

Rapid Plans www.rapidplans.com.au
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Email: gregg@rapidplans.com.au



BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA



ACCREDITED
BUILDING DESIGNER

DEVELOPMENT APPLICATION

Alterations & Additions To Existing Residence

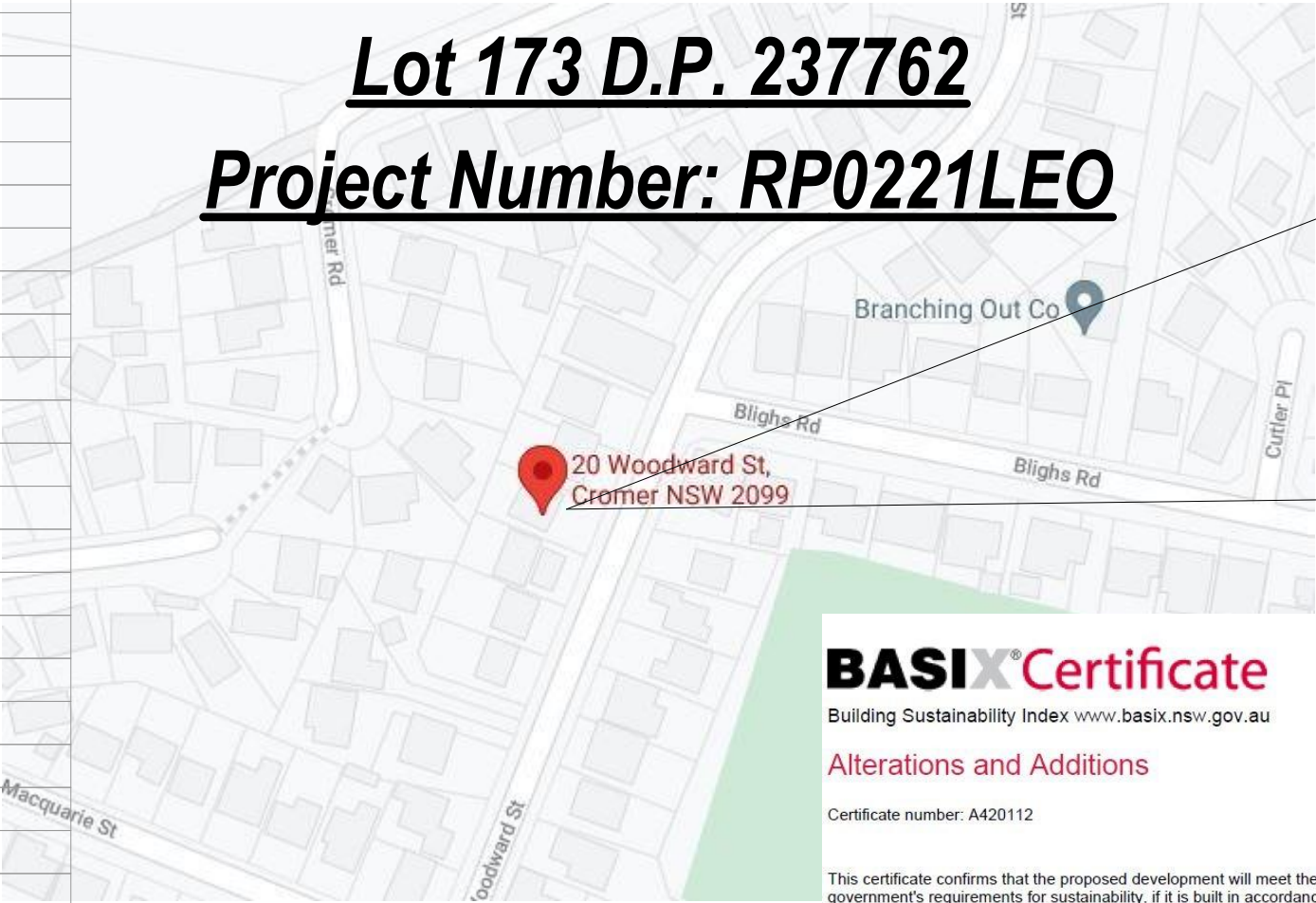
For Kerrie and Carlie Leo

20 Woodward Street, Cromer

Lot 173 D.P. 237762

Project Number: RP0221LEO

| DRAWING No. | DESCRIPTION | REV | ISSUED DATE |
|-------------|------------------------------------|-----|-------------|
| DA1000 | Cover Sheet | - | - 10/6/21 |
| DA1001 | A4 NOTIFICATION PLAN | - | - 10/6/21 |
| DA1002 | SITE SURVEY | - | - 10/6/21 |
| DA1003 | SITE SURVEY 2 | - | - 10/6/21 |
| DA1004 | SITE PLAN | - | - 10/6/21 |
| DA1005 | Existing Lower Ground Floor Plan | - | - 10/6/21 |
| DA1006 | Existing Ground Floor Plan | - | - 10/6/21 |
| DA1007 | Existing First Floor Plan | - | - 10/6/21 |
| DA1008 | Demolition Lower Ground Floor Plan | - | - 10/6/21 |
| DA1009 | Demolition Ground Floor Plan | - | - 10/6/21 |
| DA1010 | Demolition First Floor Plan | - | - 10/6/21 |
| DA1011 | Excavation & Fill Plan | - | - 10/6/21 |
| DA1012 | Landscape Open Space Plan Existing | - | - 10/6/21 |
| DA1013 | Landscape Open Space Plan Proposed | - | - 10/6/21 |
| DA1014 | Landscape Plan | - | - 10/6/21 |
| DA1015 | Sediment & Erosion Plan | - | - 10/6/21 |
| DA1016 | Waste Management Plan | - | - 10/6/21 |
| DA1017 | Stormwater Plan | - | - 10/6/21 |
| DA2001 | LOWER GROUND FLOOR | - | - 10/6/21 |
| DA2002 | GROUND FLOOR | - | - 10/6/21 |
| DA2003 | FIRST FLOOR | - | - 10/6/21 |
| DA2004 | ROOF | - | - 10/6/21 |
| DA3000 | SECTION 1 | - | - 10/6/21 |
| DA3001 | SECTION 2 | - | - 10/6/21 |
| DA4000 | ELEVATIONS 1 | - | - 10/6/21 |
| DA4001 | ELEVATIONS 2 | - | - 10/6/21 |
| DA4002 | ELEVATIONS 3 | - | - 10/6/21 |
| DA4003 | ELEVATIONS 4 | - | - 10/6/21 |
| DA5000 | PERSPECTIVE 1 | - | - 10/6/21 |
| DA5001 | PERSPECTIVE 2 | - | - 10/6/21 |
| DA5002 | MATERIAL & COLOUR SAMPLE BOARD | - | - 10/6/21 |
| DA5003 | SHADOW PLAN 21st June 9am | - | - 10/6/21 |
| DA5004 | SHADOW PLAN 21st June 12pm | - | - 10/6/21 |
| DA5005 | SHADOW PLAN 21st June 3pm | - | - 10/6/21 |



BASIX®Certificate

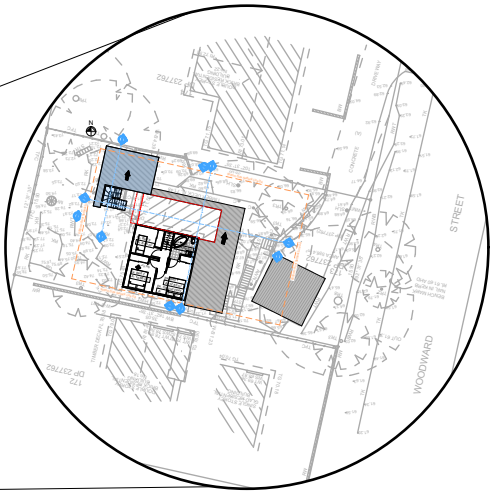
Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A420112

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Thursday, 10, June 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

| Project address | |
|---------------------------------|---|
| Project name | Leo |
| Street address | 20 Woodward Street Cromer 2099 |
| Local Government Area | Northern Beaches Council |
| Plan type and number | Deposited Plan 237762 |
| Lot number | 173 |
| Section number | |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

| Certificate Prepared by (please complete before submitting to Council or PCA) | |
|---|-------------|
| Name / Company Name: | Rapid Plans |
| ABN (if applicable): | 43150064592 |

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL S FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY PLACEMENT OF BOUNDARY/SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS.
WULMARA GROUP WILL NOT BE HELD RESPONSIBLE FOR A RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

THERE ARE NO EASEMENTS BURDENING THE LAND NO
EASEMENT BENEFITING THE LAND AS SHOWN.

AWN - AWNING
BW - BRICK WALL
CO - CONCRETE
C - COLUMN
DR - DRAIN
FL - FLOOR LEVEL
GB - GARDEN BED
HWT - HOT WATER TANK
MH - MANHOLE
OUT - OUTLET
PP - POWER POLE
RI - ROOF RIDGE
RW - RETAINING WALL
RWB - RETAINING WALL BO
RWT - RETAINING WALL TO
RK - ROCK
SLH - SEWER LAMP HOLE
STR - STAIRS
TEL - TELECOMMUNICATIO
TFC - TIMBER FENCE
TG - TOP OF GUTTER
TK - TOP OF KERB
WMT - WATER METRE
WS - WINDOW SILL
WT - WINDOW TOP

TR2 : TREE APPROX. 0.20 TRUNK 4 SPR
TR3 : TREE APPROX. 0.30 TRUNK 6 SPR
TR4 : TREE APPROX. 0.40 TRUNK 8 SPR
TR6 : TREE APPROX. 0.60 TRUNK 12 SP
TR8 : TREE APPROX. 0.80 TRUNK 16 SP

REVISION NO.
-
DATE.
10/6/21
DRAWING NO.
DA1002

PROJECT NAME : **Alterations & Additions**

| | |
|----------------|----------------------------|
| Checked | GBJ |
| Plot Date: | 10/06/2021 |
| Project NO. | RP0221LEO |
| Project Status | DA |
| <hr/> | |
| Client | Kerrie and Carlie Leo |
| Site: | 20 Woodward Street, Cromer |
| <hr/> | |
| Sheet Size: A3 | |



**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**

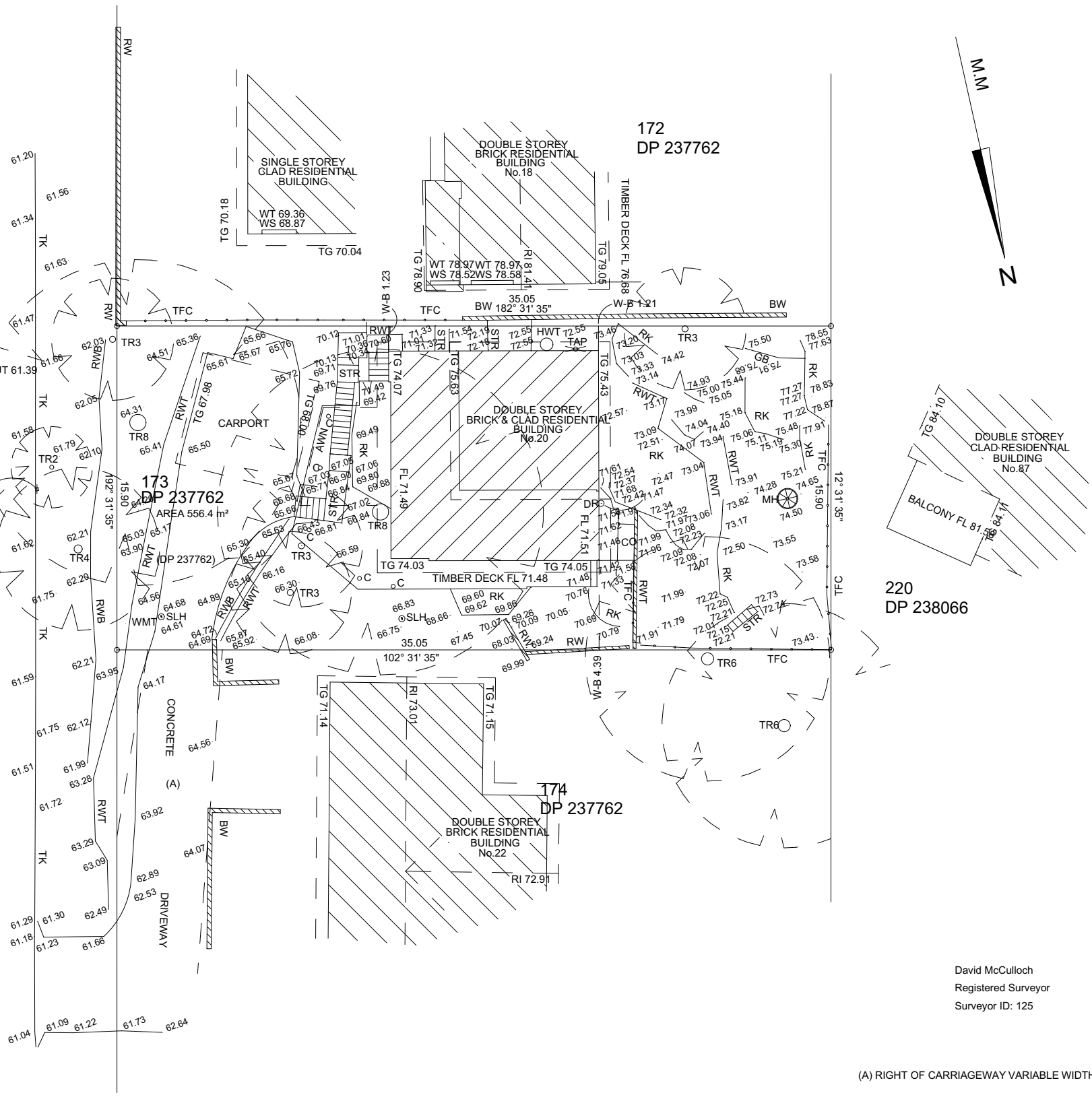
Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



1

WOODWARD STREET

BENCH MARK
NAIL IN KERB
RL 61.60 AHD



GENERAL NOTES

THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN. THE INFORMATION SHOWN ON THIS PLAN OR IN THE ASSOCIATED CAD FILE IS SUPPLIED ON THE CONDITION THAT THESE GENERAL NOTES ARE ALWAYS SHOWN/KEPT ON ANY COPY OR EXTRACT OF THE HARD COPY/DATA FILE.

THE LOCATION OF PROPERTY BOUNDARIES HAVE BEEN IDENTIFIED FROM SURVEY MEASUREMENTS & REGISTERED PLANS OBTAINED FROM NSW LAND REGISTRY SERVICES & REPRESENT TITLE DIMENSIONS.

ANY CONSTRUCTION OR WORKS RELYING ON CRITICAL SETBACKS FROM BOUNDARIES WILL REQUIRE ADDITIONAL BOUNDARY SURVEY & PLACEMENT OF BOUNDARY SETOUT MARKS PRIOR TO COMMENCEMENT OF ANY WORKS. WUMARA GROUP WILL NOT BE HELD RESPONSIBLE FOR ANY ISSUES RESULTING FROM NON COMPLIANCE WITH THIS ADVICE.

THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN SHOWN

LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) THE ORIGIN OF WHICH IS PM 7468 RL 22.496 AHD (SOURCE: NSW SPATIAL SERVICES).

THERE ARE NO EASEMENTS BURDENING THE LAND NOTED ON TITLE. EASEMENT BENEFITING THE LAND AS SHOWN.


- ABBREVIATIONS**
- AWN - AWNING
 - BW - BRICK WALL
 - CO - CONCRETE
 - C - COLUMN
 - DR - DRAIN
 - FL - FLOOR LEVEL
 - GB - GARDEN BED
 - HWT - HOT WATER TANK
 - MH - MANHOLE
 - OUT - OUTLET
 - PP - POWER POLE
 - RI - ROOF RIDGE
 - RW - RETAINING WALL
 - RWB - RETAINING WALL BOTTOM
 - RWT - RETAINING WALL TOP
 - RK - ROCK
 - SLH - SEWER LAMP HOLE
 - STR - STAIRS
 - TEL - TELECOMMUNICATIONS PIT
 - TFC - TIMBER FENCE
 - TG - TOP OF GUTTER
 - TK - TOP OF KERB
 - WMT - WATER METRE
 - WS - WINDOW SILL
 - WT - WINDOW TOP
 - W-B - WALL TO BOUNDARY

TR2 : TREE APPROX. 0.20 TRUNK 4 SPREAD & HEIGHT
TR3 : TREE APPROX. 0.30 TRUNK 6 SPREAD & HEIGHT
TR4 : TREE APPROX. 0.40 TRUNK 8 SPREAD & HEIGHT
TR6 : TREE APPROX. 0.60 TRUNK 12 SPREAD & HEIGHT
TR8 : TREE APPROX. 0.80 TRUNK 16 SPREAD & HEIGHT

David McCulloch
Registered Surveyor
Surveyor ID: 125



(A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH (DP 237762)

| | | | | | | | | |
|--|------|-----|----------|---------------------------|-----------------------|----------------|---|--|
|  WumaraGroup A: 4/96 Beach Street Coogee, NSW 2034 E: info@wumaragroup.com.au P: 0430 172127 | DATE | REV | COMMENTS | DATUM: AHD | SCALE: 1:150 @ A2 | SURVEY: DB SN | BOUNDARY IDENTIFICATION + SELECT FEATURES & LEVELS LOT 173 IN DP 237762 No. 20 WOODWARD STREET, CROMER, NSW | |
| | | | | ORIGIN OF LEVELS: PM 7468 | LOCALITY: CROMER | DRAWN: DB | | |
| | | | | CONTOUR INTERVAL: - | LGA: NORTHERN BEACHES | CHECKED: DM | CLIENT: KERRIE LEO | |
| | | | | REVISION: - | SHEET No. 1 OF 1 | DATE: 17-09-20 | REF: 070920DF1 | |

1 SURVEY PLAN
1:250

SURVEY SCALED TO FIT TITLEBLOCK

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

1
-

SITE PLAN
1:200

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Construction | Additional insulation required (R-value) | Other specifications |
|---|--|---|
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Fixtures and systems |
|--|
| Lighting |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. |
| Fixtures |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. |

Denotes New Works

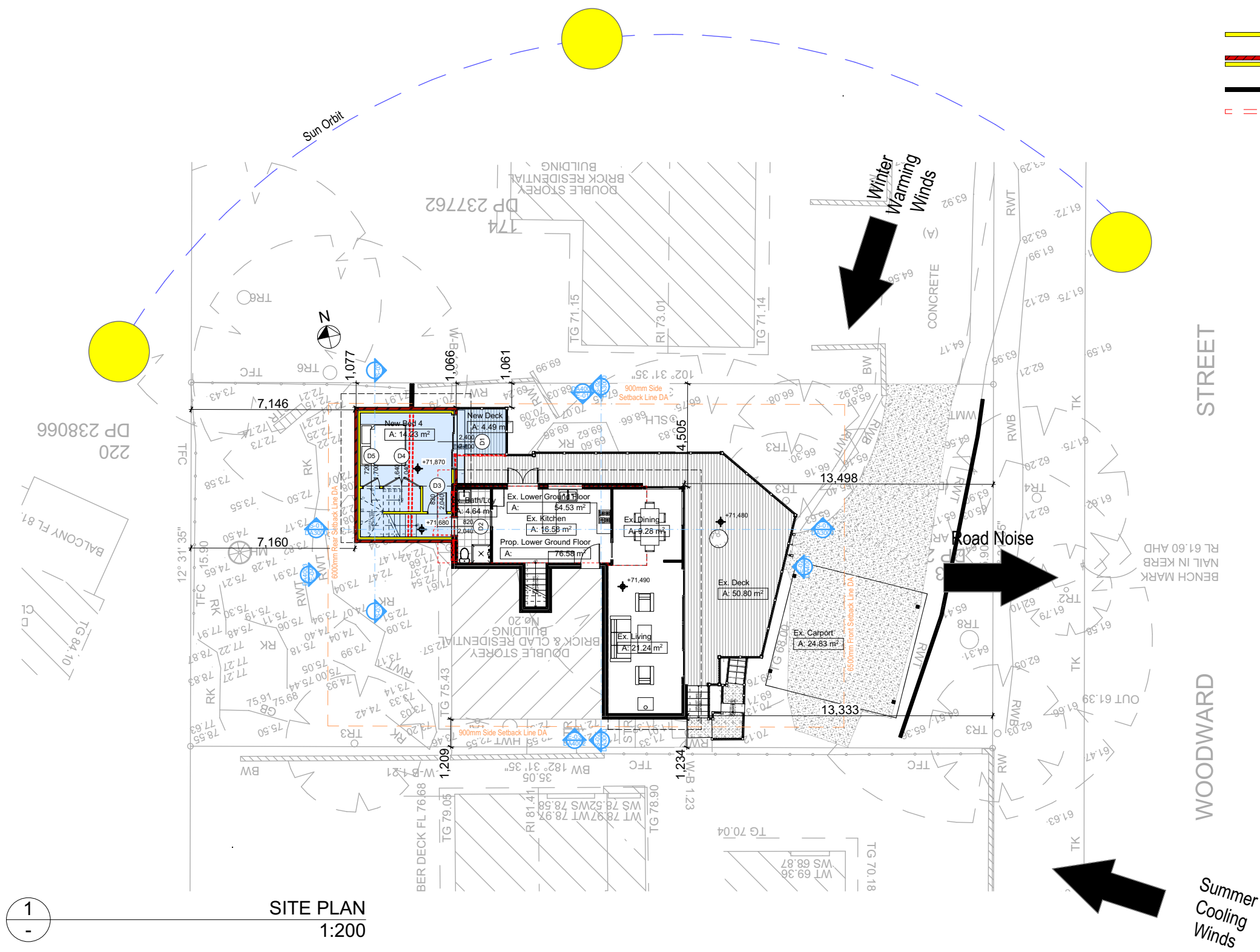
Wall Legend

Denotes New Timber Framed Wall

Denotes New Brick Veneer Wall

Denotes Existing Wall

Denotes Demolished Item



These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

DA1004

10/06/2021

Sheet Size: A3

Rapid Plans

Building Design and Architectural Drafting

World Plans

PO Box 6239 Fitzroy Street, DO NSW 2086

Fax: (02) 9360-8845, Mobile: 0414-946-024

Email: info@rapidplans.com.au

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bdaa

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED BUILDING DESIGNER

Rapid Plans reserves all rights to this drawing. This drawing remains the property of Rapid Plans and may not be copied without written consent. All content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES

20 Woodward Street, Cromer is zoned R2-Low Density Residential. 20 Woodward Street, Cromer is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate. New Works to be constructed shown in ShadedBlue.

Construction

Sub-Framed Floor: Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2010
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A42012
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each space, veranda, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

N

Drawn | Checked GBJ

Plot Date: 10/06/2021

Project NO.: RP0221LEO

Project Status DA

Client

Currie and Carlie Leo

Site:

20 Woodward Street, Cromer

DRAWING TITLE:

SITE AND LOCATION
SITE PLAN

PROJECT NAME:

Alterations & Additions

REVISION NO.

DATE

-

10/6/21

DRAWING NO.

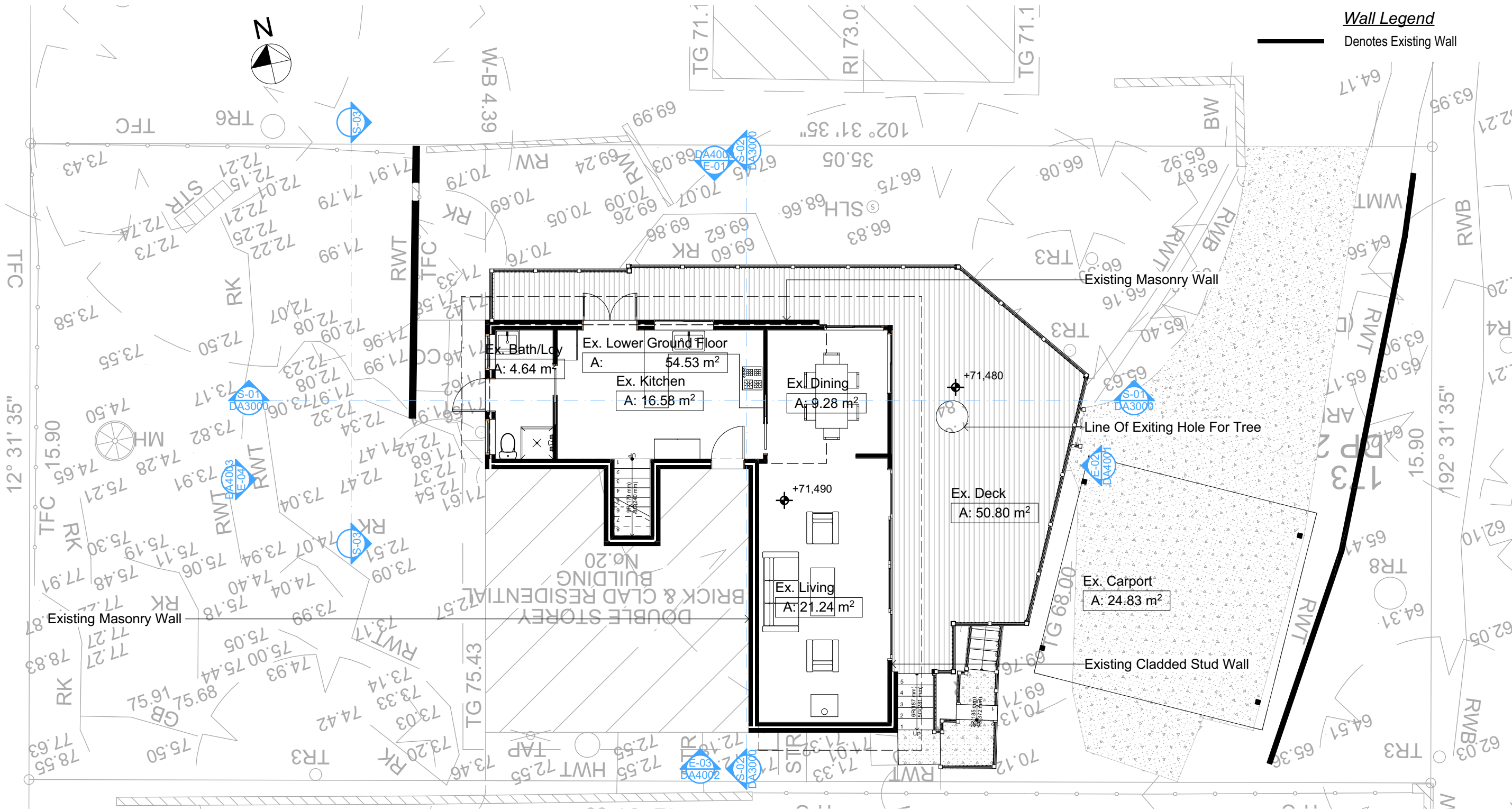
DA1004

Plot Date:

10/06/2021

Sheet Size: A3

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Wall Legend

Denotes Existing Wall

1 EXISTING BASEMENT/LOWER GROUND
1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R6160 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A420112

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
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For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

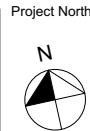
| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

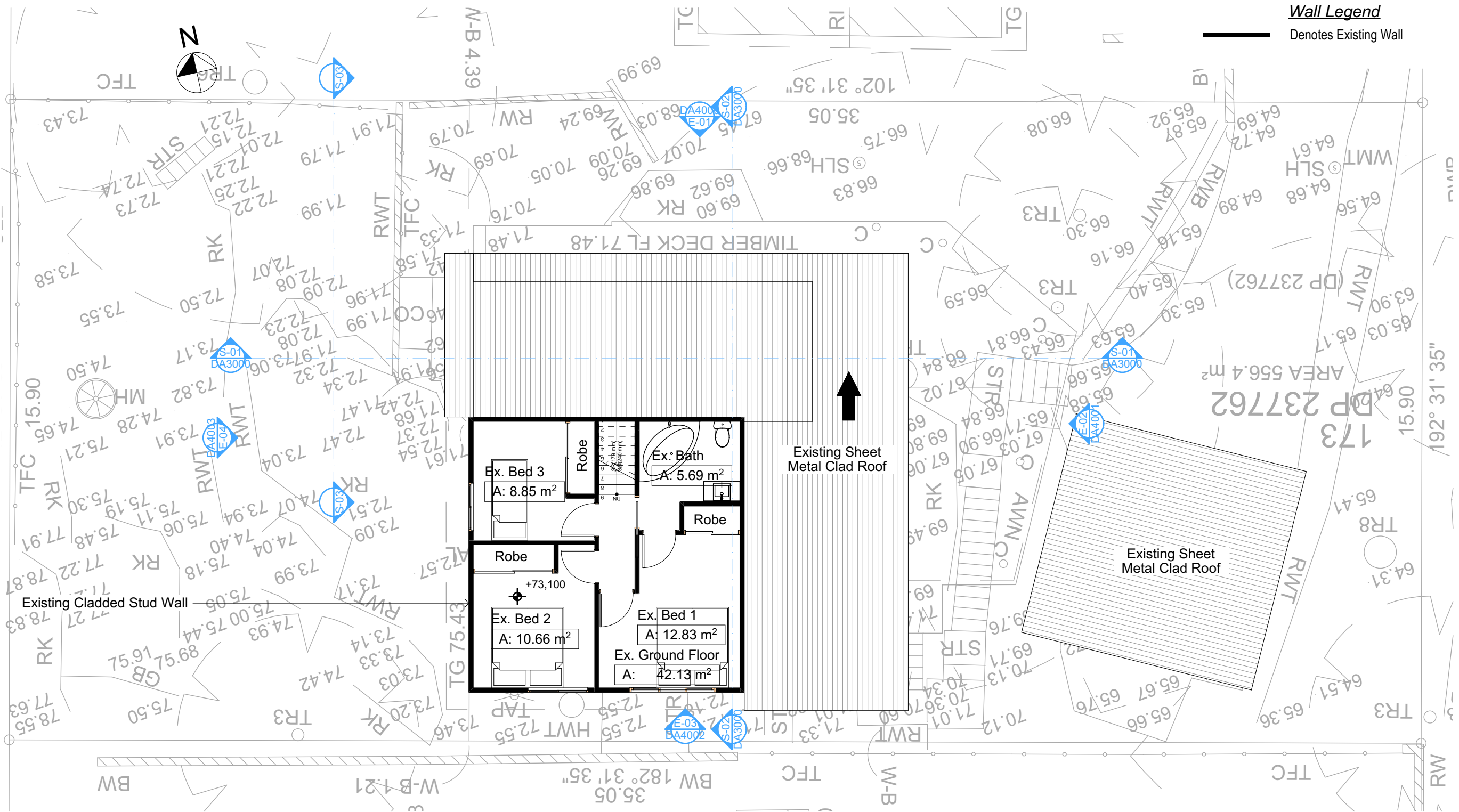
DRAWING TITLE :

SITE AND LOCATION
Existing Lower Ground
Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.
DATE:
10/6/21
DRAWING NO.
DA1005



2

EXISTING GROUND FLOOR
1:100

Builder To Check & Confirm Existing
Measurements Prior to Commencement

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

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All Plans to be read in conjunction with Basix Certificate
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20 Woodward Street, Cromer is not considered a heritage item

Certifying

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Construction

Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R660 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A420112

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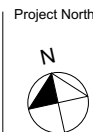
| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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Builder To Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
10/06/2021
RP0221LEO
DA

Client
Site:

Kerrie and Carlie Leo
20 Woodward Street, Cromer

Sheet Size: A3

DRAWING TITLE :

SITE AND LOCATION
Existing Ground Floor Plan

PROJECT NAME :

Alterations & Additions

REVISION NO.

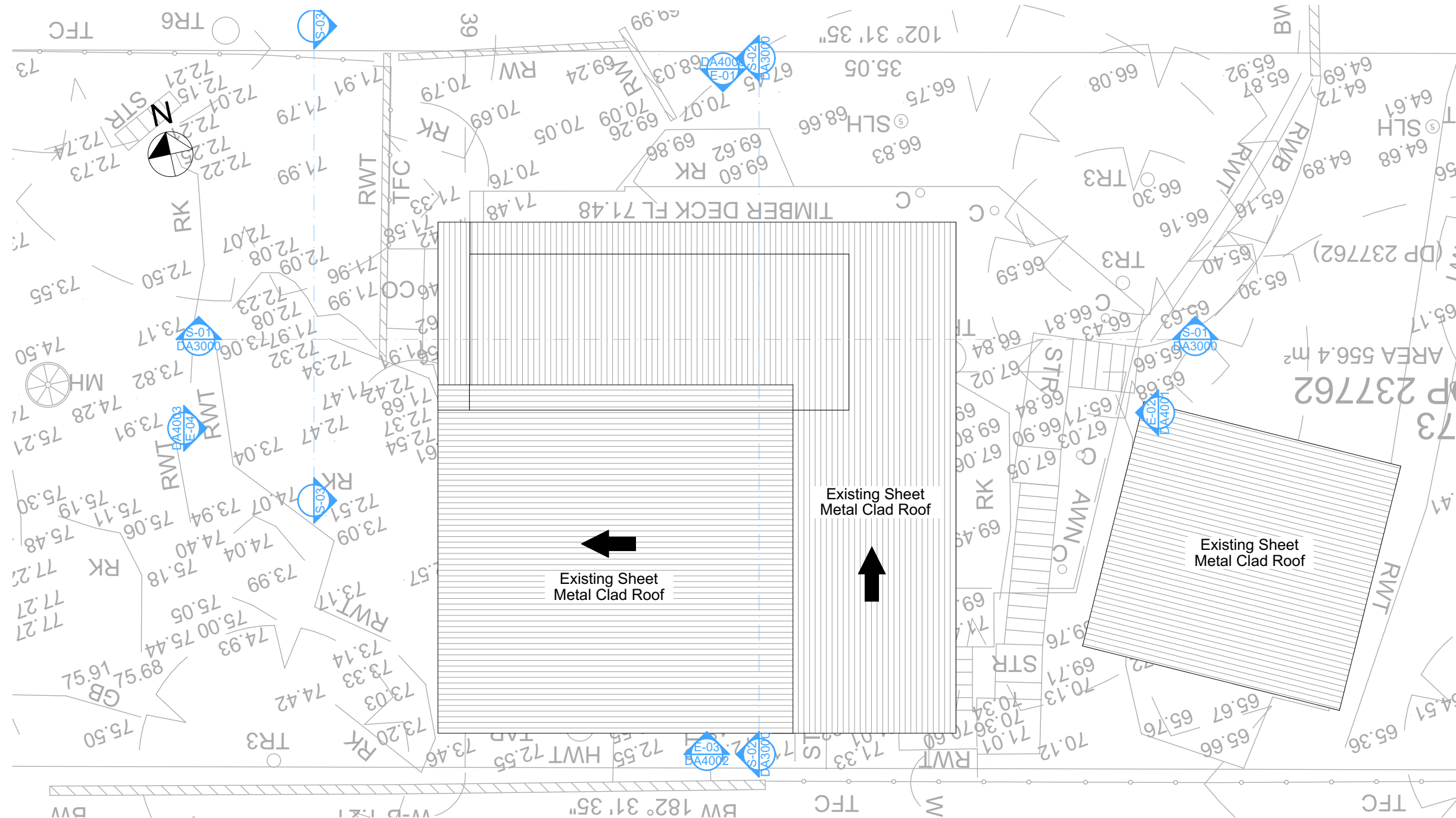
DATE:

10/6/21

DRAWING NO.

DA1006

Denotes Existing Wall



1:100

Builder To Check & Confirm Existing Measurements Prior to Commencement

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
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| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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**BUILDING DESIGNERS
ASSOCIATION OF AUSTRALIA**



ACCREDITED
BUILDING DESIGNER

Project North



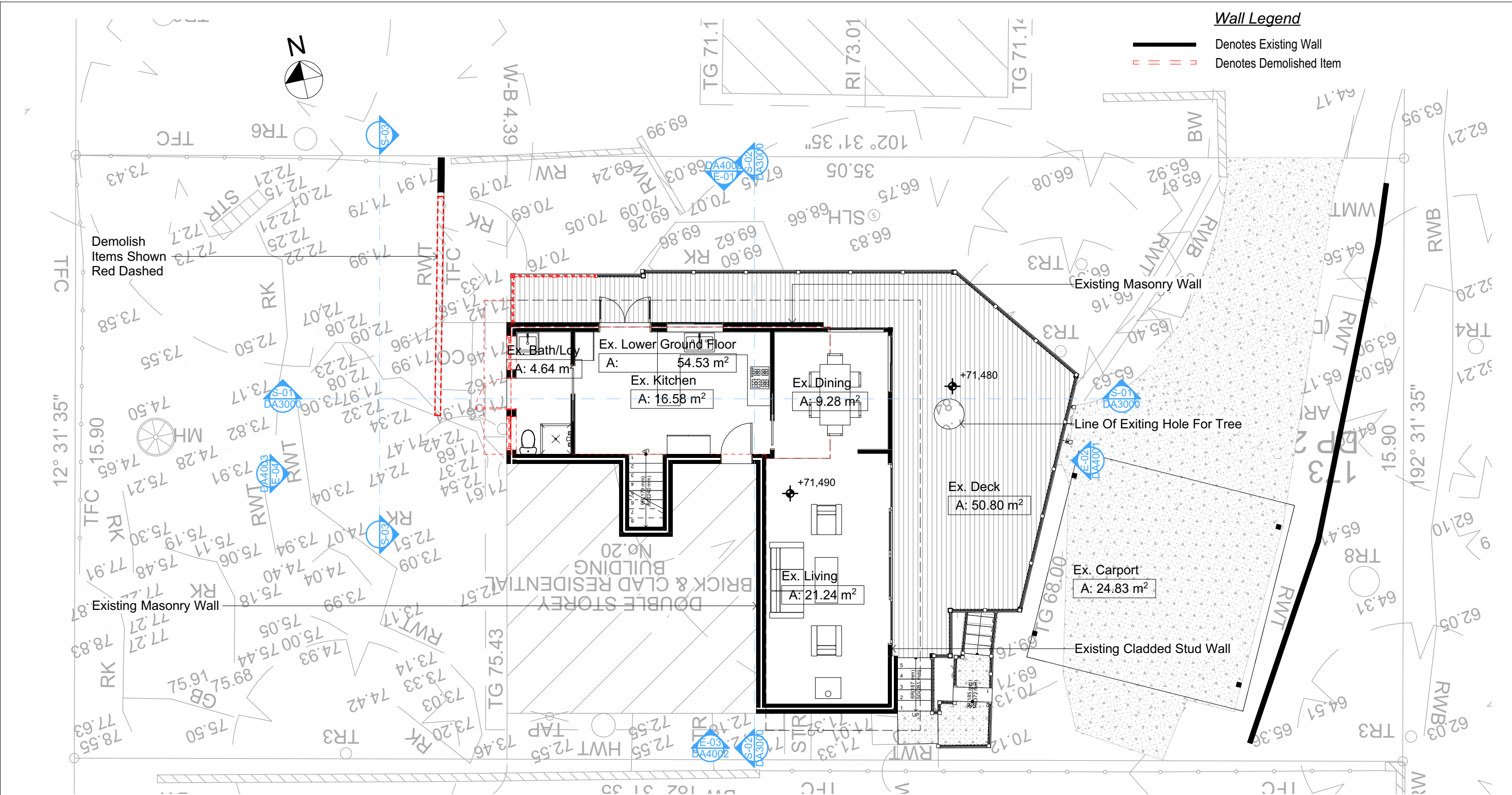
A compass rose with a circle and four quadrants. The top quadrant is labeled 'N'. A shaded sector is located in the Northwest quadrant, bounded by the North line and a line pointing towards the West-Northwest.

Sheet Size: A3

Kerrie and Carlie Leo
20 Woodward Street, Cromer

Alterations & Additions

DRAWING NO.
DA1007



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
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Insulation to External Brick Veneer, Framed Walls
R160 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

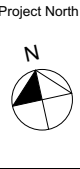


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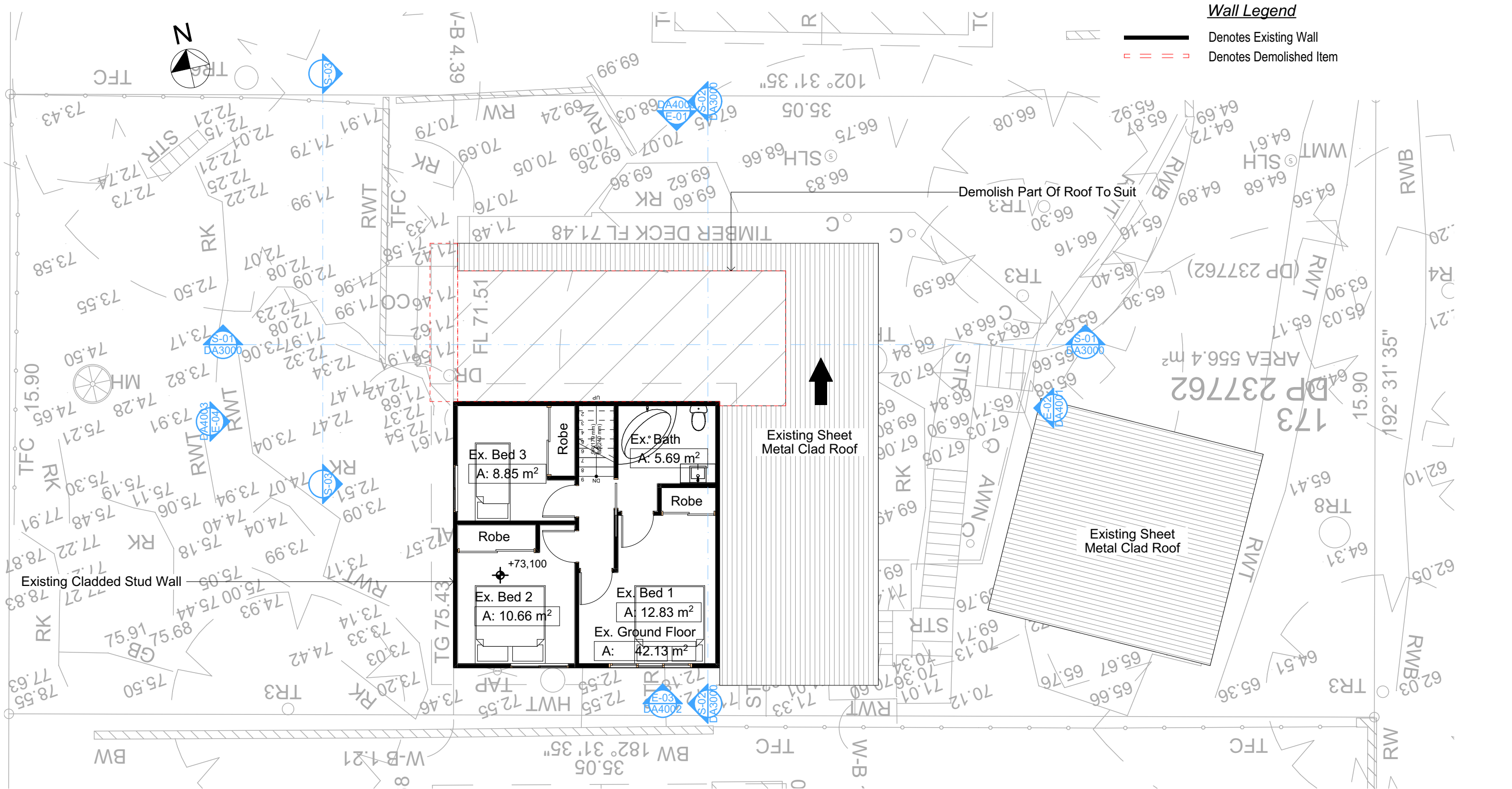
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date: 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client: Kerrie and Carlie Leo
Site: 20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
Demolition Lower Ground Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 10/6/21
DRAWING NO.
DA1008



All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES

20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R1.00 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A420112

All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

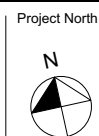


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Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

Client
Site:

Sheet Size: A3

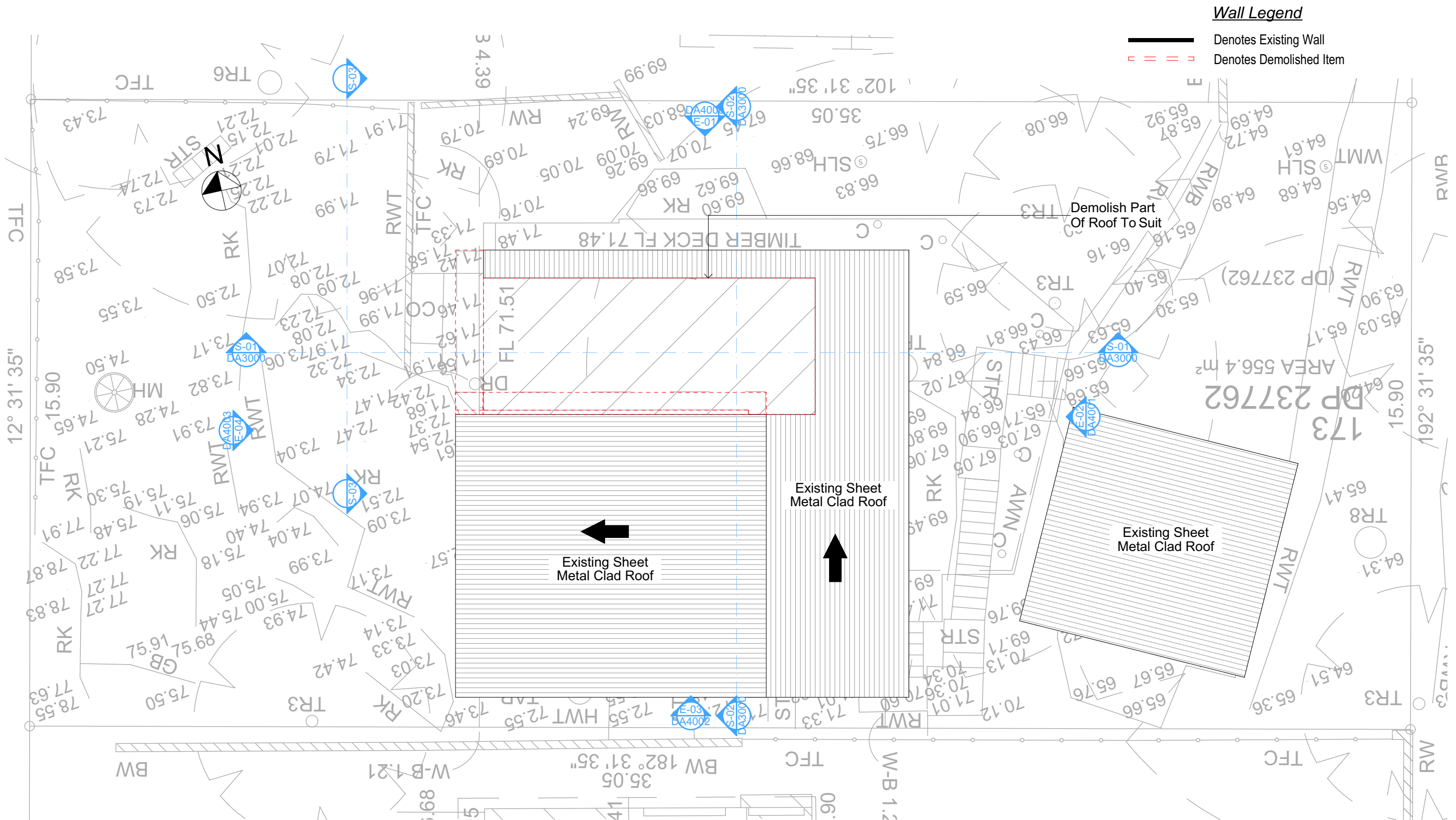
GBJ
10/06/2021
RP0221LEO
DA

Kerrie and Carlie Leo
20 Woodward Street, Cromer

DRAWING TITLE :
SITE AND LOCATION
Demolition Ground Floor
Plan

PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
10/6/21
DRAWING NO.
DA1009



Wall Legend
— Denotes Existing Wall
- - - Denotes Demolished Item

3 DEMOLITION FIRST FLOOR
1:100

All Demolition to be done in Accordance with Australian Standards, BCA and Workcover Regulations

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
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Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R1.60 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

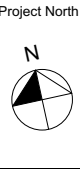


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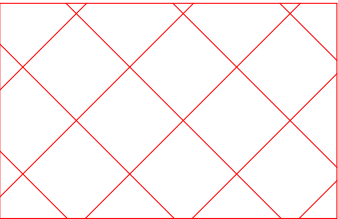
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



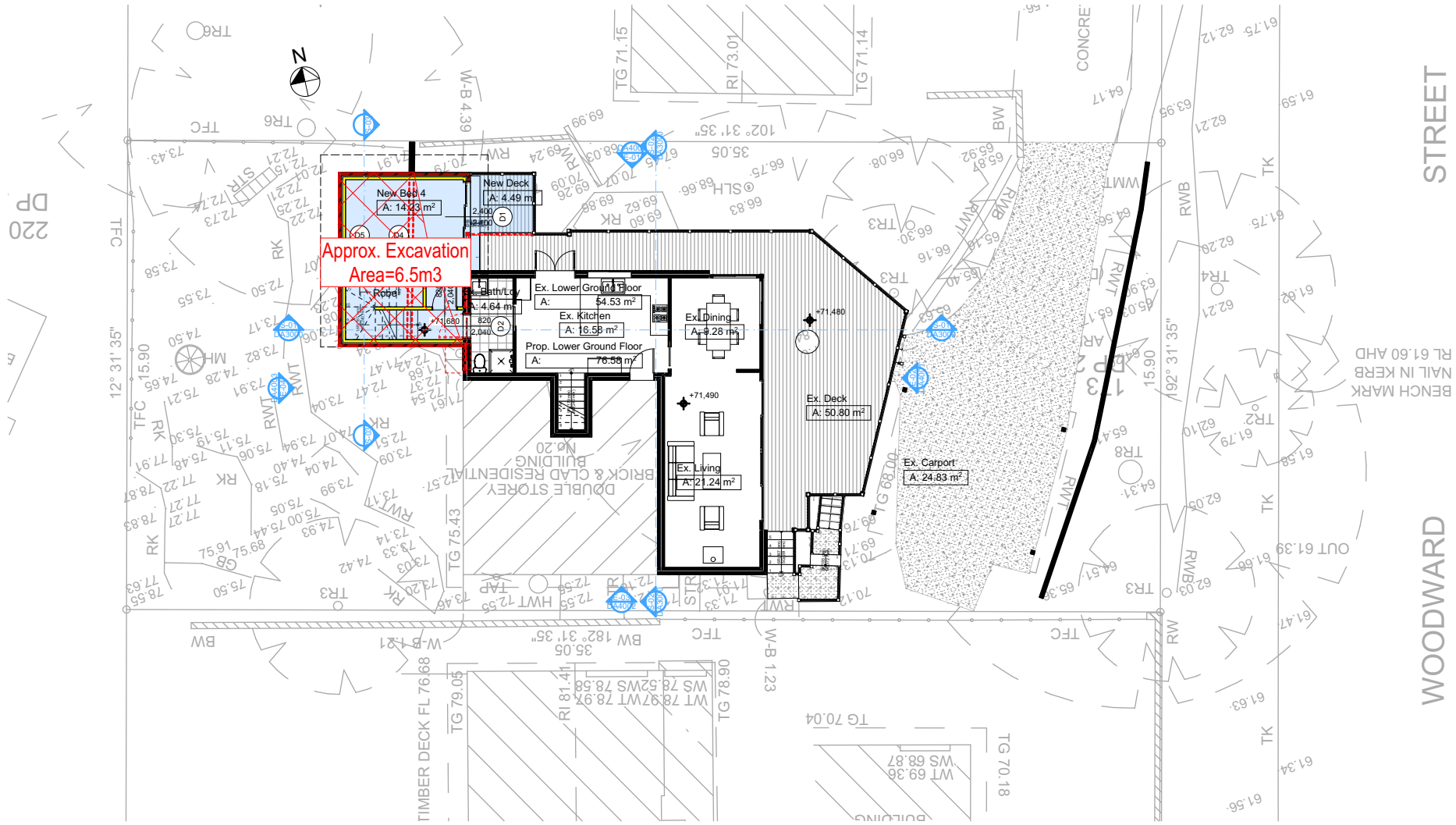
Checked
Plot Date: 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client: Kerrie and Carlie Leo
Site: 20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Demolition First Floor Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 10/6/21
DRAWING NO.
DA1010



Denotes Excavation Area



1 EXCAVATION & FILL PLAN 1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
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Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R1680 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m2) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Project North
Checked
Plot Date: 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client: Kerrie and Carlie Leo
Site: 20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Excavation & Fill Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE: 10/6/21
DRAWING NO.
DA1011



1LA

Note:
Total Open Landscape Area for the property will be decreased by 5%

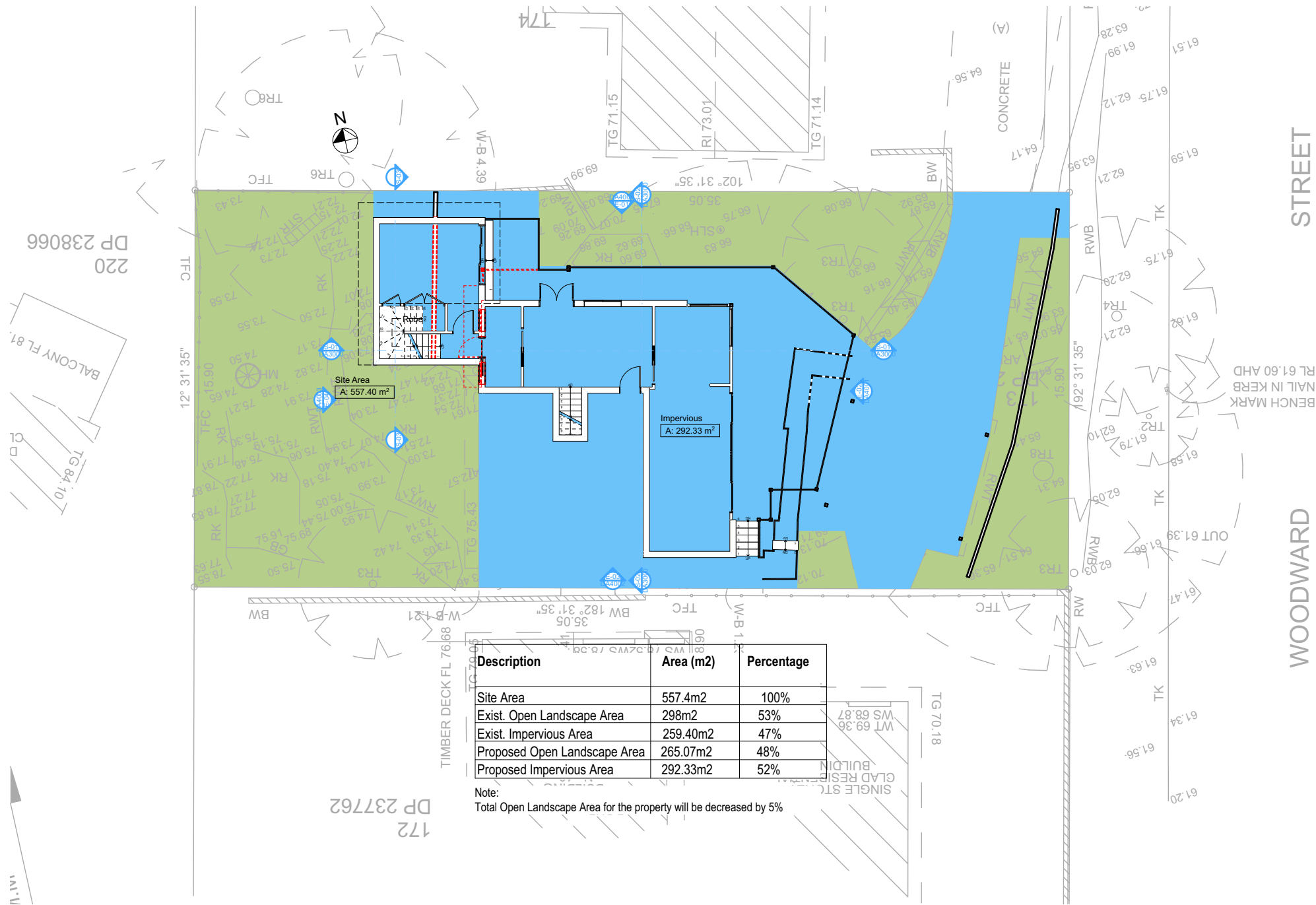
Note:
Total Open Landscape Area for the property will be decreased by 5%

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

| | | |
|--|--|-----------|
| <div><div>Building Designer and Architectural Drafting</div><div><div>Rapid Plans</div><div>www.rapidplans.com.au</div><div>PO Box 4676 Fremantle Western Australia 6155</div><div>Phone: 08 9455 8586 Mobile: 0424 346 024</div><div>Email: info@rapidplans.com.au</div></div></div> | | |
| © Copyright Rapid Plans 2021 | | |
| <div><div>BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</div></div> | | |
| <div><div>ACCREDITED BUILDING DESIGNER</div></div> | | |
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| Site Information | Prop. | Comp. |
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side by setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |
| Builder to Check and Confirm all Measurements Prior to Commencement of any works. | | |
| Immediately Report Any Discrepancies to Rapid Plans | | |
| <div><div>Project North</div><div></div></div> | | |
| <div>Drawn / Checked GBD Plot Date: 10/06/2021 Project NO. DA20211LEO Project Status DA</div> | | |
| <div>Client Kerrie and Carlisle Leo</div> | | |
| <div>Site: 20 Woodward Street, Cromer</div> | | |
| <div>DRAWING TITLE: SITE AND LOCATION Landscape Open Space Type Existing</div> | | |
| <div>PROJECT NAME: Alterations & Additions</div> | | |
| REVISION NO. | DATE | |
| - | 10/6/21 | |
| <div>DRAWING NO. DA1012</div> | | |
| Plot Date: | 10/06/2021 | |
| Sheet Size: A2 | <div>© Council Areas All Rights Reserved</div> | |

Denotes Impervious Area

Denotes Pervious Area



| Description | Area (m2) | Percentage |
|------------------------------|-----------|------------|
| Site Area | 557.4m2 | 100% |
| Exist. Open Landscape Area | 298m2 | 53% |
| Exist. Impervious Area | 259.40m2 | 47% |
| Proposed Open Landscape Area | 265.07m2 | 48% |
| Proposed Impervious Area | 292.33m2 | 52% |

Note:
Total Open Landscape Area for the property will be decreased by 5%

LANDSCAPE OPEN SPACE PROPOSED
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R6180 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

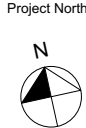
| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m2) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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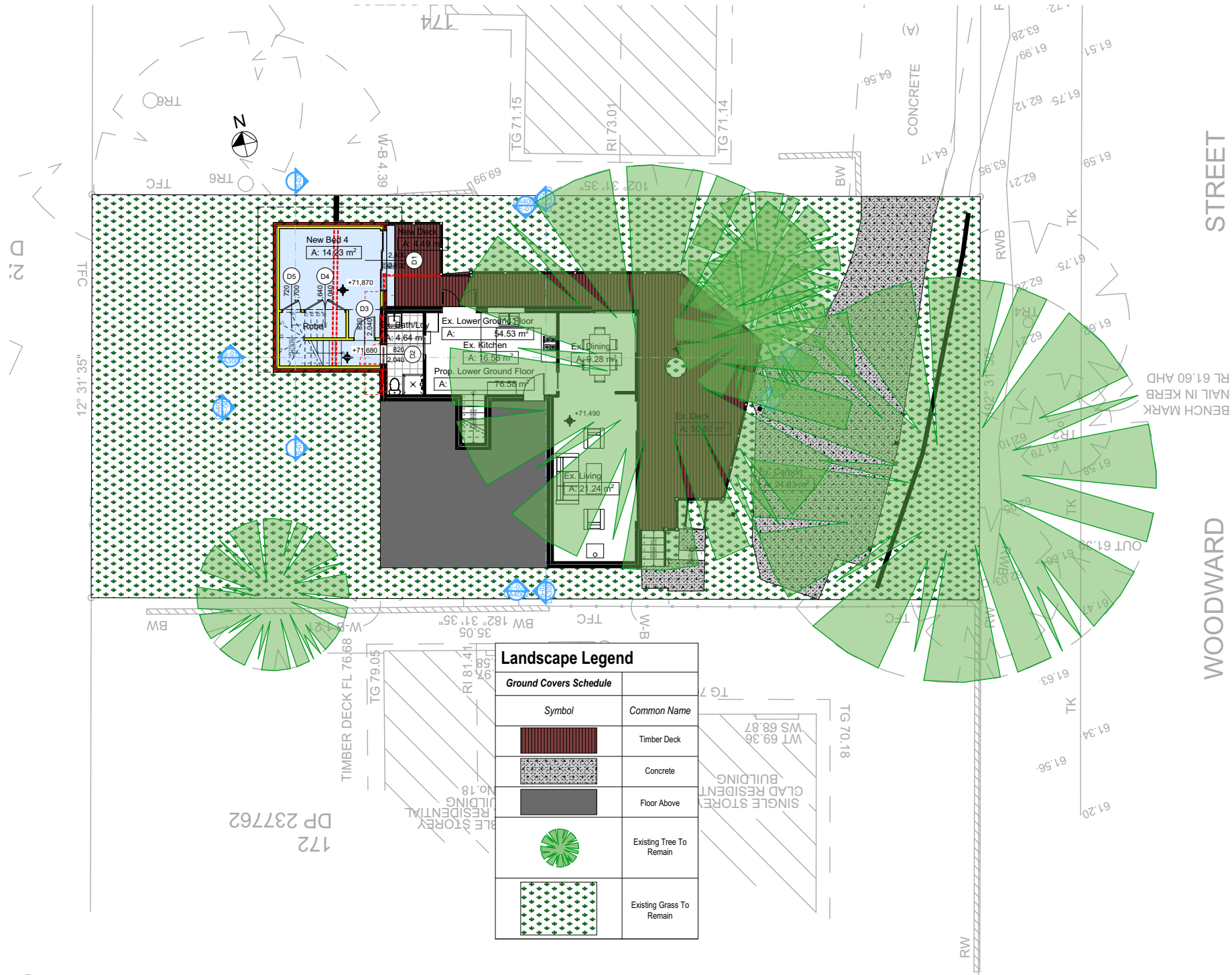
Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status
Client
Site:
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Open Space Plan
Proposed
PROJECT NAME :
Alterations & Additions

REVISION NO.
DATE:
10/6/21
DRAWING NO.
DA1013



1
-
LANDSCAPE PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
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Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R6160 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

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Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

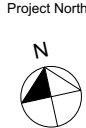


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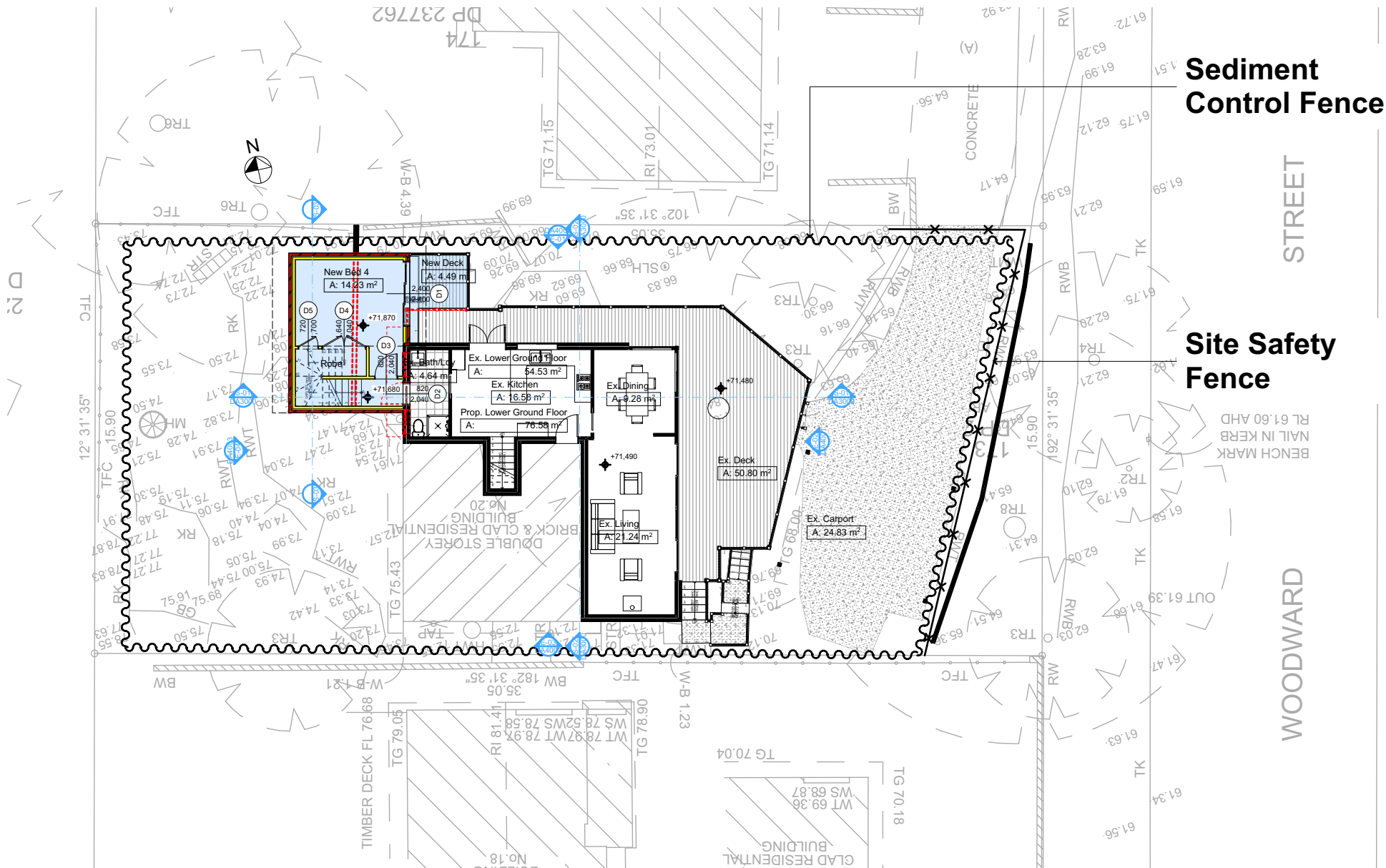
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all Measurements Prior to
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Immediately Report any
Discrepancies to Rapid Plans



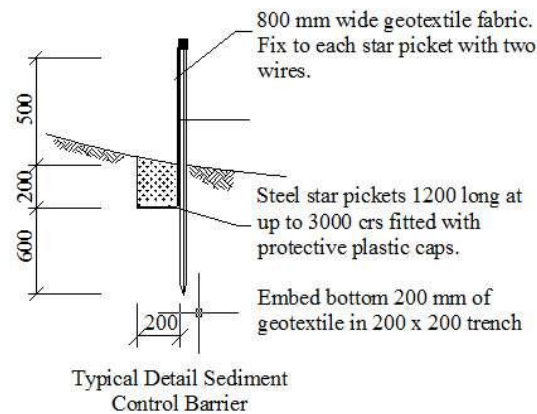
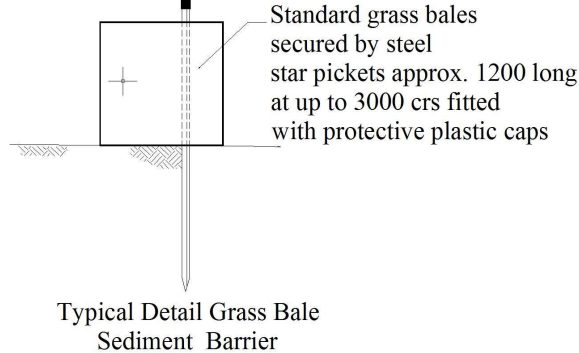
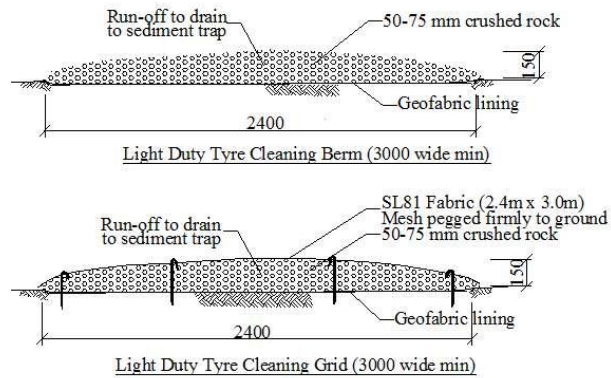
Project North
Checked
Plot Date: 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client: Kerrie and Carlie Leo
Site: 20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Landscape Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 10/6/21
DRAWING NO.
DA1014



SEDIMENT & EROSION CONTROL PLAN
1:200



- Denotes New Works**
- Wall Legend**
- Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes New Concrete
 - Denotes Existing Wall
 - Denotes Demolished Item

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential.
20 Woodward Street, Cromer is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.

Construction
Sub. Framed Floor: Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288.2.4
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certification
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE :
SITE AND LOCATION
Sediment & Erosion Plan

PROJECT NAME :
Alterations & Additions

| REVISION NO. | DATE |
|--------------|---------|
| - | 10/6/21 |

DRAWING NO.
DA1015

Plot Date: 10/06/2021
Sheet Size: A3

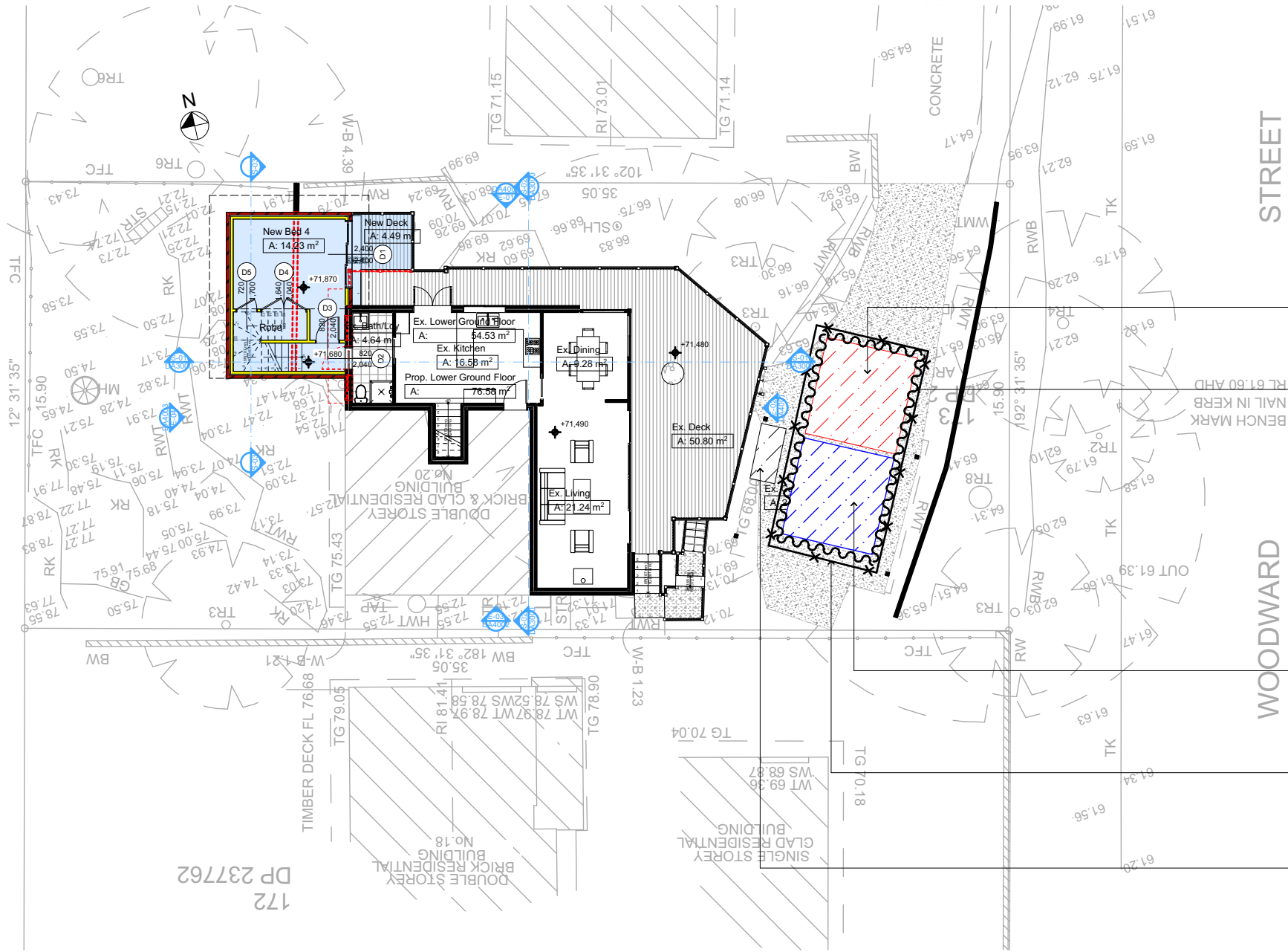
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DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
Denotes New Masonry Wall
Denotes New Concrete Block Wall
Denotes New Concrete
Denotes Existing Wall
Denotes Demolished Item



Material Storage Area

Sediment Control Fence

Approximate Location
Of Building Waste &
Recycling Area

Site Safety Fence

Residential Garbage
Bin Storage

WASTE MANAGEMENT PLAN
1:200

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item

Certifying

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Construction

Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|--|---------------------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m ² | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m ²) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m ²) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into gnd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |



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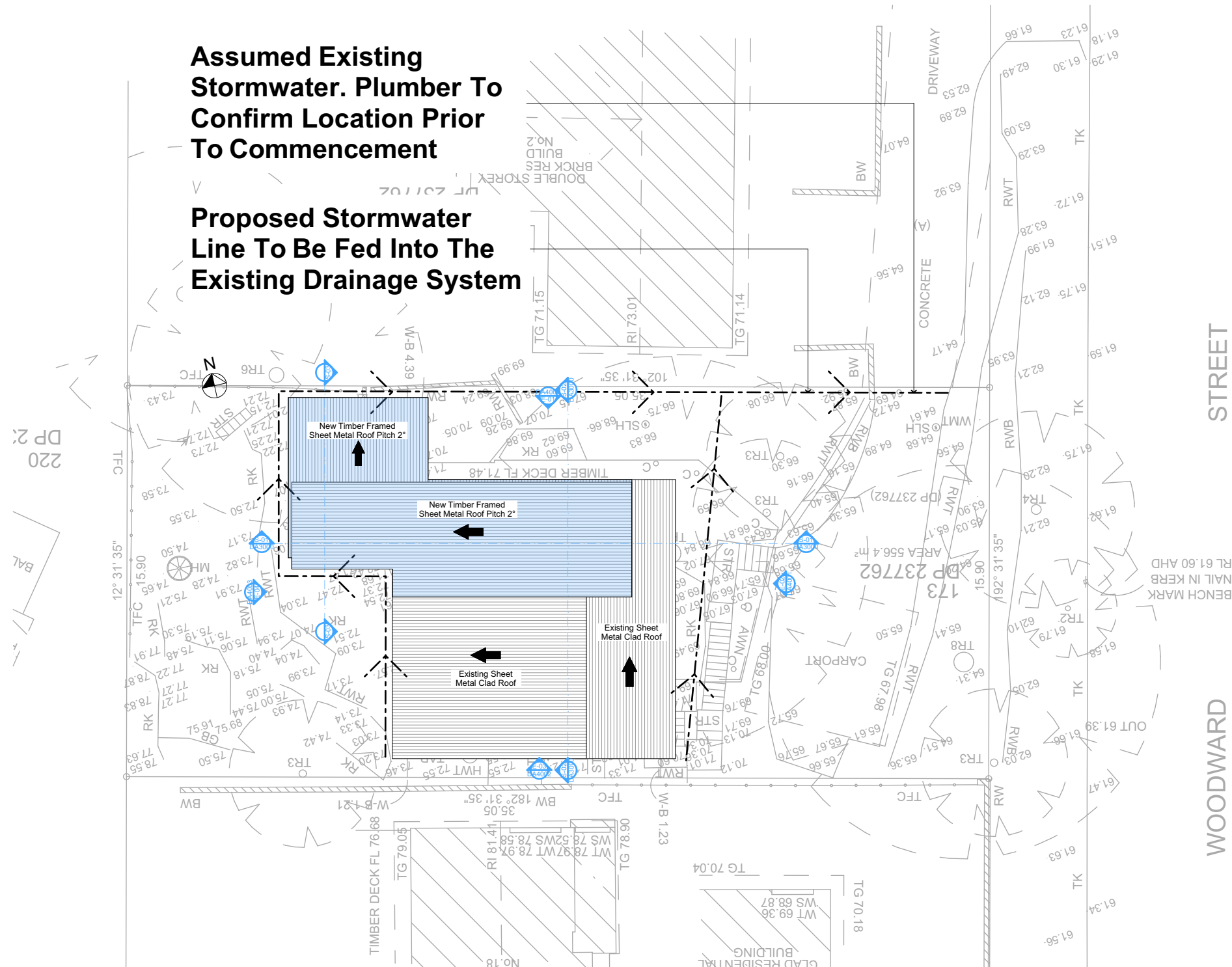


Project North
Checked
Plot Date: 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client
Site: Kerrie and Carrie Leo
20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
SITE AND LOCATION
Waste Management Plan
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE:
10/6/21
DRAWING NO.
DA1016

Proposed Stormwater Line To Be Fed Into The Existing Drainage System









4

STORMWATER PLAN
1:200

Plumber To Confirm Location Of Existing Stormwater/Sewer Prior To Commencement

Denotes New Works

Wall Legend

- | | |
|---|---------------------------------|
|  | Denotes New Timber Framed Wall |
|  | Denotes New Masonry Wall |
|  | Denotes New Concrete Block Wall |
|  | Denotes New Concrete |
|  | Denotes Existing Wall |
|  | Denotes Demolished Item |



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NOTES

Woodward Street, Cromer is not considered a heritage item
Plans to be read in conjunction with Basis Certificate
New Works to be constructed shown in Shaded/Blue

Construction

lab, Framed Floor, Brick Veneer, Framed Walls
roof Framed to have R124 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the
requirements of Building Codes of Australia.

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asix 2.1.0-1

The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | |
| Housing density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

**Builder to Check and Confirm all
Measurements Prior to
Commencement of any works.
Immediately Report any Discrepancies
to Rapid Plans**

| | |
|---------------|----|
| Project North | 21 |
|---------------|----|



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO. RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE :
SITE AND LOCATION
Stormwater Plan

PROJECT NAME : **Alterations & Additions**

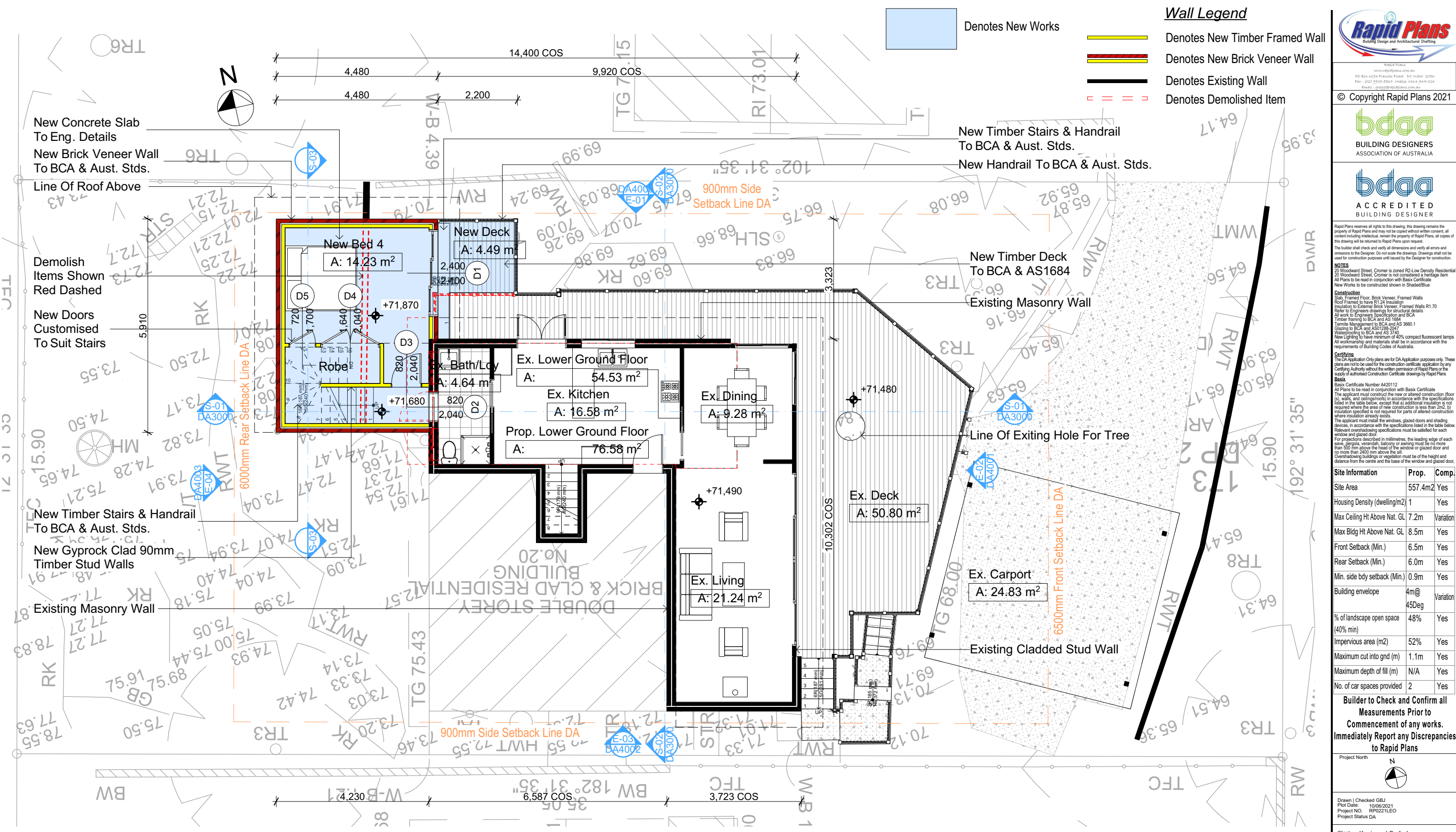
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|--------------|---------|
| REVISION NO. | DATE |
| - | 10/6/21 |

DRAWING NO.
DA1017

| | |
|----------------|---|
| Plot Date: | 10/06/2021 |
| Sheet Size: A3 | F:\Current Jobs\LED Kerli and Carli\LED-22-0A\Final.plt |

| | |
|--|--|
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| | <p>SITE AND LOCATION</p> <p>Stormwater Plan</p> |
| | <p>PROJECT NAME :</p> <p>Alterations &</p> |

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION



| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Fixtures and systems | |
|--|--|
| Lighting | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | |
| Fixtures | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | |

- Wall Legend**
- Denotes New Works
 - Denotes New Timber Framed Wall
 - Denotes New Brick Veneer Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

Building Design and Architectural Drafting

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NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential. 20 Woodward Street, Cromer is not considered a heritage item. All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded Blue.

Construction
Sub-Framed Floor, Brick Veneer, Framed Walls, Roof Framed to have R1.24 Insulation. Insulation to External Brick Veneer, Framed Walls R1.70. Refer to Engineers drawings for structural details. All work to Engineers Specification and BCA. Timber framing to BCA and AS 1684. Furniture to BCA and AS 3660.1. Glazing to BCA and AS 2208.2.4. Waterproofing to BCA and AS 3740. New Lighting to have minimum of 40% compact fluorescent lamps. All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate. The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|-----------|
| Site Area | 557.4m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE: PLANS LOWER GROUND FLOOR

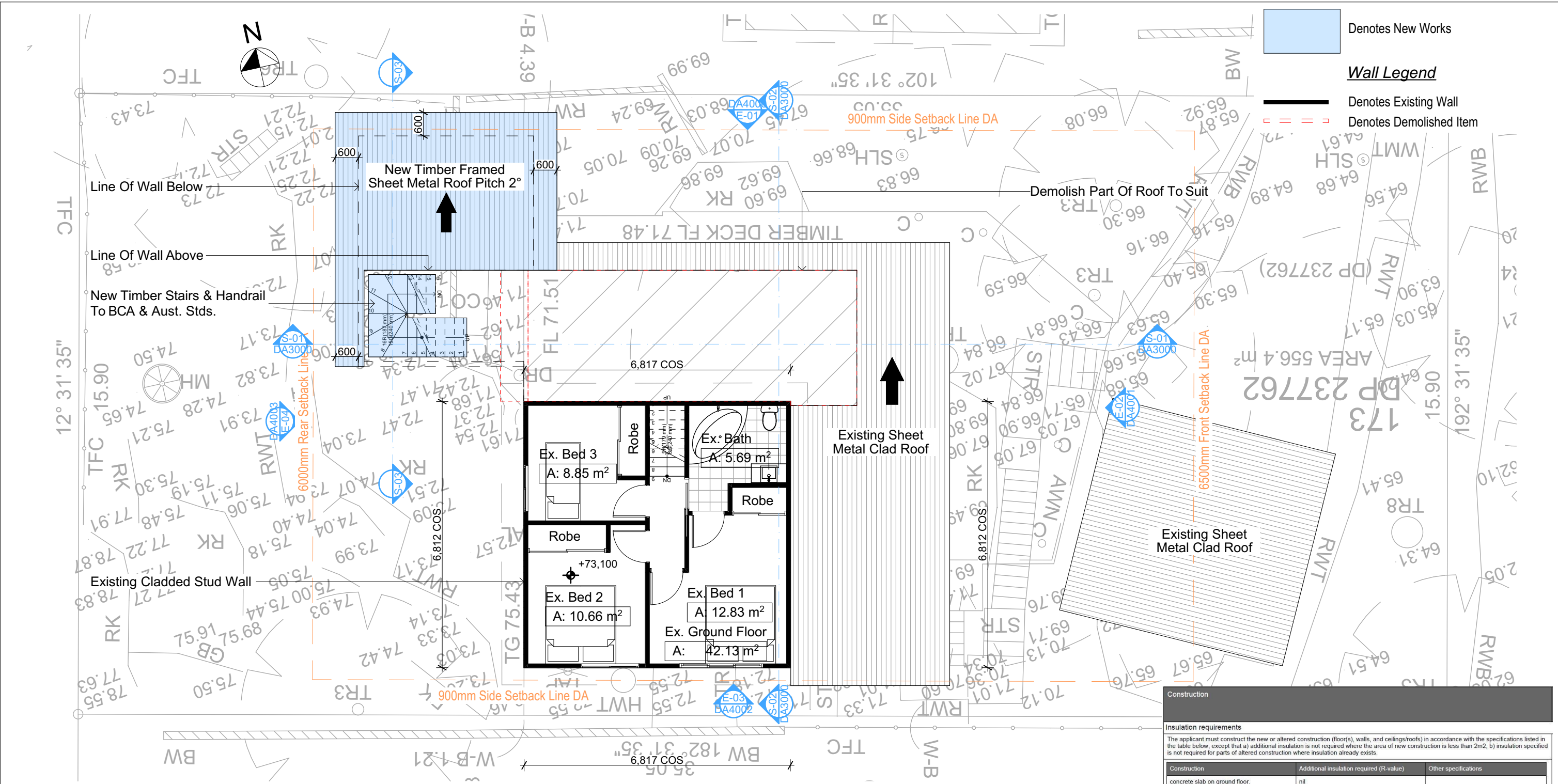
PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 10/6/21
DRAWING NO. DA2001

Plot Date: 10/06/2021
Sheet Size: A3

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| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m2) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
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Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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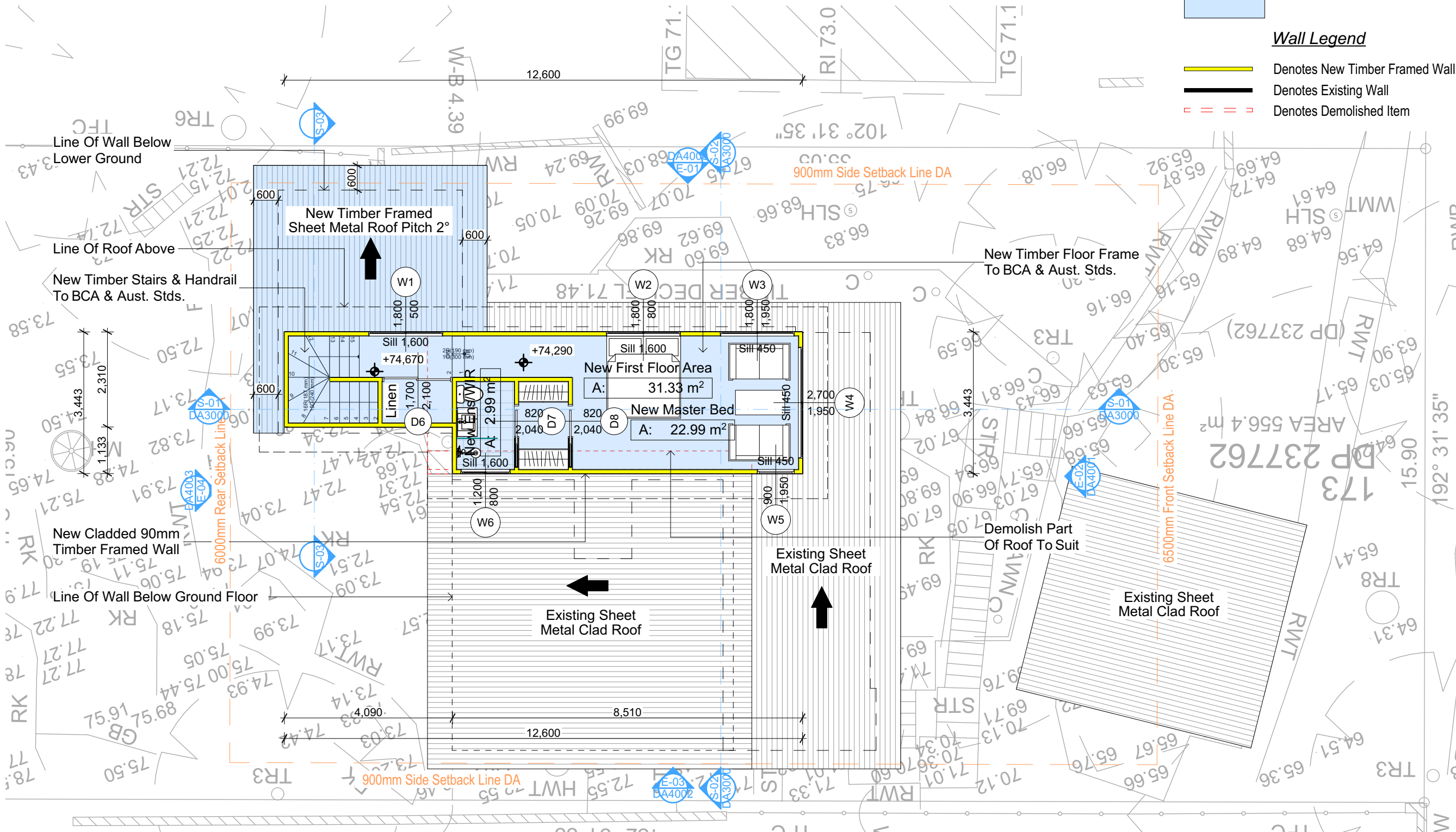
Builder to Check and Confirm
all Measurements Prior to Commencement of any works.
Immediately Report any Discrepancies to Rapid Plans



Project North
Checked Plot Date: GBJ 10/06/2021
Project NO: RP0221LEO
Project Status: DA
Client: Kerrie and Carlie Leo
Site: 20 Woodward Street, Cromer
Sheet Size: A3

DRAWING TITLE :
PLANS
GROUND FLOOR
PROJECT NAME :
Alterations & Additions

REVISION NO.
-
DATE: 10/6/21
DRAWING NO.
DA2002



Denotes New Works

Wall Legend

Denotes New Timber Framed Wall
Denotes Existing Wall
Denotes Demolished Item

FIRST FLOOR
1:100

| Construction | | |
|---|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

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World Plans
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NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
23 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded Blue

Construction
Sub-Framed Floor: Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Furniture Management to BCA and AS 3660.1
Glazing to BCA and AS 2208
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gable, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client: Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

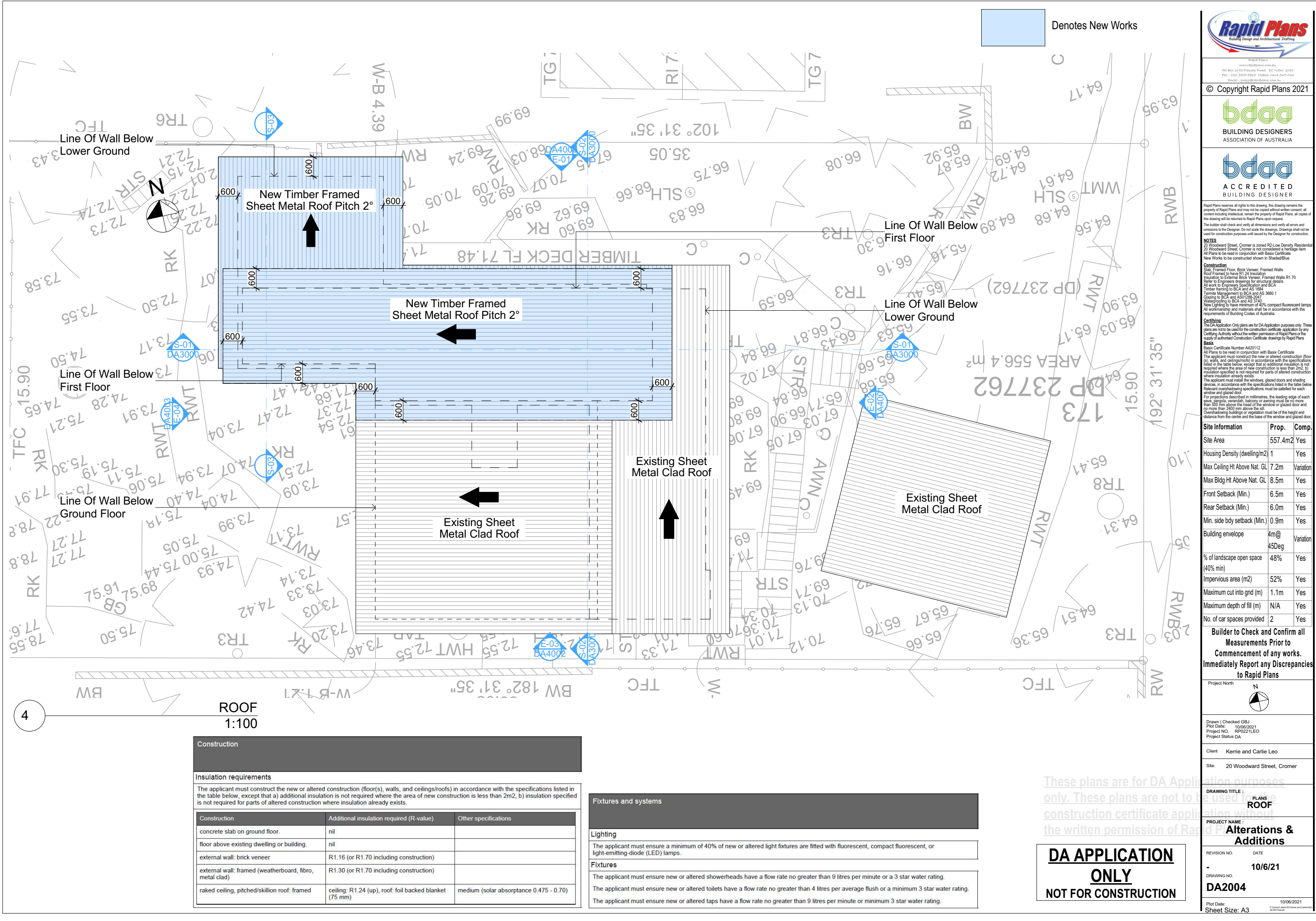
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DRAWING TITLE: PLANS
FIRST FLOOR

PROJECT NAME: Alterations & Additions

REVISION NO. DATE
- 10/6/21
DRAWING NO. DA2003

Plot Date: 10/06/2021
Sheet Size: A3



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| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Fixtures and systems | |
|--|--|
| Lighting | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | |
| Fixtures | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | |

Building Design and Architectural Drafting

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Email: info@rapidplans.com.au

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NOTES
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20 Woodward Street, Cromer is not considered a heritage item.
All Plans to be read in conjunction with Basic Certificate.
New Works to be constructed shown in ShadedBlue.

Construction
Sub: Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1584
Framing Management to BCA and AS 3600.1
Glazing to BCA and AS 2208.2
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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Certifying
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Basic
Basic Certificate Number A42012
All Plans to be read in conjunction with Basic Certificate.
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each window, balcony, verandah, or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be in accordance with the requirements of Building Codes of Australia.

| Site Information | Prop. | Comp. |
|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North

Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client: Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE:
PLANS
ROOF

PROJECT NAME:
Alterations & Additions

REVISION NO. DATE

- 10/6/21

DRAWING NO.
DA2004

Plot Date: 10/06/2021
Sheet Size: A3

New Timber Framed
Sheet Metal Roof Pitch 2°

+77,534
5 RIDGE

New Cladded 90mm
Timber Framed Wall
New Gyprock Clad 90mm
Timber Stud Walls

New Timber Stairs & Handrail
To BCA & Aust. Stds.

+74,290
3 FIRST FLOOR

Line Of Natural Ground Level

+73,100
2 GROUND FLOOR

New Brick Veneer Wall
To BCA & Aust. Stds.

+71,490
1 LWR GROUND FLOOR

Demolish Items
Shown Red Dashed

New Concrete Slab
To Eng. Details

New Timber Floor Frame
To BCA & Aust. Stds.

+77,534
5 RIDGE

New Cladded 90mm
Timber Framed Wall

Existing Sheet
Metal Clad Roof

+74,290
3 FIRST FLOOR

Existing Cladded Stud Wall

+73,100
2 GROUND FLOOR

+71,490
1 LWR GROUND FLOOR



Denotes New Works

Wall Legend



Denotes New Timber Framed Wall



Denotes New Brick Veneer Wall



Denotes Existing Wall



Denotes Demolished Item

S-01

SECTION 1
1:100

+77,534
5 RIDGE

Demo Part Of Roof To Suit

New Cladded 90mm
Timber Framed Wall

Existing Cladded
Stud Wall

+74,290
3 FIRST FLOOR

+73,100
2 GROUND FLOOR

+71,490
1 LWR GROUND FLOOR

New Timber Framed
Sheet Metal Roof Pitch 2°

+77,534
5 RIDGE

Demolish Items Shown
Red Dashed

New Timber Floor Frame
To BCA & Aust. Stds.

Existing Sheet Metal Clad Roof

+74,290
3 FIRST FLOOR

New Brick Veneer Wall
To BCA & Aust. Stds.

+73,100
2 GROUND FLOOR

New Handrail To
BCA & Aust. Stds.

+71,490
1 LWR GROUND FLOOR

New Timber Deck To
BCA & AS1684

S-02

SECTION 2
1:100

| Construction | | |
|---|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |
| Fixtures and systems | | |
| Lighting | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | |
| Fixtures | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | |

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NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

Construction
Sub. Framed Floor: Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
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Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
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Certifying
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Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
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For projections described in millimetres, the leading edge of each eave, gopple, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

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Project North


Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE: SECTIONS
SECTION 1

PROJECT NAME: **Alterations & Additions**

| REVISION NO. | DATE |
|--------------|---------|
| - | 10/6/21 |

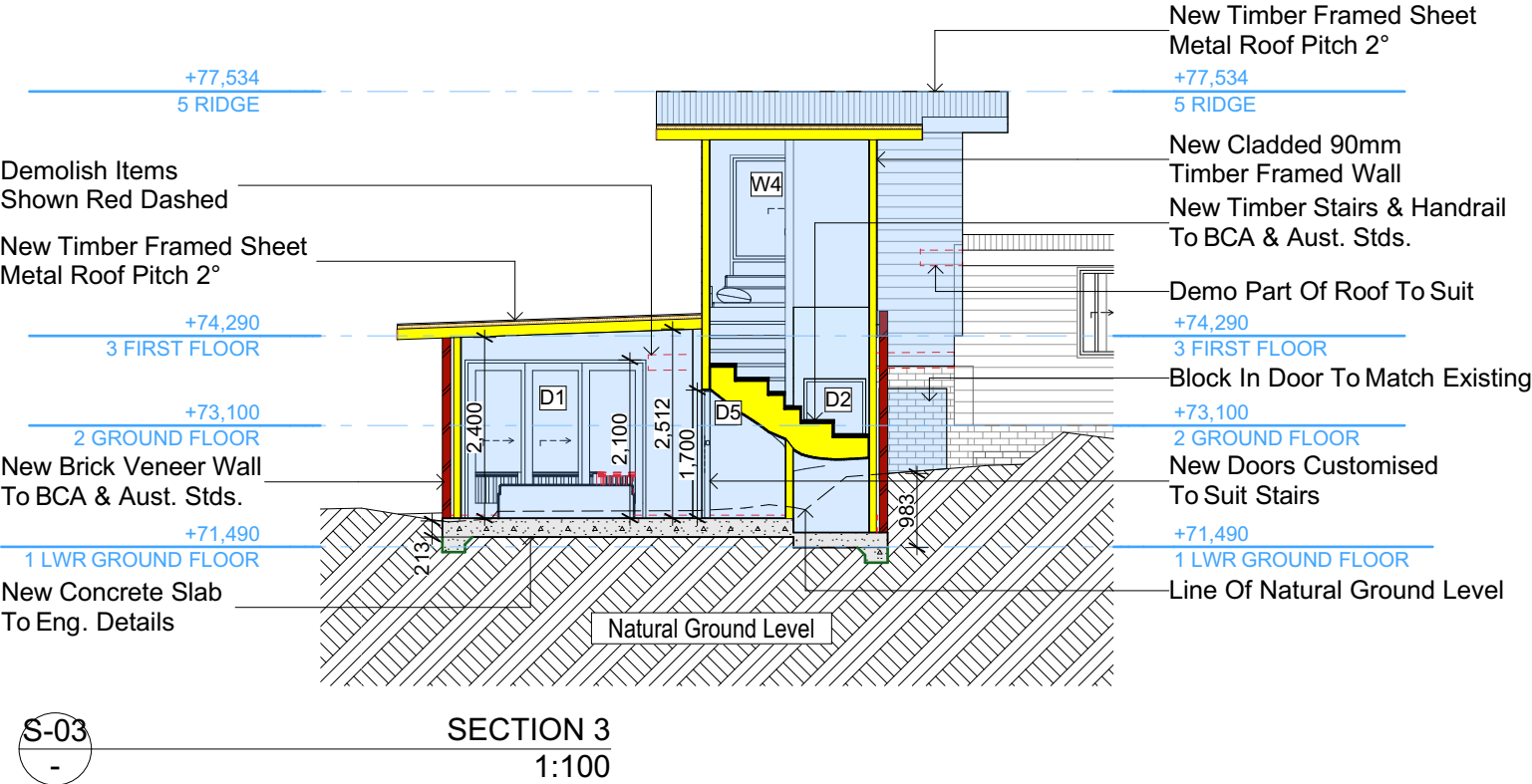
DRAWING NO. **DA3000**

Plot Date: 10/06/2021
Sheet Size: A3

Denotes New Works

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Brick Veneer Wall
- Denotes Existing Wall
- Denotes Demolished Item



| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.

Fixtures

- The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
- The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
- The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

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Rapid Plans
Building Design and Architectural Drafting

20 Woodward Street, Cromer
NSW 2230
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Fax: (02) 9350-8546
Email: info@rapidplans.com.au

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NOTES
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20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

Construction
Sub. Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208-2007
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
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All Plans to be read in conjunction with Basic Certificate
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For projections described in millimetres, the leading edge of each space, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overhanging buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|-----------|
| Site Area | 557.4m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

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Project North



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE : SECTIONS
SECTION 2

PROJECT NAME : Alterations & Additions

REVISION NO. DATE

- 10/6/21

DRAWING NO. DA3001

Plot Date: 10/06/2021
Sheet Size: A3

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

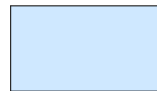
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|----------------------------|--|---|
| W1 | N | 0.9 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | N | 3.51 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | E | 5.27 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | S | 1.76 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|----------------------------|--|---|
| W6 | S | 0.96 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| D1 | E | 5.04 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |



Denotes New Works

Wall Legend



Denotes Existing Wall



Denotes Demolished Item



Rapid Plans
PO Box 6239 Pyralis Forest NSW 2080
Tel: (02) 9500-8845 Mobile: 0414-946-024
Email: info@rapidplans.com.au

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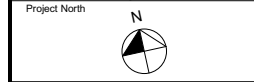
NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue
Construction
Sub-Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite management to BCA and AS 3660.1
Glazing to BCA and AS/NZS 2204
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|-----------|
| Site Area | 557.4m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

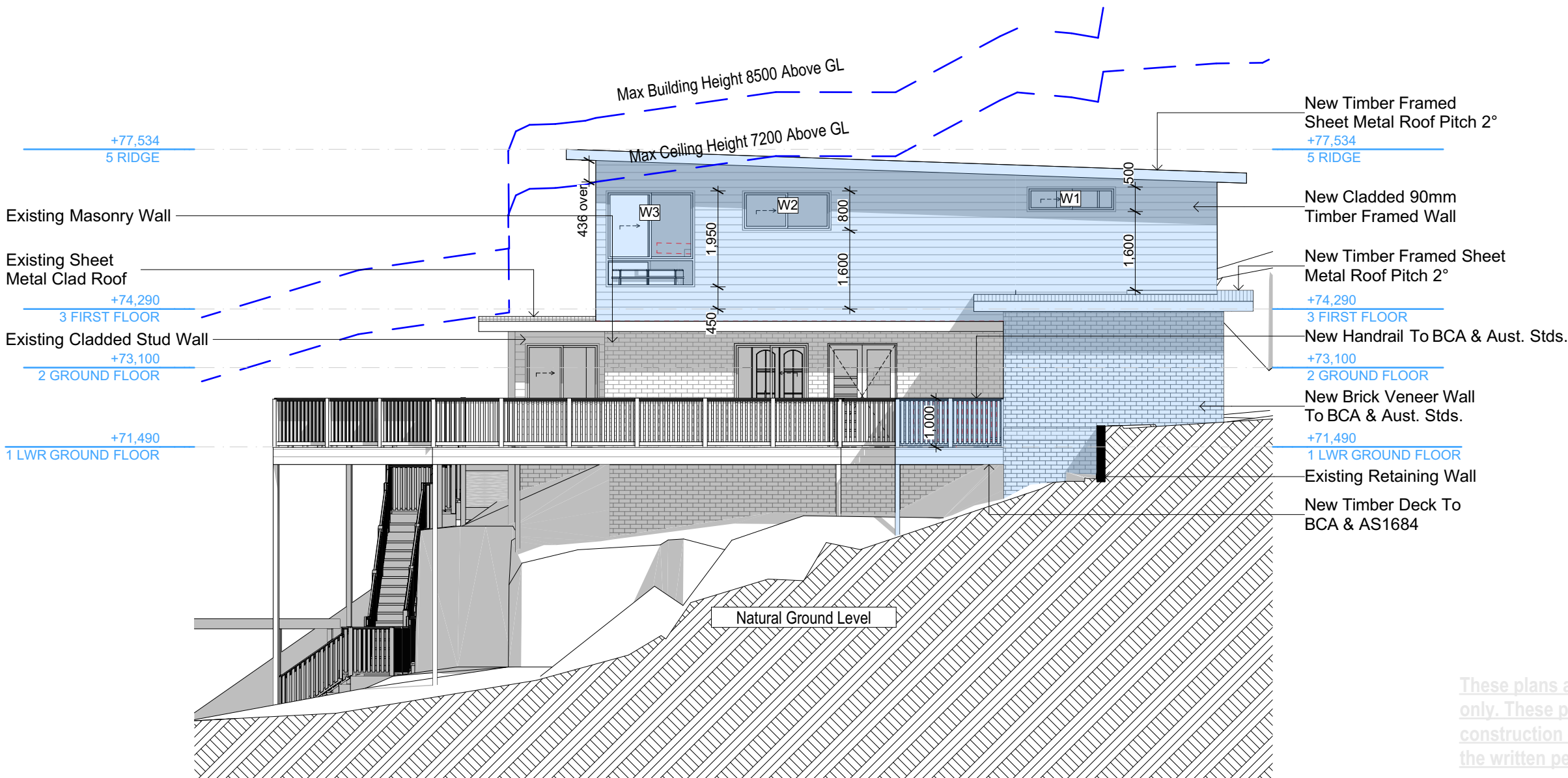
| Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans |
|---|
| Project North |
| Drawn Checked GBJ Plot Date: 10/06/2021 Project NO.: RP0221LEO Project Status DA |
| Client Kerrie and Carlie Leo |
| Site: 20 Woodward Street, Cromer |

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 1
PROJECT NAME :
Alterations & Additions



REVISION NO. DATE
- 10/6/21
DRAWING NO.
DA4000

Plot Date: 10/06/2021
Sheet Size: A3



E-01

North
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

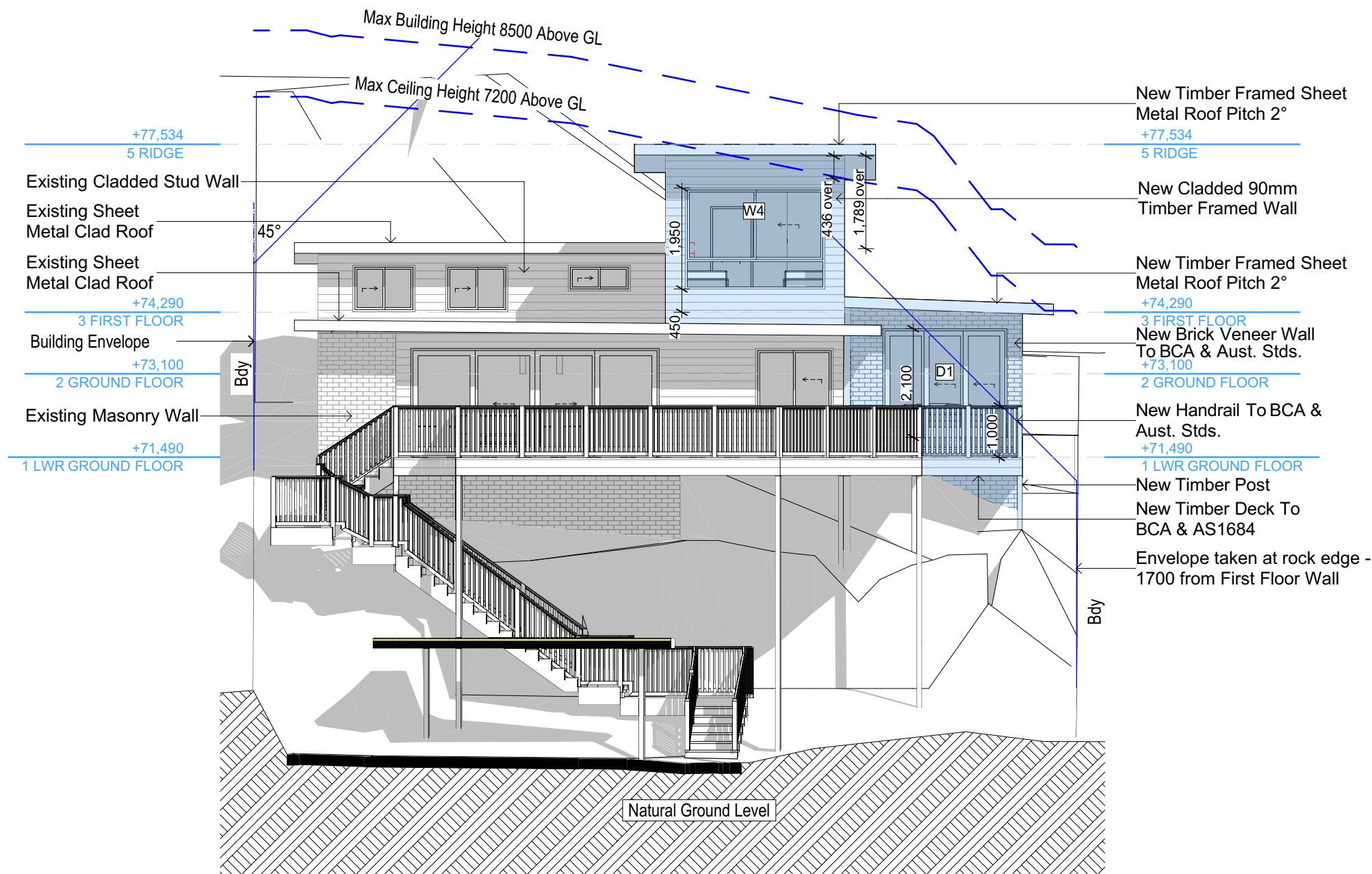
These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans.

Denotes New Works

Denotes Existing Item

Denotes Demolished Item

Wall Legend



Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

| Windows and glazed doors glazing requirements | | | | | | |
|---|-------------|-------------------------------|------------|--------------|--|---|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Height (m) | Distance (m) | Shading device | Frame and glass type |
| W1 | N | 0.9 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | N | 3.51 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | E | 5.27 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | S | 1.76 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|------------|--------------|--|---|
| W6 | S | 0.96 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| D1 | E | 5.04 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

E-02
East
1:100

DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A420112
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m2) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

Rapid Plans

Building Design and Architectural Drafting

www.rapidplans.com.au

PO Box 6193 Frenchs Forest

NSW 2086

Fax: (02) 9905-8865

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bdaa

BUILDING DESIGNERS

ASSOCIATION OF AUSTRALIA

bdaa

ACCREDITED

BUILDING DESIGNER

Builder to Check and Confirm

all Measurements Prior to

Commencement of any works.

Immediately Report any

Discrepancies to Rapid Plans

Project North

Checked

Plot Date:

Project NO.

Project Status

Client

Site:

GBJ

10/06/2021

RP0221LEO

DA

Kerrie and Carlie Leo

20 Woodward Street, Cromer

Sheet Size: A3

DRAWING TITLE :

PROJECT NAME :

ELEVATIONS

ELEVATIONS 2

Alterations & Additions

REVISION NO.

-

DATE:

10/6/21

DRAWING NO.

DA4001

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|--------------|--|---|
| W1 | N | 0.9 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | N | 3.51 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | E | 5.27 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | S | 1.76 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|--------------|--|---|
| W6 | S | 0.96 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| D1 | E | 5.04 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |



Denotes New Works



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NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue

Construction
Sub, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2208:2010
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

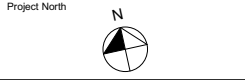
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|-------------------------------------|-----------|-----------|
| Site Area | 557.4m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE :
ELEVATIONS
ELEVATIONS 3

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 10/6/21
DRAWING NO.
DA4002

Plot Date: 10/06/2021
Sheet Size: A3

Existing Sheet Metal Clad Roof
New Timber Framed Sheet
Metal Roof Pitch 2°

+77,534
5 RIDGE

New Cladded 90mm
Timber Framed Wall

+74,290
3 FIRST FLOOR

Existing Cladded Stud Wall

+73,100
2 GROUND FLOOR

+71,490
1 LWR GROUND FLOOR

Max Building Height 8500 Above GL
Max Ceiling Height 7200 Above GL

+77,534
5 RIDGE

New Cladded 90mm Timber Framed Wall

Existing Sheet Metal Clad Roof

+74,290
3 FIRST FLOOR

Existing Masonry Wall

+73,100
2 GROUND FLOOR

+71,490
1 LWR GROUND FLOOR

Natural Ground Level

E-03

South
1:100

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

These plans are for DA Application purposes only. These plans are not to be used for construction certificate application without the written permission of Rapid Plans

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Windows and glazed doors glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|----------------------------|--|---|
| W1 | N | 0.9 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W2 | N | 1.44 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W3 | N | 3.51 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W4 | E | 5.27 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W5 | S | 1.76 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |

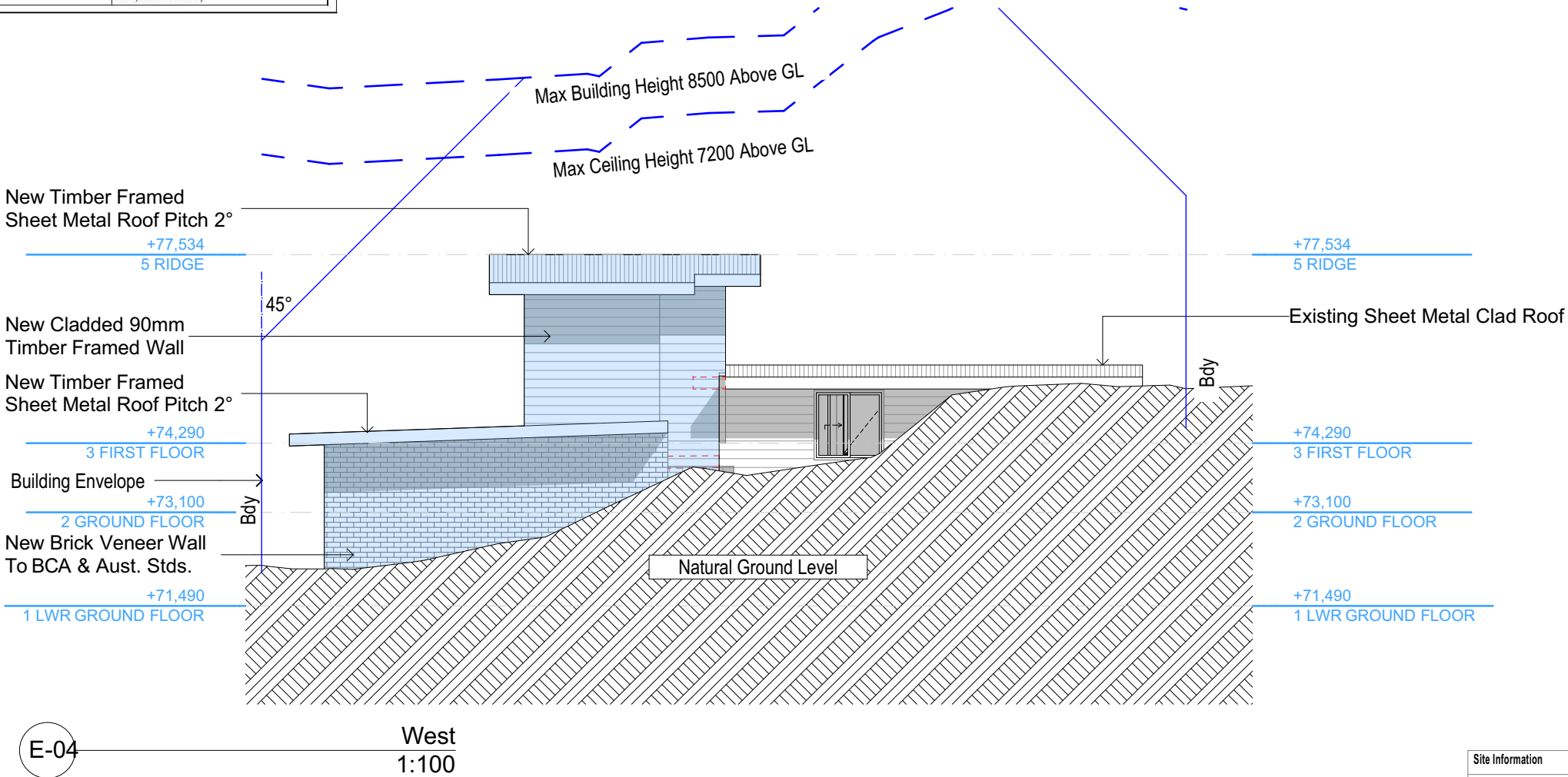
Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|----------------------------|--|---|
| W6 | S | 0.96 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| D1 | E | 5.04 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

Denotes New Works

Wall Legend

Denotes Demolished Item



DA APPLICATION
ONLY
NOT FOR CONSTRUCTION

NOTES

20 Woodward Street, Cromer is zoned R2-Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
20 Woodward Street, Cromer is not considered a heritage item

Certifying

The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction

Slab, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls
R1680 to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A420112

All Plans to be read in conjunction with Basix Certificate

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. | Site Information | Prop. | Comp. |
|-------------------------------|---------|-----------|-------------------------------------|----------|-----------|
| Site Area | 557.4m2 | Yes | Building envelope | 4m@45Deg | Variation |
| Housing Density (dwelling/m2) | 1 | Yes | % of landscape open space (40% min) | 48% | |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation | Impervious area (m2) | 52% | Yes |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes | Maximum cut into grd (m) | 1.1m | Yes |
| Front Setback (Min.) | 6.5m | Yes | Maximum depth of fill (m) | N/A | Yes |
| Rear Setback (Min.) | 6.0m | Yes | No. of car spaces provided | 2 | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes | | | |

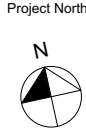


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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.



Builder to Check and Confirm
all Measurements Prior to
Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans



Checked
Plot Date:
Project NO.
Project Status

GBJ
10/06/2021
RP0221LEO
DA

Client
Site:

Kerrie and Carlie Leo
20 Woodward Street, Cromer

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS
ELEVATIONS 4

PROJECT NAME :

Alterations & Additions

REVISION NO.

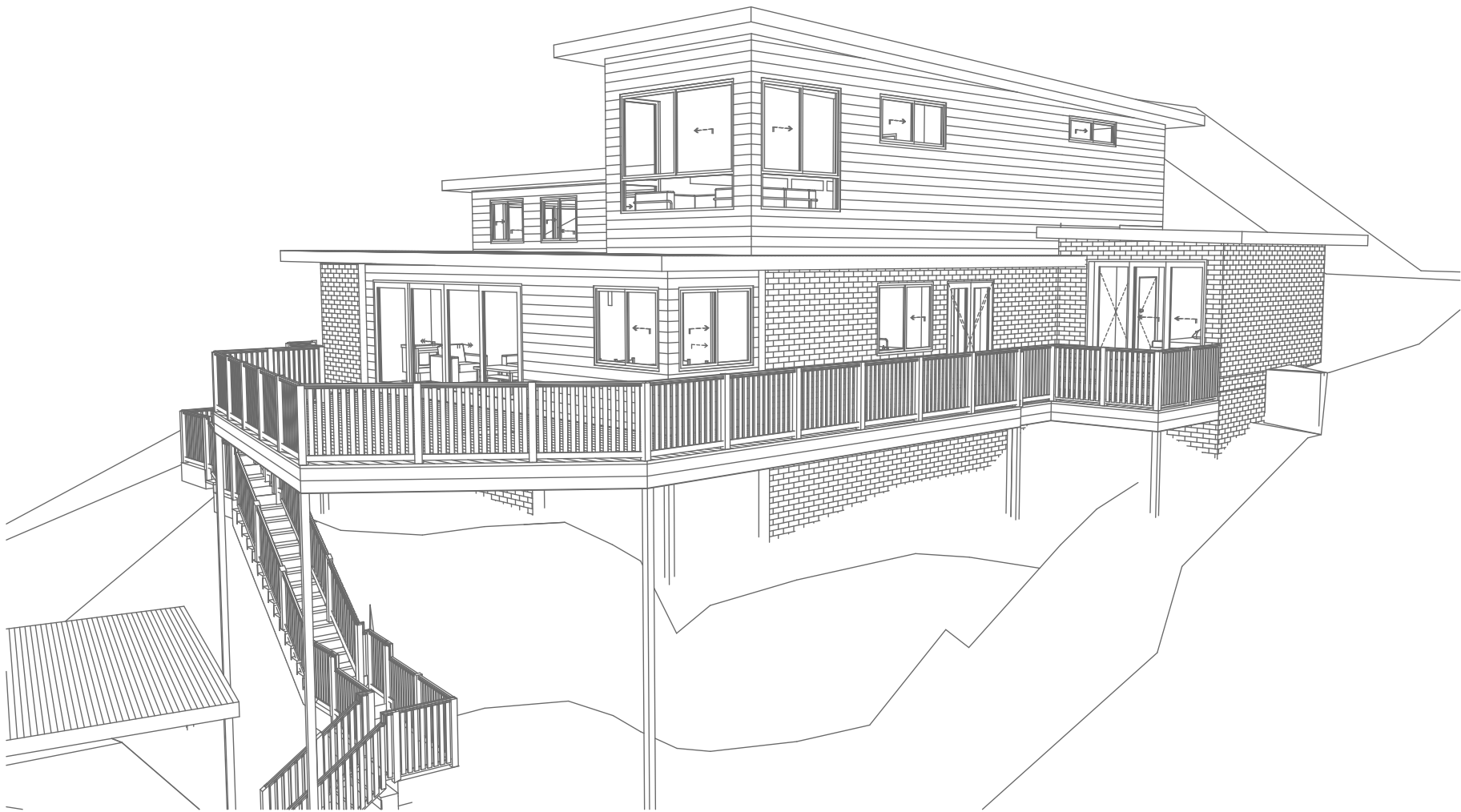
-

DATE

10/6/21

DRAWING NO.

DA4003



1 NORTH PERSPECTIVE
1:200

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**



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Email: info@rapidplans.com.au

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NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

Construction
Sub, Framed Floor, Brick Veneer, Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer, Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2288-2010
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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For projections described in millimetres, the leading edge of each eave, gopole, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

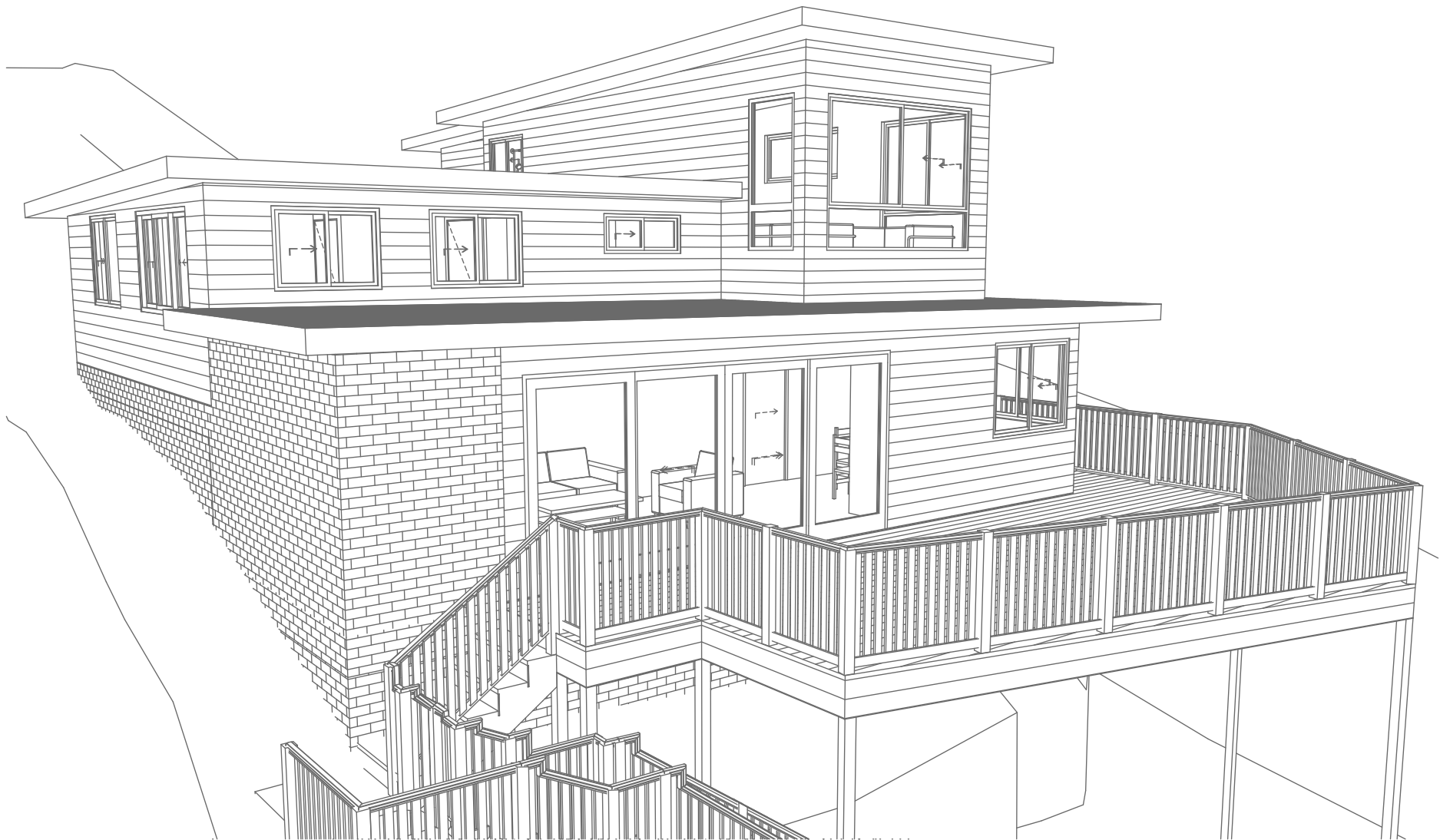
DRAWING TITLE :
SHADOW PLANS
PERSPECTIVE 1

PROJECT NAME :
Alterations & Additions

REVISION NO. DATE
- 10/6/21
DRAWING NO.
DA5000

Plot Date: 10/06/2021
Sheet Size: A3

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2

EAST PERSPECTIVE
1:200

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Rapid Plans
Building Design and Architectural Drafting

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Ph: (07) 5505-8845 Mob: 0414-545-024
Email: info@rapidplans.com.au

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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

NOTES
20 Woodward Street, Cromer is zoned R2-Low Density Residential
20 Woodward Street, Cromer is not considered a heritage item
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in ShadedBlue

Construction
Sub. Framed Floor. Brick Veneer. Framed Walls
Roof Framed to have R1.24 Insulation
Insulation to External Brick Veneer. Framed Walls R1.70
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 2281
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor slabs, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, gopola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Prop. | Comp. |
|--|---------------------|-----------|
| Site Area | 557.4m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Ht Above Nat. GL | 7.2m | Variation |
| Max Bldg Ht Above Nat. GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m ²) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE : SHADOW PLANS
PERSPECTIVE 2

PROJECT NAME :
Alterations & Additions

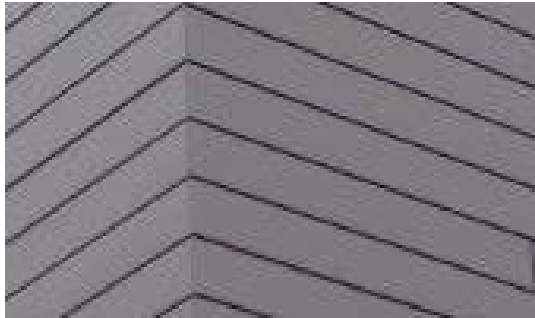
| REVISION NO. | DATE |
|--------------|---------|
| - | 10/6/21 |

DRAWING NO.:
DA5001

Plot Date: 10/06/2021
Sheet Size: A3



Denotes Sheet Metal Roof (Typical).
Owner To Confirm Type & Colour



Denotes Cladding (Typical)
To Match Existing



Denotes Masonry (Typical)
To Match Existing



Denotes Decking (Typical)
To Match Existing



Denotes Balustrade (Typical)
To Match Existing

| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: brick veneer | R1.16 (or R1.70 including construction) | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.24 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 1288-2012
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

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Basic
Basic Certificate Number A420112
All Plans to be read in conjunction with Basic Certificate
The applicant must construct the new or altered construction (floor (s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.
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|-------------------------------------|-----------|-----------|
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| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Min. side bdy setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@ 45Deg | Variation |
| % of landscape open space (40% min) | 48% | Yes |
| Impervious area (m2) | 52% | Yes |
| Maximum cut into gnd (m) | 1.1m | Yes |
| Maximum depth of fill (m) | N/A | Yes |
| No. of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

Project North



Drawn | Checked GBJ
Plot Date: 10/06/2021
Project NO.: RP0221LEO
Project Status DA

Client Kerrie and Carlie Leo

Site: 20 Woodward Street, Cromer

DRAWING TITLE SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

PROJECT NAME:
Alterations & Additions

| REVISION NO. | DATE |
|--------------|---------|
| - | 10/6/21 |

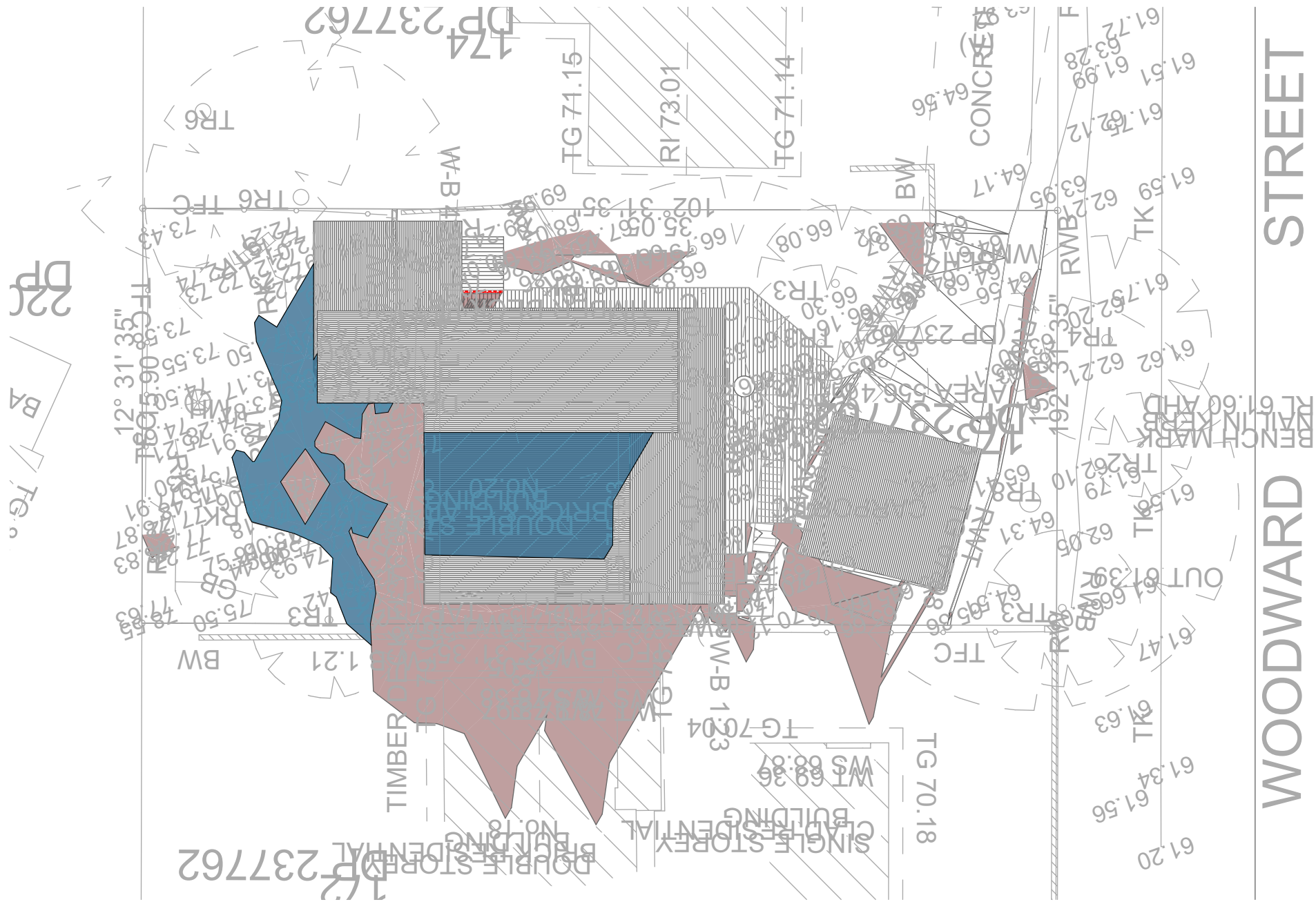
DRAWING NO.
DA5002

Plot Date: 10/06/2021
Sheet Size: A3

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Denotes Proposed Shadow

Denotes Existing Shadow



01

SHADOW PLAN 21 JUN at 0900h
1:200

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Project North



Checked
Plot Date:
Project NO.
Project Status

GBJ
10/06/2021
RP0221LEO
DA

Client
Site:

Kerrie and Carlie Leo
20 Woodward Street, Cromer

Sheet Size: A3

DRAWING TITLE :

SHADOW PLANS
SHADOW PLAN 21st June
9am

PROJECT NAME :

Alterations & Additions

REVISION NO.

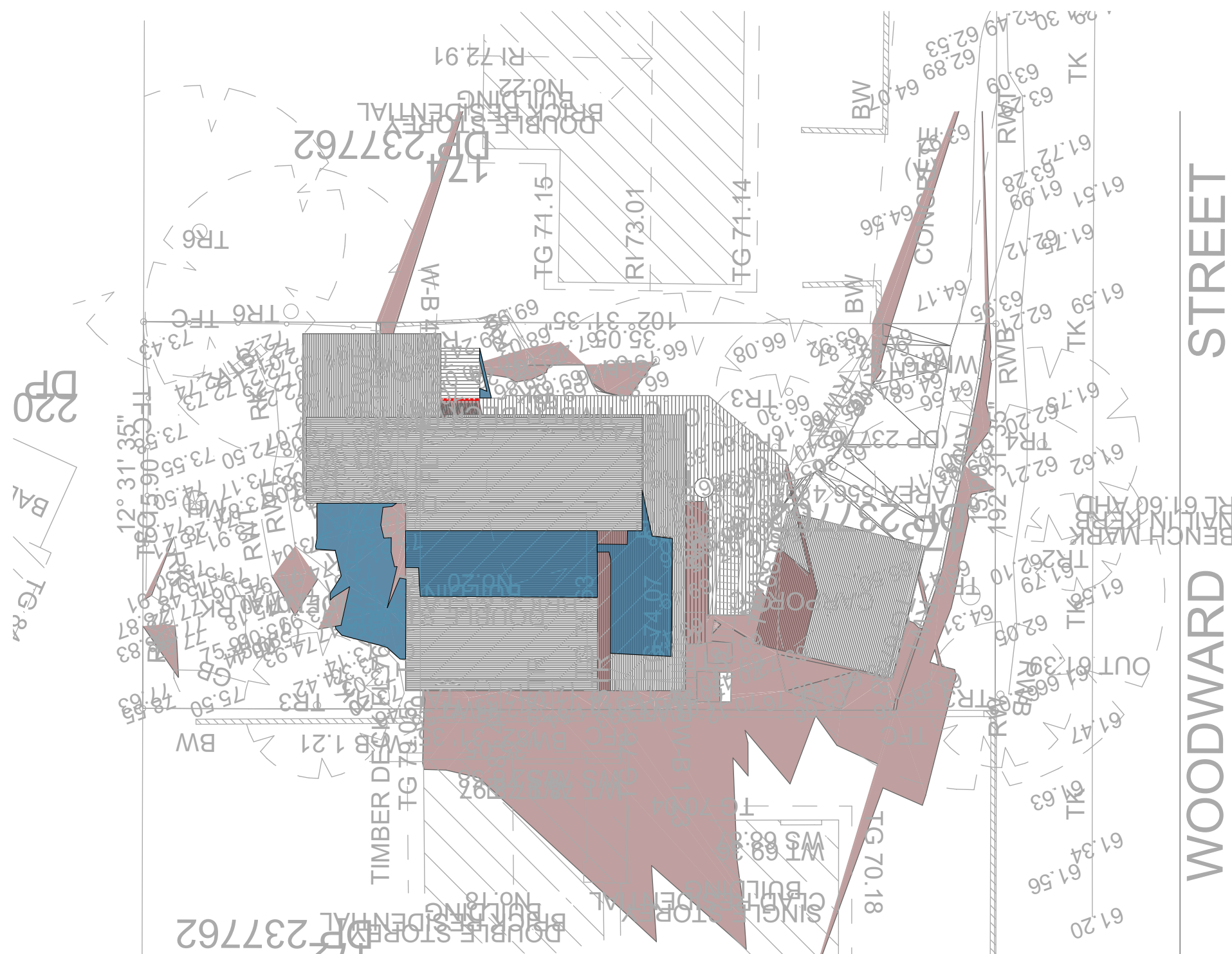
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DATE

10/6/21

DRAWING NO.

DA5003



02

SHADOW PLAN 21 JUN at 1200h
1:200

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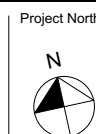
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Commencement of any works.
Immediately Report any
Discrepancies to Rapid Plans**



Client: _____
Site: _____

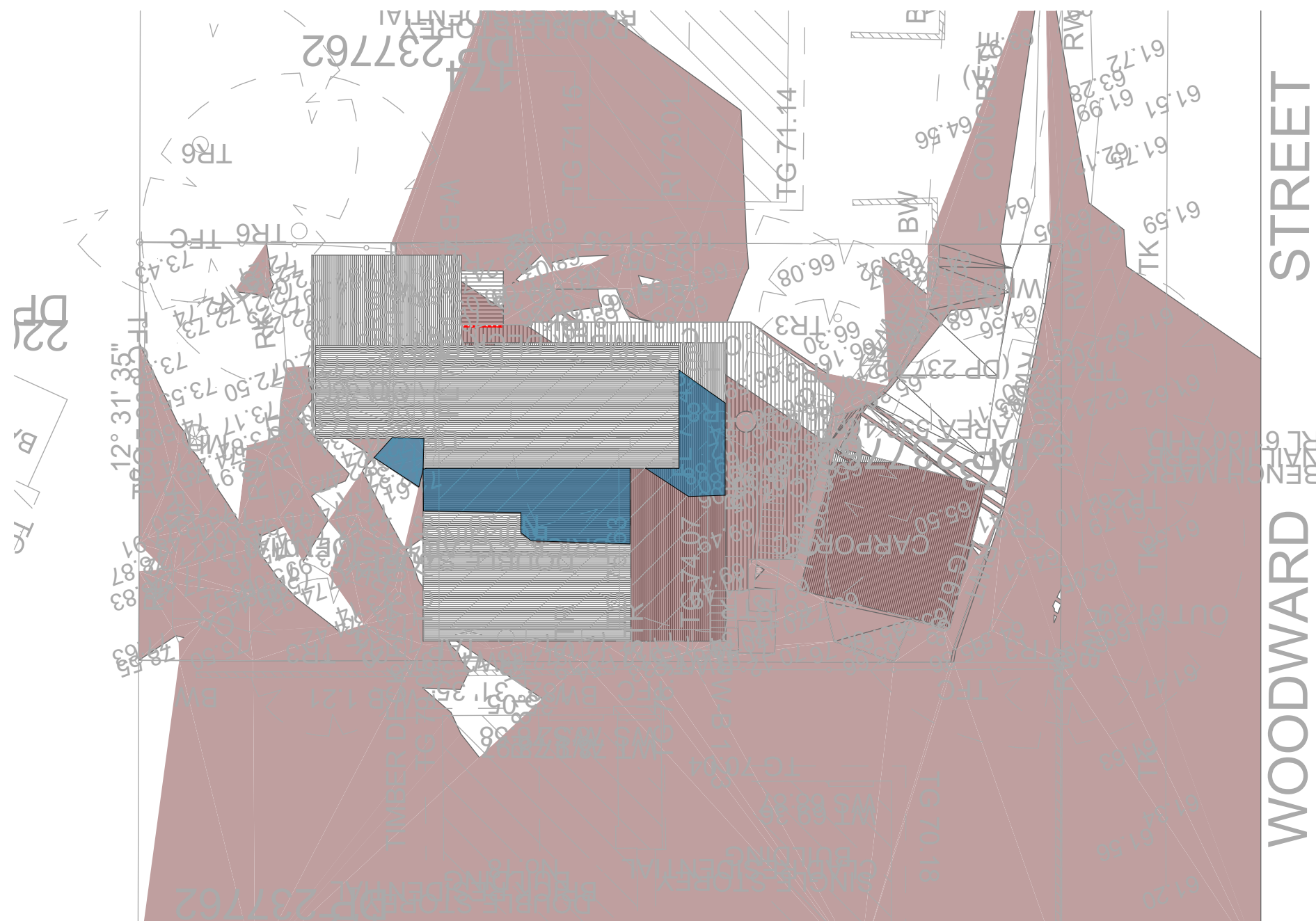
Sheet Size: A3

Kerrie and Carlie Leo
20 Woodward Street, Cromer

DRAWING TITLE : **SHADOW PLANS**
SHADOW PLAN 21st June
12pm

PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE.
10/6/21
DRAWING NO.
DA5004



SHADOW PLAN 21 JUN at 1500h
1:200

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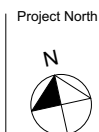
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all Measurements Prior to
Commencement of any works.
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Checked
Plot Date:
Project NO.
Project Status

| | |
|--------|----------------------------|
| Client | Kerrie and Carlie Leo |
| Site: | 20 Woodward Street, Cromer |

Sheet Size: A3

GBJ
10/06/2021
RP0221LEO
DA

Kerrie and Carlie Leo
20 Woodward Street, Cromer

DRAWING TITLE : **SHADOW PLANS**
SHADOW PLAN 21st June
3pm

PROJECT NAME : **Alterations & Additions**

REVISION NO.
-
DATE.
10/6/21
DRAWING NO.
DA5005