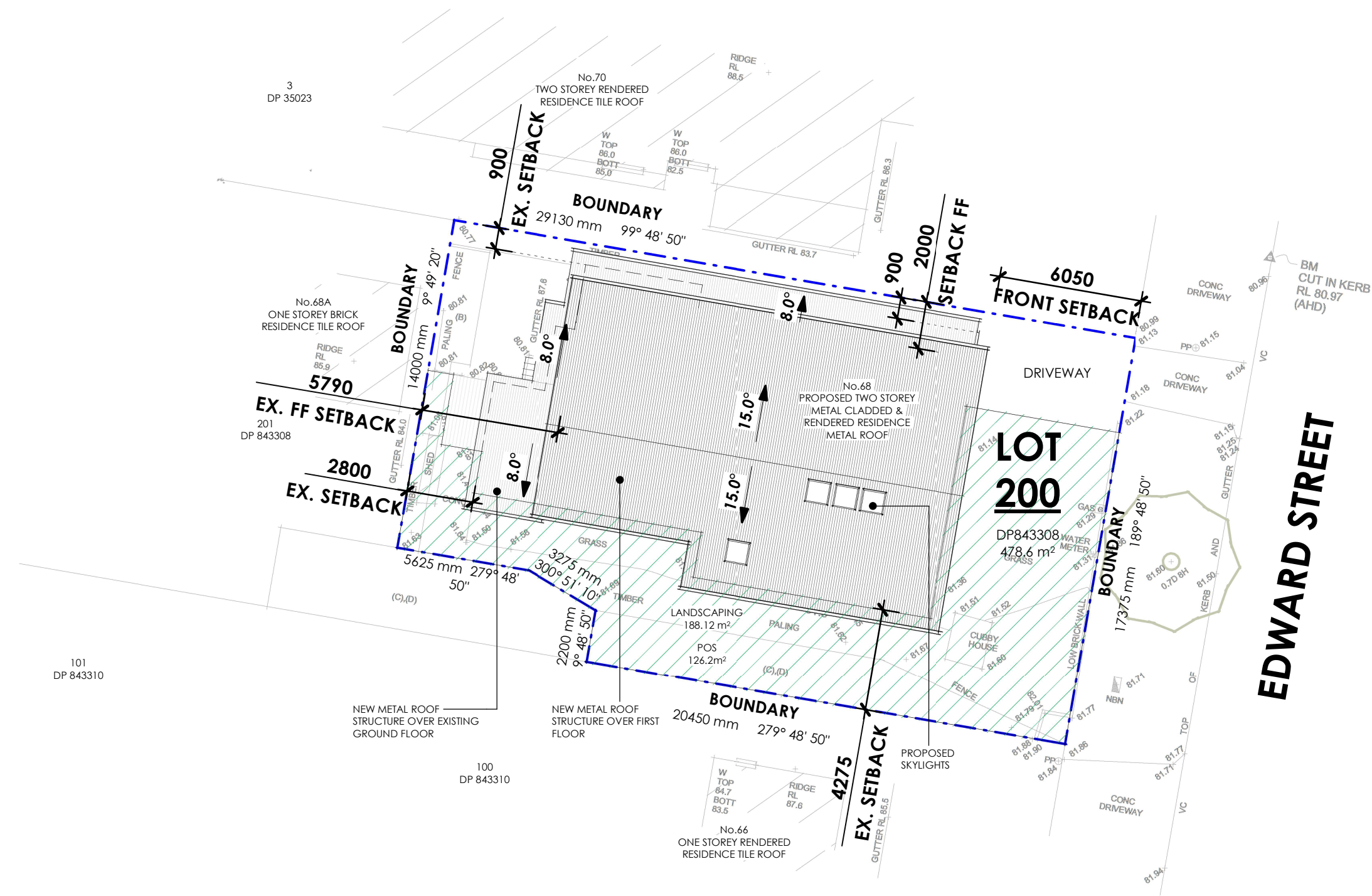


PROPOSED ADDITIONS OR
ALTERED ELEMENTS



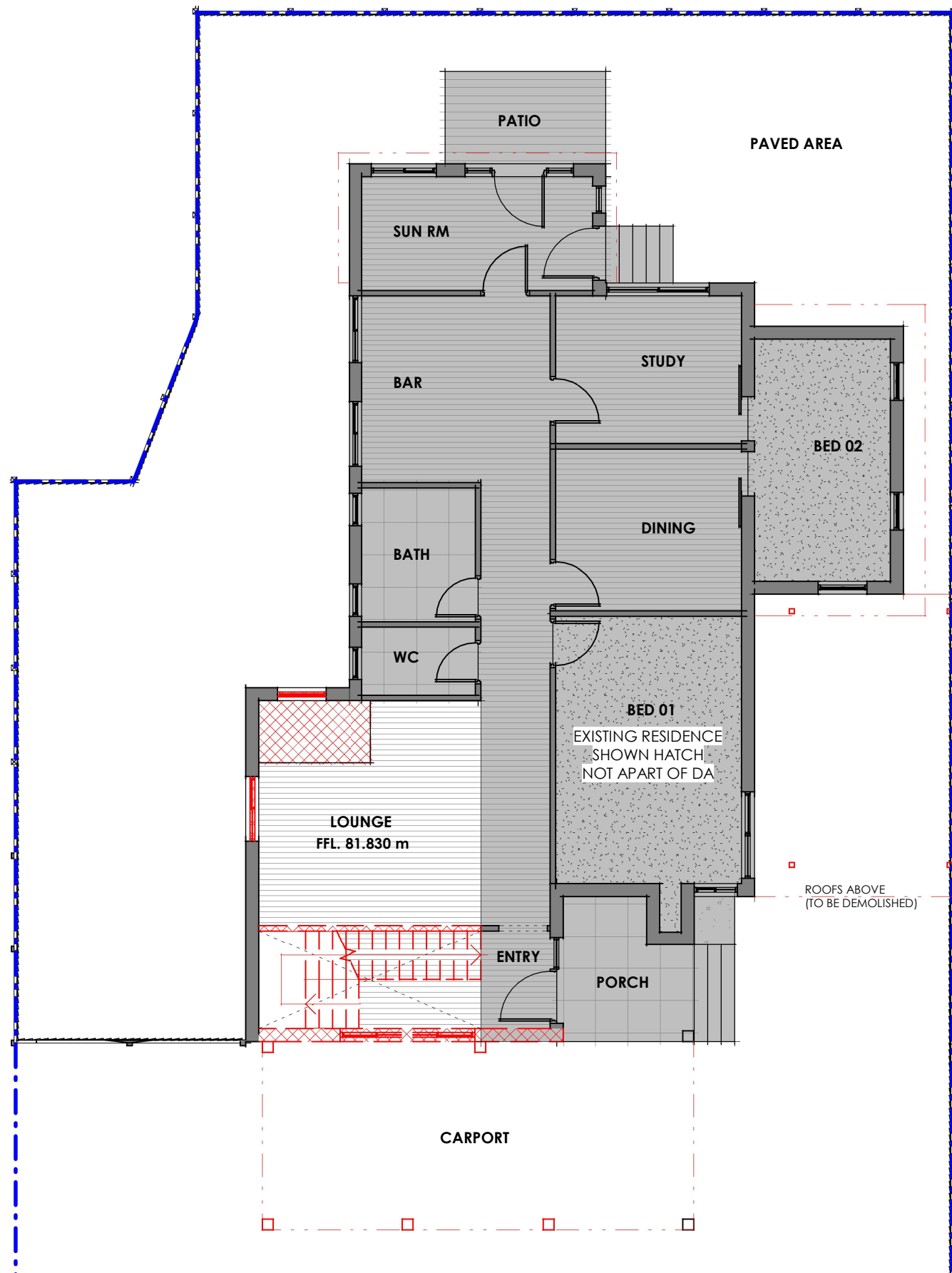
TREE

REFER TO LANDSCAPE DRAWINGS OR LANDSCAPE
ARCHITECTS DRAWINGS FOR DETAILS

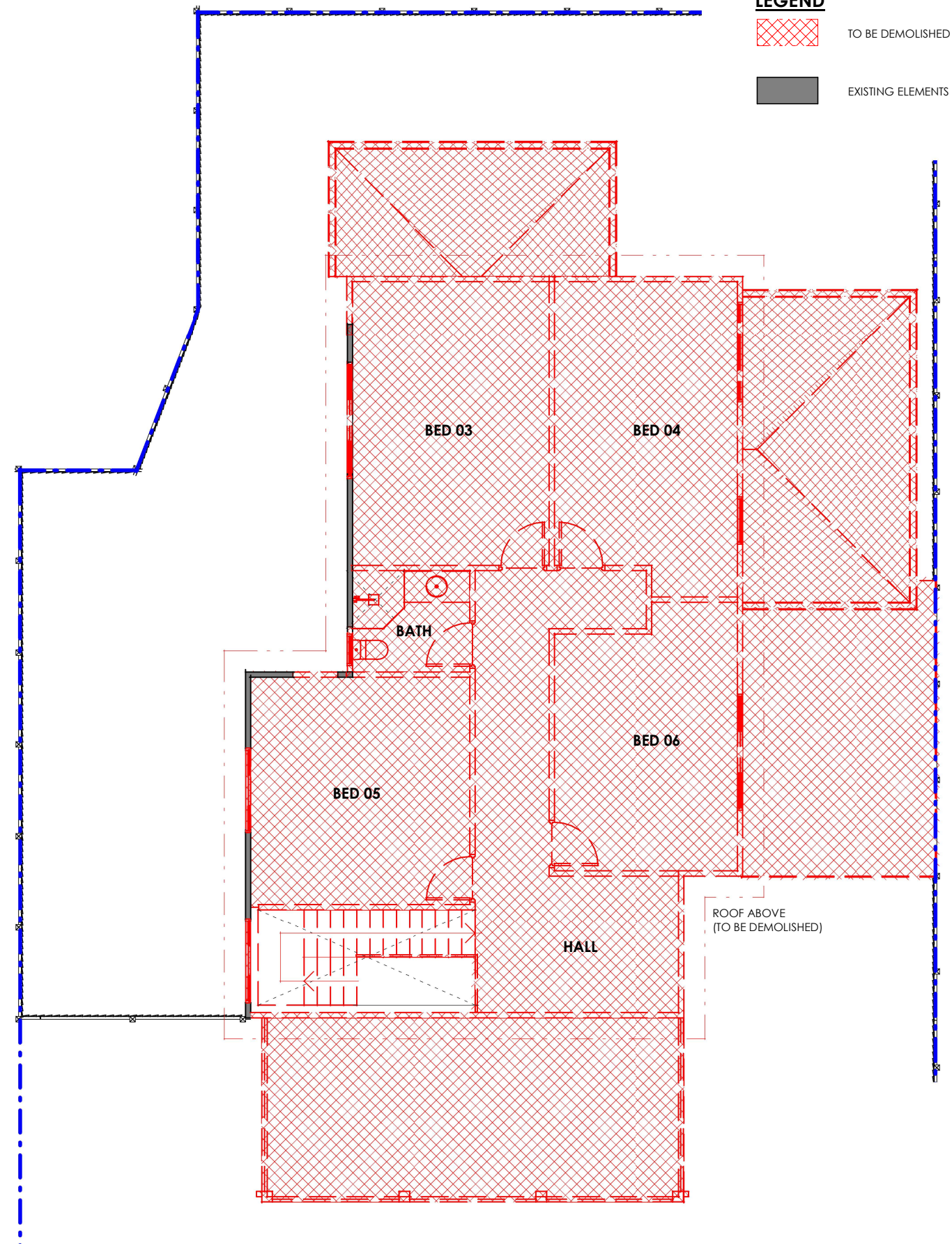


SITE AREA CALCULATIONS

	PROVIDED	REQUIRED
SITE AREA	478.6m²	
EXISTING FLOOR AREA		
GROUND FLOOR	119.99m ²	
FIRST FLOOR	102.33m ²	
TOTAL EXISTING FLOOR AREA	222.32m²	
	46.45%	
PORCH	7.14m ²	
PATIO	5.00m ²	
DECK	27.95m ²	
CARPORT	27.95m ²	
PROPOSED FLOOR AREA		
GROUND FLOOR	139.19m ²	
FIRST FLOOR	144.17m ²	
TOTAL PROPOSED FLOOR AREA	283.36m²	
	59.20%	
PORCH	18.48m ²	
PATIO	5.00m ²	
DECK	15.21m ²	
CARPORT	21.35m ²	
LANDSCAPING	188.12m²	191.4m²
	39.31%	40%
PRIVATE OPEN SPACE - No change	126.2m²	60m²



1 GROUND FLOOR
1 : 100



2 FIRST FLOOR
1 : 100

EXISTING / DEMOLITION - GROUND & FIRST FLOOR PLAN

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS

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PROPOSED GROUND LEVEL
FLOOR PLAN

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

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Page No: DA05
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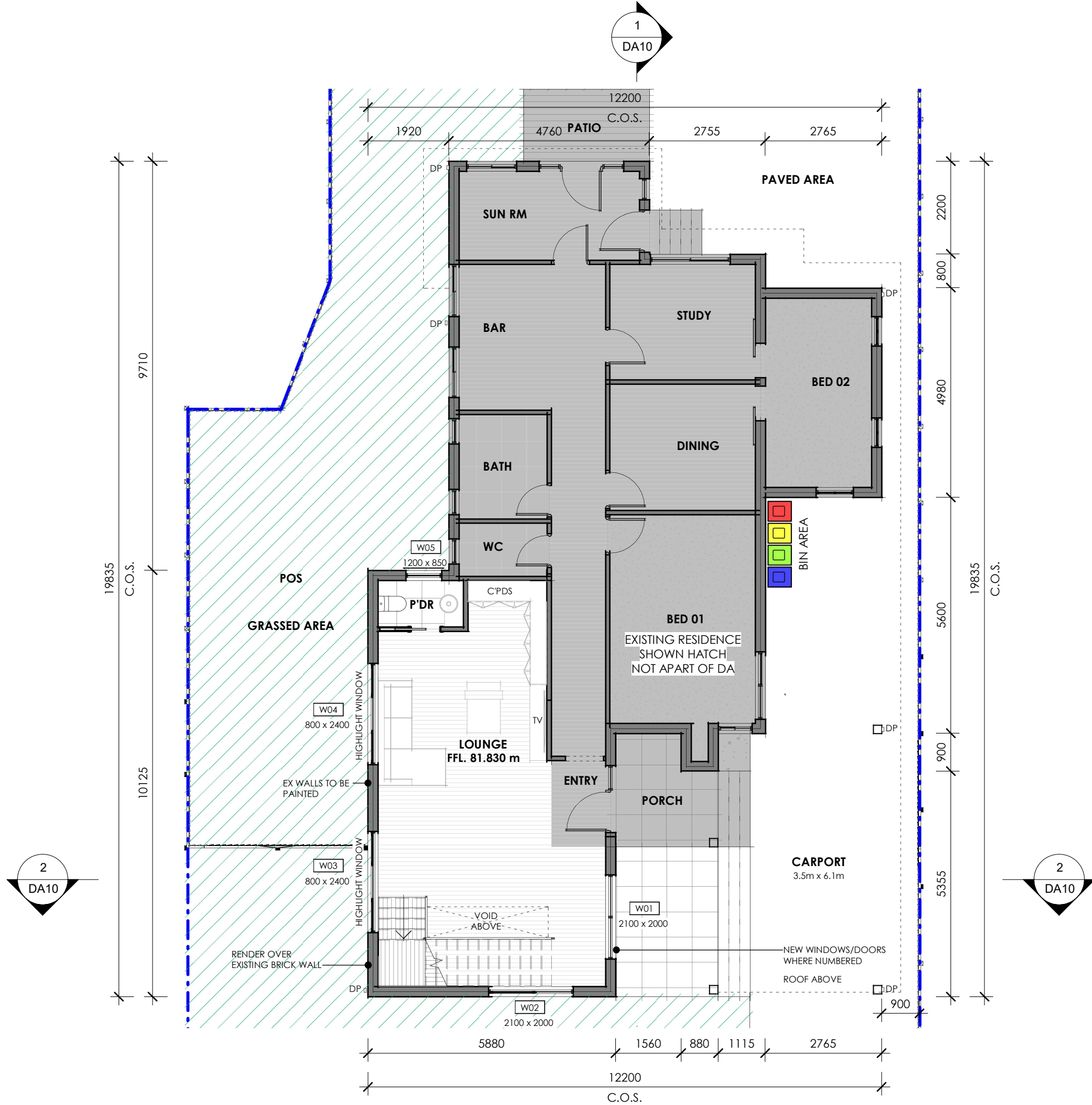


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LEGEND

A/C	SELECTED SPLIT SYSTEM
CT	COOKTOP
BA	BATH TUB
BT	BENCH TOP
BV	BASIN AND VANITY
DM	DRYING MACHINE
DP	DOWNPIPE
DW	DISH WASHER
HWU	HOT WATER UNIT
JN	JOINERY BY OTHERS
MR	METAL ROOFING
PAN	TOILET
PS	ALUMINIUM PRIVACY SCREEN
REF	REFRIDGERATOR
RH	RANGE HOOD
RWH	RAIN WATER HEAD
SHR	SHOWER
SPR	RAIN WATER SPREADER
SRN	GLASS SHOWER SCREEN
SS	SELECTED SINK
TR	LAUNDRY TUB
UBO	UNDER BENCH OVEN
WM	WASHING MACHINE

W01 WINDOW TAG -
REFER TO WINDOW SCHEDULE

D01 DOOR TAG -
REFER TO DOOR SCHEDULE

TIMBER SELECTED TIMBER
FLOORING FINISH

TILES SELECTED TILE FINISH

CARPET SELECTED CARPET FLOORING FINISH

DECK SELECTED TIMBER DECKING

CONC. CONCRETE FINISH

WT WALL TAG -
REFER TO WALL SCHEDULE

RL 0.000 m FINISHED FLOOR LEVEL

FW FLOOR WASTE

AL ARTICULATION JOINT
AS PER ENGINEER'S DESIGN
AND MANUFACTURER'S SPEC'S

EXHAUST FAN DUCTED EXTERNALLY

S/A SMOKE ALARM -
TO BE INSTALLED IN ACCORDANCE
WITH A.S. 3786 AND 3.7.5.2 OF THE
NCC. ALL SMOKE ALARMS ARE TO
BE HARD WIRED AND
INTERCONNECTED.

PROPOSED FIRST LEVEL FLOOR PLAN

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS

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Page No:	DA06	Drawn By	AJ
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Amendment	DA SUBMISSION

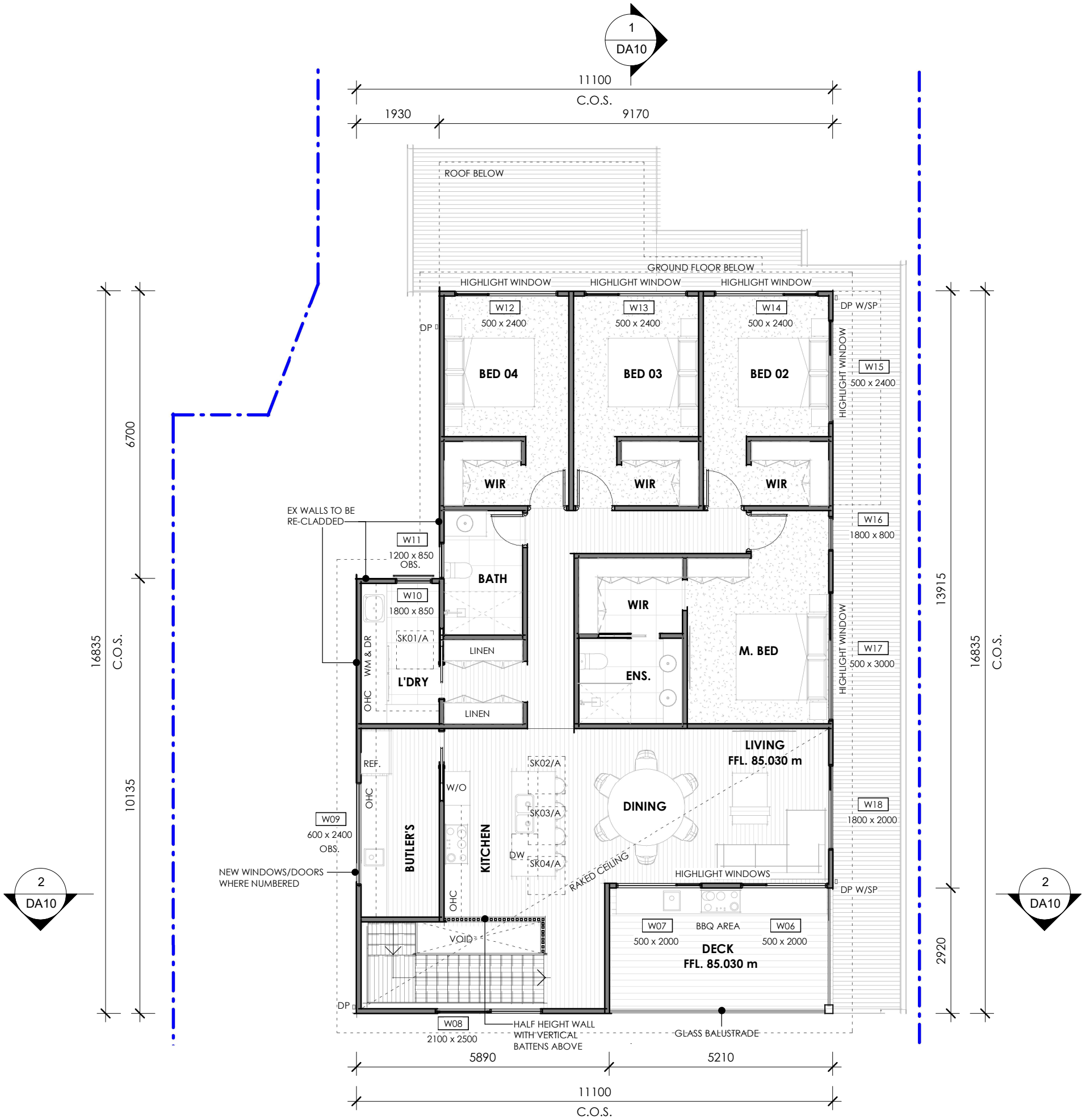


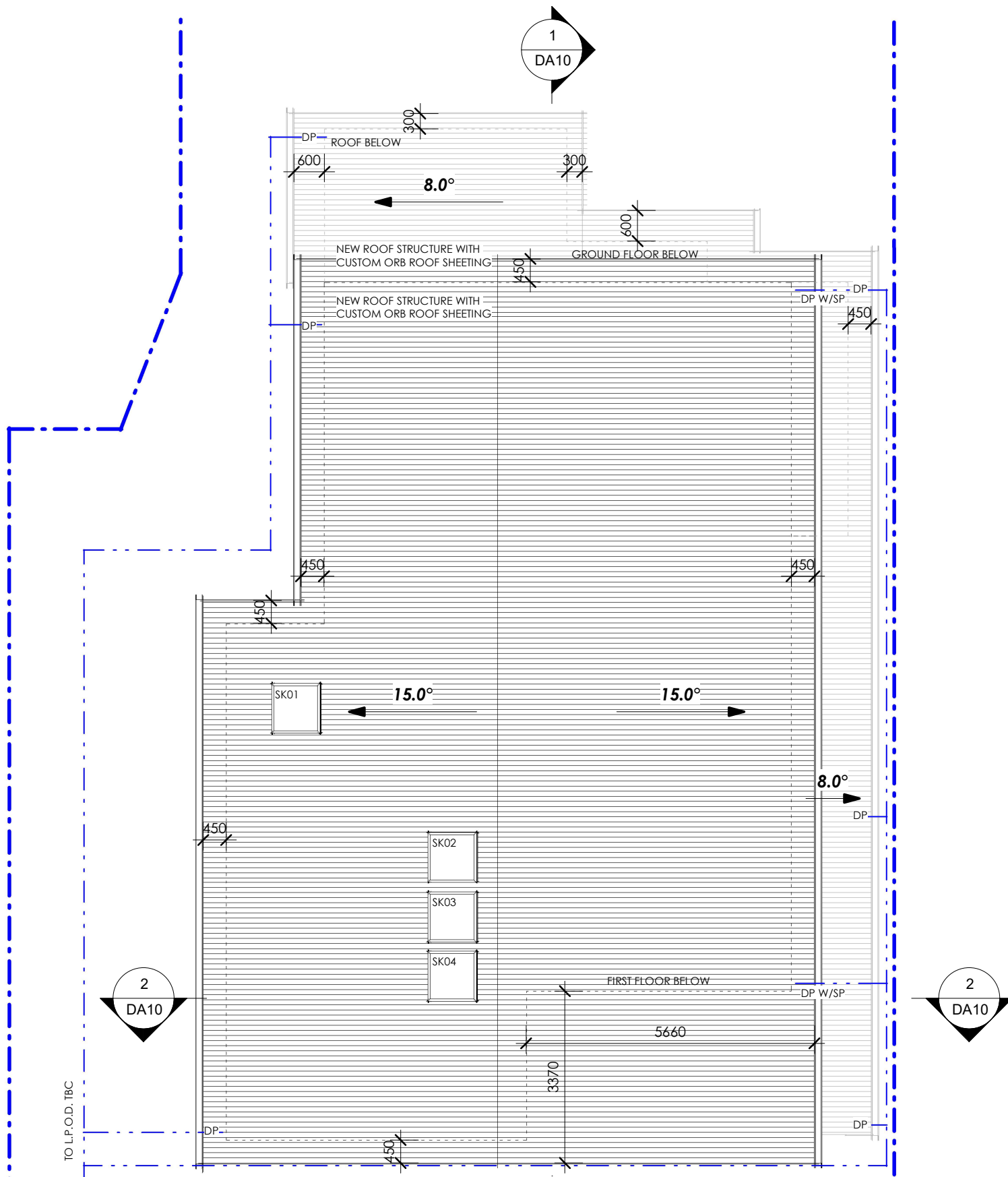
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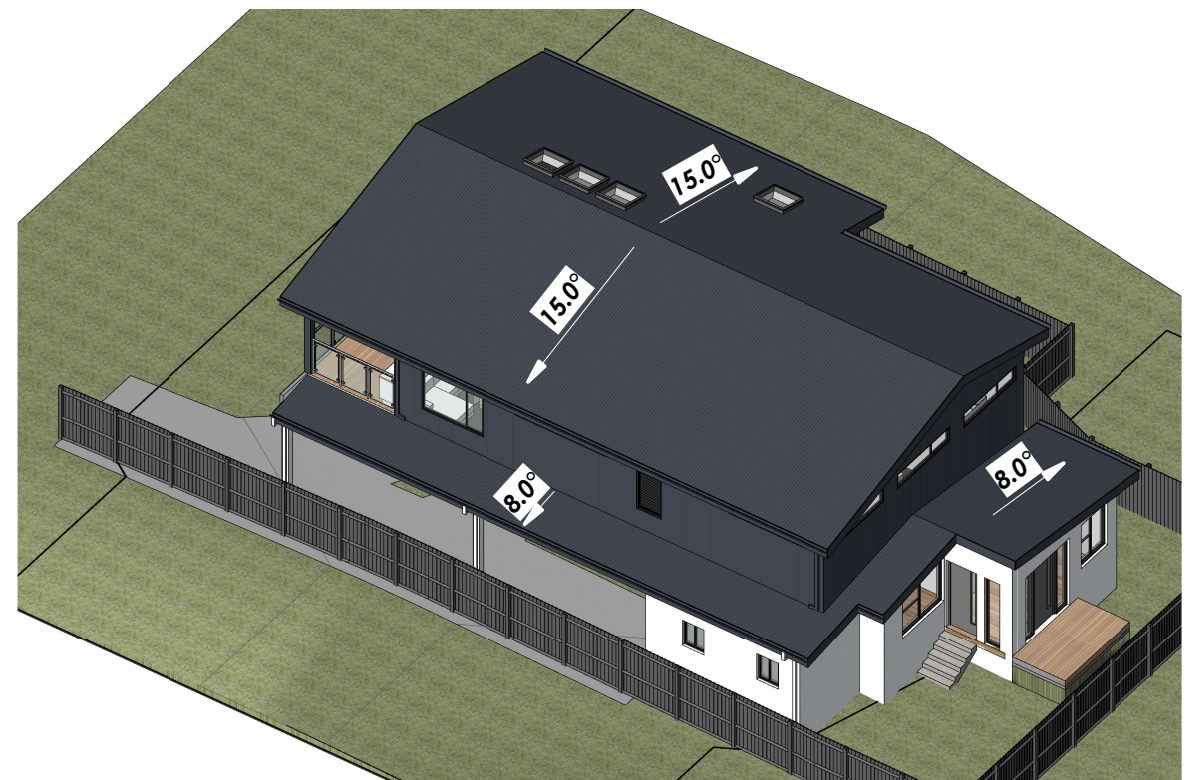
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1 ROOF PLAN
1 : 100



2 BIRDSEYE VIEW

STORMWATER NOTE:

- ALL DRAINS SHALL RUN TO THE LEGAL POINT OF DISCHARGE AND SHALL CONFORM TO LOCAL COUNCIL REQUIREMENTS, THE B.C.A AND AS3500.3-2018
- 90mm Ø UPVC STORMWATER PIPES
- GENERALLY, 100mm Ø UPVC TO DRIVEWAYS
- MINIMUM FALL OF 1:80 WITH 300mm COVER
- DOWNPIPES TO HAVE A MAXIMUM SPACING OF 12 METRES
- STORMWATER DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500.3-2018

PROPOSED ROOF PLAN

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS

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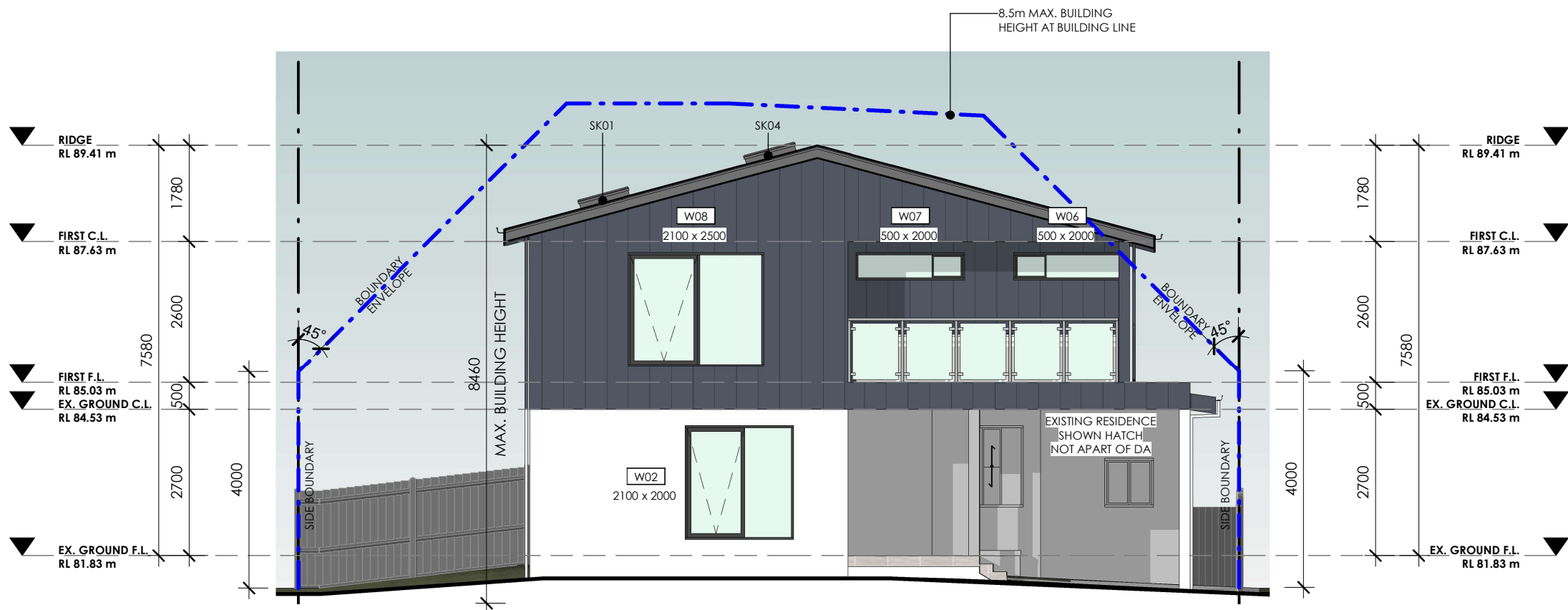


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1 WEST
1 : 100



2 NORTH
1 : 100

ELEVATIONS

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

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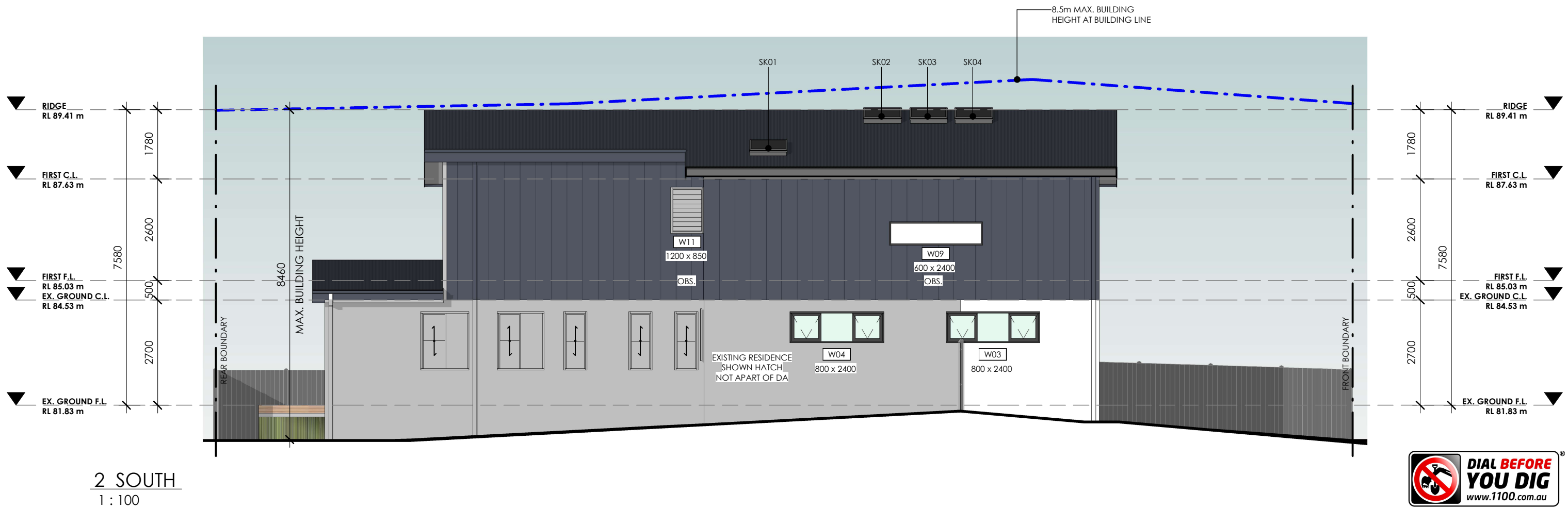
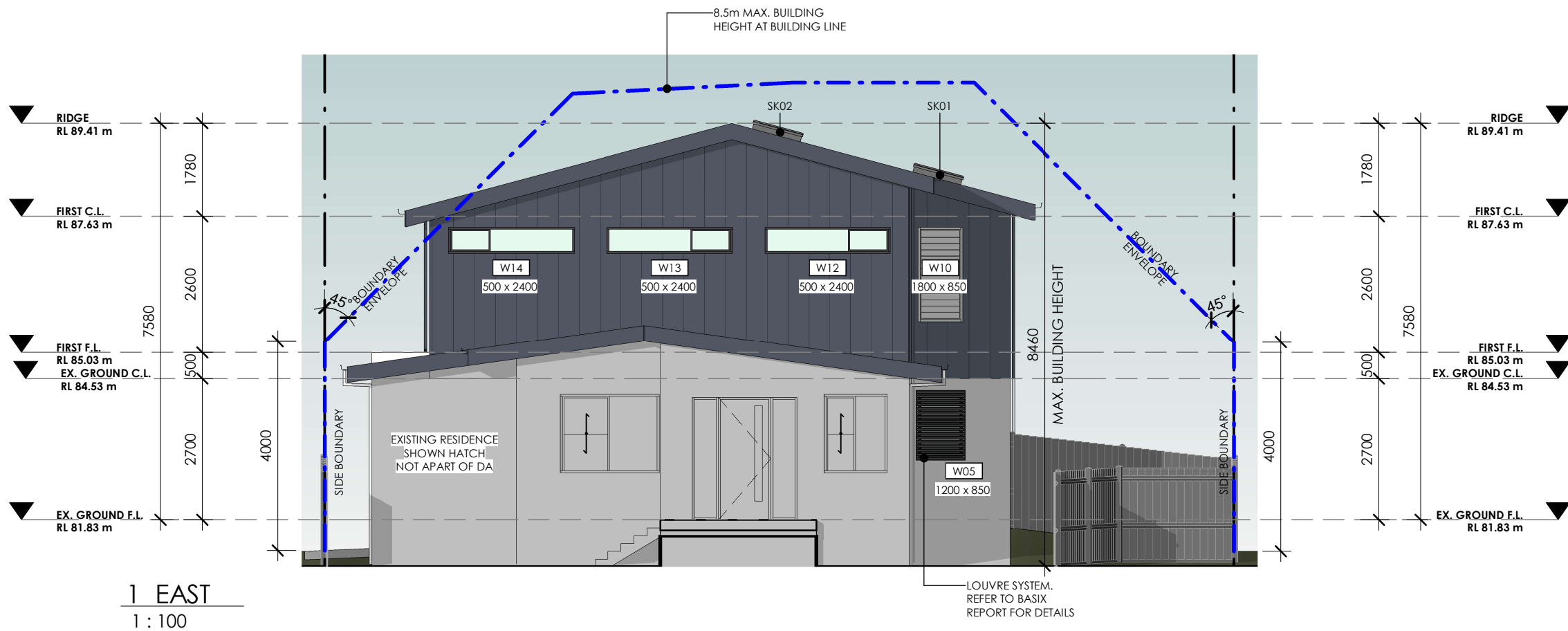


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ELEVATIONS

FRANK GRILLA

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1 SOUTH



3 WEST



2 NORTH



4 EAST

EXTERIOR 3D PERSPECTIVES

FRANK GRILLA

68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS

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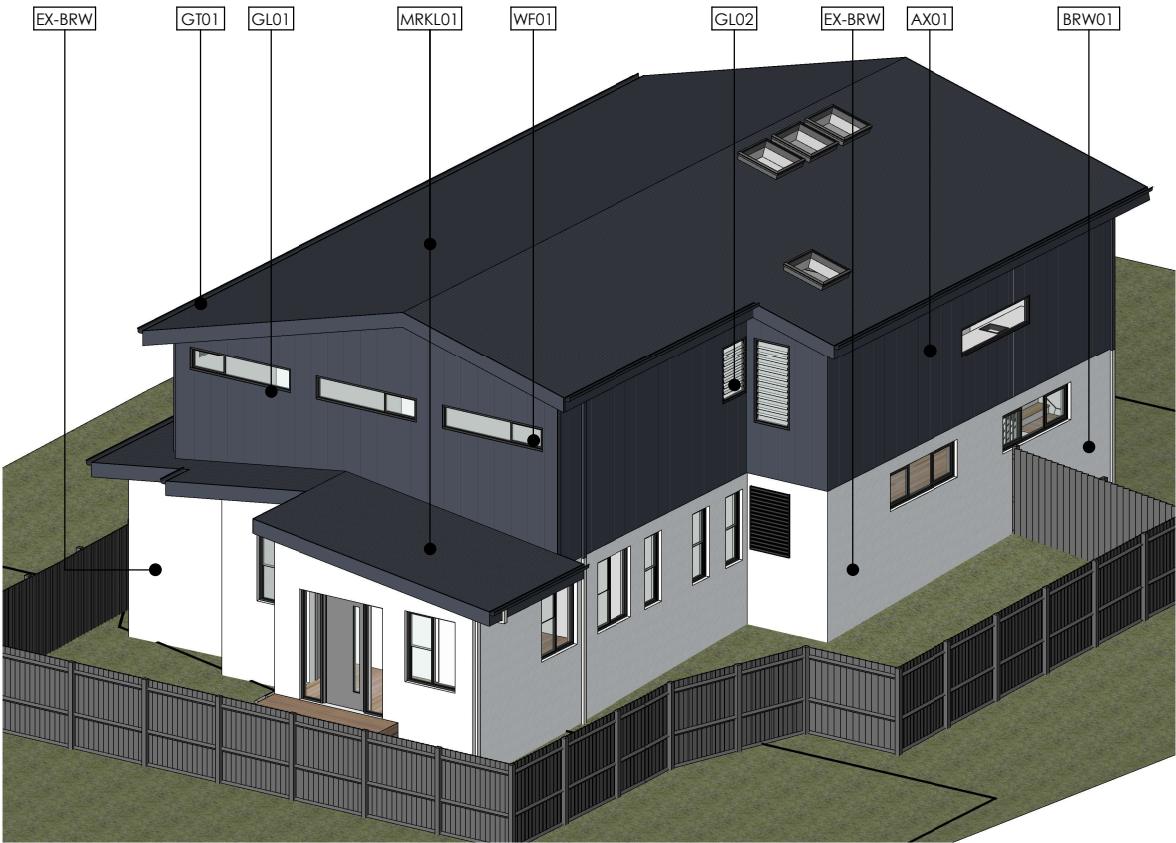
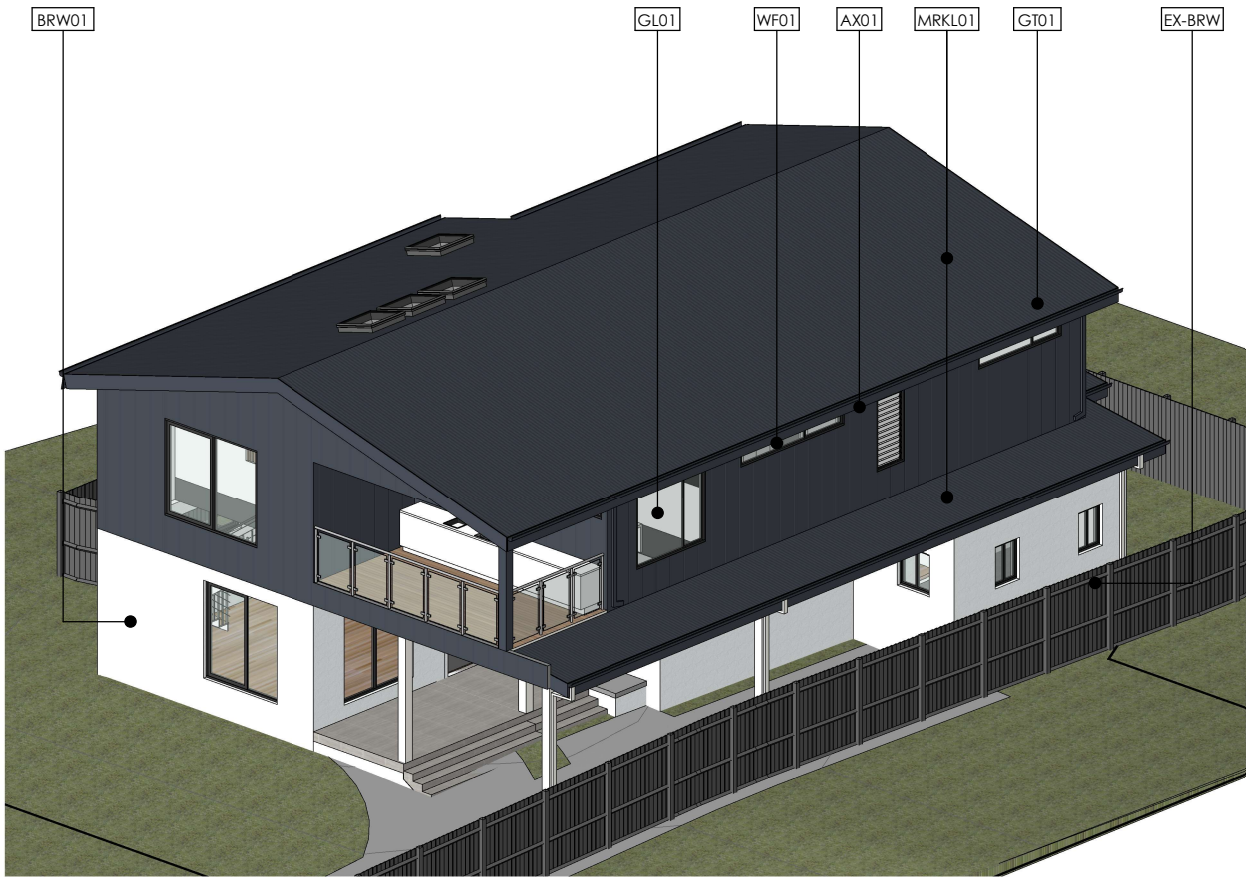


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MATERIAL SCHEDULE

CODE	ELEMENT	MATERIAL / FINISHES
MR-KL01	ROOF	PRECOLOURED CUSTOM ORB ROOF SHEETING COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
GT01	GUTTER	PRECOLOURED STEEL "TRIMLINE" OR "QUAD" COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
EX-BRW	WALL	EXISTING RENDERED BRICKWORK. REPAINT COLOUR: - DULUX "WHITE ON WHITE" OR SIMILAR
BRW01	WALL	PROPOSED RENDERED BRICKWORK. PAINT COLOUR: - DULUX "WHITE ON WHITE" OR SIMILAR
AX01	WALL	JAMES HARDIE "AXON" CLADDING COLOUR: - COLORBOND "IRONSTONE" OR SIMILAR
WF01	WINDOW & DOOR FRAME	PRECOLOURED ALUMINIUM COLOUR: WHITE, POWDERCOATED OR SIMILAR
GL01	GLASS	CLEAR (NON TINTED)
GL02	GLASS	OPAQUE

NOTE:
ALL MATERIALS, PRODUCTS AND COLOURS MAY SLIGHTLY VARY ON SITE.

SAMPLE COLOURS:

DULUX "WHITE ON WHITE"

CUSTOM ORB ROOF SHEETING COLORBOND "IRONSTONE" OR SIMILAR

COLORBOND "IRONSTONE"

EXTERNAL FINISHES SCHEDULE

FRANK GRILLA
68 EDWARD STREET, NARRAWEENA, NSW

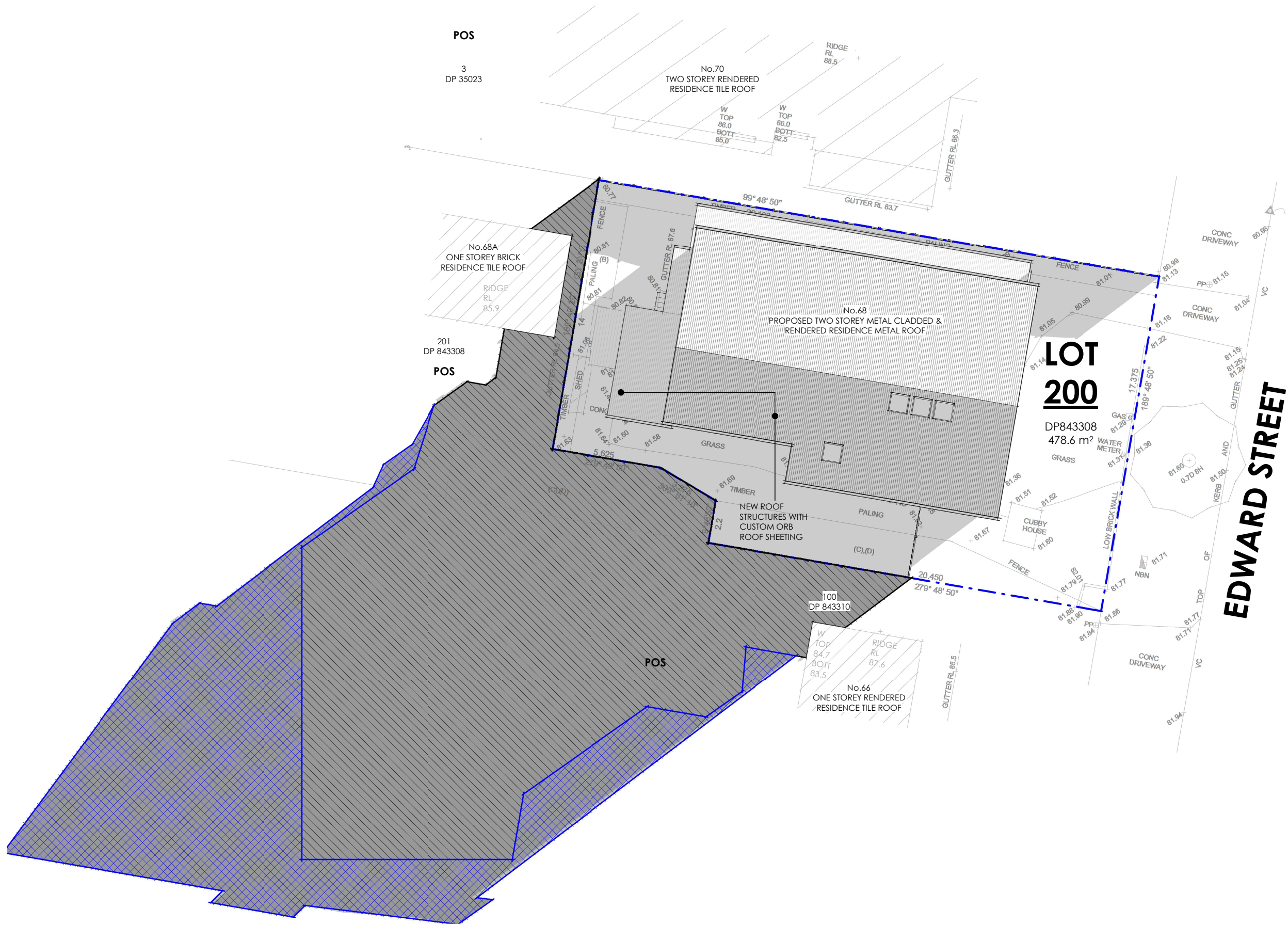
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LEGEND



EXISTING SHADOWS



ADDITIONAL SHADOWS

SHADOW DIAGRAM 9 AM - 21ST JUNE

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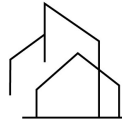
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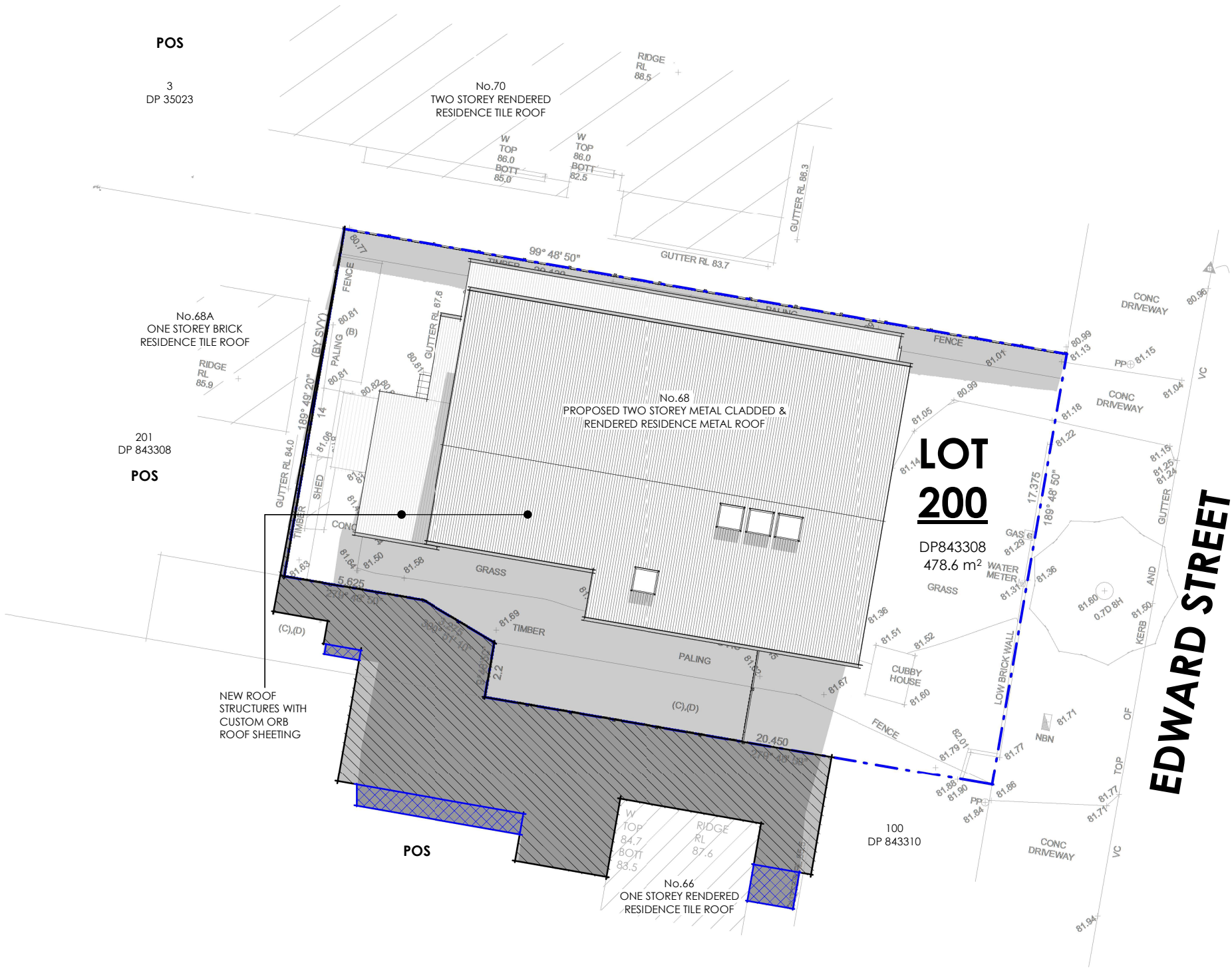
LEGEND



EXISTING SHADOWS



ADDITIONAL SHADOWS



SHADOW DIAGRAM 12 PM - 21ST JUNE

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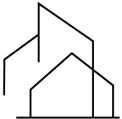
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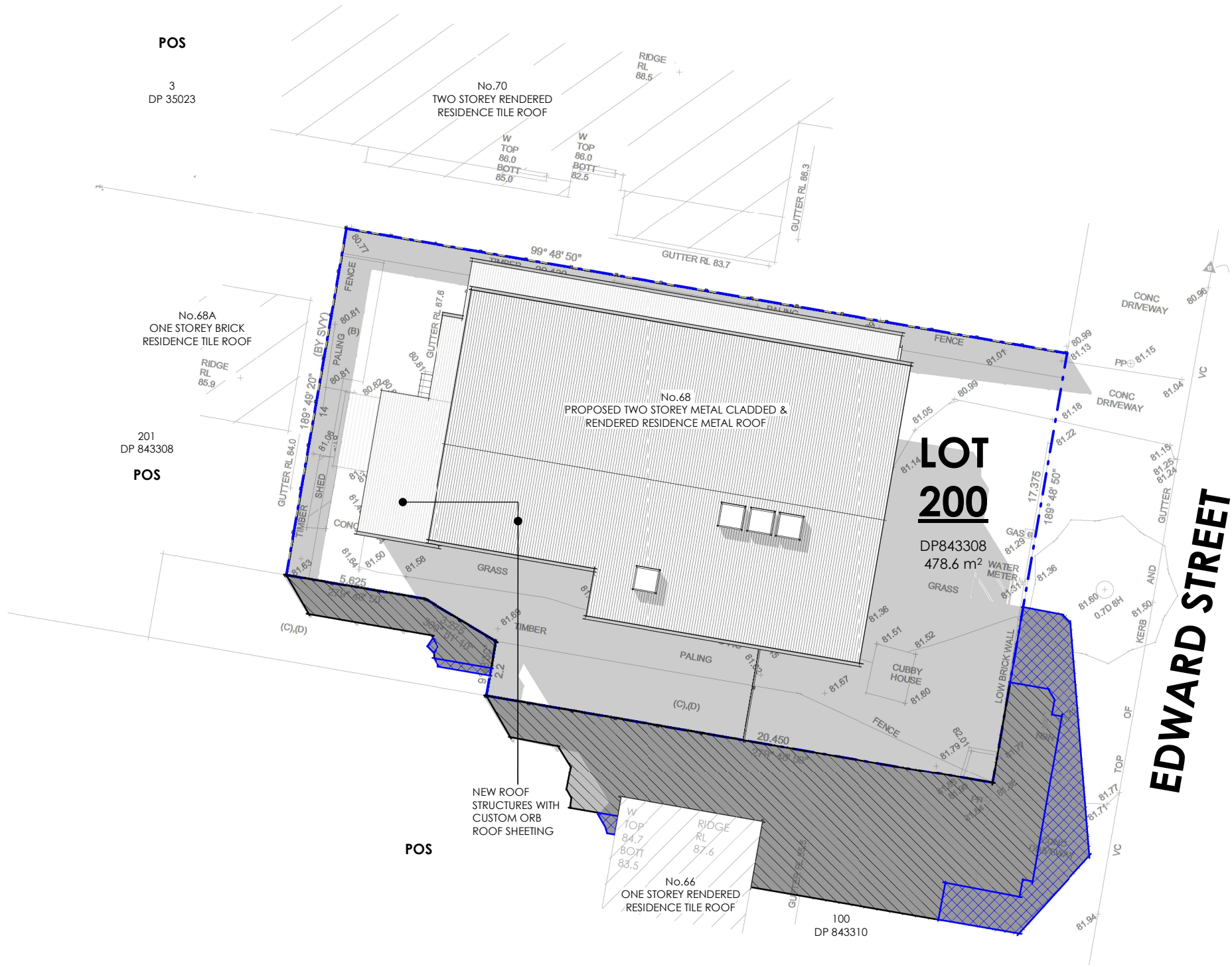
LEGEND



EXISTING SHADOWS



ADDITIONAL SHADOWS



SHADOW DIAGRAM 3 PM - 21ST JUNE

FRANK GRILLA

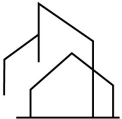
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GENERAL NOTES

EROSION AND SEDIMENT CONTROL
SILT FENCE AROUND PERIMETER OF THE PROPERTY AS INDICATED. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED DAILY BY SITE MANAGER.

SITE ACCESS POINT PROVIDE KERB AND LAYBACK
SEDIMENT GRID SILTRAPS

WASTE & RECYCLING MANAGEMENT
WASTE MATERIAL WILL BE STORED ONSITE UNTIL TRUCK OR SKIP IS AVAILABLE FOR PICK UP FROM STREET. MATERIALS FOR RECYCLING WILL BE SEPARATED AND STORED APPROPRIATELY SO WASTE AND RECYCLING REQUIREMENTS ARE REDUCED.

WASTE DURING CONSTRUCTION
SKIPS WILL BE POSITIONED IN THE OFF STREET PARKING AFTER CONSTRUCTION.

AFTER CONSTRUCTION WASTE AND RECYCLING BINS WILL BE STORED AT FRONT OF PROPERTY WITH ACCESS TO CLEANING FACILITIES.

COUNCIL APPROVAL WILL BE OBTAINED PRIOR TO PLACEMENT OF ANY MATERIALS ON THE FOOTPATH.

ALL STOCKPILES TO BE CLEAR OF DRAINS, GUTTERS AND FOOTPATHS.

STORMWATER AND DRAINAGE
USING EXISTING STORMWATER WILL REMAIN AS EXISTING AND ALL WORK WILL BE IN ACCORDANCE TO COUNCIL REQUIREMENTS.

DRAINAGE IS TO REMAIN AS EXISTING TO STORMWATER ROADS AND FOOTPATH TO BE SWEEP DAILY.

HOURS OF OPERATION NOT TO EXCEED THOSE NOTED IN COUNCIL POLICY

MATERIAL NOTES:
NO RAINFOREST TIMERS OR TIMBER CUT FROM OLD GROWTH FOREST TO BE USED IN CONSTRUCTION. GENERALLY STRUCTURAL TIMBER TO BE TREATED PINE AND COMPOSITE BEAMS.

REFER WASTE MANAGEMENT PLAN FOR RECYCLING AND MATERIALS TO BE REMOVED FROM SITE. WASTE MANAGEMENT PLAN IS TO BE MAINTAINED ON SITE THROUGHOUT THE CONSTRUCTION PERIOD.

HAZARDOUS MATERIALS AND ASBESTOS REMOVAL TO BE IN ACCORDANCE WITH REQUIREMENTS OF THE RELEVANT LEGISLATION , CODES, STANDARDS AND GUIDELINES PRIOR TO ANY DEMOLITION. PRIOR TO ANY REMOVAL OF ASBESTOS FULL DETAILS TO BE SUBMITTED TO COUNCIL ON THE METHOD OF CONTAINMENT AND CONTROL OF EMISSION OF FIBRES TO THE AIR.

ASBESTOS REMOVAL AND TRANSPORTATION WORKS ARE TO FULLY COMPLY WITH WORKCOVER NSW AND THE EPA AS WELL AS 'CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS (NOHSC:202(1988))' AND SPECIFICALLY NORTHERN BEACHES COUNCIL'S ASBESTOS POLICY AND NATIONAL OCCUPATIONAL HEALTH AND SAFETY COMMISSIONS: CODE OF PRACTICE FOR THE SAFE REMOVAL OF ASBESTOS 2000 (1988)

CONSTRUCTION MANAGEMENT
SITE DELIVERIES AND ACCESS TO BE MADE FROM THE STREET USING EXISTING ACCESS POINTS.

LOADING AND UNLOADING OF EXCAVATION MACHINES, FORM WORK AND BUILDING MATERIALS TO BE IN STREET USING SUITABLE WARNING SIGNS ERECTED DURING OPERATIONS.

SOIL AND EXCAVATION.
MATERIAL FROM SITE IS NOT TO BE TRACKED ONTO THE ROAD BY VEHICLES/MACHINERY ENTERING OR LEAVING THE SITE. CLEAR DUST/SOIL OR OTHER CONSTRUCTION MATERIAL TO BE SWEEP OFF PAVEMENT / ROADWAY AND CONTAINED WITHIN THE SITE.

DEMOLISHED WORKS TO BE SPRAYED WITH WATER ONTO POROUS SURFACE ONLY TO SUPPRESS DUST. COVERS TO BE MADE SECURE OVER CEMENT WHEN SITE NOT IN USE TO RESTRICT CONCRETE BLOWING AROUND

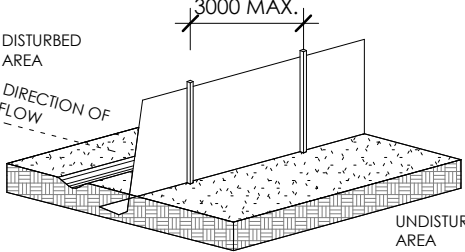
DURING DEMOLITION / CONSTRUCTION KEEP FOOTPATH & ROAD CLEAR OF VEHICLE & MATERIALS.

A CRANE IS NOT ANTICIPATED.

SEDIMENT CONTROL

INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATION INDICATED ON THIS DRAWING AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST EVER AREAS OF THE SITE ARE EXPOSED TO EROSION. CONTROL STRUCTURES TO BE AS DETAILED AS PER OTHERWISE REQUIRED. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.

IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



SEDIMENT FENCE DETAIL

SUITABLE FOR DRAINAGE AREA OF 0.6HA MAX. AND SLOPE GRADIENT OF 1:2 MAX. WITH LENGTH OF 60m MAX.

WASTE MANAGEMENT PLAN /
SEDIMENT EROSION

FRANK GRILLA

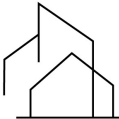
68 EDWARD STREET, NARRAWEENA, NSW

ADDITIONS & ALTERATIONS

DA SUBMISSION
NOT FOR CONSTRUCTION

Designed By ADRIAN JOON
Job No: 22023SK
Page No: DA17
Scale @A3 As indicated

Rev F
Date: 18.11.2022
Drawn By AJ
Amendment DA SUBMISSION



DESIGNED 2 YOU
BUILDING DESIGN

VBA REGISTRATION NO. DP-AD 44217 -
A.B.N: 68 658 673 986
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