

ALLAMBIE HEIGHTS VILLAGE - PROJECT 2

DEVELOPMENT APPLICATION
181 ALLAMBIE RD, ALLAMBIE HEIGHTS NSW 2100



SITE LOCATION

DRAWING LIST

DRAWING NUMBER	DRAWING TITLE
DA-000	COVER SHEET
DA-010	SITE ANALYSIS
DA-011	SITE PLAN
DA-013	DEMOLITION
DA-100	FLOOR PLAN - LOWER GROUND FLOOR
DA-101	FLOOR PLAN - GROUND FLOOR
DA-102	FLOOR PLAN - LEVEL 1
DA-103	ROOF PLAN
DA-104	POOL BUILDING - LOWER GROUND FLOOR PLAN
DA-105	POOL BUILDING - ROOF PLAN
DA-200	ELEVATIONS - BUILDING A & B
DA-201	ELEVATIONS - POOL BUILDING
DA-300	SECTIONS - BUILDING A & B
DA-302	SECTIONS - POOL BUILDING
DA-500	TYPICAL UNIT LAYOUTS
DA-600	AREA PLANS - GFA / DEEP SOIL / COMPLIANCE TABLE / CALCULATIONS
DA-700	SOLAR ACCESS & CROSS VENTILATION DIAGRAMS
DA-800	SHADOW DIAGRAMS
DA-902	HEIGHT PENETRATION DIAGRAM

BASIX requirements — 181 Allambie Road	
Glazing Doors/windows	Aluminium framed single clear glazing to building A:
	A – awning and bi-fold windows + hinged glazed doors and B – sliding doors/windows + fixed glazing + louvres windows
	U-Value: 6.70 (equal to or lower than) SHGC: 0.70 (±10%)
Aluminiumr framed Low-e single clear glazing:	A – awning and bi-fold windows + hinged glazed doors and B – sliding doors/windows + fixed glazing + louvre windows
	U-Value: 5.40 (equal to or lower than) SHGC: 0.58 (±10%)
	Given values are AFRC, total window system values (glass and frame)
NOTE: Openability modelled as per BASIX Thermal Protocol - 4.14.2 and NatHERS Technical Note 1.2 – 10.11 with regard to restricted openings.	
Roof	Metal roof with a foil backed blanket (Minimum R1.3up and R1.3 down) Default medium colour modelled (0.475<SA<0.7)
Ceiling	Plasterboard ceiling with a minimum R2.5 insulation (insulation only value) where roof is over Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights.
External wall	Concrete block internally lined with plasterboard, R2.0 bulk insulation (insulation only value) Default medium colour modelled (0.475<SA<0.7)
Inter tenancy walls	Concrete to walls adjacent to neighbours, no insulation required Concrete blocks to walls adjacent to hallways with a minimum R1.2 insulation (insulation only value). Concrete blocks with furring channel and plasterboard lining to all walls adjacent to lift shafts and fire stairs. R1.2 insulation (insulation only value)
Walls with-in dwellings	Plasterboard on studs– no insulation required. Concrete between levels no insulation required.
Floors	Concrete with a minimum R0.9 insulation (insulation only value) required to units with garage below.
Floor coverings	Default floor coverings modelled as per NatHERS Technical Note 1.2 – 10.5
Rainwater Tank	10000 L central tank connected to at least of 300m2 of roof area. To be connected to at least one outside tap for irrigation of common and private landscaping.
Hot water system	Individual gas instantaneous system – minimum 6 star efficiency
Alternative Energy	Photovoltaic system with a minimum output of 6kW

BASIX REQUIREMENTS

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AMENDMENTS	
ISSUE	DESCRIPTION
1	ISSUED FOR REVIEW
2	80% DA ISSUE
A	AUTHORITY APPROVAL

APPROVED	DATE
App'd RP	02/05/18
GS	16/05/18
	06/07/18

6.4

Average star rating

NATIONWIDE HOUSE

UNITED RAINING SYSTEMS

www.nathers.gov.au

Certificate no.: 0002879440
Assessor Name: Tracey Cools
Accreditation no.: VIC/BDV/12/1473
Certificate date: 22 June 2018
Dwelling Address: Allambie Road
Allambie Heights, NSW 2100
www.nathers.gov.au

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6.4

Average star rating

NATIONWIDE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no.:

Assessor Name:

Accreditation no.:

Certificate date:

Dwelling Address:

0002879440

Tracey Cools

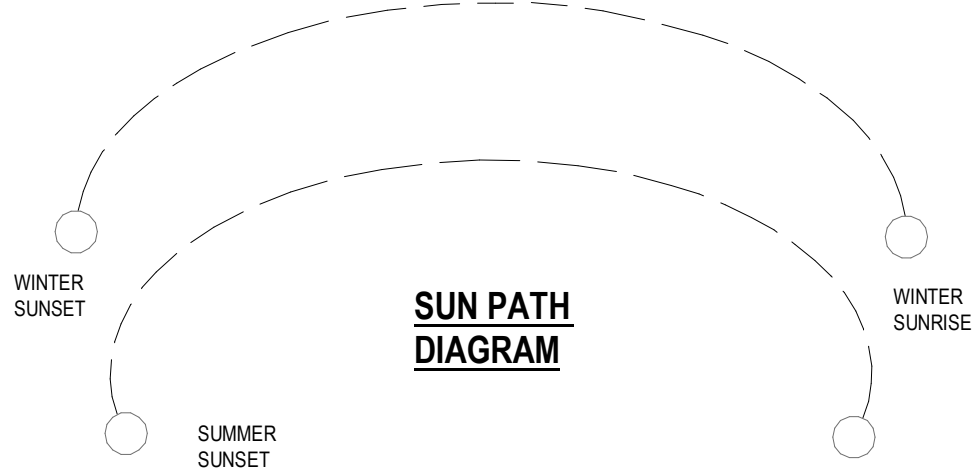
VIC/BDV/12/1473

22 June 2018

Allambie Road

Allambie Heights, NSW

2100



DRAWING KEY:

- PROJECT BOUNDARY
- 25m / 50m OFFSET FROM APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT, DASHED RED.
- APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT DASHED BLUE
- SITE VIEWS
- EXISTING ACCESS TO SITE
- EXISTING 1 STOREY BUILDING TO BE RETAINED
- EXISTING 2 STOREY BUILDING TO BE RETAINED
- EXISTING TREE TO BE RETAINED SHOWN OUTLINED SOLID
- EXISTING TREE TO BE DEMOLISHED INDICATED DASHED RED
- EXISTING STRUCTURE TO BE DEMOLISHED

DRAWING NOTES:

- BACKGROUND SURVEY FOR INFORMATION ONLY. REFER TO SURVEYOR'S DOCUMENTATION.
- EXISTING WILLIAM CHARTON VILLAGE CARPARKING.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB
CLIENT: ALLAMBIE HEIGHTS VILLAGE

CHECKED BY: GS

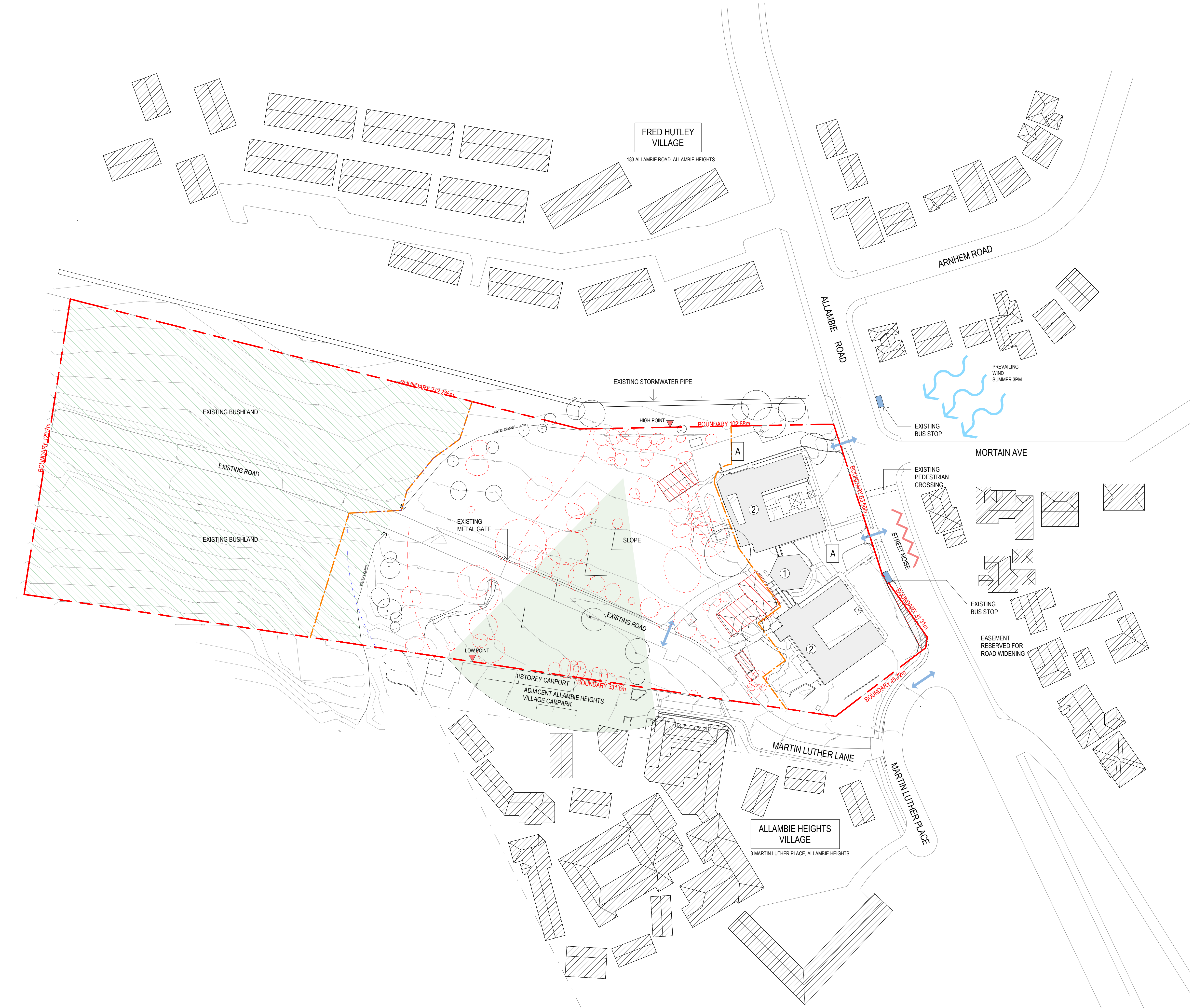
DRAWING
SITE ANALYSIS

DATE	SCALE	DRAWN
06/02/16	A1 1 : 750	SF
PROJECT No.	DISCP.	DRAWING No.
2017019 A	DA-010	A

PROJECT
2017019 - ALLAMBIE HEIGHTS

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 290

JACKSON TEECE



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ISSUE	DESCRIPTION	APPROVED	DATE
1	ISSUED FOR REVIEW	Apr'd	02/03/18
2	80% DA ISSUE	RP	16/05/18
A	AUTHORITY APPROVAL	GS	06/07/18

6.4

Average star rating

NATIONWIDE HOUSE

ENERGY RATING SCHEME

www.nathers.gov.au

Certificate no.: 0002879440

Assessor Name: Tracey Cools

Accreditation no.: VIC/BDAY/12/1473

Certificate date: 22 June 2018

Dwelling Address: Allambie Road Allambie Heights, NSW 2100



KEY

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- 25m / 50m OFFSET FROM APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT, DASHED RED.
- APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT, DASHED BLUE
- MAIN SITE ENTRY
- EXISTING RETAINED BUILDING
- EXISTING RETAINED TREE
- TREE PROTECTION ZONE, REFER ARBORIST REPORT
- PROPOSED TREE, REFER LANDSCAPE PLAN

NOTE: DRAWING PACKAGE UNDER REVIEW, MINOR AMENDMENTS TO BE EXPECTED PRIOR TO COUNCIL APPROVAL.

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB CHECKED BY: GS
CLIENT: ALLAMBIE HEIGHTS VILLAGE

DRAWING: SITE PLAN

DATE	SCALE	DRAWN
09/03/18	A1 1 : 500	SF
PROJECT No.	DISCP.	DRAWING No.
2017019 A	DA-011	A

PROJECT: 2017019 - ALLAMBIE HEIGHTS

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NATIONWIDE
HOUSE

ENERGY RATING SCHEME

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Certificate no.: 0002879440

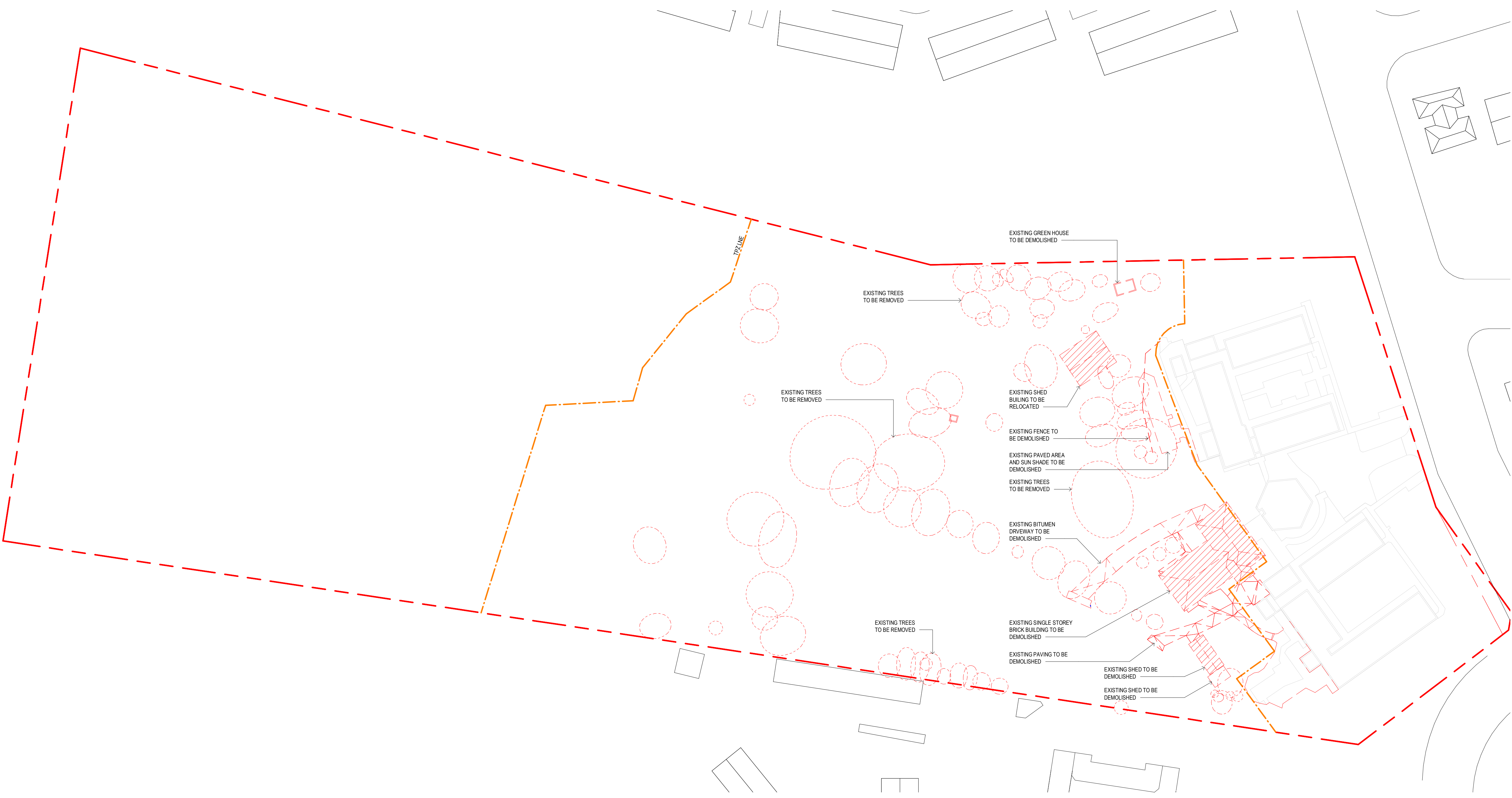
Assessor Name: Tracey Cools

Accreditation no.: VIC/BDV/12/1473

Certificate date: 22 June 2018

Dwelling Address: Allambie Road
Allambie Heights, NSW
2100





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AUTHORITY APPROVAL

APPROVED BY: IB CHECKED BY: GS
CLIENT
ALLAMBIE HEIGHTS VILLAGE

DRAWING
DEMOLITION

DATE	SCALE A1	DRAWN
06/03/16	1 : 500	SF
PROJECT No.	DRAWING No.	ISSUE
2017019	DA-013	A

PROJECT
2017019 - ALLAMBIE HEIGHTS

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Dwelling Address: Allambie Road, Allambie Heights, NSW 2100



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- APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT DASHED BLUE
- EXISTING RETAINED TREE
- TREE PROTECTION ZONE, REFER ARBORIST REPORT
- PROPOSED TREE, REFER LANDSCAPE PLAN

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB CHECKED BY: GS
CLIENT: ALLAMBIE HEIGHTS VILLAGE

DRAWING: ROOF PLAN

DATE: 09/03/18 SCALE A1: 1: 200 DRAWN: SF
PROJECT No.: 2017019 A DISC.: DA-103 DRAWING No.: A

PROJECT: 2017019 - ALLAMBIE HEIGHTS

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Accreditation no.: VIC/BDV/12/1473
Certificate date: 22 June 2018
Dwelling Address: Allambie Road, Allambie Heights, NSW 2100

DRAWING KEY

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- 25m / 150m OFFSET FROM APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT, DASHED RED.
- APZ LINE AS ASSESSED BY BUSHFIRE CONSULTANT DASHED BLUE
- EXISTING RETAINED TREE
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- PROPOSED TREE. REFER LANDSCAPE PLAN

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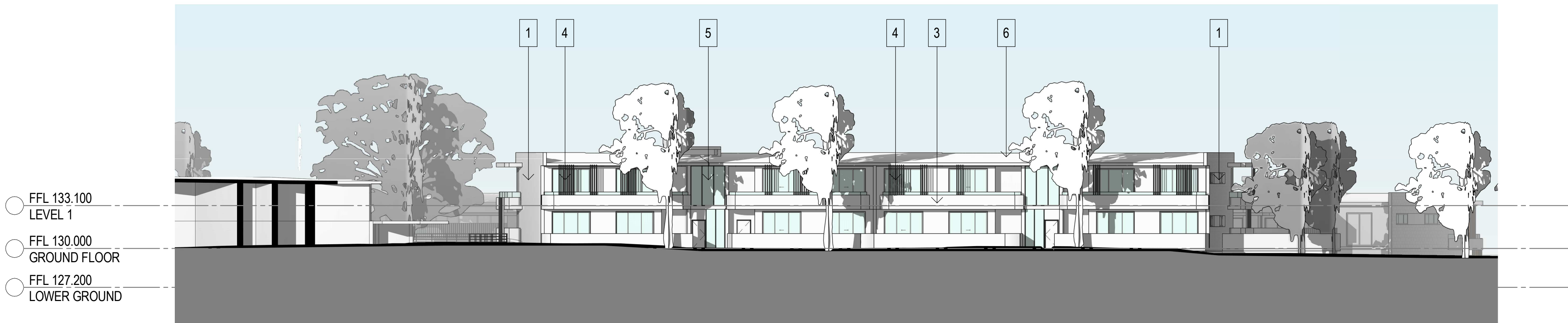
DRAWING: POOL BUILDING - ROOF PLAN

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PROJECT No.	DISCP.	DRAWING No.
2017019 A	DA-105	A

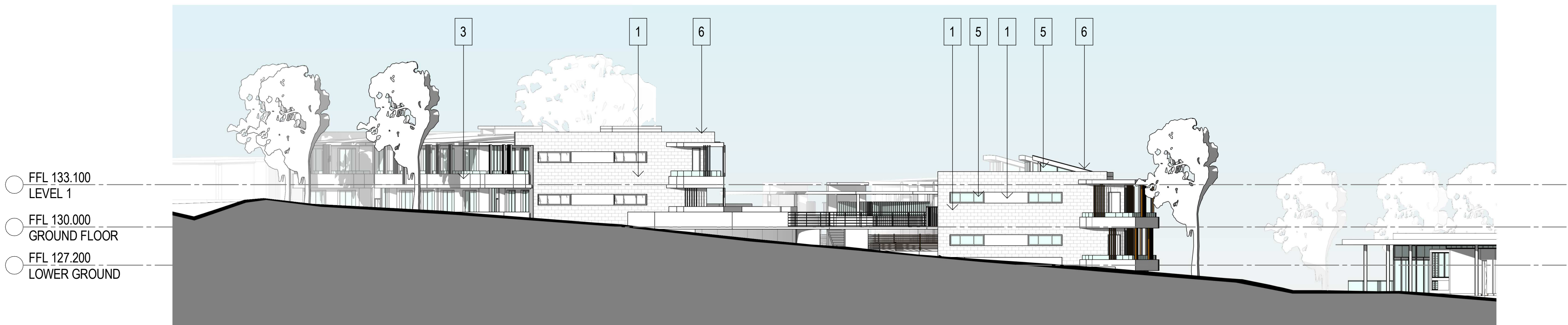
PROJECT: 2017019 - ALLAMBIE HEIGHTS

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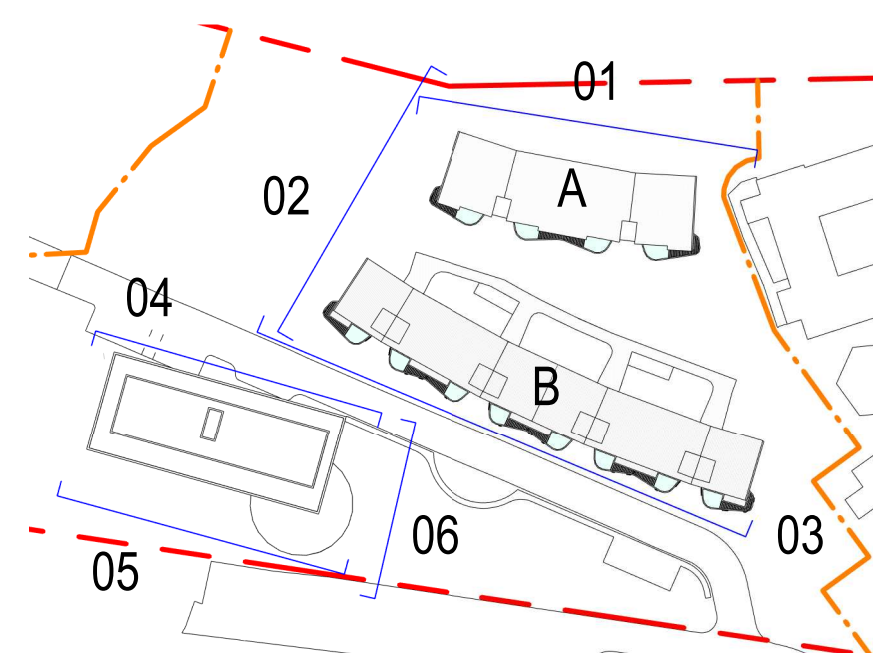
01 NORTH ELEVATION - BUILDING A
SCALE 1 : 200



02 WEST ELEVATION
SCALE 1 : 200



03 SOUTH ELEVATION - BUILDING B
SCALE 1 : 200



KEY PLAN

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1	ISSUED FOR REVIEW	Aug'd	02/02/18
2	80% DA ISSUE	RP	16/05/18
A	AUTHORITY APPROVAL	GS	06/07/18

Average star rating
6.4
NATIONWIDE HOUSE
ENERGY RATING SCHEME
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Certificate no.: 0002879440
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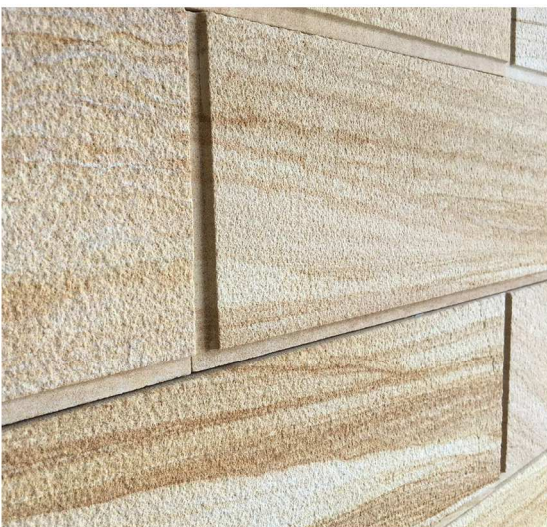
APPROVED BY: IB
CHECKED BY: GS
CLIENT: ALLAMBIE HEIGHTS VILLAGE

DRAWING ELEVATIONS - BUILDING A & B

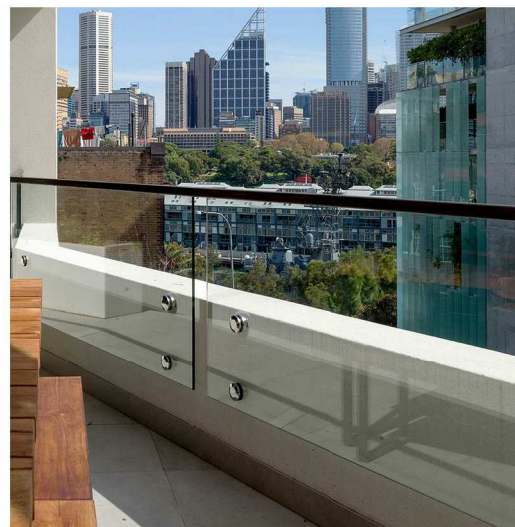
DATE	SCALE	DRAWN
06/02/16	A1	SF
PROJECT No. 2017019	As indicated DA-200	ISSUE A
PROJECT 2017019 - ALLAMBIE HEIGHTS		

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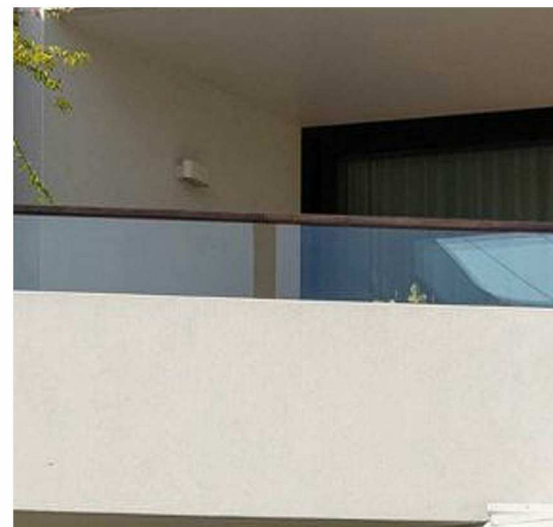
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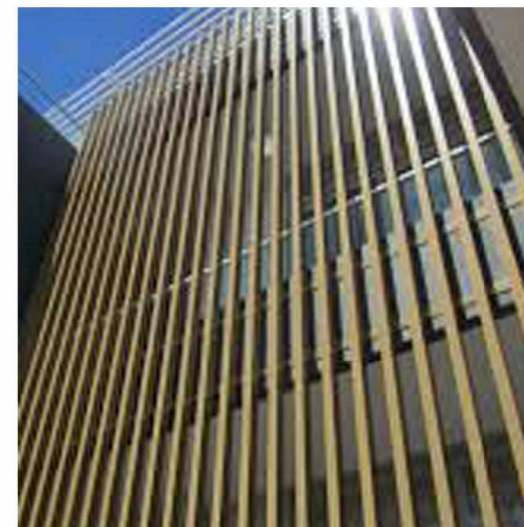
1. WALL CLADDING



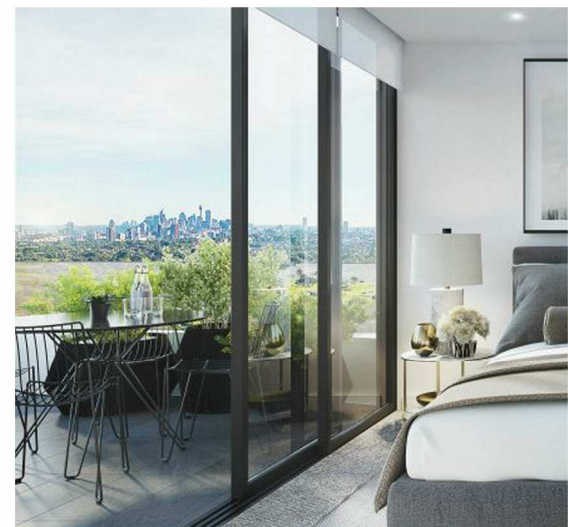
2. GLAZED BALUSTRADE



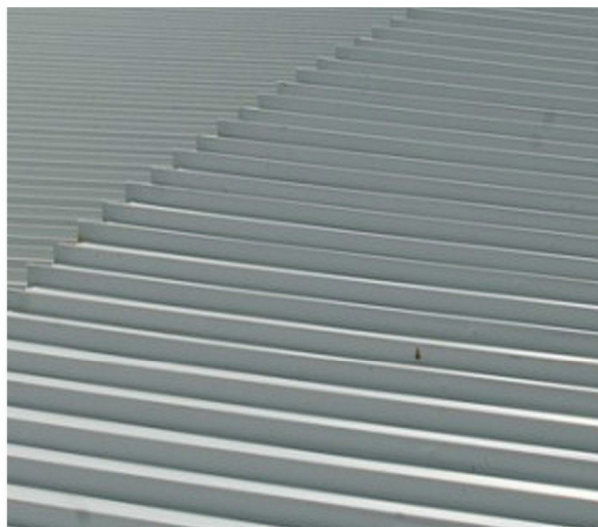
3. PAINTED CONCRETE



4. FIXED VERTICAL ALUMINIUM
PRIVACY SPANDREL



5. GLAZING



6. METAL ROOF SHEETING



7. FIXED ALUMINIUM POWDERCOATED PERGOLA



8. EXPOSED TEXTURED CONCRETE

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NATIONWIDE

HOUSE

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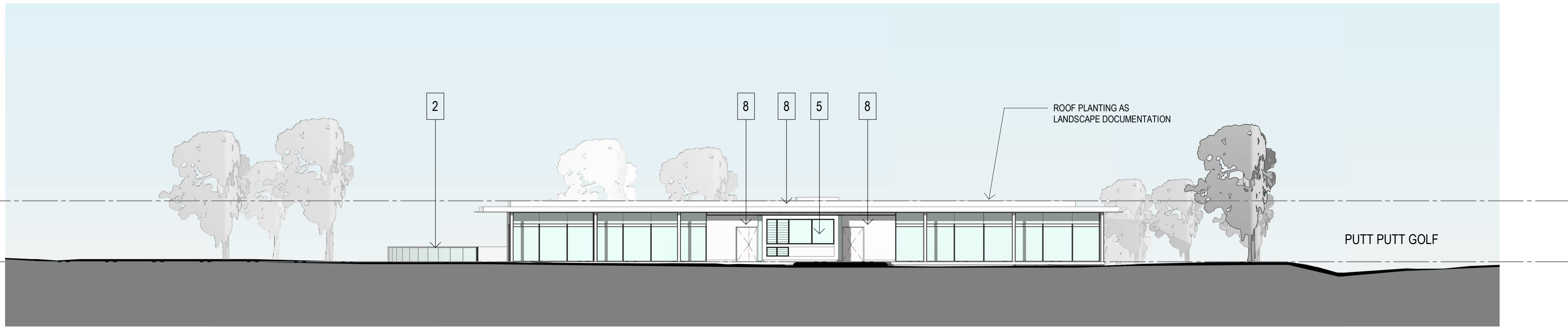
22 June 2018

Dwelling Address:

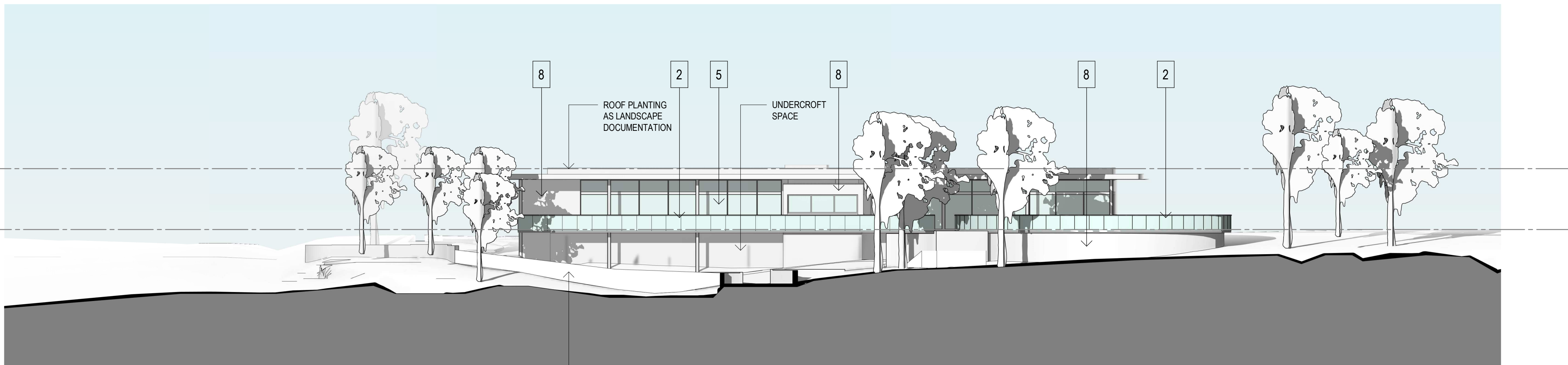
Allambie Road
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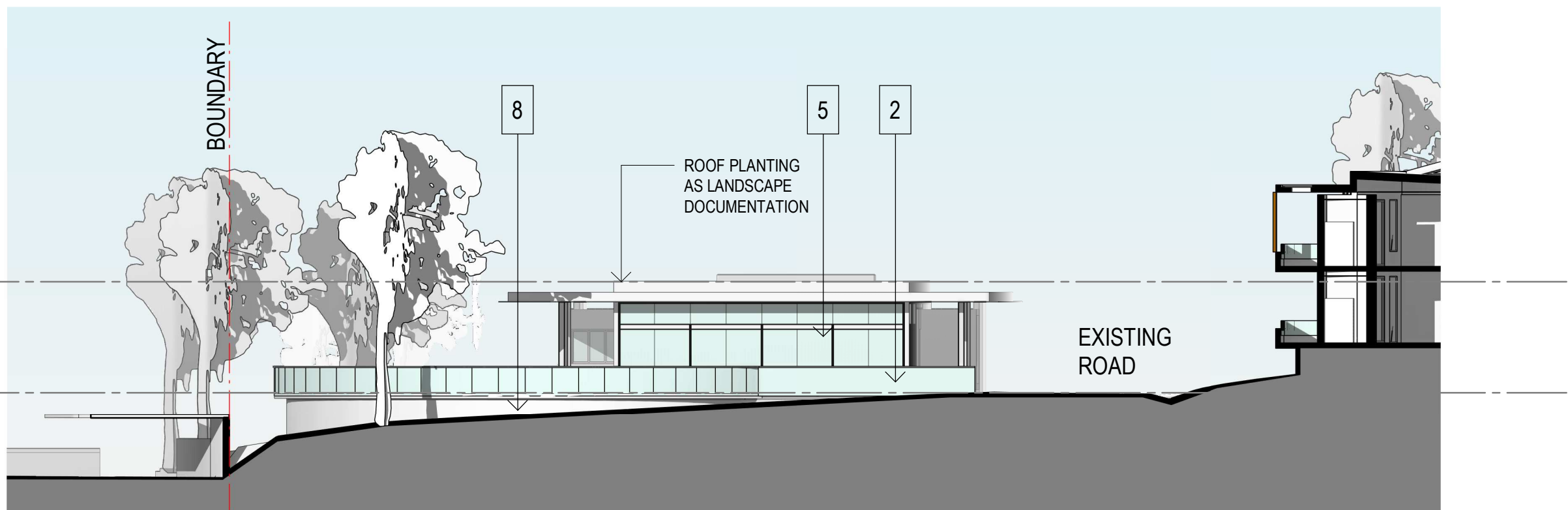
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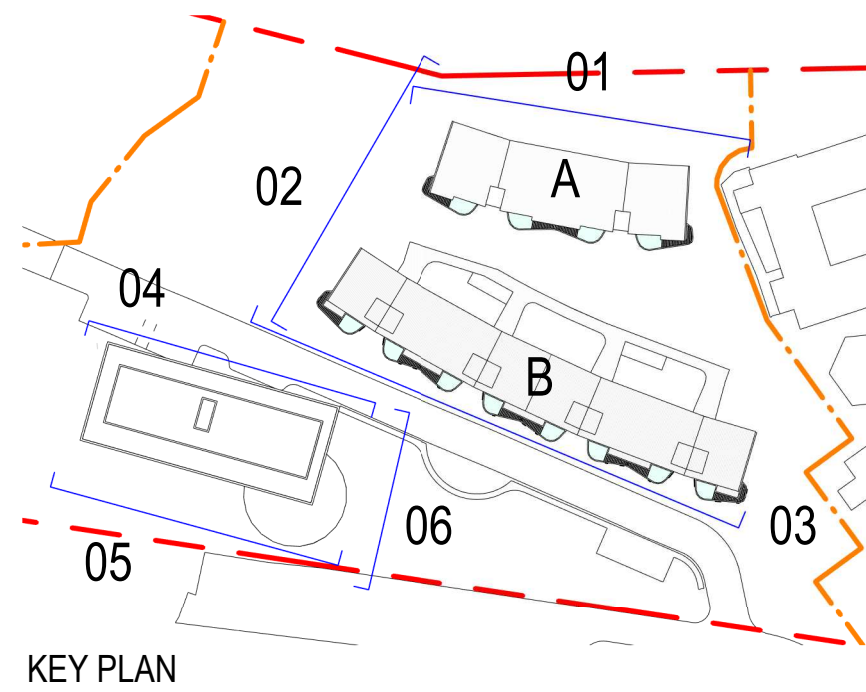
4 NORTH ELEVATION - POOL BUILDING
SCALE 1 : 200



5 SOUTH ELEVATION - POOL BUILDING
SCALE 1 : 200



6 EAST ELEVATION - POOL BUILDING
SCALE 1 : 200



KEY PLAN

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB CHECKED BY: GS
CLIENT: ALLAMBIE HEIGHTS VILLAGE

DRAWING: ELEVATIONS - POOL BUILDING

DATE: 06/02/16 SCALE: A1 As indicated DRAWN: SF
PROJECT No.: 2017019 DRAWING No.: DA-201 ISSUE: A

PROJECT: 2017019 - ALLAMBIE HEIGHTS

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Assessor Name:

Accreditation no.:

Certificate date:

Dwelling Address:

0002879440

Tracey Cools

VIC/BDAY/12/1473

22 June 2018

Allambie Road

Allambie Heights, NSW

2100

www.nathers.gov.au

QR CODE



1 DEEP SOIL DIAGRAM

NOTE: EXISTING UNTOUCHED BUSHLAND, HATCHED BROWN HAS BEEN USED TO CALCULATE DEEP SOIL CALCULATIONS

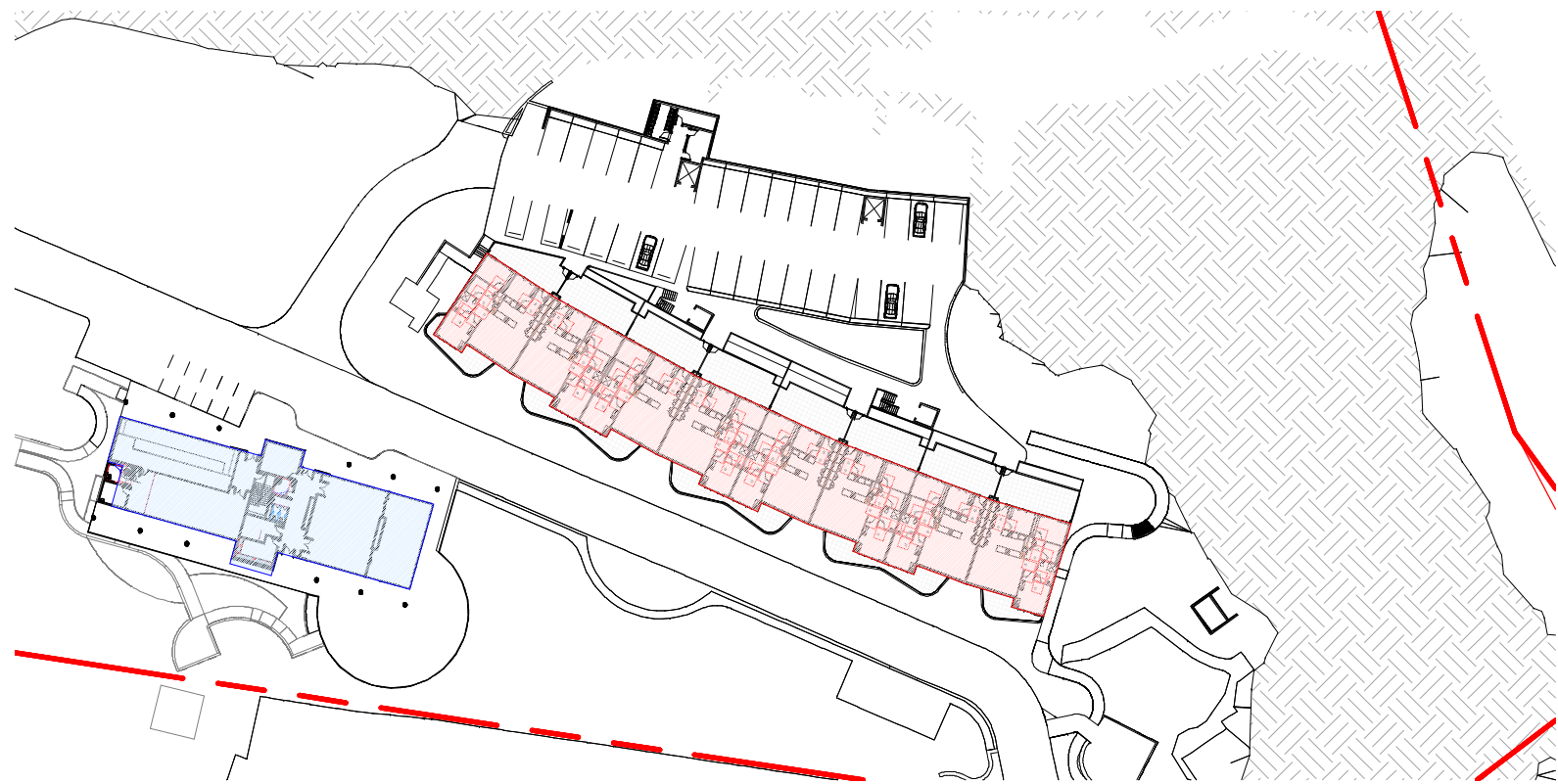


2 LANDSCAPED OPEN SPACE

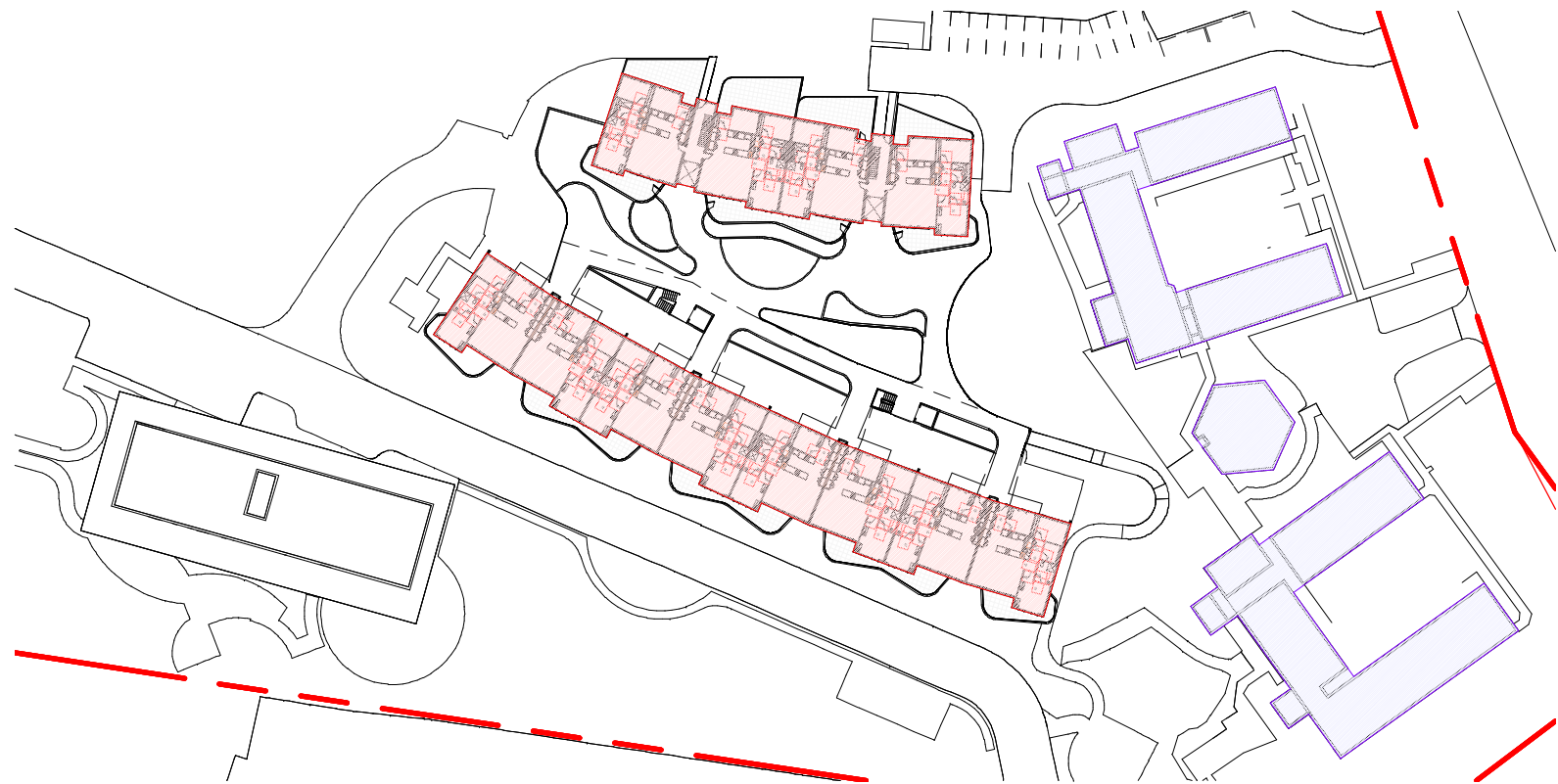
NOTE: ONLY LANDSCAPED AREA WITHIN PROJECT BOUNDARIES CALCULATED FOR TOTAL AREAS.

SITE CALCULATIONS:

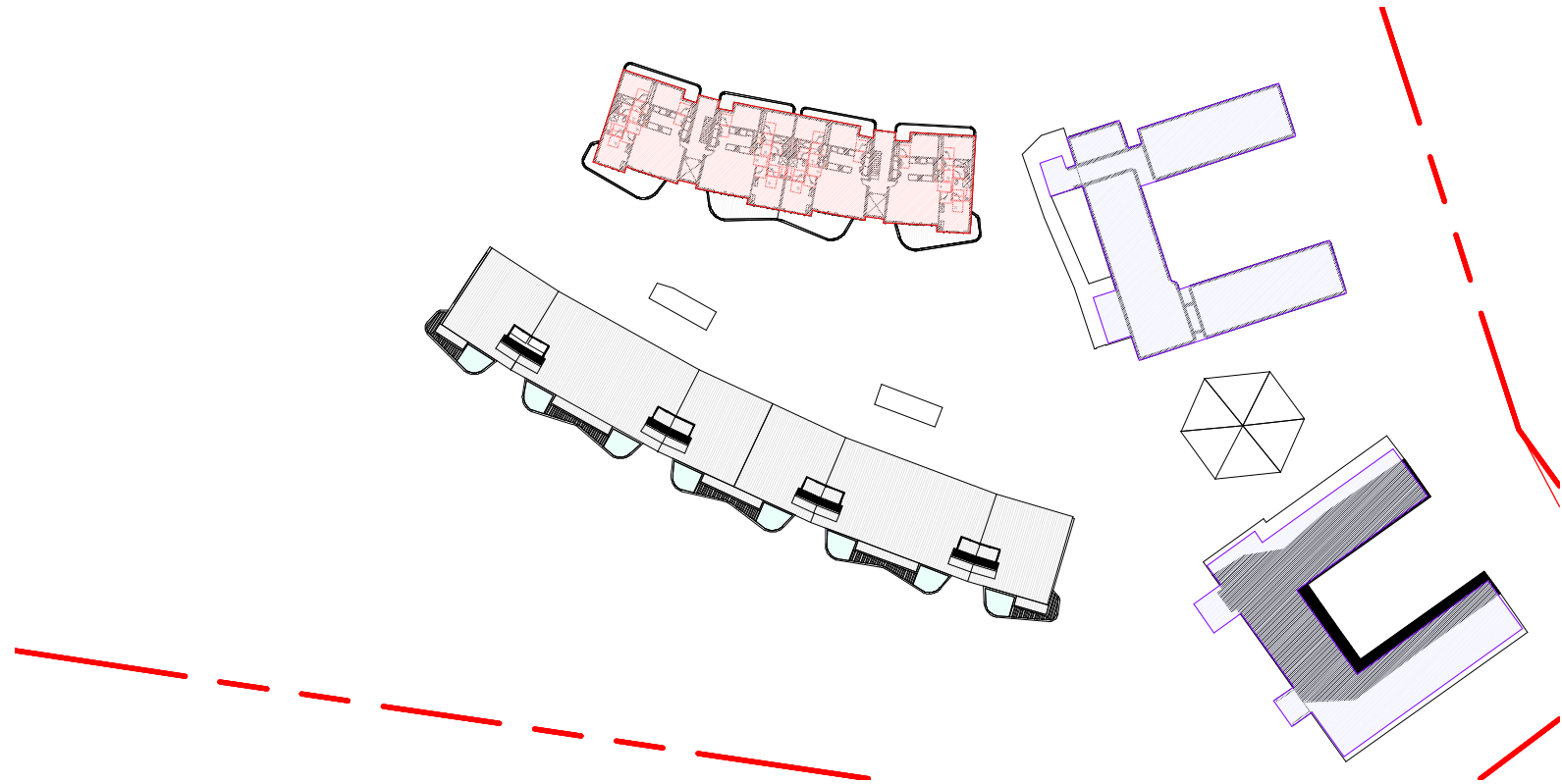
TOTAL SITE AREA (PER SURVEY)	= 37,290m ²
LANDSCAPED AREA REQUIRED (35m ² /DWELLING)	= 1,925m ²
PROVIDED LANDSCAPE AREA	= 7,578m ²
DEEP SOIL ZONE REQUIRED (15%)	= 5,594m ²
PROVIDED DEEP SOIL	= 14,680m ²



3 LOWER GROUND - GFA DIAGRAM



4 GROUND FLOOR - GFA DIAGRAM



5 FIRST FLOOR - GFA DIAGRAM

YIELD CALCULATIONS

EXISTING RES GROUND FLOOR	= 26 DWELLINGS
EXISTING RES FIRST FLOOR	= 29 DWELLINGS
RES LOWER GROUND	= 8 DWELLINGS
RES GROUND FLOOR	= 12 DWELLINGS
RES FIRST FLOOR	= 4 DWELLINGS
TOTAL EXISTING DWELLINGS	= 55 DWELLINGS
TOTAL PROPOSED DWELLINGS	= 24 DWELLINGS
CARPARKING CALCULATIONS (FOR PROPOSED DEVELOPMENT, EXISTING FACILITY PARKING REMAINS UNCHANGED.)	
REQUIRED RESIDENT PARKING (1 PER 5 DWELLINGS)	= 5 (4.8)
AMBULANCE BAY	= 1
PROVIDED RES PARKING	= 30
PROVIDED VISITOR PARKING	= 17

GFA CALCULATIONS:

EXISTING GROUND FLOOR	= 1,250m ²
EXISTING FIRST FLOOR	= 1,250m ²
COMMUNITY BUILDING	= 130m ²
RES LOWER GROUND	= 1,105m ²
RES GROUND FLOOR	= 1,725m ²
RES FIRST FLOOR	= 625m ²
TOTAL GFA	= 6,058m ²
SITE AREA (PER SURVEY)	= 37,290m ²
PERMITTED FSR	= 0.5:1
ACHIEVED FSR	= 0.16:1

DRAWING LEGEND

- EXISTING BUILDINGS
HATCHED PURPLE
- PROPOSED RESIDENTIAL
BUILDINGS HATCHED RED
- PROPOSED COMMUNITY
BUILDING HATCHED BLUE

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY:	CHECKED BY:	
IB	GS	
CLIENT		
ALLAMBIE HEIGHTS VILLAGE		
DRAWING		
AREA PLANS - GFA / DEEP		
SOIL / COMPLIANCE TABLE /		
CALCULATIONS		
DATE	SCALE A1	DRAWN
06/03/16	1 : 1000	RP
PROJECT No.	DRAWING No.	ISSUE
2017019	DA-600	A

PROJECT
2017019 - ALLAMBIE HEIGHTS

Lot 1, Pier 8-9, 23 Hickson Road
Walsh Bay New South Wales 2000 Australia
T 61 2 9290 2722 F 61 2 9290 1150
E sydney@jacksonteece.com
Jackson Teece Chesterman Willis Pty Ltd
Trading as Jackson Teece
ABN 15 083 837 290

JACKSON TEECE

AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
1	80% DA ISSUE	RD	18/05/18
A	AUTHORITY APPROVAL	GS	06/07/18

6.4

Average star rating

NATIONWIDE HOUSE

USED RATING 6.4/10

www.nathers.gov.au

Certificate no.:

0002879440

Assessor Name:

Tracey Cools

Accreditation no.:

VIC/BDV/12/1473

Certificate date:

22 June 2018

Dwelling Address:

Allambie Road

Allambie Heights, NSW

2100

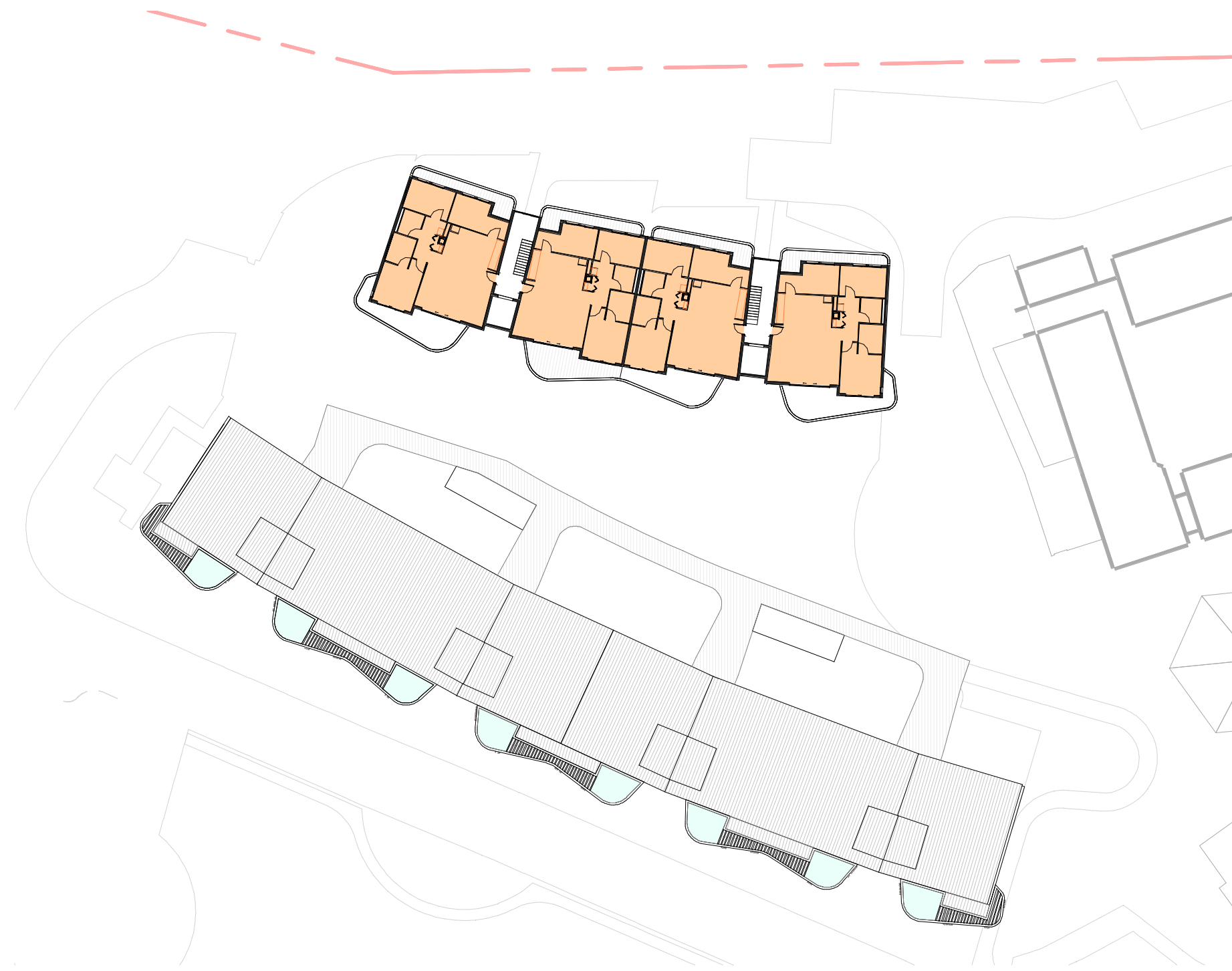
www.nathers.gov.au



01 SOLAR ACCESS - LOWER GROUND FLOOR



02 SOLAR ACCESS - GROUND FLOOR PLAN



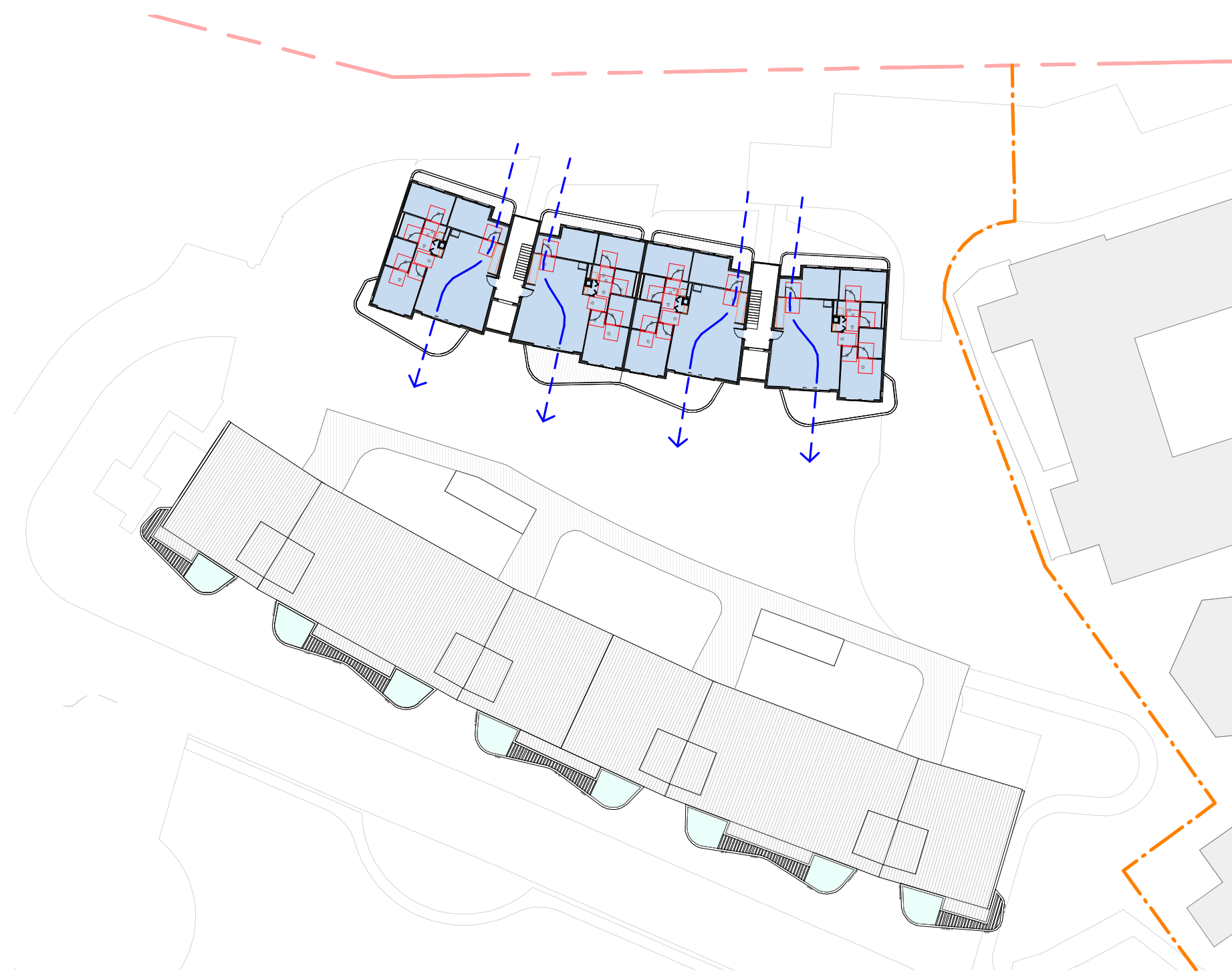
03 SOLAR ACCESS - LEVEL 1



04 CROSS VENTILATION - LOWER GROUND FLOOR



05 CROSS VENTILATION - GROUND FLOOR



06 CROSS VENTILATION - LEVEL 1

CALCULATIONS:

84% OF UNITS ACHIEVE SOLAR ACCESS REQUIREMENTS

100% OF UNITS ACHIEVE CROSS VENTILATION

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB CHECKED BY: GS

CLIENT: ALLAMBIE HEIGHTS VILLAGE

DRAWING: SOLAR ACCESS & CROSS VENTILATION DIAGRAMS

DATE: 05/01/18 SCALE A1: 1:500 DRAWN: SF

PROJECT No. 2017019 A DISC. DA-700 ISSUE A

PROJECT: 2017019 - ALLAMBIE HEIGHTS

Lot 1, Pier 8-9, 23 Hickson Road
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AMENDMENTS

ISSUE	DESCRIPTION	APPROVED	DATE
A	AUTHORITY APPROVAL	GS	06/07/18
B	AUTHORITY APPROVAL	GS	20/07/18

6.4

Average star rating

NATIONWIDE HOUSE

www.nathers.gov.au

Certificate no.:

Assessor Name:

Accreditation no.:

Certificate date:

Dwelling Address:

2100

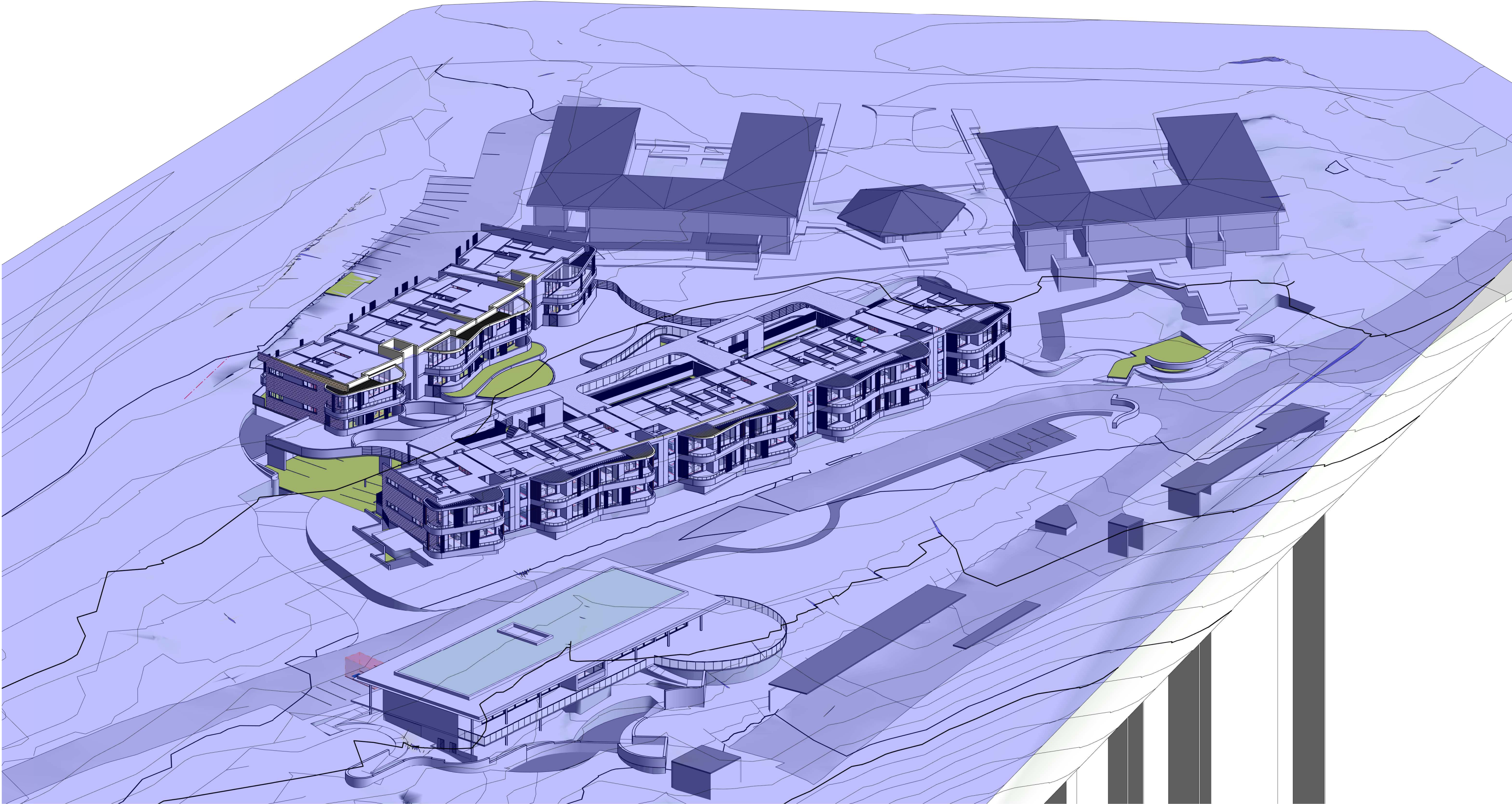
www.nathers.gov.au

0002879440

Tracey Cools

VIC/BDV/12/1473

22 June 2018



1 8M HEIGHT PENETRATION

DRAWING NOTES:

8M HEIGHT LIMIT INDICATED BLUE.

NOTE:
CEILINGS SHOWN AT 2700 HEIGHT NO CEILINGS
PROTRUDE 8M HEIGHT PLANE AS REQUIRED
UNDER SEPP SENIORS 2004

THIS DRAWING ISSUE HAS BEEN REVIEWED FOR

AUTHORITY APPROVAL

APPROVED BY: IB
CHECKED BY: GS
CLIENT
ALLAMBIE HEIGHTS VILLAGE

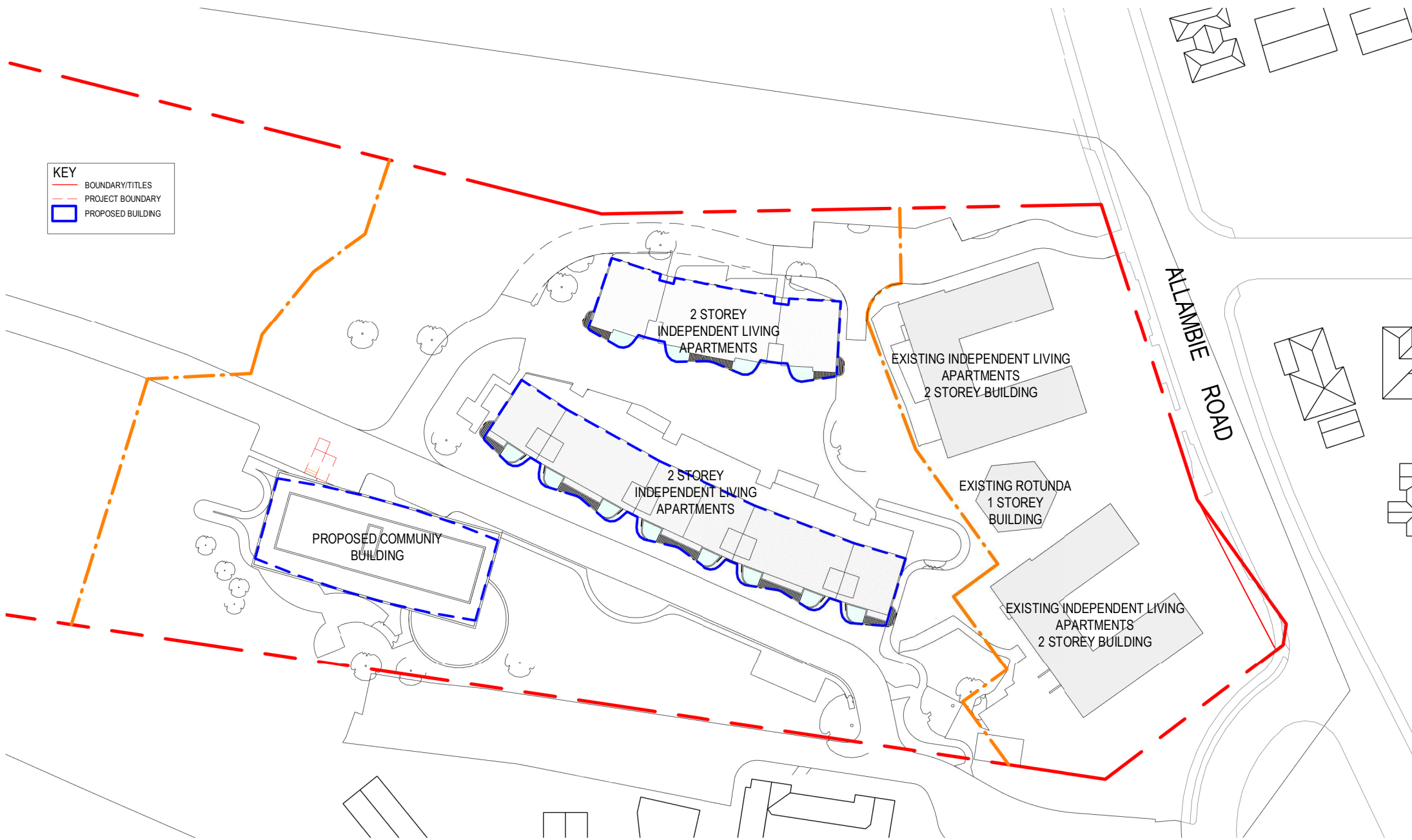
DRAWING
HEIGHT PENETRATION
DIAGRAM

DATE	SCALE	DRAWN
05/15/18	A1 1 : 100	SF
PROJECT No.	DRAWING No.	ISSUE
2017019	DA-902	B

PROJECT
2017019 - ALLAMBIE HEIGHTS

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							IB	GS	2017019 - ALLAMBIE HEIGHTS	ALLAMBIE HEIGHTS VILLAGE				SCALE@ A4 1 : 1000	DRAWN WW
														DRAWING DA-903	ISSUE

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